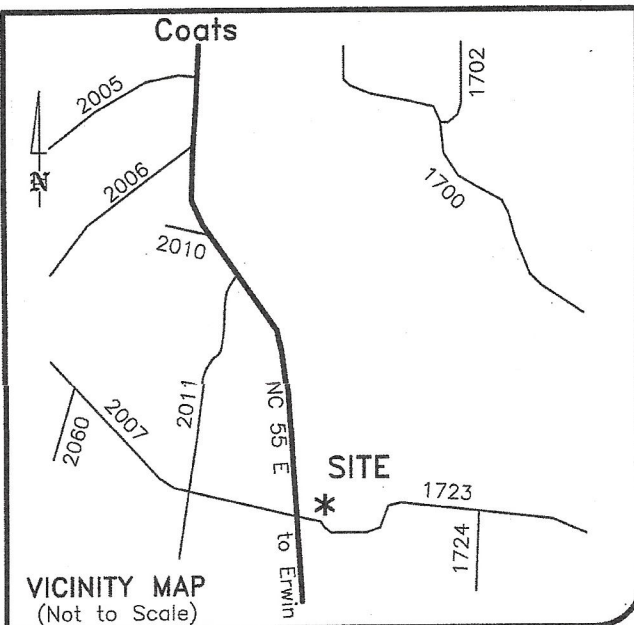




LINE LEGEND:

- Subject Boundary Surveyed
- Utility & Access Easement
- Adjacent Property Lines
- Abandoned Property Lines
- Right of Way Lines
- Center of Right-of-Way
- Easement Lines
- Survey Tie Lines
- Minimum Building Setback
- Overhead Electric Lines
- Water Line
- Chainlink Fence
- Wire Fence

SYMBOLS & ABBREVIATIONS:

- EIP/EIS... Existing Iron Pipe or Stake
- ERB... Existing Rebar Stake
- ERSS... Existing Rail Road Spike
- EPK... Existing Parker-Kaylon Nail
- EMN... Existing Magnetic Nail
- ECS... Existing Cotton Picker Spindle
- ECM... Existing Concrete Monument
- AC/BG... Above/Below Ground Surface
- CP... Calculated Point (not set)
- CNTRL... Control Point - Grid Coordinates
- ISS... Iron Stake Set (#4 rebar)
- MNS... Magnetic Nail Set
- MSS... Magnetic Spike Set
- FH... Fire Hydrant
- SL... Street Light
- PP... Power Pole
- OHE... Overhead Electric Lines
- LH... Land Hook (Property combined)
- C/L... Centerline of Road or Easement
- R/W... Right-of-Way
- DB... Deed Book
- P.B./P.C... Plat Book / Plat Cabinet
- M.B... Map Book
- NC PIN... Parcel Identifier Number
- AC... Acres (Area of property)
- SF... Square Feet
- [123]... House Address

SURVEY NOTES:

- Iron Stakes (1/2" x Re-bar) set at all new property corners unless labeled otherwise.
- Magnetic Nails set at all points in paved road surfaces, unless otherwise indicated.
- Areas determined by coordinate method.
- All distances & dimensions are horizontal ground distances unless otherwise indicated.
- No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown herein.
- This survey is based upon the references shown as taken from County GIS records. No title search was provided for this survey. A complete title search by a licensed attorney may reveal other easements, restrictions, and title issues not made available to the surveyor.
- No underground utilities were marked by providers prior to this survey. Call NC 811 prior to any excavation to locate any underground utilities.
- Wetlands, soil conditions, or other environmental features were not delineated for this survey.

~ CURVE TABLE ~

Curve	Radius	Length	Chord	Chord Bear.
C1	25.00'	39.49'	35.51'	N 55°01'49" E
C2	8593.52'	7.62'	7.62'	S 80°24'48" E
C3	25.00'	39.34'	35.41'	S 35°18'15" E
C4	486.29'	0.30'	0.30'	N 09°45'42" E
C5	486.29'	100.18'	100.00'	N 03°50'32" E
C6	486.29'	100.03'	99.85'	N 07°57'08" W
C7	486.29'	39.95'	39.94'	N 16°11'54" W
C8	208.00'	108.62'	107.39'	N 03°35'32" W
C9	208.00'	10.08'	10.08'	N 12°45'19" E
C10	25.00'	24.63'	23.64'	N 42°21'46" E
C11	50.00'	65.30'	60.76'	N 33°10'00" E
C12	50.00'	52.38'	50.01'	N 34°15'28" W
C13	50.00'	80.48'	72.07'	S 69°37'15" W
C14	50.00'	42.37'	41.11'	S 09°45'57" E
C15	25.00'	18.43'	18.02'	S 03°55'04" E
C16	258.00'	29.99'	29.97'	S 13°52'28" W
C17	25.00'	35.09'	32.28'	S 50°45'02" W
C18	25.00'	58.23'	45.93'	N 22°18'42" W
C19	50.00'	58.30'	55.05'	N 11°00'56" E
C20	50.00'	55.98'	53.10'	N 54°27'39" W
C21	50.00'	58.82'	55.48'	S 59°48'06" W
C22	50.00'	68.09'	62.95'	S 12°56'42" E
C23	25.00'	21.03'	20.41'	S 27°51'52" E
C24	25.00'	21.03'	20.41'	S 20°19'31" W
C25	50.00'	66.17'	61.45'	S 06°30'19" W
C26	50.00'	45.65'	44.08'	S 57°33'58" E
C27	50.00'	40.70'	39.59'	N 72°57'28" E
C28	50.00'	88.66'	77.49'	N 01°09'38" W
C29	25.00'	21.03'	20.41'	N 27°51'52" W
C30	25.00'	41.33'	36.78'	N 43°35'57" E
C31	25.00'	34.57'	31.88'	S 49°25'35" E
C32	258.00'	59.37'	59.33'	S 14°10'50" E
C33	436.29'	81.03'	80.91'	S 13°13'54" E
C34	436.29'	134.71'	134.17'	S 00°56'03" W

~ CENTERLINE CONTROL ~

Course	Bearing	Distance
A-B	N 09°46'46" E	364.70'
B-C	R= 461.29'	L= 228.10'
	Chd: N 04°23'11" W	225.78'
C-D	R= 233.00'	L= 76.47'
	Chd: N 09°08'59" W	76.13'
D-E	R= 233.00'	L= 119.76'
	Chd: N 14°58'38" E	118.45'
D-F	R= 89°02'36" W	534.00'
F-G	N 03°46'11" W	101.94'
F-H	S 03°46'11" E	240.67'

References:

- Deed Book 4231, Pg. 1889
- Map #2024-246 (Tract E)
- Deed Book 4236, Pg. 2191 (NC DOT Right-of-Way)
- Map #2025-147 (Public Utility & Access Easement)
- Deed Book 4274, Pg. 1473 (HRW Easement)
- Deed Book 4243, Pg. 2562 (Duke Energy Easement)

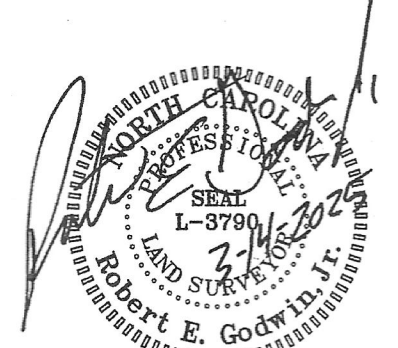
Harnett County Minimum Building Setback Requirements

RA-20R, RA-20M,
RA-30 & RA-40

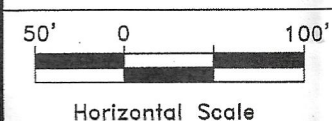
FRONT: 35' from R/W
REAR: 25'
SIDE: 10'
CORNER LOT SIDE: 20'
MAXIMUM HEIGHT: 35'

Iron Stake Set with Cap
N.C. Grid Coordinates:
N: 591,631.309 sFT
E: 2,100,790.359 sFT
EL: 228.34'
LAT: 35°22'30.51352"N
LON: 78°39'42.76626"W

- The NC GRID coordinates were determined from an actual Class A GPS Survey using NC Geodetic Survey's Real Time Kinematic (VRS) Network.
- Date of Survey: 10-24-22; 1-2-25; 1-6-25.
- Horizontal positional accuracy: 0.046
- Horizontal Datum: NAD 83 (NRSR 2011)
- Vertical positional accuracy: 0.15
- Vertical positions are referenced to NAVD88
- Combined Scale Factor: 0.99988016573141
- Geoid Model: GEOID12 (conus)
- Units: US Survey Feet (sFT)



Revisions:
2/3/25: DRB Comments
3/14/25: Add Deed and Map References for Easements



ALTON FIELDS SUBDIVISION
Harnett Co. Case# SUB2501-0011 (Final) - SUB2308-0030 (Preliminary)
Survey For:
GREGORY INC.
Mailing Address: 62 E McIver St., Angier, NC 27501
GROVE TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA
ZONED: RA-30
PID: 071509 0037 09 - PIN: 1509-12-0183.000

STREAMLINE LAND SURVEYING, Inc.
NC FIRM C-1898
870 NC 55 W, Coats, N.C. 27521
Phone: 910-897-7715
SURVEY DATE: MAY 7, 2024
SCALE: 1" = 100'
SURVEYED BY: REG
DRAWN BY: MGG
FILE: DATA\1509\160524TU\221024GR.dwg (MAJOR-Sheet-1)

NOTE:
See Sheet 2 of 2 for additional notes and certifications.

SHEET 1 OF 2

