

VICINITY MAP
SCALE: 1" = 1000'

Site Data

ADDRESS: NC 24 - 87
CAMERON, NC 28326
TOTAL ACREAGE IN SITE: 5.76 AC
PIN: 9594-26-1847, 9594-16-8787, 9594-26-0690
PID: 19594 0020, 19594 0023, 19594 0083
CURRENT ZONING: COMMERCIAL
EXISTING LAND USE: UNDEVELOPED (FORMERLY RESIDENTIAL)
PROPOSED LAND USE: RETAIL/EATING ESTABLISHMENT WITH DRIVE THRU CARWASH AND 6 PUMP ISLANDS W/GASOLINE SALES
BUILDING SETBACKS:
FRONT YARD - 50'
REAR YARD - 25'
CORNER LOT SIDE YARD - 20'
SIDE YARD - 0'
MAXIMUM BUILDING HEIGHT: 35'
PROPOSED BUILDING HEIGHT IN FEET AND STORIES: 24'-8" (1 STORY)
RIVER BASIN: CAPE FEAR RIVER
GROSS FLOOR AREA: STORE 6,077 SF
CARWASH 939 SF
TOTAL GROSS FLOOR AREA 7,016 SF
TOTAL NO. OF PARKING SPACES REQUIRED: 41 SPACES, INCLUDES 2 H/C SPACES
TOTAL NO. OF PARKING SPACES PROVIDED: 46 SPACES, INCLUDES 2 H/C SPACES
TOTAL SQUARE FEET OF PROPOSED IMPERVIOUS AREA =
PROPOSED SHEETZ LOT: 87,556 SF (2.01 AC)
FUTURE EXPANSION: 49,658 SF (1.14 AC)
TOTAL IMPERVIOUS AREA: 137,214 SF (3.15 AC) - 45.31%
(PROPOSED AND FUTURE)

Parking Requirements:

CONVENIENCE STORE 1 SPACE/150 SF-GFA
6,077 SF/150 = 40.5 SPACES
TOTAL NO. OF REQUIRED PARKING SPACES = 41 SPACES
TOTAL NO. OF SPACES PROVIDED = 46 SPACES (INCLUDING 2 H/C SPACES)

LEGEND:

- CHAINLINK FENCE
- LIGHT POLE
- FLAG POLE
- BOLLARD TYP.
- H/C
- SIGN
- DROP INLET
- CATCH BASIN
- FIRE HYDRANT
- WATER METER
- BRICK PAVERS
- CONCRETE
- TRUNCATED DOMES



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N.C. ONE-CALL CENTER
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Owner:

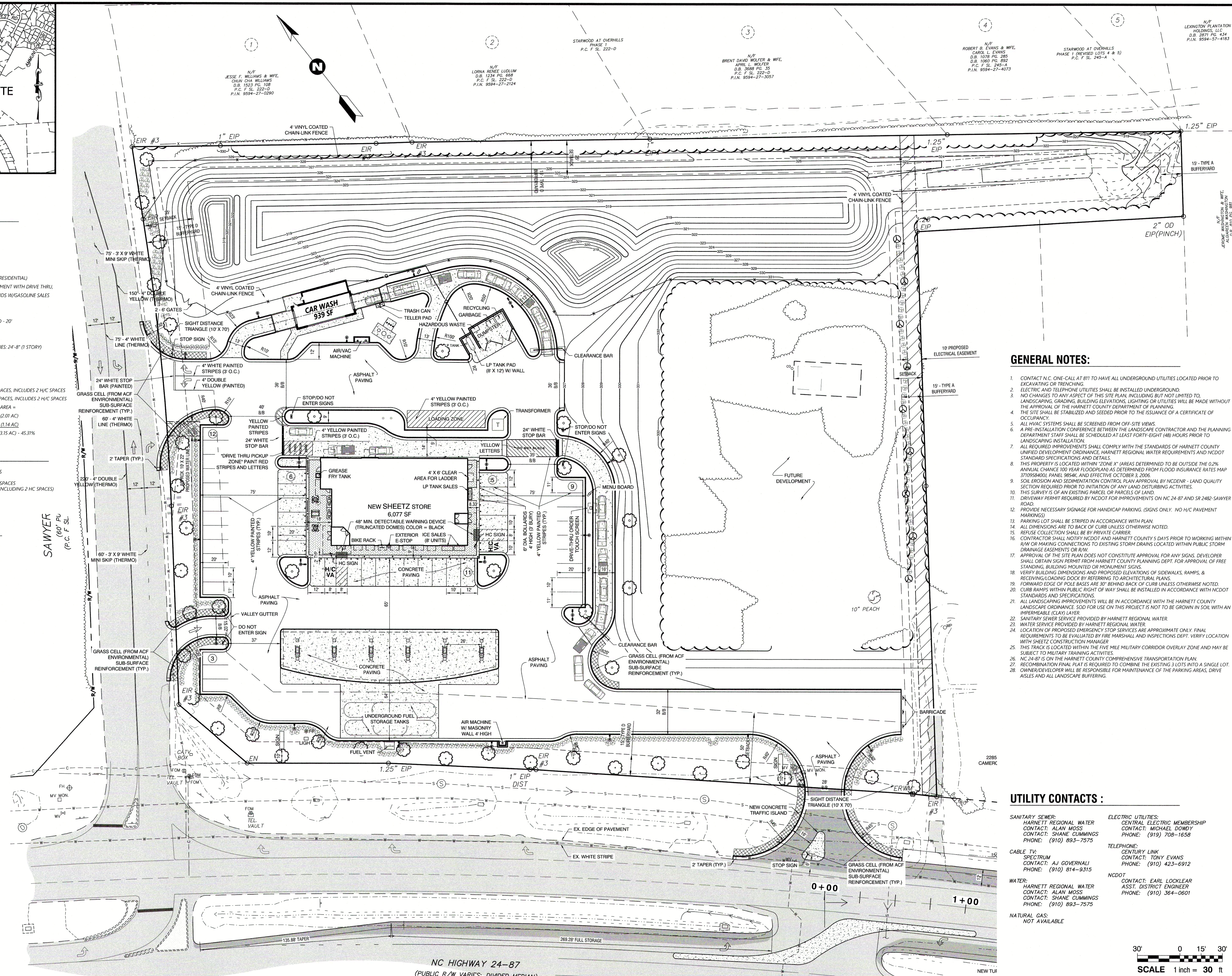
PTM, LP
5700 Sixth Avenue
Altoona, PA 16602
Phone: (815) 437-9859

Developer:

Sheetz Inc.
5700 Sixth Avenue
Altoona, PA 16602
Phone: (815) 437-9859

References:

- D.B. 2818 P.G. 823
- D.B. 2819 P.G. 820
- D.B. 2977 P.G. 411
- D.B. 2800 P.G. 484
- M.B. 2016 P.G. 65
- M.B. 9 P.G. 17
- NC DOT PROJECT R-2238AA

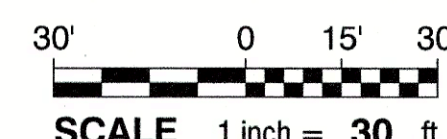


GENERAL NOTES:

1. CONTACT N.C. ONE-CALL AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
2. ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
3. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE HARNETT COUNTY DEPARTMENT OF PLANNING.
4. THE SITE SHALL BE STABILIZED AND SEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL HVAC SYSTEMS SHALL BE SCREENED FROM OFF-SITE VIEWS.
6. A PRE-INSTALLATION CONFERENCE BETWEEN THE LANDSCAPE CONTRACTOR AND THE PLANNING DEPARTMENT STAFF SHALL BE SCHEDULED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO LANDSCAPING INSTALLATION.
7. ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS OF HARNETT COUNTY UNIFIED DEVELOPMENT ORDINANCE, HARNETT REGIONAL WATER REQUIREMENTS AND NC DOT STANDARD SPECIFICATIONS AND DETAILS.
8. THIS PROPERTY IS LOCATED WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE 100 YEAR FLOODPLAIN) AS DETERMINED FROM FLOOD INSURANCE RATES MAP 3710958400, PANEL 9854K, AND EFFECTIVE OCTOBER 3, 2006.
9. SOIL EROSION AND SEDIMENTATION CONTROL PLAN APPROVAL BY NCDENR - LAND QUALITY SECTION REQUIRED PRIOR TO INITIATION OF ANY LAND DISTURBING ACTIVITIES.
10. THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.
11. DRIVEWAY PERMIT REQUIRED BY NCDOT FOR IMPROVEMENTS ON NC 24-87 AND SR 2482-SAWYER ROAD.
12. PROVIDE NECESSARY SIGNAGE FOR HANDICAP PARKING. (SIGNS ONLY. NO H/C PAVEMENT MARKINGS)
13. PARKING LOT SHALL BE STRIPED IN ACCORDANCE WITH PLAN.
14. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
15. REFUSE COLLECTION SHALL BE BY PRIVATE CARRIER.
16. CONTRACTOR SHALL NOTIFY NCDOT AND HARNETT COUNTY 5 DAYS PRIOR TO WORKING WITHIN R/W OR MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
17. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL FOR ANY SIGNS. DEVELOPER SHALL OBTAIN SIGN PERMIT FROM HARNETT COUNTY PLANNING DEPT. FOR APPROVAL OF FREE STANDING, BUILDING MOUNTED OR MONUMENT SIGNS.
18. VERIFY BUILDING DIMENSIONS AND PROPOSED ELEVATIONS OF SIDEWALKS, RAMPS, & RECEIVING/LOADING DOCK BY REFERRING TO ARCHITECTURAL PLANS.
19. FORWARD EDGE OF POLE BARRIERS ARE 30" BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
20. CURB RAMP WITHIN PUBLIC RIGHT OF WAY SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
21. ALL LANDSCAPING IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE HARNETT COUNTY LANDSCAPE ORDINANCE. SOIL FOR USE ON THIS PROJECT IS NOT TO BE GROWN IN SOIL WITH AN IMPERMEABLE (CLAY) LAYER.
22. SANITARY SEWER SERVICE PROVIDED BY HARNETT REGIONAL WATER.
23. WATER SERVICE PROVIDED BY HARNETT REGIONAL WATER.
24. LOCATION OF PROPOSED EMERGENCY STOP SERVICES ARE APPROXIMATE ONLY. FINAL REQUIREMENTS TO BE EVALUATED BY FIRE MARSHALL AND INSPECTIONS DEPT. VERIFY LOCATION WITH SHEETZ CONSTRUCTION MANAGER.
25. THIS TRACT IS LOCATED WITHIN THE FIVE MILE MILITARY CORRIDOR OVERLAY ZONE AND MAY BE SUBJECT TO MILITARY TRAINING ACTIVITIES.
26. NC 24-87 IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN.
27. RECOMBINATION FINAL PLAT IS REQUIRED TO COMBINE THE EXISTING 3 LOTS INTO A SINGLE LOT.
28. OWNER/DEVELOPER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE PARKING AREAS, DRIVE AISLES AND ALL LANDSCAPE BUFFERING.

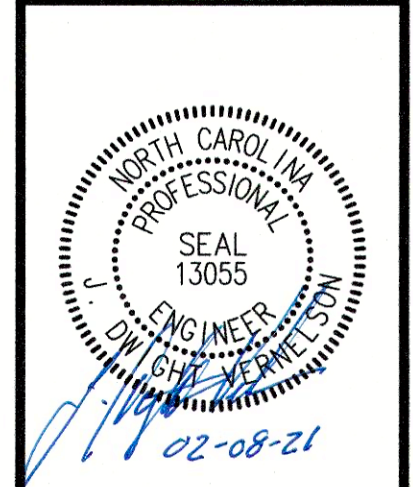
UTILITY CONTACTS:

- SANITARY SEWER:**
HARNETT REGIONAL WATER
CONTACT: ALAN MOSS
CONTACT: SHANE CUMMINGS
PHONE: (910) 893-7575
- ELECTRIC UTILITIES:**
CENTURY LINK
CONTACT: MICHAEL DOWDY
PHONE: (919) 708-1658
- TELEPHONE:**
CENTURY LINK
CONTACT: TONY EVANS
PHONE: (910) 423-6912
- CABLE TV:**
SPECTRUM
CONTACT: AJ GOVERNALI
PHONE: (910) 814-9315
- WATER:**
HARNETT REGIONAL WATER
CONTACT: ALAN MOSS
CONTACT: SHANE CUMMINGS
PHONE: (910) 893-7575
- NC DOT:**
CONTACT: EARL LOCKLEAR
ASST. DISTRICT ENGINEER
PHONE: (910) 364-0601
- NATURAL GAS:**
NOT AVAILABLE



Rivers & Associates, Inc.
Engineers
Planners
Surveyors
Landscape Architects
107 East Second Street
Greenville, NC 27658
(252) 752-4135

PERMIT SET



REVISIONS:

NO.	DATE	BY	DESCRIPTION
2	02/08/21	JDV	HARNETT COUNTY COMMENTS
1	11/19/20	JDV	HARNETT COUNTY COMMENTS

NE CORNER OF SAWYER ROAD AND NC 24-87 CAMERON, NC

SHEETZ

SITE PLAN

ANDERSON CREEK TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA

DATE: July 21, 2020

DESIGNED BY: JDV

DRAWN BY: SBC

CHECKED BY: JDV

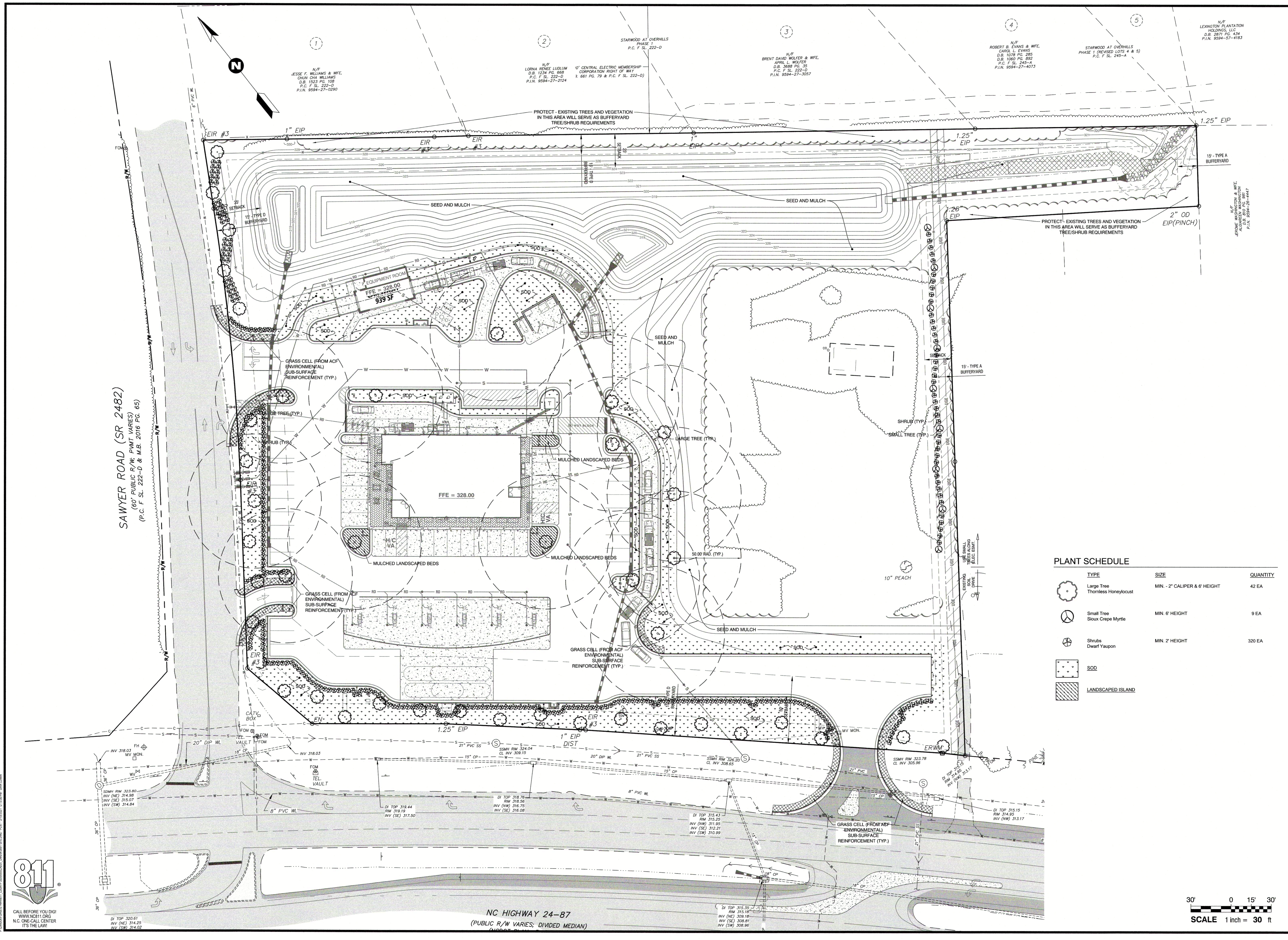
PROJECT No.: 2020005

DRAWING No.: W-3891

SCALE: AS NOTED

SHEET No. **C6**

NC HIGHWAY 24-87
(PUBLIC R/W VARIES; DIVIDED MEDIAN)



SAWYER ROAD (SR 2482)
 (60' PUBLIC R/W; P.W.M.T. VARIES)
 (P.C. F. SL. 222-D & M.B. 2016 PG. 65)

NC HIGHWAY 24-87
 (PUBLIC R/W VARIES; DIVIDED MEDIAN)

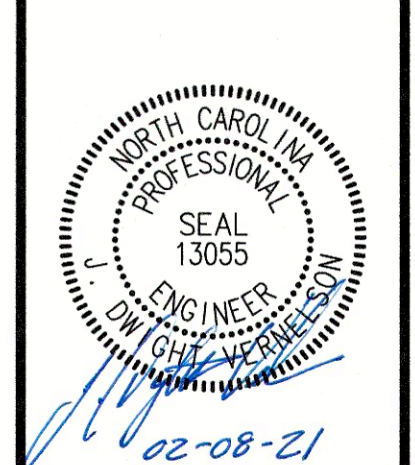
PLANT SCHEDULE

TYPE	SIZE	QUANTITY
Large Tree Thornless Honeylocust	MIN. - 2" CALIPER & 6' HEIGHT	42 EA
Small Tree Sioux Crepe Myrtle	MIN. 6' HEIGHT	9 EA
Shrubs Dwarf Yaupon	MIN. 2' HEIGHT	320 EA
SOD		
LANDSCAPED ISLAND		

Rivers
 & ASSOCIATES, INC.
 ENGINEERS
 PLANNERS
 SURVEYORS
 LANDSCAPE ARCHITECTS

107 East Second Street
 Greenville, NC 27858
 (252) 752-4135

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REVISIONS:

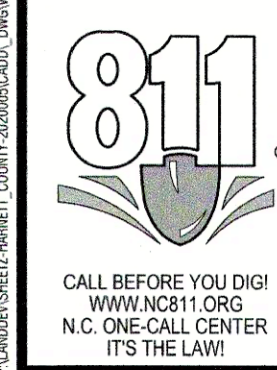
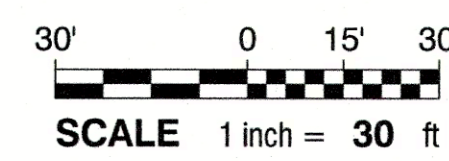
NO.	DATE	BY	DESCRIPTION
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SHETZ
 ANDERSON CREEK TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA

NE CORNER OF SAWYER ROAD AND NC 24-87 CAMERON, NC

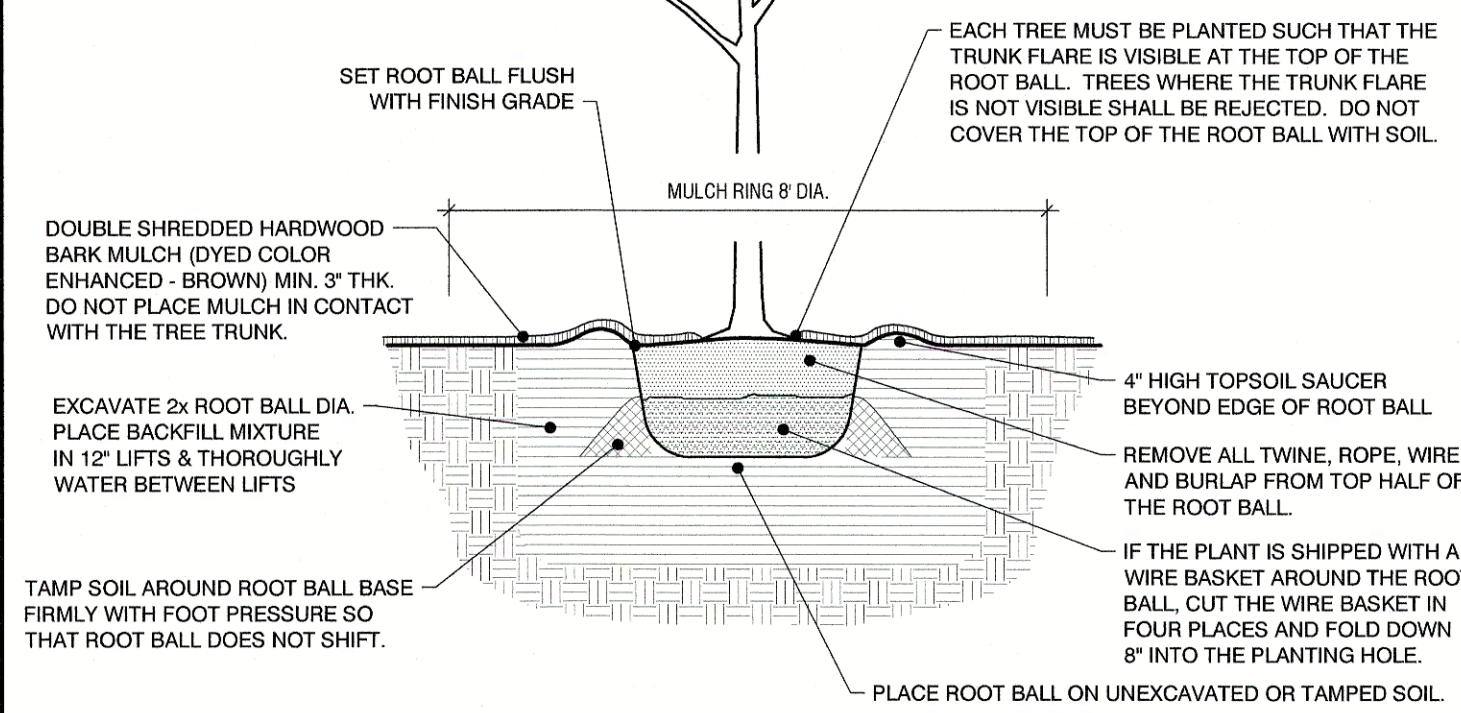
PLANTING PLAN

DATE: July 21, 2020
 DESIGNED BY: JDV
 DRAWN BY: SBC
 CHECKED BY: JDV
 PROJECT No.: 2020005
 DRAWING No.: W-3891
 SCALE: AS NOTED
 SHEET No.: **C10**



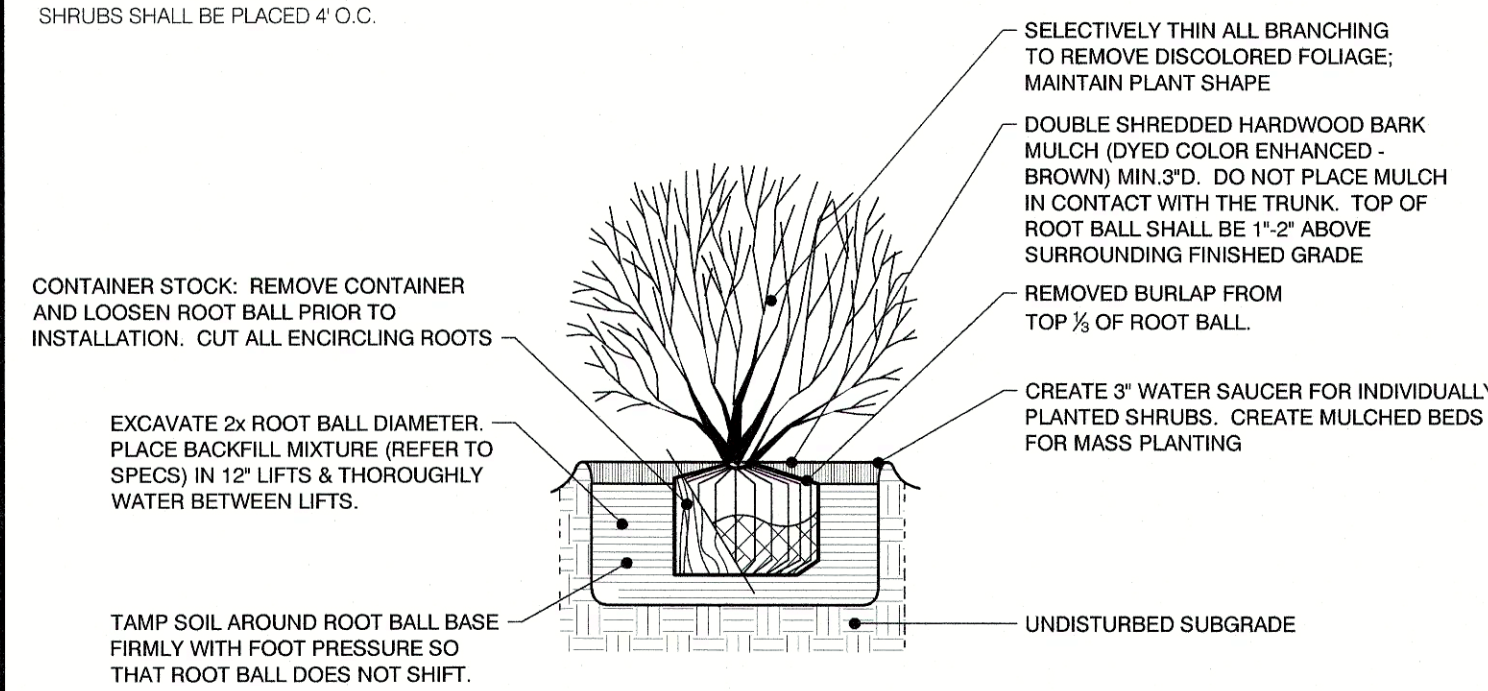
811
 CALL BEFORE YOU DIG
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 N.C. ONE-CALL CENTER
 IT'S THE WAY!

NOTE:
TREES SHALL BE STAKED ONLY IF DIRECTED BY THE OWNER

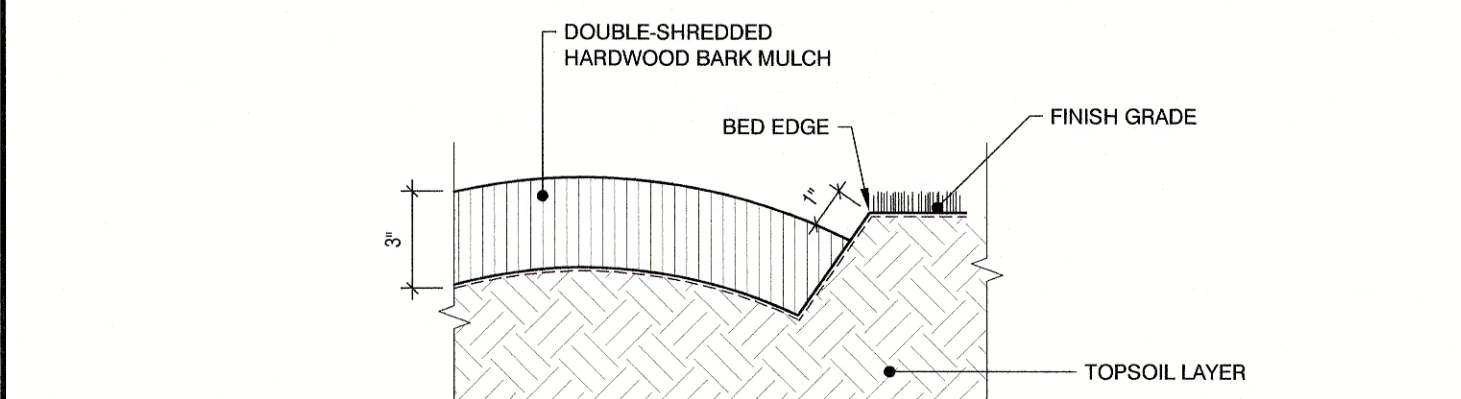


TREE PLANTING - LARGE & SMALL
TITLE2 N.T.S.

NOTE:
FOR PARKING LOT SCREENING, SHRUBS SHALL BE PLACED 4' O.C.



SHRUB PLANTING
TITLE2 N.T.S.



PLANTING BED EDGE
TITLE2 N.T.S.

PLANTING NOTES

The Contractor shall furnish plant material shown on the drawings, as specified and as indicated on the plant list. The Owner or his authorized representative shall be notified prior to the beginning of planting operations.

STANDARDS: All plants shall be in accordance with the American Standard For Nursery Stock, latest edition, published by the American Association of Nurserymen, Inc. with regard to sizing and description.

QUALITY: All plants shall be nursery grown and hardy under climatic conditions similar to those in the locality of the project. All plants shall be typical of their species or variety and shall have a normal habit of growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They should be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root system.

SUBSTITUTIONS: When plants of a specified kind or size are not available within a reasonable distance, the contractor may make substitutions upon request, if approved by the Project Consultant. Proposal for substitution of plant material shall be submitted at least 5 days prior to the final bid date for consideration.

SIZE: All plants shall conform to the measurements specified on the plant list unless otherwise authorized in writing by the Project Consultant.

PRUNING: Each tree and shrub shall be pruned in accordance with American Association of Nurserymen, Inc. standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.

ROOT SYSTEMS: Baled & burlapped plants shall be dug with firm natural balls of earth of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in container or ball.

PROTECTION: Root balls, trunks, branches and foliage of plants shall be adequately protected at all times from sun and drying wind or frost. Plants with broken root balls or excessive damage to the crown shall be replaced, in kind, prior to installation.

MULCH: Immediately following plant installations all tree and shrub planting pits shall be covered with three (3) layer of double shredded hardwood mulch (dyed color enhanced - Brown). The limits of this mulch for deciduous trees and single evergreen trees shall be the area of the pit; for evergreen tree clusters or shrub masses; a mulched bed shall be created.

ANTI-DESICCANT SPRAY: Trees and when planted in leaf shall be treated with anti-desiccant such as "Wilt-Proof".

PLANTING MIX: Before backfilling, the topsoil back fill mixture shall be prepared and mixed to the following proportions:
Deciduous plants - two parts by volume of topsoil, one part organic compost and five pounds bone meal per cubic yard.

Evergreen Plants - three parts by volume of topsoil and one part organic compost. Fertilizer - to the above mixtures, add three pounds of specified commercial fertilizer for trees up to three (3) inches in caliper and one pound per inch of caliper for larger trees. Shrubs shall be fertilized with six (6) ounces of fertilizer for shrubs four (4-7) feet and over.

STAKING & GUYING: Trees shall be staked and guyed as is detailed on the drawings and according to accepted industry practice.

LAYOUT: The contractor shall layout with identifiable stakes, the location of all plants and the arrangement and outlines of planting beds as indicated on the drawings. Prior to any excavation of plant pits or preparation of plant beds, the Project Consultant shall approve the layout of planting. All planting shall be at the locations indicated on the drawings. The Contractor shall be responsible for planting at the correct grades, alignment and layout of planting beds. Minor adjustments to tree locations may be necessary due to field conditions and final grading. The Contractor shall notify the Project Consultant if major adjustments are anticipated.

ADVERSE CONDITIONS: The contractor shall notify the Project Consultant in writing of any soil or drainage conditions which the Contractor considers detrimental to plant growth. The documented conditions shall include a proposal for correcting the situation, including any change in cost, for review and acceptance by the Project Consultant.

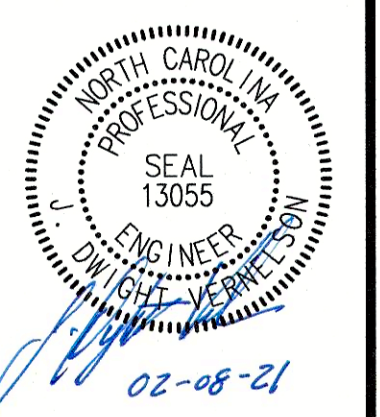
QUANTITY: The quantity of plants in the Plant Schedule is for general reference only. The Contractor shall obtain quantities for pricing by compiling numbers from the plants illustrated on the drawings. Should there be a discrepancy between the drawings and the plant schedule, the quantities illustrated on the drawings shall take precedence.

GUARANTEE: The Contractor shall guarantee all plant material for a full year from the date of initial acceptance. The Owner shall be responsible for maintenance unless otherwise agreed. It is the Contractor's responsibility to monitor the project during the guarantee period and notify the Owner in writing if problems are occurring or situations developed that appear detrimental to the plant material. Any plant material that is 25% dead or more shall be considered dead and must be replaced at no charge to the Owner. A tree is considered dead when the main leader has died back or there is 25% of the crown dead.

GENERAL LANDSCAPING NOTES:

1. CONTRACTOR SHALL INSTALL SOD AS DESIGNATED ON PLANS. SOD SHALL EXTEND FROM BACK OF PARKING LOT CURB TO BACK OF PUBLIC SIDEWALK OR PROPERTY LINE, AS SHOWN ON PLANS.
2. PROVIDE MULCH AROUND SHRUBS AT ALL ISLANDS, PARKING LOT SCREENING AND AROUND PYLON SIGNS. MULCH SHALL BE DOUBLE-SHREDDED, COLOR ENHANCED (DYED) HARDWOOD BARK MULCH (BROWN OR BLACK ONLY). USE DEWITT 15 YEAR WEED BARRIER, WOVEN POLYPROPYLENE, OR APPROVED EQUAL, IN ALL PLANT BEDS AND AT TREE RING.
3. LANDSCAPER TO COORDINATE INSTALLATION OF LIGHTING, UTILITIES, PYLON SIGN AND LANDSCAPING WITH ALL OTHER CONTRACTORS.
4. PROVIDE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"). EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED (VIABLE, NOT DORMANT).
5. INSTALL AND ADJUST SPRINKLER HEADS TO ENSURE 100% COVERAGE OF ALL PLANTED AREAS.
6. PLANTING SHALL BE IN ACCORDANCE WITH HARNETT COUNTY LANDSCAPING ORDINANCE.
7. BOTTOM 2/3 OF BURLAP WRAPPING TO REMAIN ON ROOT BALL FOR TREE PLANTINGS.

PERMIT SET



REVISIONS:

NO.	DATE	BY	DESCRIPTION
2	02/08/21	JDV	HARNETT COUNTY COMMENTS
1	11/13/20	JDV	HARNETT COUNTY COMMENTS

SHRETTZ
ANDERSON CREEK TOWNSHIP ~ HARNETT COUNTY ~ NORTH CAROLINA
NE CORNER OF SAWYER ROAD AND NC 24-87 CAMERON, NC
PLANTING NOTES AND DETAILS

DATE: July 21, 2020
DESIGNED BY: JDV
DRAWN BY: SBC
CHECKED BY: JDV
PROJECT No. 2020005
DRAWING No. W-3891
SCALE: AS NOTED