NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.

SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS,

OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND

10.

ZONING: RA-30

CURRENT TITLE SEARCH MAY DISCLOSE.

DEVELOPER/BUILDER: DAVIDSON HOMES

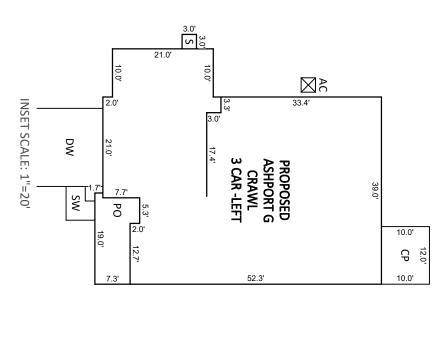
1903 NORTH HARRISON AVE
CARY, NC 27513

6.

DEVELOPMENT REGULATIONS.

THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND

THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.



LOT INFORMATION:

Bateman Civil Survey Company

2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081

Engineers • Surveyors • Planners

www.batemancivilsurvey.com

NCBELS Firm No. C-2378

info@batemancivilsurvey.com

REFERENCE: DB. 4216 PGS. 2256-2258 TOTAL LOT AREA = 0.61 AC = 26,620 SF MAX. IMPERVIOUS = 5,500 SF HOUSE = 2,359 SF COVERED PORCH = 120 SF DRIVEWAY = 604 SF SIDEWALK = 36 SF PORCH = 144 SF

REAR - 25' SIDE - 10' SIDE CORNER - 20' BUILDING SETBACKS FRONT - 35'

STOOP = 9 SFAC PAD = 9 SF

PERCENT IMPERVIOUS = 12.33% EXISTING IMPERVIOUS = 3,281 SF

WETLANDS Ph. ADA Pag. At. A N55°30'50"E 103.48 30.0 BUFFER 30' RIPARIAN

15' UTILITY EASEMENT -(123) 15.0' S40°00'51"E 263.44' 2 10' SIDE SETBACK WM 22.0' 35' FRONT SETBACK AC 🛛 S49°59'09"W 25' REAR SETBACK -3 CAR -LEFT 16.3 DW ASHPORT G **PROPOSED** 26,620 SF 0.61 AC CRAWL (124)SK. РО Q 103.00 35.5 150.7 32.0' 32.0' 10' SIDE SETBACK S40°00'51"E 253.47 125

?

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.

THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES

PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.

ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS

OTHERWISE SHOWN.

NOTES:

VICINITY MAP

(Not to Scale)

PO = COVERED FRONT PORCH
CWD = COVERED WOOD DECK
SP = SCREENED PORCH
SW = SIDEWALK
DW = CONC DRIVEWAY
S = STOOP
Ø = COMPUTED POINT
O = IRON PIPE FOUND (IPF)
Ø = IRON PIPE FOUND
MM = WATER METER
CO = CLEAN OUT
AC = AIR CONDITIONER PAD
Ø = CABLE BOX
O = SEWER MANHOLE
III = TELEPHONE PEDESTAL
CB = CATCH BASIN/CURB INLET
G = LIGHT POLE
III = HAND HOLE
III = HAND HOLE
III = FIRE HYDRANT
Y = YARD INLET 匾

= CATCH BASIN/CURB INLET

YARD INLET = NOW OR FORMERLY

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4752

PREI MINAPL

and is only intended for the parties and This map is of an existing parcel of land recordation. No title report provided. purposes shown. This map not for

IMPERVIOUS NOTED ON THIS PLOT PLAN BUILDER TO VERIFY HOUSE LOCATION **DIMENSIONS AND REVIEW TOTAL**

PRELIMINARY PLOT PLAN

DAVIDSON HOMES

BLACK RIVER TOWNSHIP, HARNETT COUNTY **TOBACCO ROAD - PHASE 2 - LOT 124** 203 CROP ROAD, ANGIER, NC

D ATE: 10/6/25 REFERENCE: BM 2025 PGS. 25-28 DRAWN BY: MJA CHECKED BY: SPC BCS# 230746 SCALE: 1" = 30'

50' PUBLIC R/W & UTILITY EASEMENT CROP ROAD 1'' = 40 ft.SCALE: