GENERAL NOTES:

- SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS. JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS

THERMAL & MOISTURE PROTECTION:

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED, CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- PROVIDE ICE-SHIFLD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS

DOORS & WINDOW:

- WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS. FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE.
- EMERGENCY SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

EXTERIOR WALLS ZONE 4:

R-15 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION: R-38 BATTS MINIMUM, VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES): R-38 BATTS MINIMUM, VERIFY

FLOOR OVER GARAGE

R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:

R-19 BATTS MINIMUM VERIEY

BUILDING CODE ANALYSIS

APPLICABLE CODES USER GROUP: CONSTRUCTION CLASS: **EMERGENCY ESCAPE:**

SINGLE FAMILY UNPROTECTED

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOM SHALL HAVE A MINIMUM OF 5.7 SQ. FT

 $1\!\!/_{\!\!2}$ " GYPSUM BD. WALL & $5\!\!/_{\!\!8}$ "TYPE "X" GYPSUM BD. CEILING W/ 20 MINUTE GARAGE/HOUSE DOOR

DESIGN LOAD:

SLEEPING = 30 PSF

NON-SLEEPING = 40 PSF DECKS = 40 PSF DEAD LOAD = 10 PSF BASIC WIND SPEED = 115 MPH

EXPOSURE B (CHARLOTTE) STAIR LOAD = 40 PSF ROOF LIVE LOAD = 20 PSF

LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF DAVIDSON HOMES. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF DAVIDSON HOMES IS STRICTLY PROHIBITED
- MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF MAIN STREET DESIGNS OF GEORGIA, LLC IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS. DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY MAIN STREET DESIGNS OF GEORGIA. LLC PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF
- 6) FLAME SPREAD AND SMOKE DENSITY NOTES:

WALLS AND CEILING

WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200, WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR

EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.

R314.1.2 THERMAL BARRIER. FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM1/2-INCH (12.7 MM) GYPSLIM BOARD OR AN APPROVED FINISH MATERIAL FOLLIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F(121°C) AFTER 15MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTIOR702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE

CRAWL VENTING

2524 SQ FT OF FOUNDATION TO BE VENTED

150 SQ FT / 1 SQ FT = 16.83 SQ FT VENTILATION

VENTS 128 SQ IN = (0.8889 SQ FT)

60.6 VENTS REQUIRED

ACTUAL CRAWL VENTS PROVIDED 61

NOTE: WHERE AN APPROVED VAPER BARRIER IS INSTALLED OVER GROUND SURFACE THE REQUIRED VENTILATION MAY BE REDUCED BY 50%

Tobacco Road Lot 149

MAGNOLIA

ELEVATION B







DOOR STYLE PER **PURCHASE ORDER** SIZE 3/0 x 8/0

INCLUDED OPTIONS:

1st FLOOR **SCREENED PORCH (in footprint) GOURMET KITCHEN** FIXED WINDOWS @ FAMILY ROOM 2 FLOOR RECEPTACLES @ FAMILY ROOM FLOOR RECEPTACLE @ STUDY **BOX OAK STAIRS OPEN RAIL** TRAY CEILING @ DINING TRAY CEILING @ OWNERS **OWNERS DELUXE BATH** 2ND SINK @ BATH 2 TILE SHOWER ILO FG TUB @ BATH 2 **BENCH @ MUD ROOM** 3RD CAR GARAGE 4' GARAGE EXTENSION

2nd FLOOR **BONUS ROOM**

		TOTAL UNDER						
ELEVATIONS 1st FLOOR TOTAL FIN. FRONT PORCH REAR PORCH GARAGE ROOF								
ELEV. B	2,524 s.f.	2,524 s.f.	159 s.f.	300 s.f.	396 s.f.	3,379 s.f.		
	OPTIONS SQUARE FOOTAGE CALCULATIONS							
OPTIONS:								
3RD CAR GARAGE +264 s.f. BONUS ROOM +442 s								
4' FRONT LOAD GARAGE EXT. +76 s.f.								





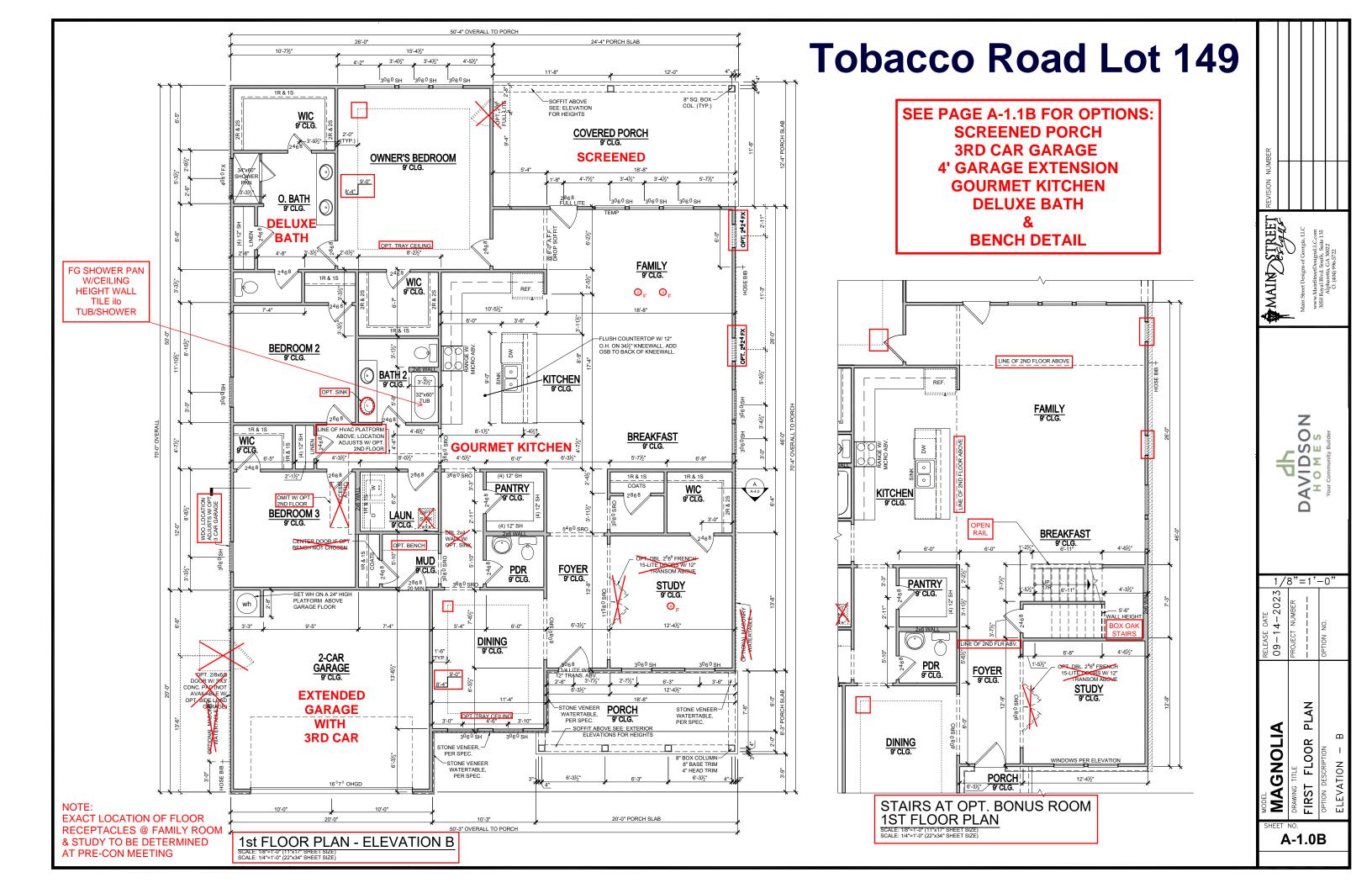


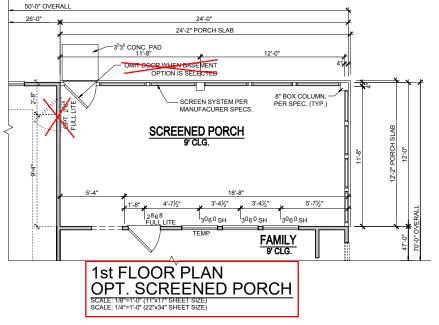
 $1/8^{"=1'-0'}$

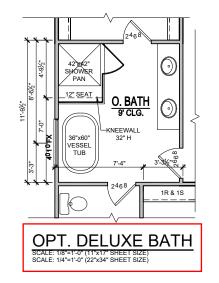
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MAGNOL COVER

CS-1.0

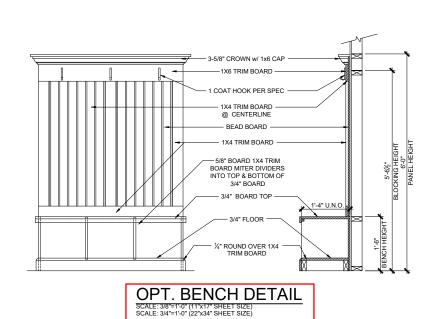


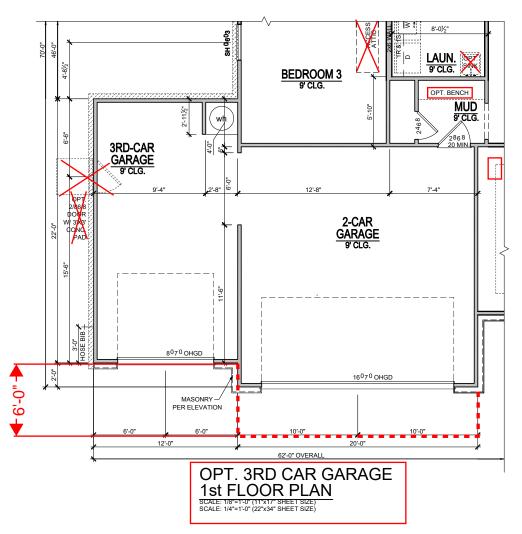


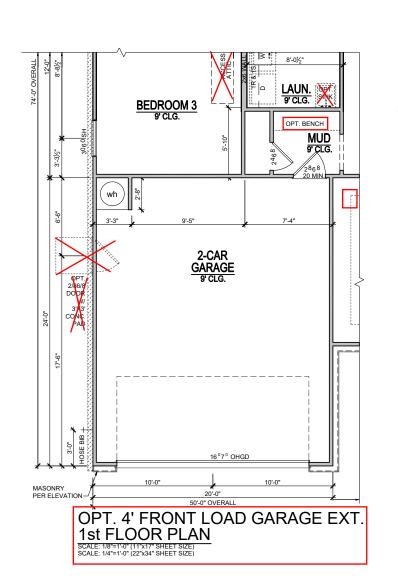




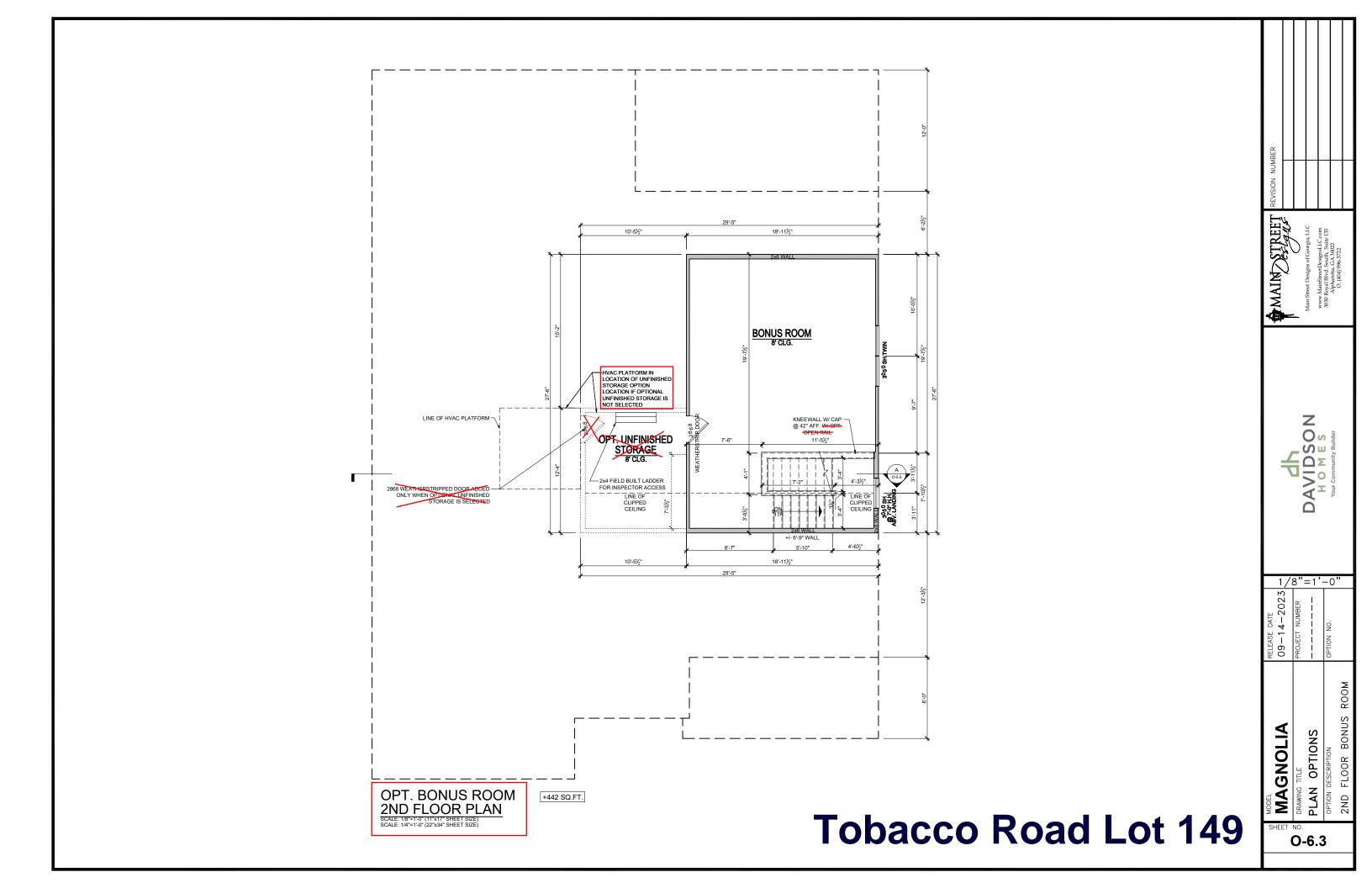
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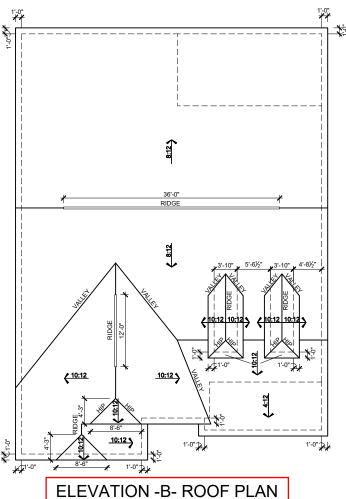












SCALE: 1/16"=1'-0" (11"X17" SHEET SIZE SCALE: 1/8"=1'-0" (22"X34" SHEET SIZE)

ATTIC VENT CALCULATIONS

GENERAL CONTRACTOR SHALL VERIEV THE NET FREE GENERAL CONTRACTOR SHALL VERIFY THE NET FREE
VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER.
VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS
TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED.
THE REQUIRED VENTILATION SHALL BE MAINTAINED.
PROVIDE INSULATION STOP SUCH THAT INSULATION
DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED
BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE

OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER)
TO ALLOW PASSAGE AND ATTIC VENTILATION
BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS

- PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

DASHED LINES INDICATE WALL BELOW.

LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.

PITCHED ROOFS AS NOTED.

TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATION:

ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE

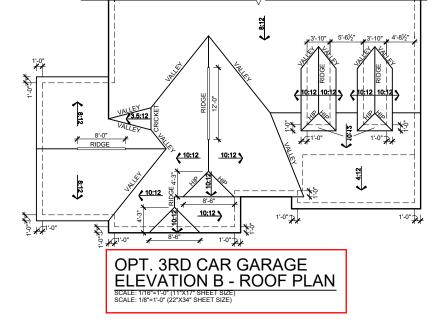
MAIN ROOF

3359 SQ FT UNDER ROOF ATTIC 300 SQ FT / 1 SQ FT = 11.20 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = (.125 SQ FT) SOFFIT VENTS 9 SQ IN = (.0625 SQ FT) BOX VENTS 50 SQ IN = (.347 SQ FT)

 $\begin{array}{c|cccc} \hline 5.598 & SQ \ FT \\ \hline 0.0625 & SQ \ FT \end{array} = 89.6 \ \ \text{FEET OF SOFFIT VENT}$

ACTUAL RIDGE VENT PROVIDED ACTUAL SOFFIT VENT PROVIDED NUMBER OF BOX VENTS NEEDED (REQ - ACTUAL x .347)



ATTIC VENT CALCULATIONS

MAIN ROOF

3623 SQ FT UNDER ROOF ATTIC 300 SQ FT / 1 SQ FT = 12.08 SQ FT VENTILATION

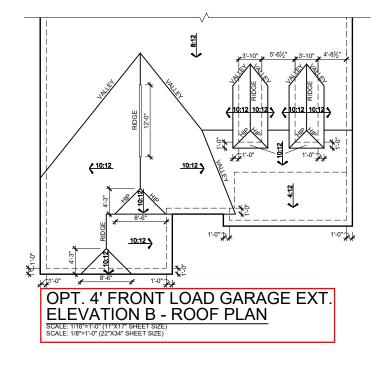
RIDGE VENTS 18 SQ IN = (.125 SQ FT) SOFFIT VENTS 9 SQ IN = (.0625 SQ FT) BOX VENTS 50 SQ IN = (.347 SQ FT)

12.08 SQ FT x 50% 6.038 SQ FT OF RIDGE 12.08 SQ FT x 50% 6.038 SQ FT OF SOFFIT

6.038 SQ FT = 48.3 FEET OF RIDGE VENT

ACTUAL RIDGE VENT PROVIDED NUMBER OF BOX VENTS NEEDED (REQ - ACTUAL x .347)

FACADE PERCEN	ITAGE	S				
MATERIALS	S.F.	%				
SIDING	222	44				
SHAKE	85	17				
BOARD & BATT	0	0				
HARDI BOARD	0	0				
STONE VENEER	194	39				
BRICK VENEER	0	0				
TOTAL= 501 100						
MASONRY % = 39						



ATTIC VENT CALCULATIONS

MAIN ROOF

3439 SQ FT UNDER ROOF ATTIC
300 SQ FT / 1 SQ FT = 11.46 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = (.125 SQ FT) SOFFIT VENTS 9 SQ IN = (.0625 SQ FT) BOX VENTS 50 SQ IN = (.347 SQ FT)

RIDGE VENT
5.732 SQFT
0.125 SQFT
SOFFIT VENT
5.732 SQFT
0.0625 SQFT
91.7 FEET OF SOFFIT VENT

ACTUAL RIDGE VENT PROVIDED ACTUAL SOFFIT VENT PROVIDED NUMBER OF BOX VENTS NEEDED (REQ - ACTUAL x .347)

FACADE PERCEN	TAGE	S
MATERIALS	S.F.	%
SIDING	186	45
SHAKE	85	21
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	142	34
BRICK VENEER	0	0
TOTAL=	413	100
MASONF	Y % =	34



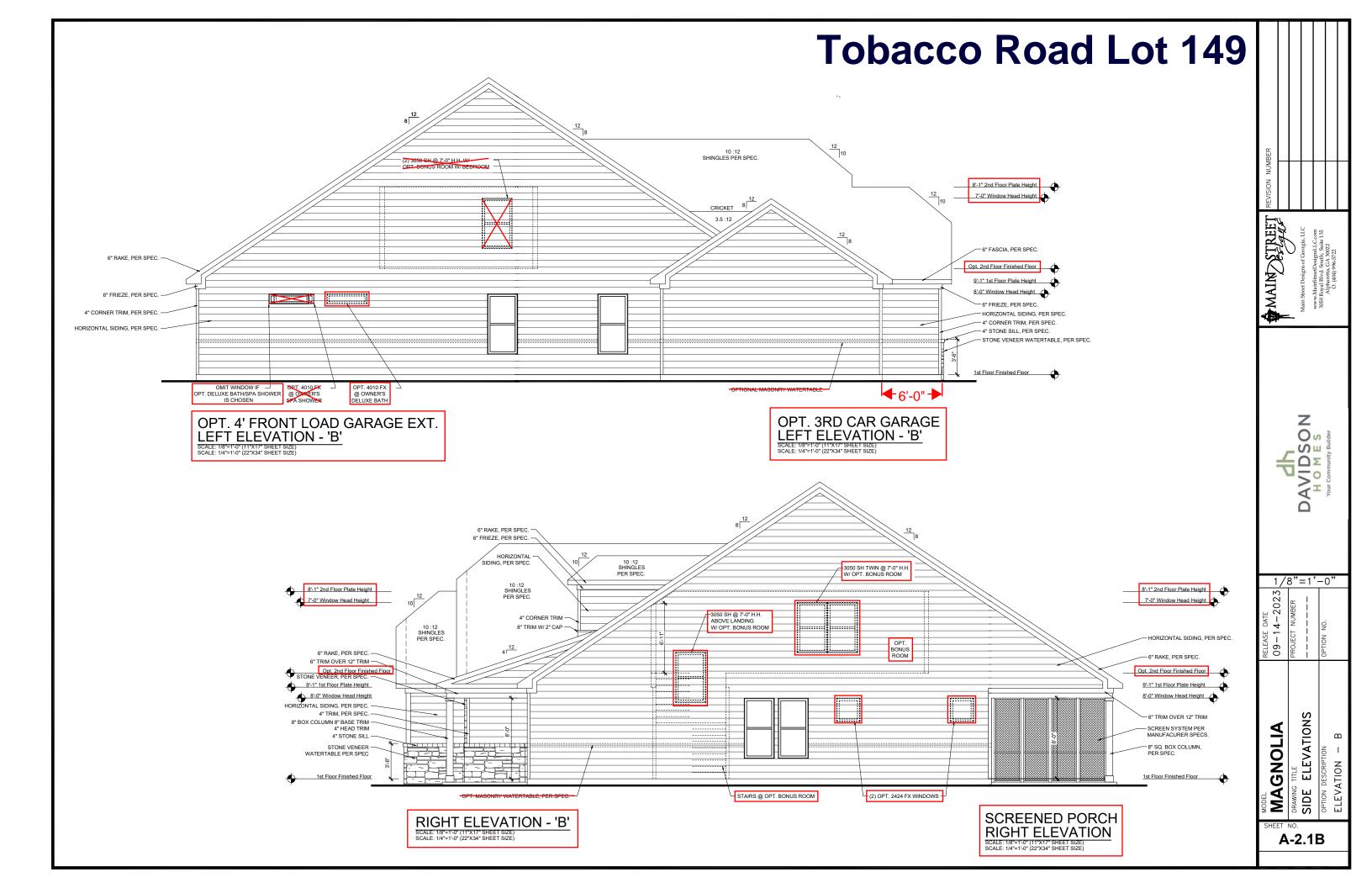


1/8	8"=	1'-	-0"
09-14-2023	PROJECT NUMBER		OPTION NO.
	ם אַע	<u> </u>	

ROO MAGNOLIA ELEV/

A-2.0B

Tobacco Road Lot 149 8 :12 SHINGLES PER SPEC. (2) 2640 FX BLACKOUT -WINDOWS, PER SPEC. 8'-1" 2nd Floor Plate Height 7'-0" Window Head Height -8" TRIM W/ 2" CAP, PER SPEC. MAIN STREET 8 :12 SHINGLES PER SPEC. 6" FASCIA, PER SPEC. — 6" FRIEZE, PER SPEC. — 4 :12 Opt. 2nd Floor Finished Floo 6" HEAD TRIM, PER SPEC. COACH LIGHT, PER SPEC. 9'-1" 1st Floor Plate Height 8'-0" Window Head Height 6" CORNER TRIM, PER SPEC. HORIZONTAL SIDING, PER SPEC. 4" TRIM, PER SPEC. CAP, PER SPEC STONE VENEER WATERTABLE. 1st Floor Finished Floor GLASS AND HARDWARE PER COMM. SPECS. **DOOR STYLE PER PURCHASE ORDER** Z OPT. 3RD CAR GARAGE OPT. 4' FRONT LOAD GARAGE EXT. FRONT ELEVATION - 'B' DAVIDSON HOMES SIZE 3/0 x 8/0 FRONT ELEVATION - 'B' SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE) SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE) SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE) SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE) 1/8"=1'-0" 8 :12 SHINGLES PER SPEC. 8 :12 SHINGLES PER SPEC. 6" FASCIA, PER SPEC. -PLAN 6" TRIM OVER 12" TRIM-- 6" RAKE, PER SPEC. - 6" FRIEZE, PER SPEC. 9'-1" 1st Floor Plate Height 9'-1" 1st Floor Plate Height 8'-0" Window Head Height 8'-0" Window Head Height ROOF SCREEN SYSTEM PER MAGNOLIA HORIZONTAL SIDING, PER SPEC. ELEV/ 8" BOX COLUMN, PER SPEC. (TYP.) 1st Floor Finished Floor 1st Floor Finished Floor SCREENED PORCH OPT. 3RD CAR GARAGE REAR ELEVATION REAR ELEVATION A-2.0B SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE) SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE) SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE) SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE)



MAIN STREET

DAVIDSON HOMES

1/8"=1'-0"

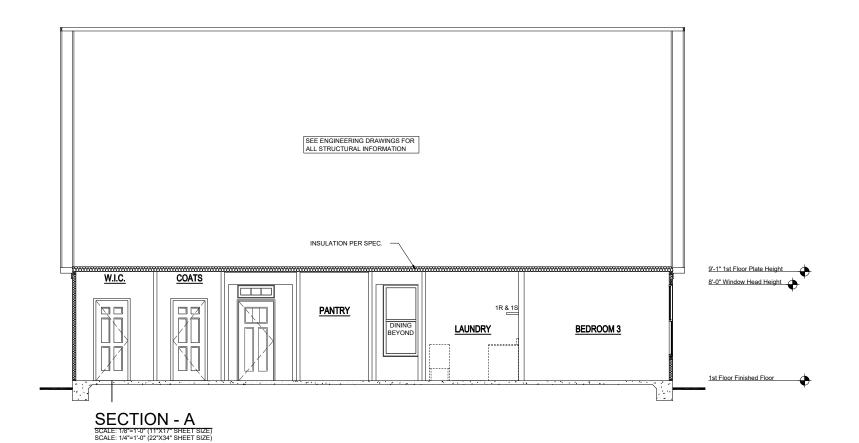
SECTIONS

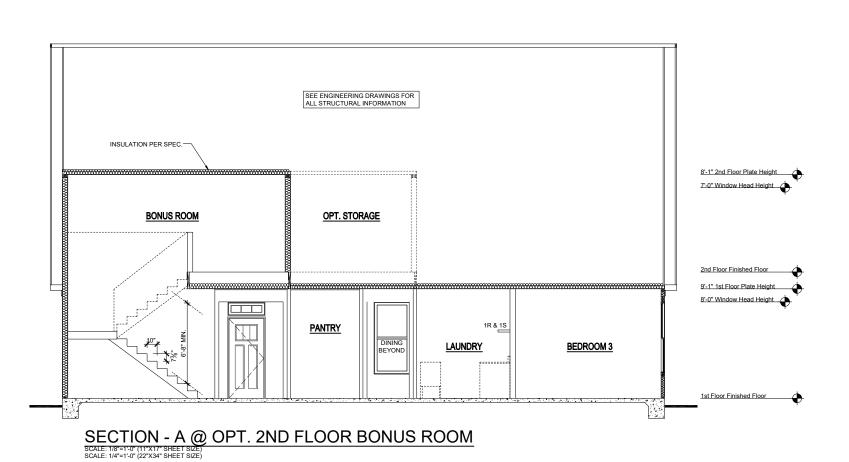
BUILDING

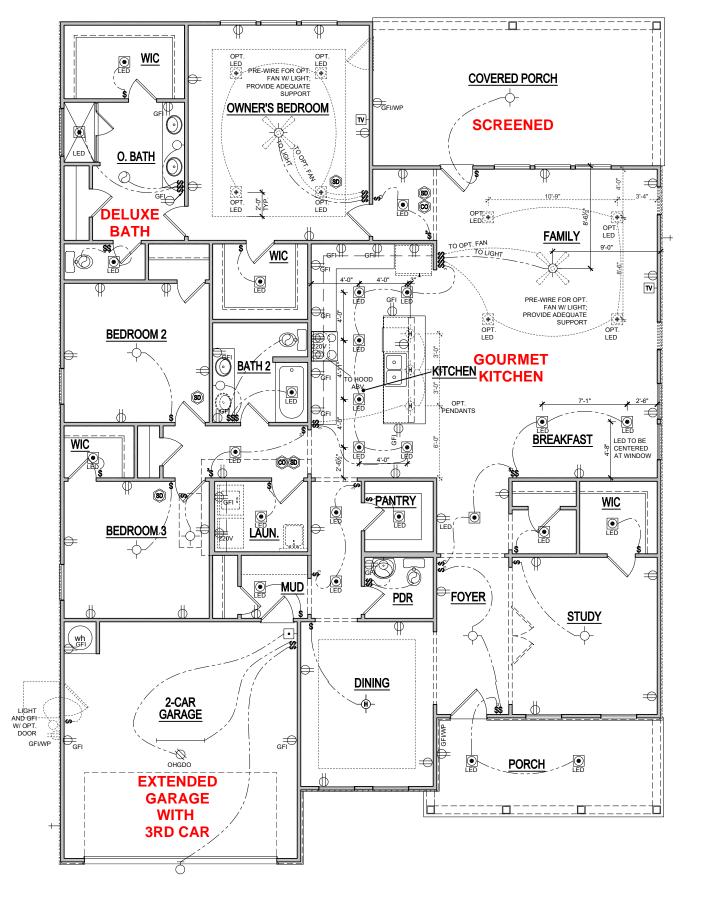
A-3.0B

RELEASE DATE 09-14-2023

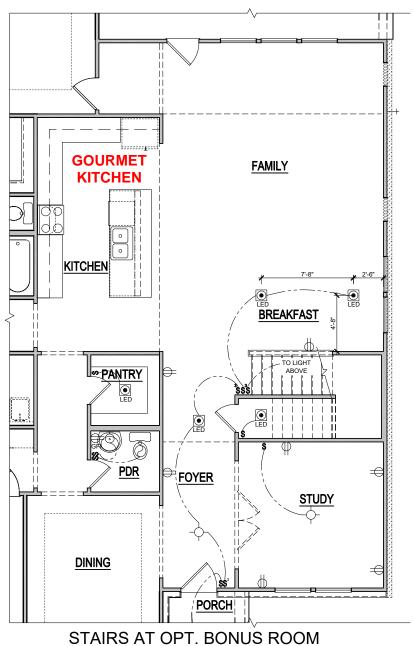
MAGNOLIA







SEE PAGE E-1.1B FOR OPTIONS:
SCREENED PORCH
3RD CAR GARAGE
4' GARAGE EXTENSION
GOURMET KITCHEN
&
DELUXE BATH



ELECTRICAL PLAN
SCALE: 1/8"=1-0" (11"x11" SHEET SIZE)
SCALE: 1/4"=1-0" (22"x34" SHEET SIZE)

ELECTRICAL KEY DUPLEX RECEP. SPLIT SWITCHED RECEP FLOOR RECEP QUADPLEX RECEP GROUND FAULT RECEP 220v RECEP EXAUST FAN / HEAT LIGHT LED CAN VAPOR PROTECTED LIGHT CEILING LIGHT HANGING CEILING LIGHT WALL LIGHT WALL SCONCE LIGHT SINGLE SWITCH 3-WAY SWITCH 4-WAY SWITCH CABLE T.V. JACK SECURITY SYSTEM PHONE JACK SMOKE DETECTOR CARBON MONOXIDE DETECTOR DISCONNECT SWITCH 2 TUBE FLUORESCENT FLOOD LIGHT CEILING FAN W/ LIGHT

00

DAVIDS HOMES

1/8"=1'-0'

09-14-2023

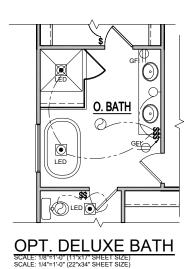
MAGNOLIA

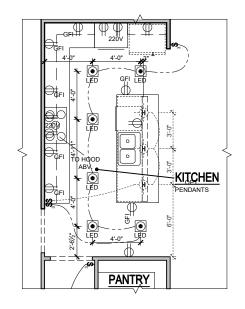
1ST

E-1.0B

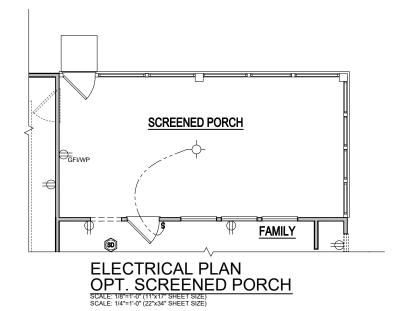
ELEVATION - B
FIRST FLOOR ELECTRICAL PLAN
SCALE: 18'=1'-0' (27'24' SHEFT SIZE)
SCALE: 18'=1'-0' (27'24' SHEFT SIZE)

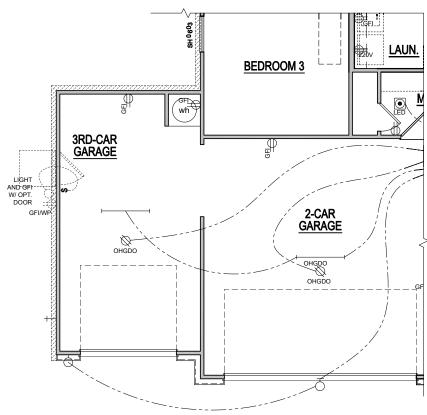
Tobacco Road Lot 149



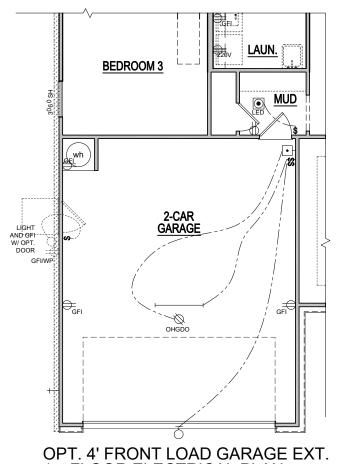


OPT. GOURMET KITCHEN
SCALE: 1/8 = 1-0 (11)XI PRESE SIZE)
SCALE: 1/8 = 1-0 (12)XI SUEET SIZE)









OPT. 4' FRONT LOAD GARAGE EXT.

1st FLOOR ELECTRICAL PLAN

SCALE: 1/8*=1**U**(11*X1***SHEET SIZE)

SCALE: 1/8*=1**U**(22**X4***SHEET SIZE)

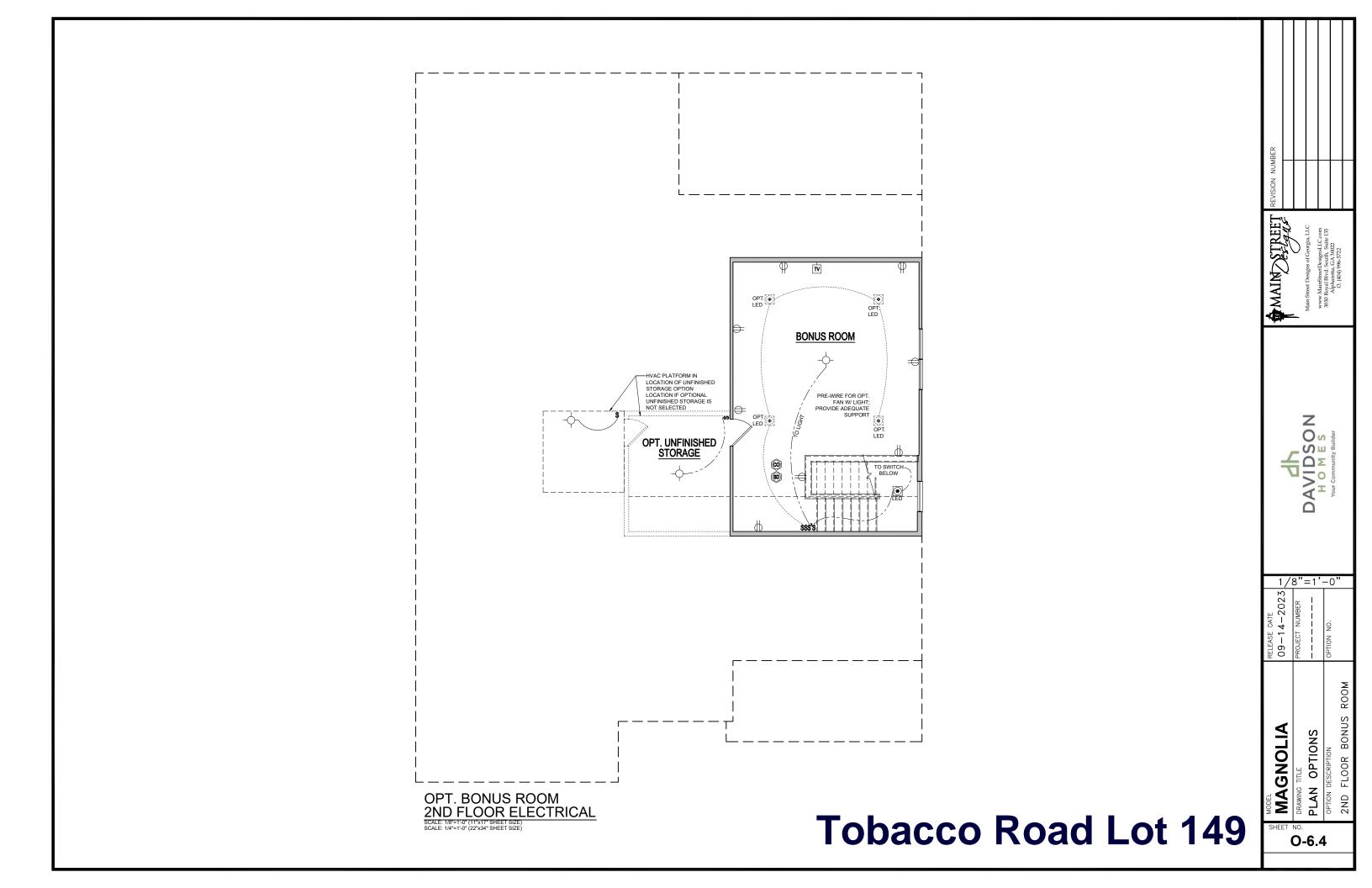
ELE	CTRICAL KEY		
Ø	CEILING RECEP.		
	DUPLEX RECEP.		
+	SPLIT SWITCHED RECEP.		
•	FLOOR RECEP		
#	QUADPLEX RECEP		SER.
\Leftrightarrow	GROUND FAULT RECEP		VISION NUMBER
\Rightarrow	WEATHER PROOF RECEP		NOISI
\Rightarrow	220v RECEP		REV
0	EXAUST FAN		
\$	EXAUST FAN / LIGHT		EE J
Y	EXAUST FAN / HEAT LIGHT		San
LED	LED CAN		
(P)	VAPOR PROTECTED LIGHT		IAI.
	CEILING LIGHT		N D
- H -	HANGING CEILING LIGHT		7
Ю	WALL LIGHT		
⊚	WALL SCONCE LIGHT		
	SINGLE SWITCH		
	3-WAY SWITCH		
li	4-WAY SWITCH		
li	DIMMER SWITCH		
ŢV	CABLE T.V. JACK		
	BUTTON		
∇	PHONE JACK		$\overline{\nabla}$
	DIRECT WIRE	ı	J
❖	SECURITY SYSTEM PHONE JACK	ı	
(SD)	SMOKE DETECTOR	ı	
©	CARBON MONOXIDE DETECTOR	ı	
	ELECTRICAL PANEL	ı	
ď	DISCONNECT SWITCH	ı	
А	ELECTRIC METER	ı	1/8'
<u> </u>	1 TUBE FLUORESCENT		
	2 TUBE FLUORESCENT		E DATE 14-2023 T NUMBER
\$	FLOOD LIGHT		RELEASE DATE 09-14-202 PROJECT NUMBER
000	CHIMES		RELEAS 09-
	CEILING FAN		
	CEILING FAN W/LIGHT		<u>4</u>

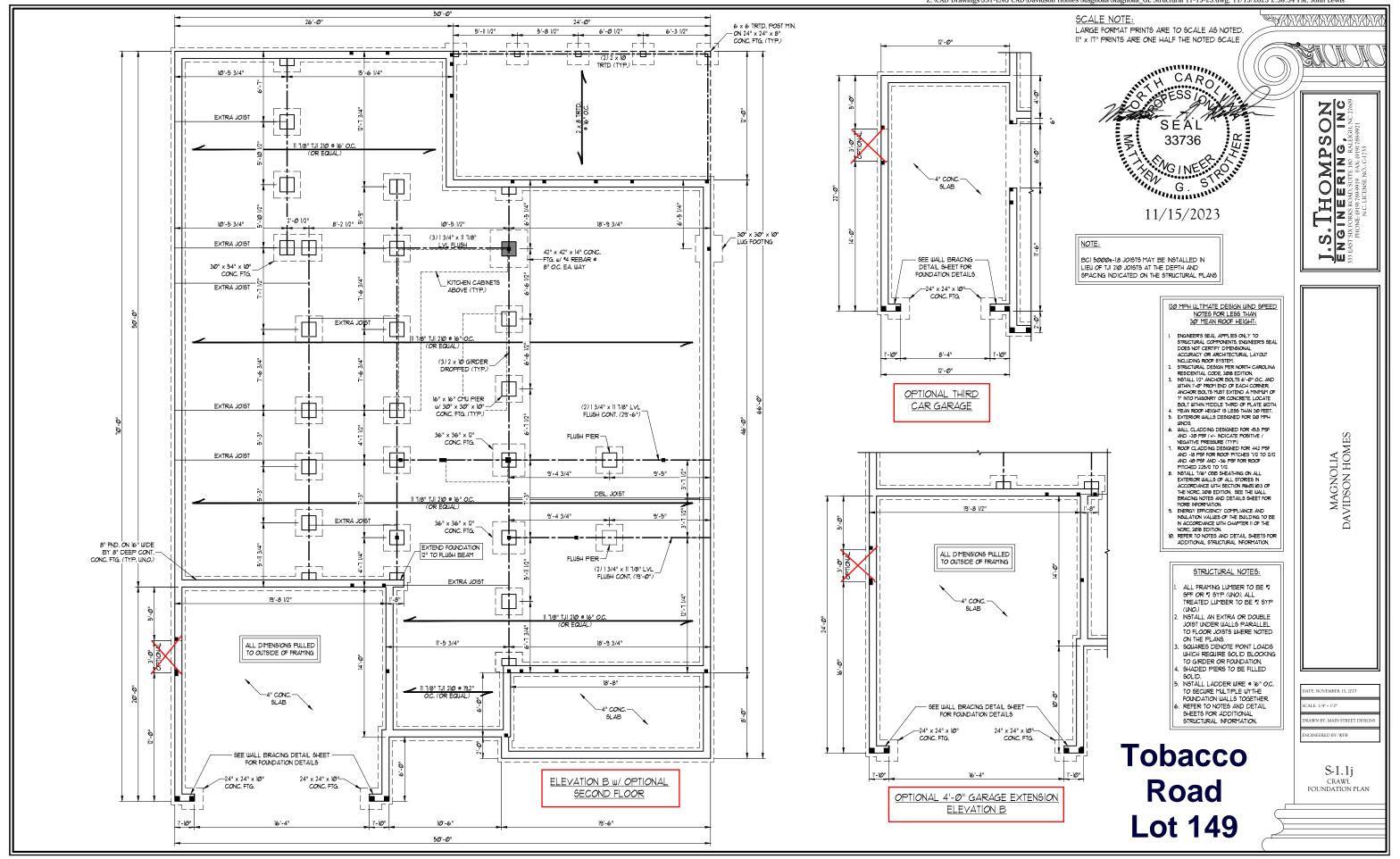
VIDSON OMES

1/8"=1'-0"

MAGNOLIA

E-1.1B





HOMPS IEERING

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S

ATE: NOVEMBER 15, 2023

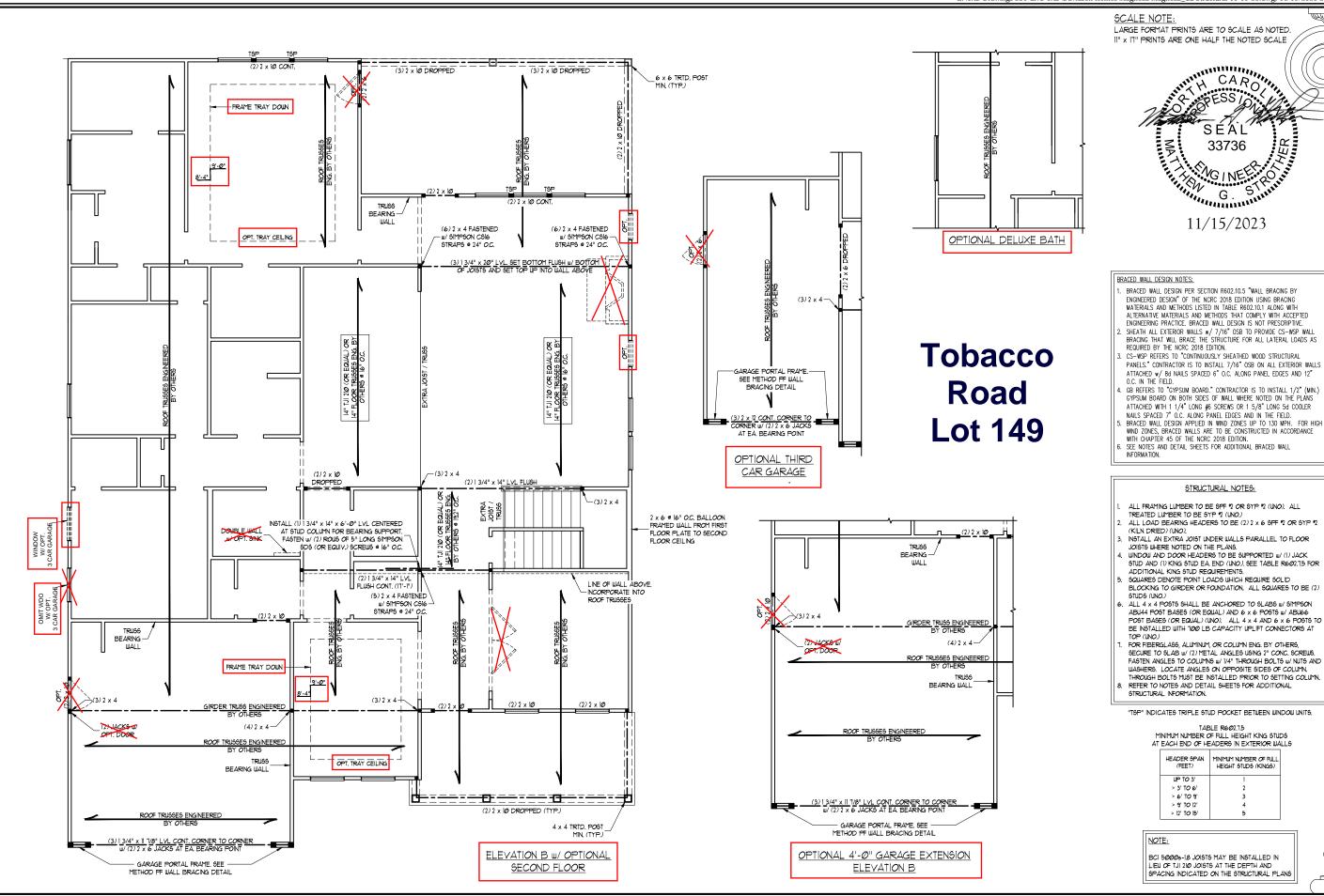
RAWN BY: MAIN STREET

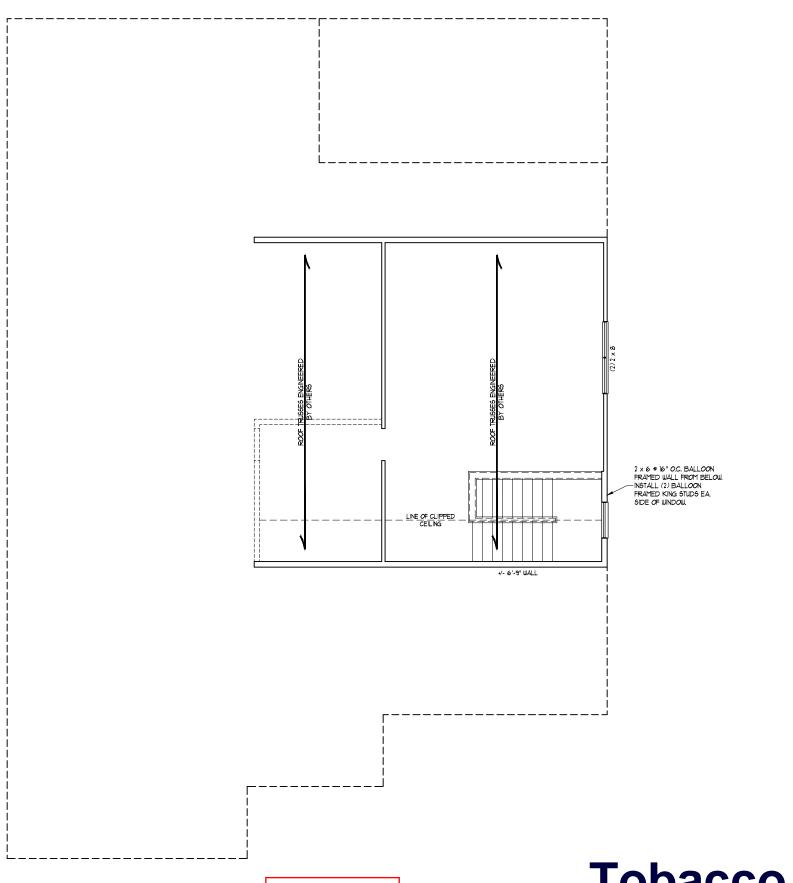
GINEERED BY: WFB

S-3e

SECOND FLOOR

FRAMING PLAN





OPTIONAL 2ND FLOOR

SCALE NOTE:

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED. 11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

11/15/2023

- BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY BRACED WALL DESIGN FOR THE NORCE 2018 EDITION USING BRACING
 MATERIALS AND METHODS LISTED IN TABLE R602.101 ALONG WITH
 ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED
 ENOINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
- SHEATH ALL EXTERIOR WALLS $\rm w/7/16^{\circ}$ OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NCRC 2018 EDITION.
 3. CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL
- 3. CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL
 PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS
 ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12"
 O.C. IN THE FIELD.
 4. GB REFERS TO "CYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.)
 GYPSUM BOARD ON BOTH SIDES OF WALL WHERE NOTED ON THE PLANS
 ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG 5d COOLER
 NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD.
 5. BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH
 WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE
 WITH CHAPTER 45 OF THE NORC 2018 EDITION.
 6 SEF NOTES AND DETAIL SHEFTS FOR ADDITIONAL BRACED WALL

- . SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE *2 SPF OR *2 SYP (UNO).

 ALL LOAD BEARING HEADERS TO BE
- (2) 2 x 6 (UNO). 3. WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA, END (UNO.), SEE TABLE
- R602.15 FOR ADDITIONAL KING STUD REQUIREMENTS.

 SQUARES DENOTE POINT LOADS

 WHICH REQUIRE SOLID BLOCKING TO
 GIRDER OR FOUNDATION. SQUARES
- TO BE (2) STUDS (UNO.)

 REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TABLE R602.7.5 MINIMUM NUMBER OF FULL HEIGHT KING \$TUD\$ AT EACH END OF HEADERS IN EXTERIOR WALLS

	HEADER SPAN (FEET)	MINIMUM NUMBER OF FUI HEIGHT STUDS (KINGS)
ı	UP TO 3'	1
ı	> 3' TO 6'	2
ı	> 6' TO 9'	3
ı	> 9' TO 12'	4
	> 12' TO 15'	5
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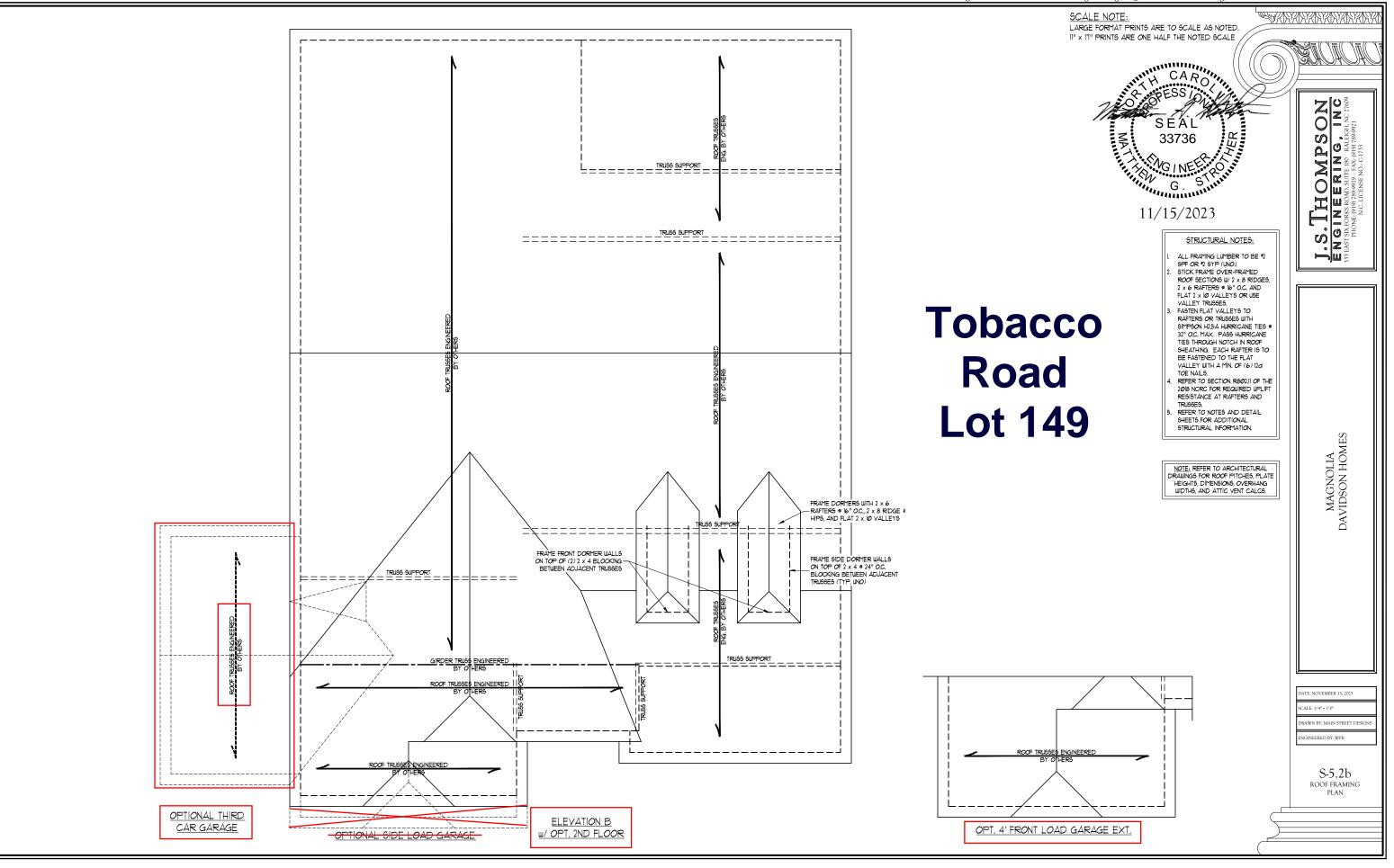
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S-4a CEILING FRAMING PLAN

Tobacco Road Lot 149



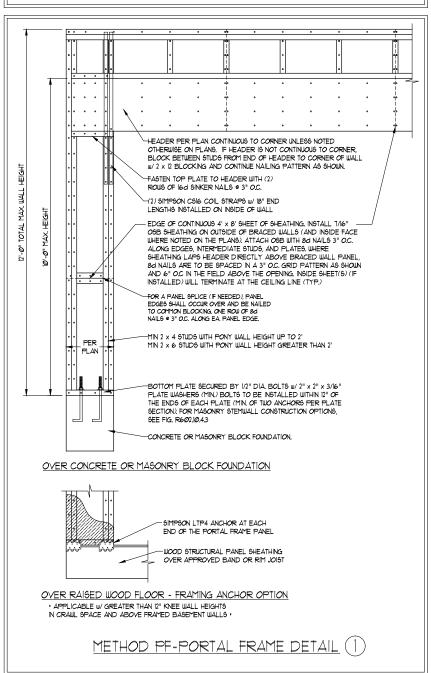
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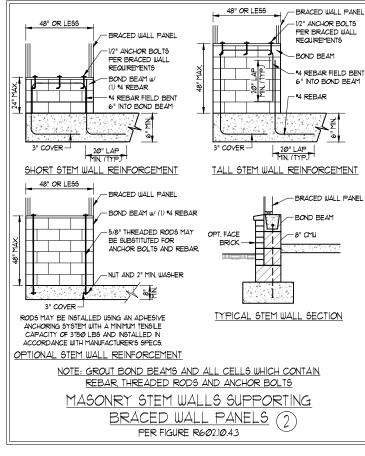
GENERAL WALL BRACING NOTES:

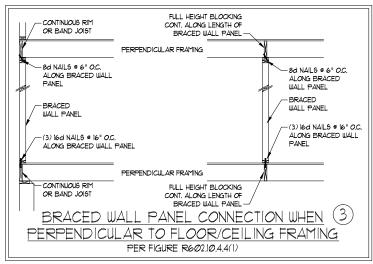
- WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NCRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NCRC. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NCRC FOR ADDITIONAL INFORMATION AS NEEDED.
- BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STORIES BELOW THE TOP FLOOR, HAVE BEEN DESIGNED PER R602.3.5 (3), WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT
- 4. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS DIMENSIONS HOLD DOWN TYPE AND LOCATIONS BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.

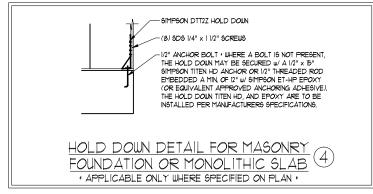
AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERED PRACTICE.

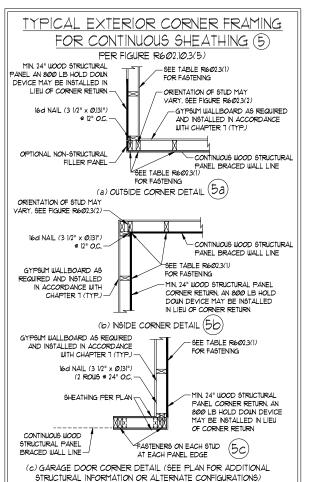
- 6. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED, WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R1023.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1
- CS-USP REFERS TO THE "CONTINUOUS SHEATHING WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 1/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED W/ 6d COMMON NAILS OR 8d (2 1/2" LONG X Ø/13" DIAMETER) NAILS SPACED 6" OC. ALONG PANEL EDGES AND 12" OC. IN THE FIELD (UNO.).
- GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1/4" SCREWS OR 15/8" NAILS SPACED TO OC. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UN.O.). YERRY ALL FASTENER OPTIONS FOR 1/2" AND 5/8' GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE RT02.35. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(I). EXTERIOR GB TO BE INSTALLED VERTICALLY.
- REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R&OZ. 03, METHOD CS-MSP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES IS ITMES ITS ACTUAL LENGTH.

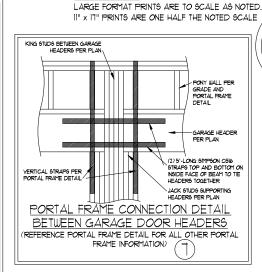


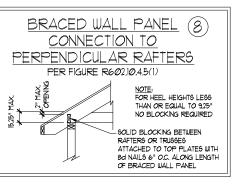


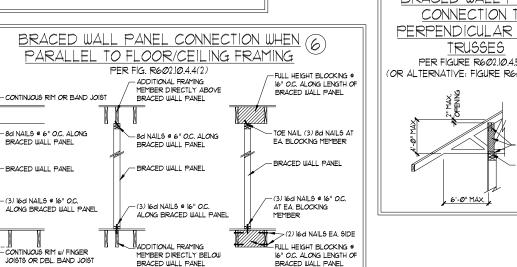


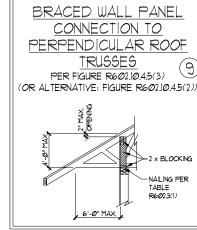














WALL BRACING NOTES AND DETAILS

Tobacco Road Lot 149

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MAGNOLIA DAVIDSON HOMES

ATE: NOVEMBER 15, 2023 RAWN BY: MAIN STREET DES GINEERED BY: WFB

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GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO 1-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- 2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NCRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NCRC, 2018 EDITION (R301.4 R301.1)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	2Ø	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200 LB OR 50 (PLF)	10	L/360
PASSENGER VEHICLE GARAGE	5Ø	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	3Ø	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON TABLE R3Ø1.20	4) WIND ZONE AND EXPOSURE	ı
GROUND SNOW LOAD: Pg	2Ø (PSF)		

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- 4. FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE 15 TO COMPLY WITH SECTION R403.16 OF THE NCRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE 15 TO COMPLY WITH SECTION 4504 OF THE NCRC, 2018 EDITION.
- 5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER II OF THE NCRC, 2018 EDITION.

FOOTING AND FOUNDATION NOTES

- I. FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- 2. FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAIDED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NCRC, 2018 EDITION.
- 3. PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE 6LAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" I" DEEP CONTROL JOINTS ARE TO BE SAWED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- 4. CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NCRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR 55 BARS OR SMALLER, AND NOT LESS THAN 2" FOR 65 BARS OR LARGER.
- 5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
- 6. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS, PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- 8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NCRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCMA TR68-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.II(1), R404.II(2), R404.II(3), OR R404.II(4) OF THE NCRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.II(5) OF THE NCRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT IS TO BE REINFORCED PER TABLE R404.II(1) OF THE NCRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT IS TO SUPERIOR OF THE NCRC, 2018 EDITION.

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FRAMING NOTES

- I. ALL FRAMING LUMBER SHALL BE 12 SPF (Fb = 875 PS), Fv = 375 PS), E = 16000000 PS)) OR 12 SYP (Fb = 975 PS), Fv = 175 PS), E = 16000000 PS)) MINIMUM UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE 12 SYP MINIMUM UNLESS NOTED OTHERWISE (UNO).
- 2. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- 3. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

A. W AND WT 9HAPE9: A9TM A99:

B. CHANNELS AND ANGLES: ASTM A36

C. PLATES AND BARS: ASTM A36

. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B

E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S

4. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):

A. WOOD FRAMING

B. CONCRETE

C. MASONRY (FULLY GROUTED)

(2) 1/2" DIA. x 4" LONG LAG SCREWS

(2) 1/2" DIA. x 4" WEDGE ANCHORS

(2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM W/ (2) ROWS OF SELF TAPPING SCREWS ® 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS ® 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED W/ (2) ROWS OF 9/16" DIAMETER HOLES ® 16" O.C.

- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS
 FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- 6. ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NCRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- 7. ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE I 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- 8. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A3Ø1) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
- 9. ALL 1-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- IØ. BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- II. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- 12. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UN.O.). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED W/ (4) 12d NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION RT03.82.1 OF THE NCRC, 2018 EDITION.
- 13. FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROUS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOULD (UND)
- 14. FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 × 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 × 8 RIDGES, 2 × 6 RAFTERS AT 16" O.C. AND FLAT 2 × 10 VALLEYS (UNO).
- IB. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 1000 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO.) POSTS MAY BE SECURED USING ONE SIMPSON H6 OR LTS12 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON CS16 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

11/15/2023

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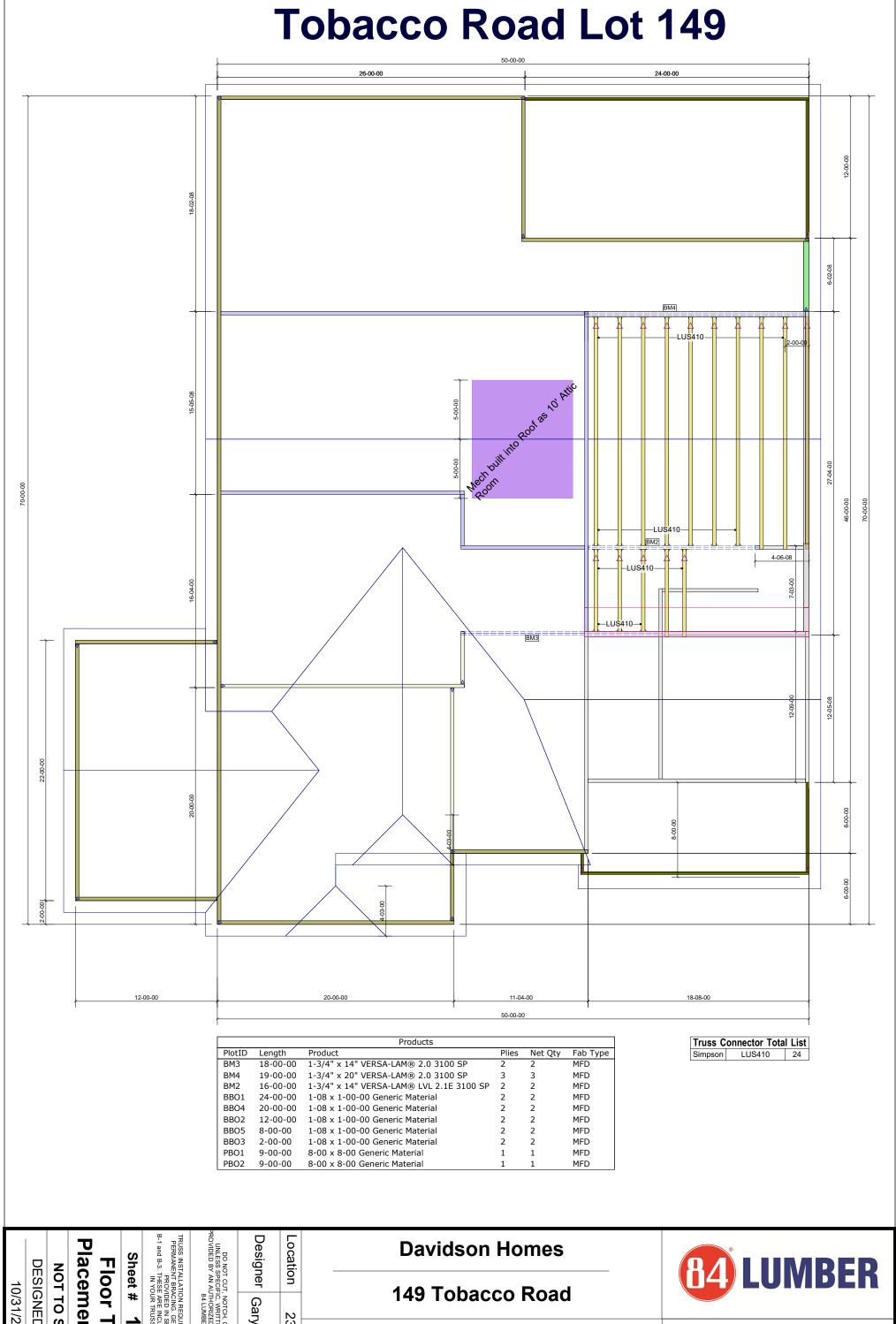
MAGNOLIA DAVIDSON HOMES

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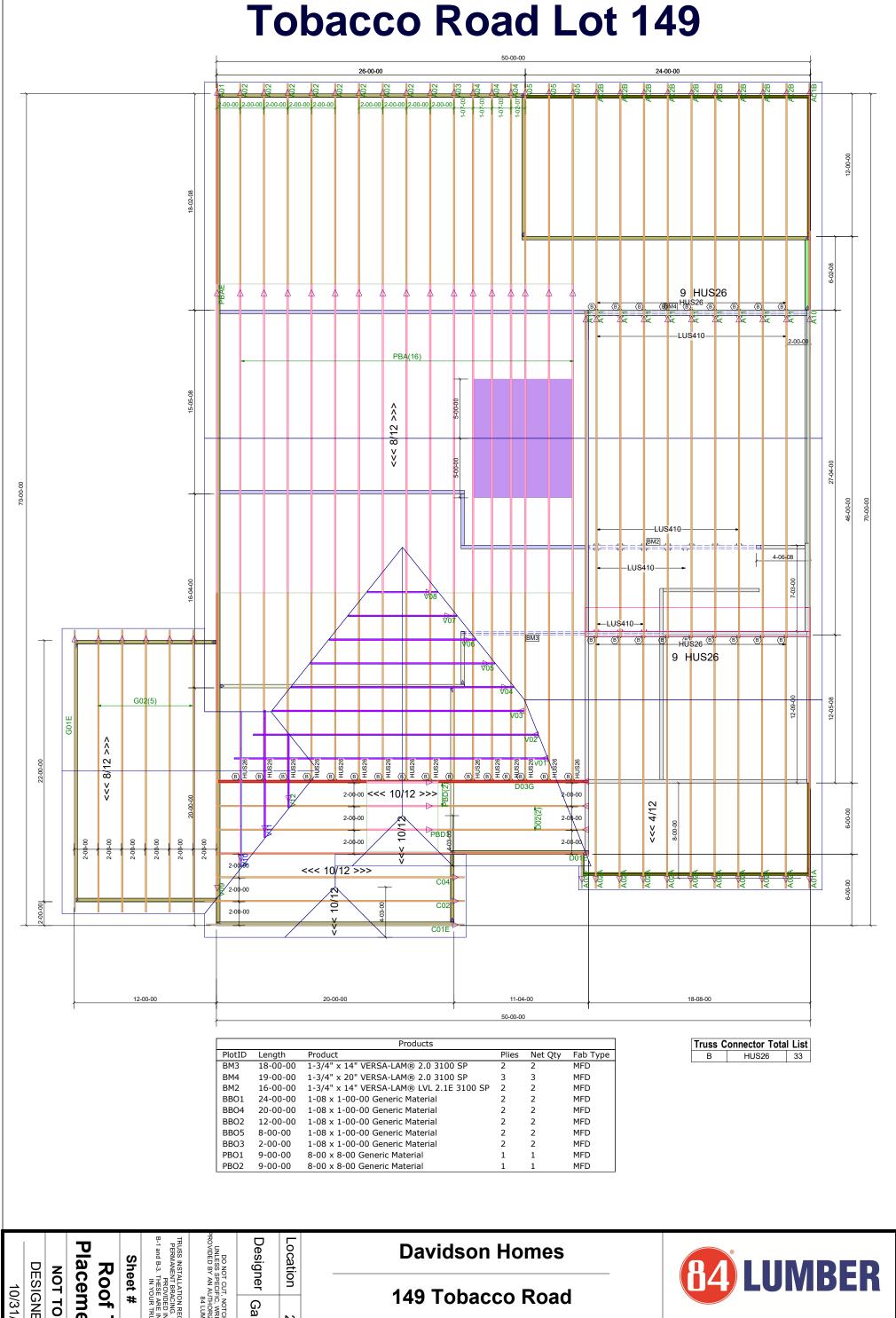
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