



Initial Application Date: 12/7/2020

Application # \_\_\_\_\_

DRB # \_\_\_\_\_ CU # \_\_\_\_\_

**COMMERCIAL**

**COUNTY OF HARNETT LAND USE APPLICATION**

Central Permitting (Physical) 108 E. Front Street, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 2 Fax: (910) 893-2793 www.harnett.org/permits

**LANDOWNER:** Orchard Crest Homeowners Association Mailing Address: 44 Orchard Crest Circle

City: Sanford State: NC Zip: 27332 Contact # Kathryn White Eagle Email: kwhiteeagle@windstream.net

**APPLICANT\*:** Capital Sign Solutions Mailing Address: 5800 McHines Place

City: Raleigh State: NC Zip: 27616 Contact # (919) 306-3802 Email: brandon@capitalsignsolutions.com

\*Please fill out applicant information if different than landowner

**CONTACT NAME APPLYING IN OFFICE:** Brandon Mangum Phone # (919) 306-3802

**Address:** 44 Orchard Crest Circle-Sanford, NC 27332 PIN: 9586-69-7172.000

Zoning: RA-20R Watershed: No Flood: Minimal Deed Book Page: 1570 /0113

**Setbacks – Front: \_\_\_\_\_ Back: \_\_\_\_\_ Side: \_\_\_\_\_ Corner: \_\_\_\_\_**

**PROPOSED USE:**


- Multi-Family Dwelling No. Units: \_\_\_\_\_ No. Bedrooms/Unit: \_\_\_\_\_
- Business Sq. Ft. Retail Space: \_\_\_\_\_ Type: \_\_\_\_\_ # Employees: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- Daycare # Preschoolers: \_\_\_\_\_ # Afterschoolers: \_\_\_\_\_ # Employees: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- Industry Sq. Ft: \_\_\_\_\_ Type: \_\_\_\_\_ # Employees: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- Church Seating Capacity: \_\_\_\_\_ # Bathrooms: \_\_\_\_\_ Kitchen: \_\_\_\_\_
- Accessory/Addition/Other (Size \_\_\_\_\_x\_\_\_\_\_) Use: \_\_\_\_\_

Water Supply: \_\_\_\_\_ County \_\_\_\_\_ Existing Well \_\_\_\_\_ New Well (# of dwellings using well \_\_\_\_\_) **\*Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)**

Sewage Supply: \_\_\_\_\_ New Septic Tank \_\_\_\_\_ Expansion \_\_\_\_\_ Relocation \_\_\_\_\_ Existing Septic Tank \_\_\_\_\_ County Sewer  
**(Complete Environmental Health Checklist on other side of application if Septic)**

**Comments:** Application for one (1) 3'-0" high x 9'-4" wide double face non-lighted replacement development monument sign as per attached submittal package.

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

DocuSigned by:  
  
 00295906F12D4AD...  
**Signature of Owner or Owner's Agent** \_\_\_\_\_ **Date** 12/7/2020

**\*\*This application expires 6 months from the initial date if permits have not been issued\*\***

**RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION**

**\*\*\*It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.\*\*\***



**\*This application expires 6 months from the initial date if permits have not been issued\*  
APPLICATION CONTINUES ON BACK**

**\*\*This application expires 6 months from the initial date if permits have not been issued\*\***

**\*This application to be filled out when applying for a septic system inspection.\***

**County Health Department Application for Improvement Permit and/or Authorization to Construct**

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

**Environmental Health New Septic System**

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

**Environmental Health Existing Tank Inspections**

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (*if possible*) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

**"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"**

**SEPTIC**

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted       Innovative       Conventional       Any  
 Alternative       Other \_\_\_\_\_

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION:**

- YES     NO    Does the site contain any Jurisdictional Wetlands?
- YES     NO    Do you plan to have an irrigation system now or in the future?
- YES     NO    Does or will the building contain any drains? Please explain. \_\_\_\_\_
- YES     NO    Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES     NO    Is any wastewater going to be generated on the site other than domestic sewage?
- YES     NO    Is the site subject to approval by any other Public Agency?
- YES     NO    Are there any Easements or Right of Ways on this property?
- YES     NO    Does the site contain any existing water, cable, phone or underground electric lines?  
 If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

**I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.**





\*Each section below must be filled out by whoever is performing the work. Must be owner or licensed contractor. Address, company name & phone must match information on state license.

Application # \_\_\_\_\_

Harnett County Central Permitting

PO Box 65 Lillington, NC 27546

910-893-7525 Fax 910-893-2793 www.harnett.org/permits

**COMMERCIAL**

**Application for Building and Trades Permit**

Owner's Name: Orchard Crest Homeowners Association (Contact: Kathryn White Eagle) Date: 12/5/2020

Site Address: 44 Orchard Crest Circle-Sanford, NC 27332 Phone: (919) 451-0168

Description of Proposed Work: One (1) 3'-0" h x 9'-4" w replacement d/f non-lighted development monument

**General Contractor Information:** Building Cost \$ 12,615.00

Capital Sign Solutions (Contact: Brandon Mangum) (919) 306-3802

Building Contractor's Company Name \_\_\_\_\_ Telephone \_\_\_\_\_

5800 McHines Place, Suite 110-Raleigh, NC 27616 \_\_\_\_\_ brandon@capitalsignsolutions.com

Address \_\_\_\_\_ Email Address \_\_\_\_\_

Brandon Mangum \_\_\_\_\_ Not Applicable-Sign Contractor

Signature of Owner/Contractor/Officer(s) of Corporation \_\_\_\_\_ License # \_\_\_\_\_

**Electrical Contractor Information:** Electrical Cost \$ Not Applicable

Description of Work Not Applicable Service Size: N/A Amps #T-Poles N/A

Not Applicable \_\_\_\_\_ Not Applicable

Electrical Contractor's Company Name \_\_\_\_\_ Telephone \_\_\_\_\_

Not Applicable \_\_\_\_\_ Not Applicable

Address \_\_\_\_\_ Email Address \_\_\_\_\_

\_\_\_\_\_ Not Applicable

Signature of Owner/Contractor/Officer(s) of Corporation \_\_\_\_\_ License # \_\_\_\_\_

**Mechanical Contractor Information:** Mechanical Cost \$ \_\_\_\_\_

Description of Work \_\_\_\_\_ # Units \_\_\_\_\_

\_\_\_\_\_

Mechanical Contractor's Company Name \_\_\_\_\_ Telephone \_\_\_\_\_

\_\_\_\_\_

Address \_\_\_\_\_ Email Address \_\_\_\_\_

\_\_\_\_\_

Signature of Owner/Contractor/Officer(s) of Corporation \_\_\_\_\_ License # \_\_\_\_\_

**Plumbing Contractor Information:** Plumbing Cost \$ \_\_\_\_\_

Description of Work \_\_\_\_\_ # Baths \_\_\_\_\_

\_\_\_\_\_

Plumbing Contractor's Company Name \_\_\_\_\_ Telephone \_\_\_\_\_

\_\_\_\_\_

Address \_\_\_\_\_ Email Address \_\_\_\_\_

\_\_\_\_\_

Signature of Owner/Contractor/Officer(s) of Corporation \_\_\_\_\_ License # \_\_\_\_\_

**Insulation Contractor Information**

Insulation Contractor's Company Name & Address \_\_\_\_\_ Telephone \_\_\_\_\_

**\*NOTE: General Contractor must fill out and sign the second page of this application**



### Sprinkler Contractor Information

\_\_\_\_\_  
Sprinkler Contractor's Company Name

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Address

\_\_\_\_\_  
Email Address

\_\_\_\_\_  
Signature of Officer(s) of Corporation

\_\_\_\_\_  
License #

### Fire Alarm Contractor Information

\_\_\_\_\_  
Fire Alarm Contractor's Company Name

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Address

\_\_\_\_\_  
Email Address

\_\_\_\_\_  
Signature of Officer(s) of Corporation

\_\_\_\_\_  
License #

**Driveway Access** - NC Department of Transportation Driveway Access/Permit?  Yes  No

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

**Expired Permit Fees - 6 months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is charged at full price per current fee schedule.**

DocuSigned by:  
Brandon Mangum Agent

12/5/2020

00295906F12D4AD...  
Signature of Owner/Contractor/Officer(s) of Corporation

\_\_\_\_\_  
Date

### **Affidavit for Worker's Compensation N.C.G.S. 87-14**

The undersigned applicant being the:

General Contractor  Owner  Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

DocuSigned by:  
Sign w/Title: Brandon Mangum Agent

Date: 12/5/2020

00295906F12D4AD...

\*CSS will endeavor closely to match colors - including PMS - where specified. However, we cannot guarantee exact matches due to varying compatibility of ink, paint, or material used.



5800 McHines Place, Suite 110  
Raleigh, NC 27616

919.789.1452

www.capitalsignsolutions.com

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Client:



Filename:

**Orchard Crest Monument Sign v2**

Date:

**06-25-20**

Designer:

**HH**

Drawing No:

**H-QT14415-1**

Scale:

**As Noted**

Revision 1:

**09/21/20**

Revision 2:

Revision 3:

Revision 4:

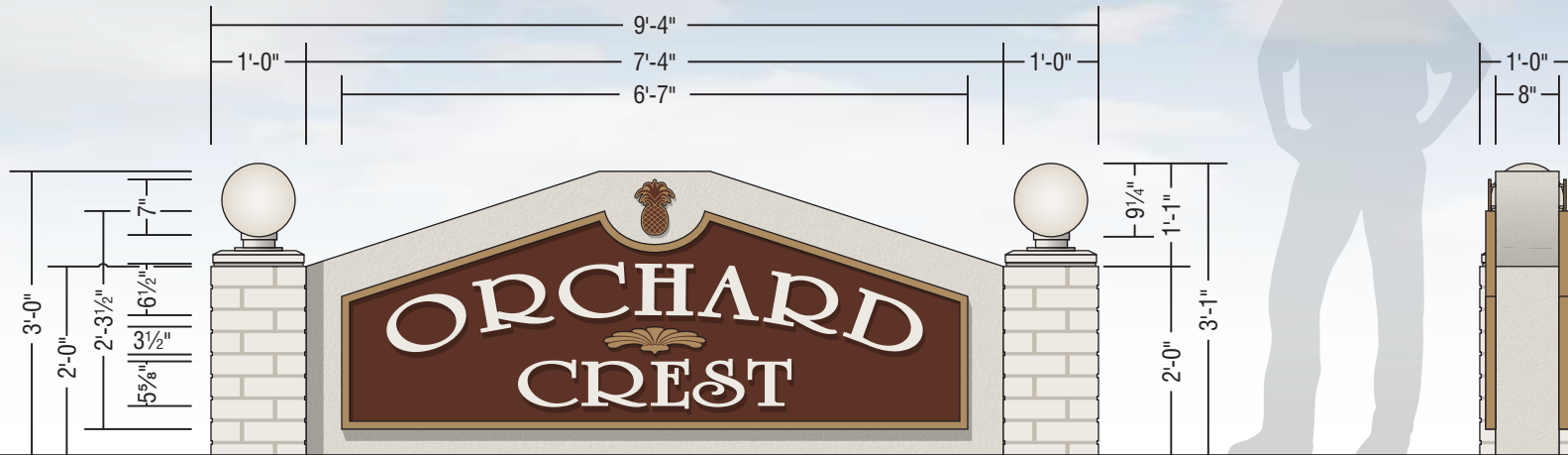
Revision 5:

Revision 6:

By signing below, I confirm I have reviewed this proof carefully (INCLUDING ALL NOTES), found it to be correct, & approve this project.

Customer Signature

Date










Scale: 1/2" = 1'-0"

End View  
(Column Removed)

(1) D/F Non-lighted Monument Sign constructed of Aluminum with Brick Veneer. Main Body Background constructed Aluminum with Texcote finish. Columns of Aluminum with Brick Veneer. Decorative Spheres and Accents on Column of Aluminum. Sign Panels constructed of Aluminum (3/4" deep) with 1" face x 1/2" deep Raised Border. "Orchard Crest" Text and Symbol of .250 Plate Aluminum installed with 1/2" spacers. Pineapple Logo of .250 Plate Aluminum installed to Main Body Background with 1/2" spacers.

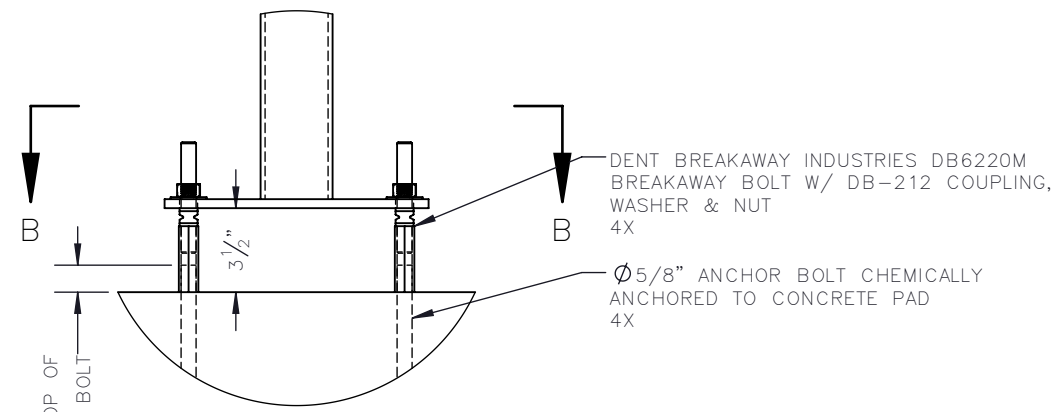
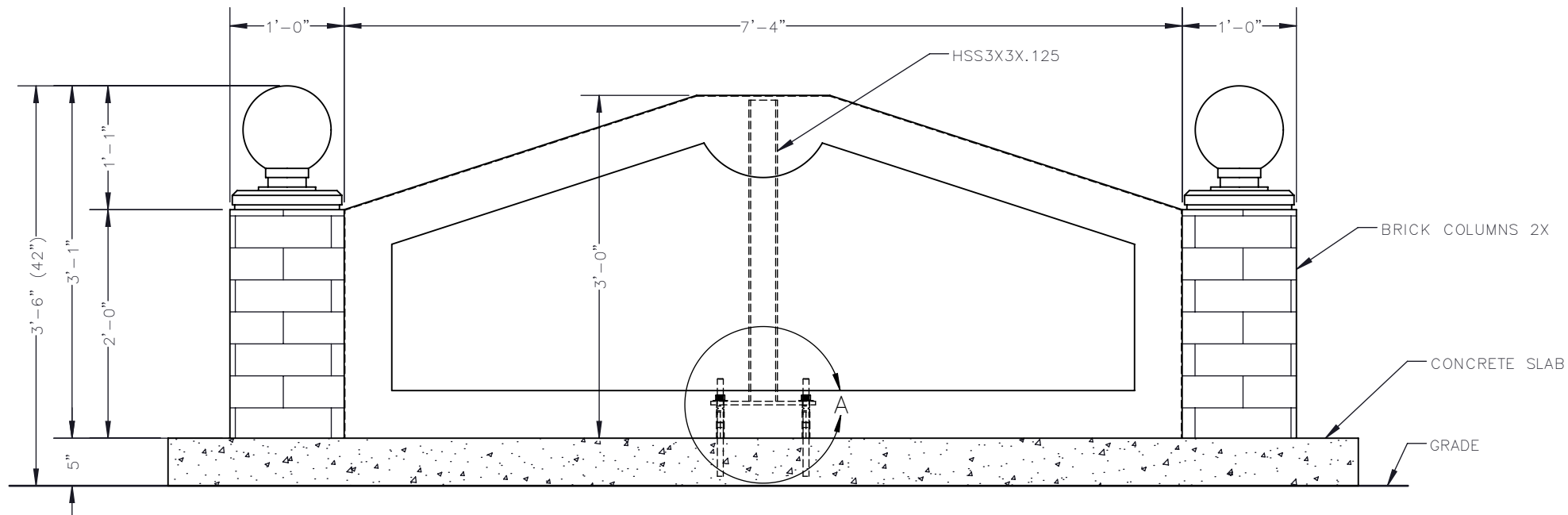
D/F Monument Sign installed onto Existing Leveling Pad with median via non-corrosive fasteners.

-  **Columns with Brick Veneer:** painted to match SW 6105 Divine White (satin finish)
-  **Column Decorative Accents & Spheres:** painted to match SW 6105 Divine White (satin finish)
-  **Main Body Background:** painted to match SW 6105 Divine White (Texcote finish)
-  **Sign Panels Raised Border:** painted MP26048 Golden Shadow Metallic (gloss finish)
-  **Sign Panels Background:** painted to match MP15967 Colonial Red (satin finish)
-  **"Orchard Crest" Letters:** painted to match SW 6105 Divine White (satin finish)
-  **Pineapple & Palm Leaf Logos:** painted to match MP15967 Colonial Red (satin) & MP26048 Golden Shadow Metallic (gloss)

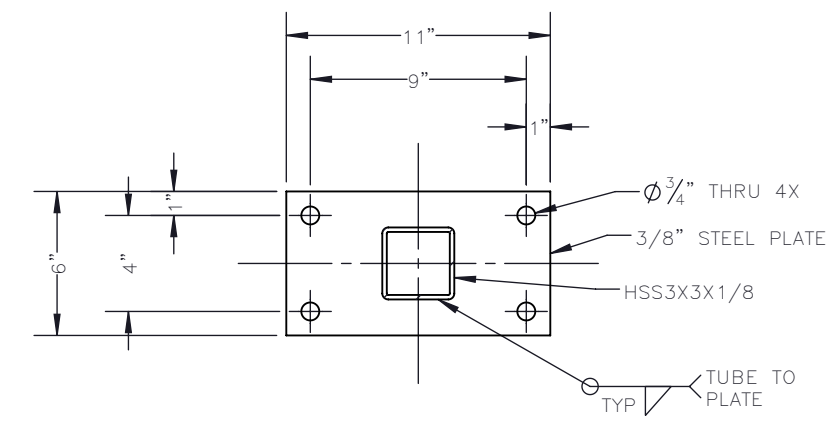




REV.	DESCRIPTION	DATE	BY
A	INITIAL RELEASE	9/11/20	GM
B	UPDATED TO MATCH ENGINEERING	9/21/2020	GM




DETAIL A  
SCALE 1 : 8



SECTION B-B  
PLATE DETAIL  
SCALE 1 : 8

MATCHES NEVILLE ENGINEERING SEALED DRAWING DATED 9/15/20



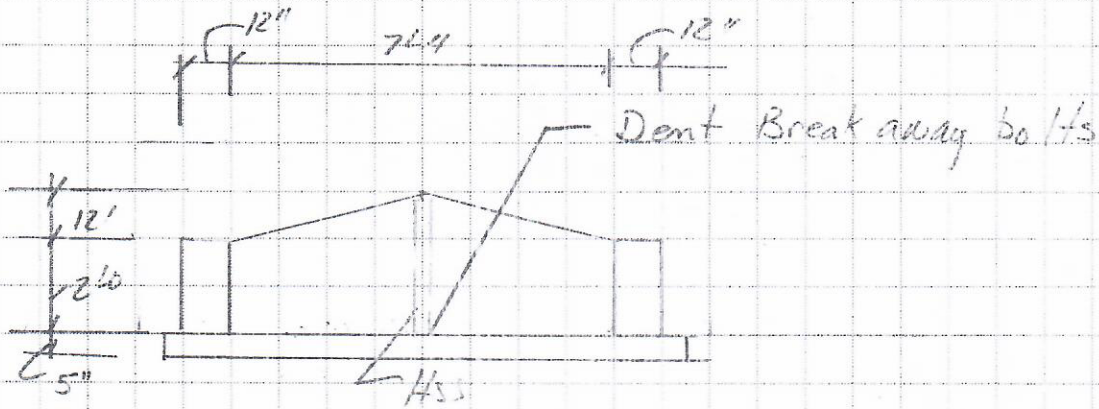
**CAPITAL SIGN SOLUTIONS**

5800 MCHINES PLACE, SUITE 110, RALEIGH, NC 27616  
919-789-1452

CLIENT ORCHARD CREST	
PROJECT 44 ORCHARD CIRCLE, SANFORD, NC	
TITLE ENGINEERING DETAIL	
DRAWN BY <b>GM</b>	DATE 09/11/2020
JOB NUMBER ORCHARD CREST-MON	REV B
SCALE 1:16	SHEET 1 OF 1

**NEVILLE ENGINEERING**  
 Consulting Engineer  
 213 RIVER BIRCH LN  
 CHAPEL HILL, NORTH CAROLINA 27514  
 (919) 942-5229 Cell: (919) 740-3427  
 neveng@aol.com

JOB Orchard Crest  
 SHEET NO. 1 OF \_\_\_\_\_  
 CALCULATED BY AV DATE 15 Sept 20  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE \_\_\_\_\_



Sanford, NC

Design Wind speed -

U<sub>ult</sub> - 115 mph

U<sub>act</sub> - 90 mph

$$q_s = 0.00256 (K_d) K_{zt} K_{e} + V^2 \quad K_d = 0.8 \quad K_{zt} = 1.0 \quad K_e = 1.0$$

$$q_s = 0.00256 (1.0) (1.0) (1.0) = 0.00256 \text{ ksf}$$

$$F = q_s G C_e A G F C F \quad s_h = 1 \quad C_d = 1.4$$

$$F = (0.00256) (1.0) (1.4) = 0.00358 \text{ ksf}$$

$$F = (0.00358) (7.33) (12) = 0.312 \text{ k/ft}$$

$$F_2 = 0.00358 (7.33) (12) = 0.312 \text{ k/ft}$$

$$M = 0.312 \times 1 + 0.044 \times 2.33 = 0.277 \text{ k-ft}$$

$$HSS 3 \times 3 \times .125 \quad S = 1.19 \text{ in}^3$$

From Dent Bolt

$$X \cdot Y \cdot Z = 3 \times 7.33 \times 1.17 = 32.98$$

For 1 post 90 mph

For 4 bolt base

$$\text{Allowable } X \cdot Y \cdot Z = 97.88 \times 4 = 391.52 > 32.98$$

For .38" bolt

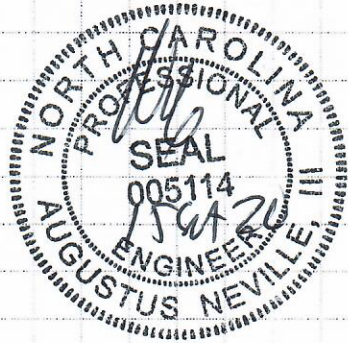
$$\text{Momentum} = 0.277 \text{ k-ft}$$

S/lab 5" x 2' x 7.33

$$W = 1.5 \times 5/2 \times 2 \times 7.33 = .91$$

$$M \cdot W \cdot V = .91 \times 1 = .91 > 0.277 \text{ OK}$$

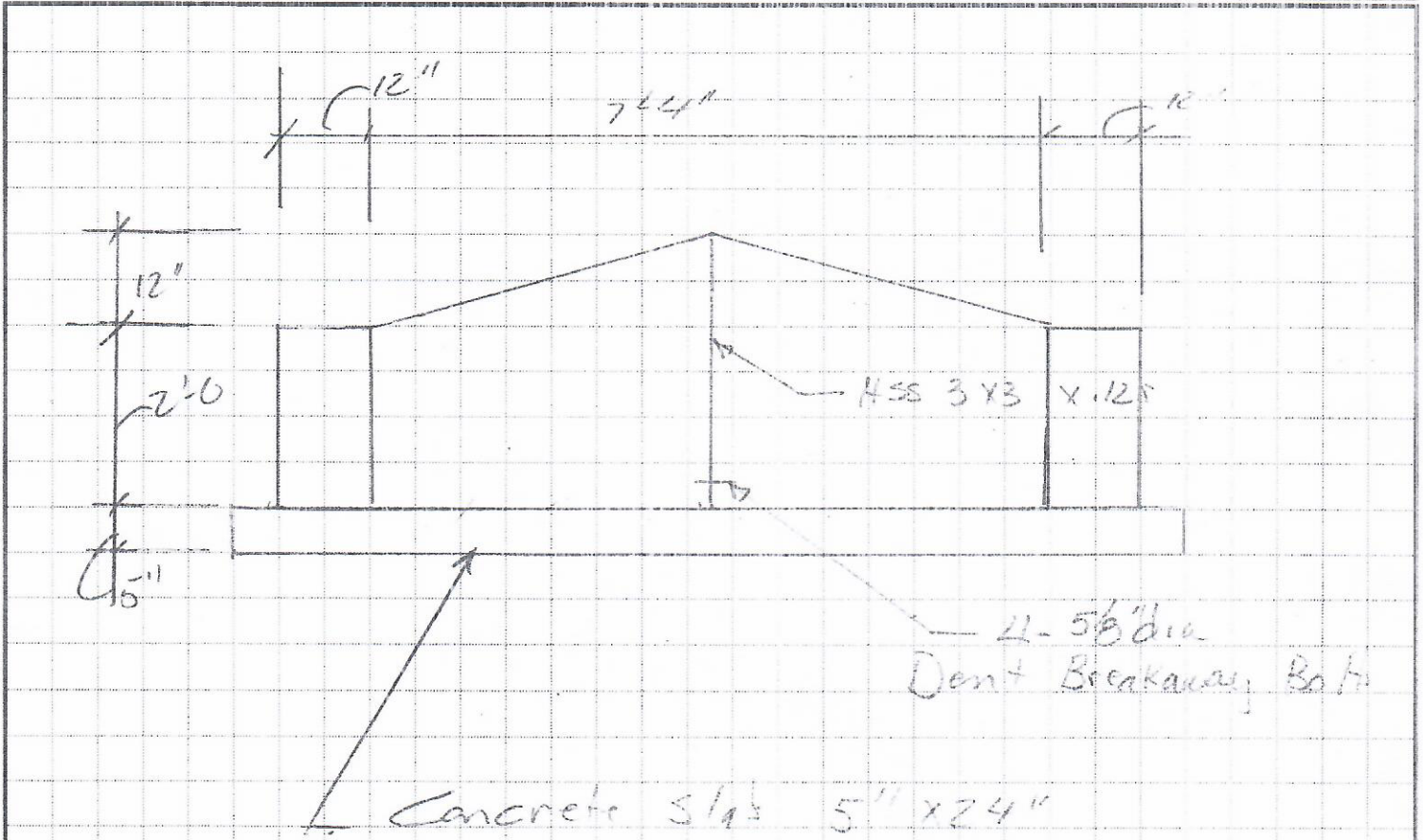
use HSS 3x3x.125 set w/ 4 5/8" Dent Breakaway Bolts set in 5" x 2'4" x 7'-4" S/lab





**NEVILLE ENGINEERING**  
Consulting Engineer  
213 RIVER BIRCH LN  
CHAPEL HILL, NORTH CAROLINA 27514  
(919) 942-5229 Cell: (919) 740-3427  
neveng@aol.com

JOB Crickard Crest Sign  
SHEET NO. 2 OF 2  
CALCULATED BY AI DATE 15 Sept 20  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



Sanford, NC  
Design Wind Speed  
Uult = 115 mph  
Uwd = 90 mph

Concrete - 3000 psi @ 28 days  
Structural Steel - ASTM A500B

