

VICINITY MAP (N/S)

STANDARD LEGEND table with symbols for water valve, fire hydrant, cable pedestal, telephone pedestal, electric box, fiber optic, overhead power line, right of way, centerline, utility pole, property line, and various pipe types.

SURVEY NOTATION table listing abbreviations for CP, EPK, EIP, EIPD, EIS, ECMD, ECSD, ISS, and RW with their corresponding full names.

APPROVAL OF THIS PLAT/PLAN DOES NOT GUARANTEE WATER CAPACITY OR WASTEWATER CAPACITY. CURRENT/FUTURE CAPACITY MAY NOT BE AVAILABLE...

SIDEWALKS AND STREET TREES ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA), PROPERTY OWNERS ASSOCIATION (POA), CONDOMINIUM ASSOCIATION (COA), OR ANY OTHER ASSOCIATION...

DEVELOPER INFORMATION: RP WELLS LAND & DEVELOPMENT, LLC, 2004 W. CUMBERLAND STREET, DUNN, NC 28334-4448.

ZONED: RA-30, MIN. LOT SIZE: 25,000 SF, LAND USE: AGRICULTURAL, LAND USE CLASSIFICATION: AGRICULTURAL & RURAL RESIDENTIAL.

SETBACKS: FRONT - 35', SIDE - 10', REAR - 25', CORNER - 20'.

FLOOD INFORMATION - ZONE X, FIRM PANEL#371096800J, DATED 10/03/2006.

STREET DATA: CAPE FOX DR. - 334 LF, THOMAS STORE DR. - 2591 LF, SWIFT FOX DR. - 497 LF, STUART GROVE RD. - 598 LF, PECAN BROOK CT. - 312 LF, HARRINGTON GROVE LN. - 615 LF.

PUBLIC WATER IS AVAILABLE.

LOTS TO BE SERVED BY INDIVIDUAL SEPTIC SYSTEMS.

PROPERTY IS NOT LOCATED IN WS-IV WATERSHED DISTRICT.

PROPERTY LIES WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.

STREETSCAPE BUFFERS AND DRAINAGE EASEMENTS ARE TO BE MAINTAINED BY HOA.

MAIL KIOSK TO BE MAINTAINED BY HOA.

ALL INSTALLED LANDSCAPING SHALL NOT BE REMOVED.

SIGN MUST BE PLACED AT LEAST 20' FROM ANY INTERSECTION R/W AND A SEPARATE PERMIT WILL BE NEEDED BEFORE CONSTRUCTION.

IMPERVIOUS AREA CALCULATIONS: TRACT AREA: 4,100,801 SF, SURFACE WATER AREA: 17,927 SF, PROJECT AREA: 4,082,874 SF.

IMPERVIOUS AREA ALLOWED: 24% MAX (LOW DENSITY), 4,082,874 SF X 0.24 = 979,890 SF MAXIMUM ALLOWABLE IMPERVIOUS.

IMPERVIOUS AREA BY DESIGN: 123,398 SF ASPHALT (INCLUDES MAIL KIOSK AREA), 825,000 SF (11,000 SF/LOT MAX IMPERVIOUS X 75 LOTS), 948,398 SF TOTAL IMPERVIOUS BY DESIGN (23.2%).

NOTE: NO WETLANDS EXIST ON SITE PER WETLAND SOLUTIONS, LLC. P.O. BOX 244 BUNNLEVEL, NC 28323. (910) 890-2779. LETTER DATED APRIL 12, 2023.



NCDDOT NOTES: 1. ALL INTERNAL INTERSECTIONS REQUIRE A MINIMUM RADIUS OF 25'. 2. A MINIMUM CENTERLINE RADIUS OF 510' IS REQUIRED. 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HARNETT COUNTY AND NCDDOT STANDARDS.

NOTE: 1. HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF OPEN SPACE. 2. 20' PAVEMENT IS THE MINIMUM LANE WIDTH NOT INCLUDING CURBING. 3. STREET LIGHTS SHALL BE SPACED NO MORE THAN 300' APART PER HARNETT COUNTY LUDO. 4. FIRE HYDRANTS SHALL BE LOCATED IN SUCH A MANNER THAT NO PRIMARY STRUCTURE IS FURTHER THAN 500 FEET FROM A HYDRANT. THE DISTANCE BETWEEN HYDRANTS SHALL BE MEASURED ALONG STREET CENTERLINES. THERE SHALL BE AT LEAST ONE FIRE HYDRANT AT EACH INTERSECTION. WHEN RESIDENTIAL INTERSECTIONS ARE LESS THAN 700 FEET APART A HYDRANT IS NOT REQUIRED BETWEEN THE INTERSECTIONS. 5. ALL DRAINAGE EASEMENTS ARE TO BE PERMANENT & PRIVATE. THE MAINTENANCE OF ALL SAID DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION. 6. OLD US 421 (SR 1291) IS ON THE NCDDOT THOROUGHFARE PLAN AS A LOCAL ROAD. 7. APPROVAL OF THIS PLAT/PLAN DOES NOT GUARANTEE WATER CAPACITY OR WASTEWATER CAPACITY. CURRENT/FUTURE CAPACITY MAY NOT BE AVAILABLE. THIS DEVELOPMENT MAY REQUIRE ADDITIONAL IMPROVEMENTS TO THE EXISTING WATER AND WASTEWATER SYSTEM TO MEET FUTURE WATER AND WASTEWATER DEMANDS PRIOR TO A PRELIMINARY PLAT, CONSTRUCTION PLAN AND/OR FINAL PLAT APPROVAL.

CERTIFICATION OF OWNERSHIP AND DEDICATION: I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF HARNETT COUNTY, NORTH CAROLINA AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER AND WATER LINES TO THE COUNTY OF HARNETT.

DATE: \_\_\_\_\_ OWNER: \_\_\_\_\_

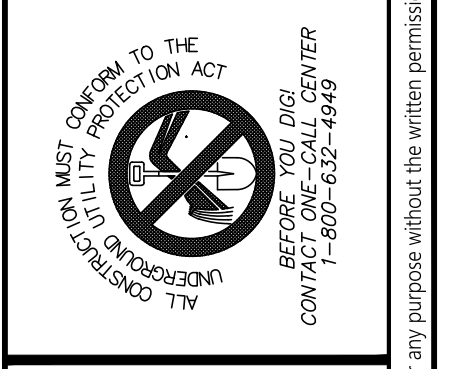
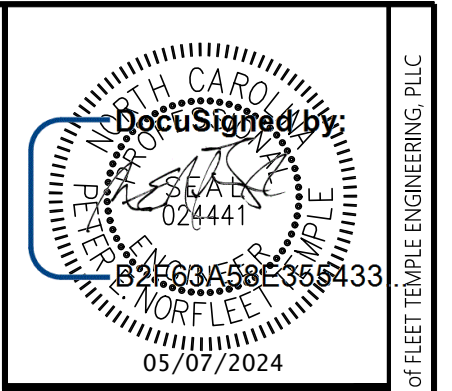
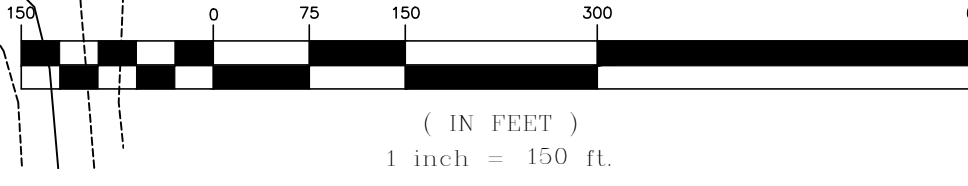
I HEREBY CERTIFY THAT THE DEVELOPMENT HEREON HAS BEEN GRANTED PRELIMINARY APPROVAL BY THE HARNETT COUNTY DEVELOPMENT REVIEW BOARD PURSUANT TO THE REGULATIONS SET FORTH BY E-911 ADDRESSING, ENVIRONMENTAL HEALTH, FIRE MARSHAL PLANNING, AND PUBLIC UTILITIES OF HARNETT COUNTY, NC, SUBJECT TO RECORDATION IN THE HARNETT COUNTY OFFICE OF REGISTER OF DEEDS WITHIN THIRTY DAYS OF THE DATE BELOW.

DEVELOPMENT REVIEW BOARD CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

4Dsite solutions logo and contact information: 409 Chicago Drive, Suite 112, Fayetteville, NC 28305. Office: 910-436-6777, Fax: 910-436-5777, www.4dsitesolutions.com

SUB2303-0008

GRAPHIC SCALE



LOCATION: SR 1291 - OLD US 421, UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA. PROPERTY OWNER/DEVELOPER: RP WELLS LAND & DEVELOPMENT, LLC, 2004 W. CUMBERLAND STREET, DUNN, NC 28334-4448.

Table with columns for REVISIONS, COMMENTS, and dates. Includes entries for DB comments and street name revision.

FLEET TEMPLE ENGINEERING PLLC logo and address: 5245 Red Hill Church Road - Coats, NC 27521. Email: fleet@fleettemplengr.com, P-2357.

PRELIMINARY SITE PLAN FOR FOX FIELD FARMS. HORIZONTAL SCALE: 1" = 150'. VERTICAL SCALE: N/A. DATE: 03.08.2023. FTE JOB# 0042. C1.0. NOTE: This document is a physical or electronic form, discloses subject matter considered confidential to FLEET TEMPLE ENGINEERING, PLLC and on which FLEET TEMPLE ENGINEERING, PLLC has exclusive property rights.