#### **ASPEN CREEK ABBREVIATIONS** A A PRESSURE TREATED WD H.R. HALF ROUN HWD HARDWOOD (FL ILLO. N LIEU OF ISUL NSULATED(TION INT NTERIOR ITC N THE CLEAR KIT KITCHEN R&M RANGE W/MICROWAY LTL LINTEL LVR LOUVER MAX MAXIMUM DRY DRYER MACHINE TEMP TEMPERED (GLASS MISC MISCELLANE MULL MULLION(ED ELEC ELECTRIC(AL U.N.O. UNLLGGOTHERWISE EXTERIOR 0A OVERALL F.F. FINISH FLOOR (LINE OBS OBSCURE (GL) VB VANITY BASE O.H. OVERHANI OPNG OPENING FLR FLOOR(ING WH WATER HEATER FP FIREPLACE OPT OPTIONAL WIC WALK-IN CLOSE FURRED(ING) PEDESTAL (SINK) FUR W/ W/O WITH or WITHOU ROHND FAIL OSB TERPROOF(ING) CIRCUIT INTERRU

## **GENERAL NOTES**

#### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TRI POINTE HOMES ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TRI POINTE HOMES IS STRICTLY

TRI POINTE HOMES DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF TH INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF TRI POINTE HOMES BY CALLING (469)329-0470.

). THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY

INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY TRI POINTE HOMES
4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS – DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE

ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES. OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

#### 2 - SITE CONSTRUCTION

) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS

) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAM. THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

#### 3 - CONCRETE

1) SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND

#### 4 - MASONRY

ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS

) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER 18703.7.6 – LR.C.

#### 5 - METALS

#### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

) Fire stopping and/ or draft stopping shall meet the requirements of IRC R602.8. 2) Attic ventilation shall be provided at 1/300 th of the Area of the Space ventilated. Cross VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW. S) PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE ) PROVIDE ATTIC VENTILATION PER IRC-R806.1

#### 8 - DOORS AND WINDOWS

- ) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - LR.C.
- FRONT DOOR WIDTH PER IRC-R311.3
- GARAGE DOOR PER IRC-R309.1

FMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - LR C 2018 - SLEEPING ROOMS HALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT IFSS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR

#### 15 - MECHANICALS

) WOOD BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. AND RE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION R1002.1 EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY

#### 16 - ELECTRICAL

ALL FLECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC) MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS ABORATORIES, INC.

) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE ONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH

VLESS NOTED OTHERWISE ) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE INISHED FLOOR UNLESS NOTED OTHERWISE

ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS.

APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC ECTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP. )) CONDUCTORS SHALL BE OF COPPER.

#### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 CHES IN ACCORDANCE WITH SECTION I.R.C.

HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE OVIDED ON AT LEAST. ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 — I.R.C HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED. ACCORDING TO IRC. ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE SERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LÓWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. ANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL

#### WALLS:

) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

I SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF  $rac{1}{2}"$ GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT CARAGE CEILINGS WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

#### FLOORS:

STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS ECIFIED IN IRC

) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED

) ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

#### FRAMING:

ALL FRAMING DIMENSIONS TO FACE OF MEMBER.

L BEARING HEADERS TO BE PER ENGINEERING PLANS. FIRE STOPPING AND / OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

#### **ROOF**

) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION, CUT ENDS OF AFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE

REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO

# SQUARE FOOTAGE

Elevation "C"

# (Slab S.F.) VERED OUTDOOR LIVING

(Outside of Frame S.F.)		
A/C Area	Sq. Ft.	
FIRST FLOOR	2113	
Total A/C Area	2113	
Non-A/C Area	Sq. Ft.	
2 BAY GARAGE	472	
PORCH	129	
COVERED OUTDOOR LIVING	180	
Total Non-A/C Area	781	

(Inside of Frame S.F.)	
/C Area	Sq. Ft.
IRST FLOOR	2040
otal A/C Area 2040	

NOTE: ALL OPTIONAL SQUARE FOOTAGES LISTED ARE INDEPENDENT OF AND IN ADDITION TO BASE SQUARE FOOTAGES.

#### **OPTIONS**

PRIMARY SUITE TRAY CEILING
PRIMARY BATH 3 WIZERO-ENTRY
GOURMET KITCHEN 2
1288 SCD AT GREAT ROOM
LAUNDRY CABS AND SINK
OFFICE LO FLEX SPACE
FINISHED SECOND FLOOR
SCREENED EXT. COVP OUTDOOR LIV
GRAB BARS AT PRIMARY SHOWER
GRAB BAR AT PRIMARY WATER CLOSET
SHOWER ILO TUB AT BATH 2
OUTDOOR LIVING PATIO 2
EXTEROR CAS STUB OUT
FULLY INSULATED GARAGE

**LOT 341 ASPEN CREEK ELEVATION C REVERSE PLAN** LEFT-HAND GARAGE

BUILDING CODE COMPLIANCE

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED MINIMUM CODE REQUIREMENTS OF 2018 LR (

LECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM

# TABLE OF CONTENTS

SHEET LEGEND			
SHEET NO.	TYPE OF SHEET/LAYOUT		
"G0.01"	COVER SHEET & GEN. NOTES		
"G0.11"	REVISIONS & SYMBOLS		
"S1.10C"	BASE FOUNDATION PLAN — ELEVATION 'C'		
"A1.10C"	FIRST FLOOR PLAN - ELEVATION 'C'		
"01.A30" 2ND FLOOR PLAN "A2.01C" EXTERIOR ELEVATIONS – 'C'			
"A3.01C" ROOF PLAN – ELEVATION 'C'			
"A4.01"	INTERIOR DETAIL SHEET		
"E1.10C"	1ST FLR. ELECTRICAL PLAN — ELEVATION 'C'		
"E1.11C"	1ST FLR. ELECTRICAL PLAN UPGRADE OPTIONS — ELEVATION 'C'		
"01.E20"	2ND FLR. ELECTRICAL PLAN OPTION		
"01.E21" 2ND FLR. ELECTRICAL PLAN UPGRADE OPTION "D1.0" DETAILS "D2.0" GRAB BAR PARTIAL PLANS			

\*OPT. GOURMET KITCHEN 2

\*OPT. PRIMARY BATH 3 W/ ZERO ENTRY SHOWER

OPT. GRAB BARS AT PRIMARY SHOWER

OPT. GRAB BAR AT PRIMARY WATER CLOSET

OPT. TRAY CEILING AT PRIMARY SUITE

\*OPT. LAUNDRY SINK W/ BASE AND UPPER CABINETS

\*OPT. SHOWER ILO TUB AT BATH 2

\*OPT. OFFICE ILO FLEX SPACE \*OPT. FINISHED SECOND FLOOR (LOFT)

OPT. 12080 MULTI SLIDE DOOR AT GREAT ROOM

OPT. SCREENED EXTENDED COVERED OUTDOOR LIVING

\*OPT. OUTDOOR LIVING PATIO 2 \*OPT. EXTERIOR GAS STUB OUT

\*OPT. FULLY INSULATED GARAGE

# SYMBOLS



**DOINTE**HOMES

Blvd Business Operation 5440 Wade Park Blv Suite 400 Raleigh, NC 27607

NOTES SERENITY GENERAL

FIREFLY @ ALTIS SUBDIVISION:

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SHE

ADDRESS:

10-01-24 ssue Date: ACC

5921-07

ASPEN CREEK

G0.01

REVISION INDEX			
REL. #	DESCRIPTION	DATE	DRAWN BY
5921-07	NEW PLAN	10/01/2024	ACC
	ADDED ATTIC PULL-DOWN, REWSED ROD/SHELF IN PRIMARY WIC, ADDED OPTIONS - SCREENED COVERED OUTDOOR LIVING, GOURMET KITCHEN KITCHEN, ZERO ENTRY SHOWER AT PRIMARY BATH, ADDED TRIM SURROUNDING VENTS AT VARIOUS ELEVATIONS, REVISED BENCH DETAIL, ADDED OPT. LAUNDRY, CABINETS, ADDED (2) 4-LED LIGHTS IN GARAGE, REVISED ELECT LIGHTING AND SWITCHES IN PRIMARY BATH, ADDED DISHWASHER ACCESSIBLE DISCONNECT SWITCH AND COUNTER-TOP AIR SWITCH FOR DISPOSAL NOTES	01/26/2025	ACC
	ADDED SHOWER NICHE NOTE, ADDED CURB TO SHOWERS, REVISED INT/EXT FIREPLACE DEPTHS, REVISED OPENING HEADER HEIGHTS THROUGHOUT, REVISED REAR EXTERIOR DOOR TO 3', ADDED DOOR HEIGHTS TO MAIN FLOOR NOTES, ADDED BATHA ACCESSORY HEIGHTS TO MAIN FLOOR NOTES, ADDED OUTDOOR CONTRY SHOWER DETAIL, REMOVED PRIMARY BATH 2 OPTION, ADDED OUTDOOR LIVING PATHO OT 1 & 2, ADDED PARTIAL SHOWER NICHE DETAIL, ADDED GOURDOOR LIVING PATHO OT 1 & 2, PATHON OF A STANDARD AND PRIMARY BATH.	04/14/2025	ACC
	ADDED TYPICAL CLOSET ROD AND SHELF DETAILS, ADDED SHOWER NICHE DETAILS, REVISED PANTRY SHELVES TO 4, REMOVED KITCHEN ISLAND "TOP SIZE" NOTE, ADDED TOWEL HOOK IN PRIMARY BATH, ADDED GABLE WINDOW DIMENSIONS, REVISED TYPICAL BENCH DETAIL, ADDED VARIOUS ELECTRICAL NOTES, ADDED SWITCHES TO OPTIONAL ELECTRICAL SHEETS,	07/30/2025	ACC
	ADDED OPTIONAL BEAMS IN PRIMARY SUITE, ADDED OPTIONAL GRAB BARS IN ALL BATHS, REVISED TOWEL BAR AND HOLDER HEIGHTS	09/06/2025	ACC

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HOMES

S440 WADE PARK BLVD, SUITE 400, RALFIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

SUBDIVISIONS & SYMBOLS
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 137 FIREFLY LN
LOT: 341

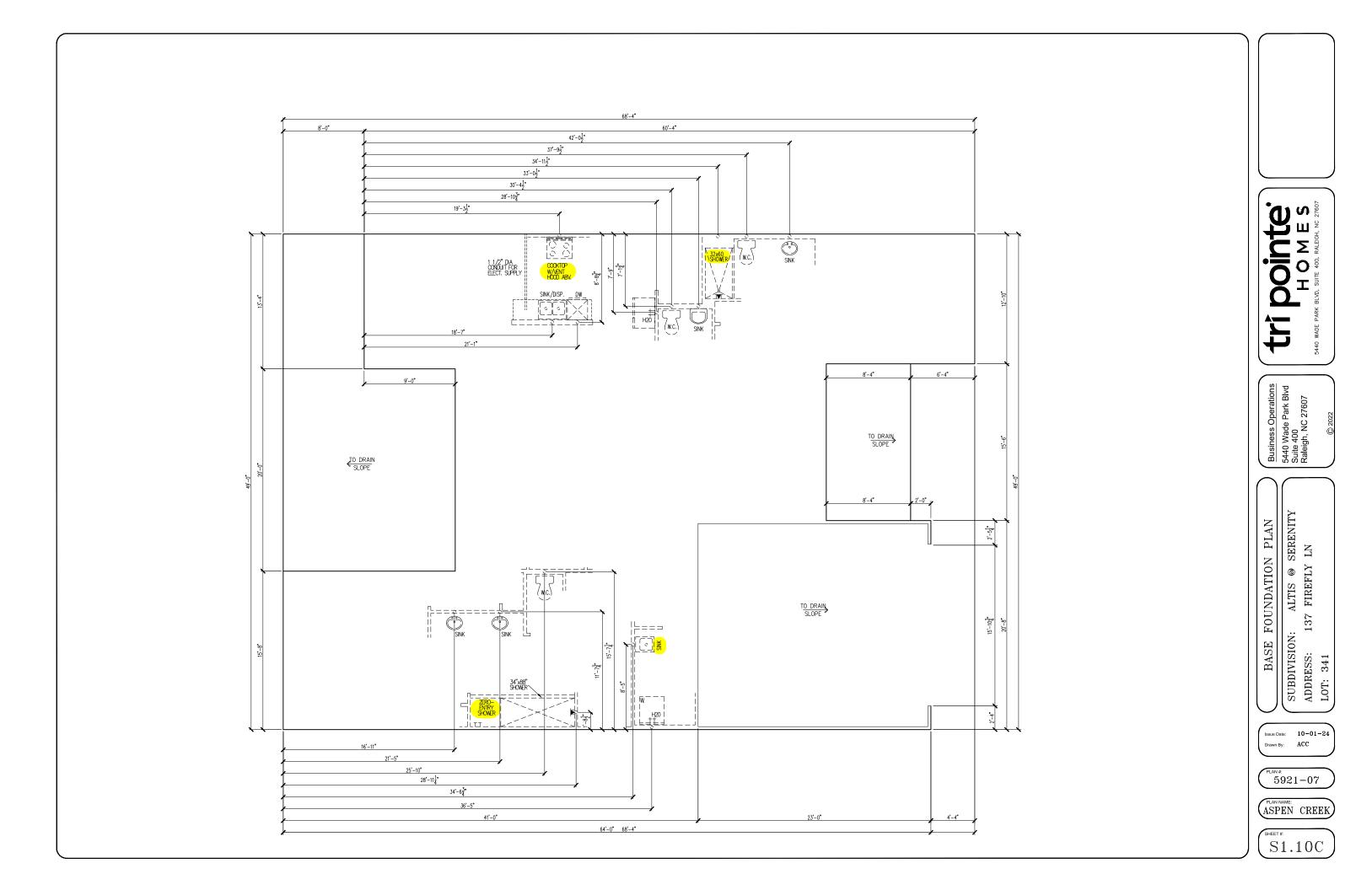
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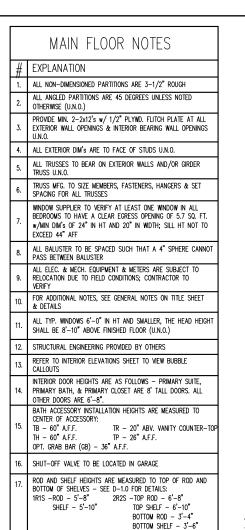
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PLAN #: 5921-07

ASPEN CREEK

G0.11





# LOT 341 5921-07 ASPEN CREEK ELEVATION C

# REVERSE PLAN

# LEFT-HAND GARAGE

\*OPT. GOURMET KITCHEN 2 \*OPT. PRIMARY BATH 3 W/ ZERO ENTRY

SHOWER

\*OPT. GRAB BARS AT PRIMARY SHOWER

\*OPT. GRAB BAR AT PRIMARY WATER CLOSET

\*OPT. TRAY CEILING AT PRIMARY SUITE

\*OPT. LAUNDRY SINK W/ BASE AND UPPER CABINETS

\*ODT CHOWED II O

\*OPT. SHOWER ILO TUB AT BATH 2

\*OPT. OFFICE ILO FLEX SPACE

\*OPT. FINISHED SECOND FLOOR (LOFT)

\*OPT. 12080 MULTI SLIDE DOOR AT GREAT

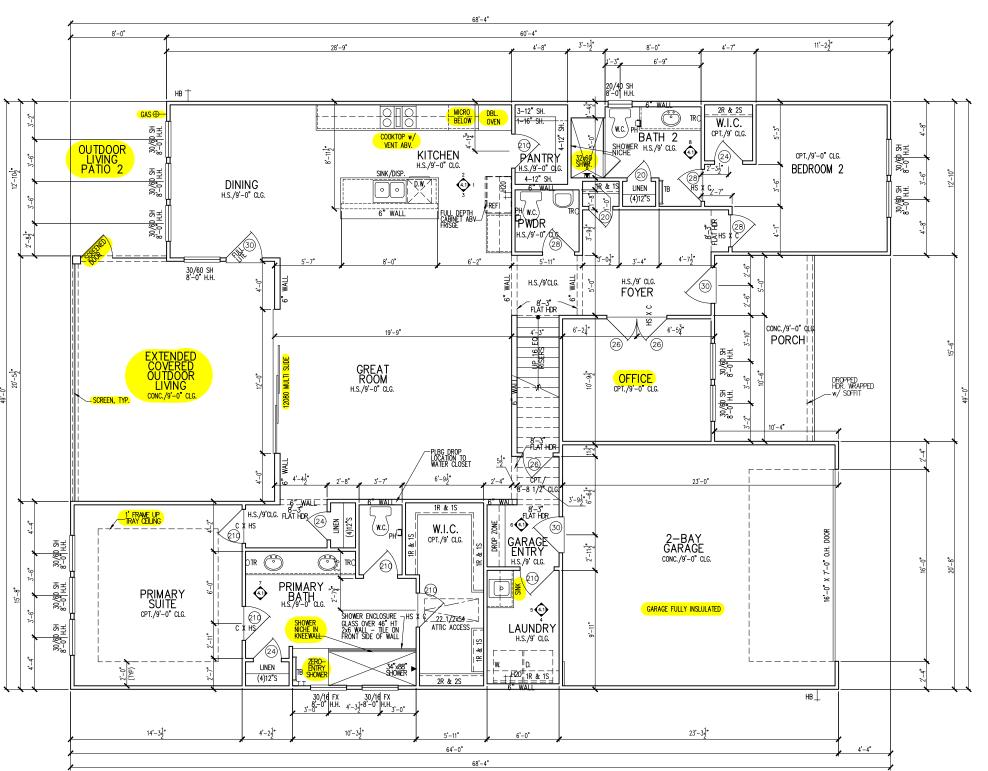
ROOM

\*OPT. SCREENED EXTENDED COVERED

**OUTDOOR LIVING** 

\*OPT. OUTDOOR LIVING PATIO 2

\*OPT. EXTERIOR GAS STUB OUT \*OPT. FULLY INSULATED GARAGE OVER 9,000 FT<sup>2</sup> - NO FIRE-RATED WALL REQUIRED



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HOMES

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SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 137 FIREFLY LN

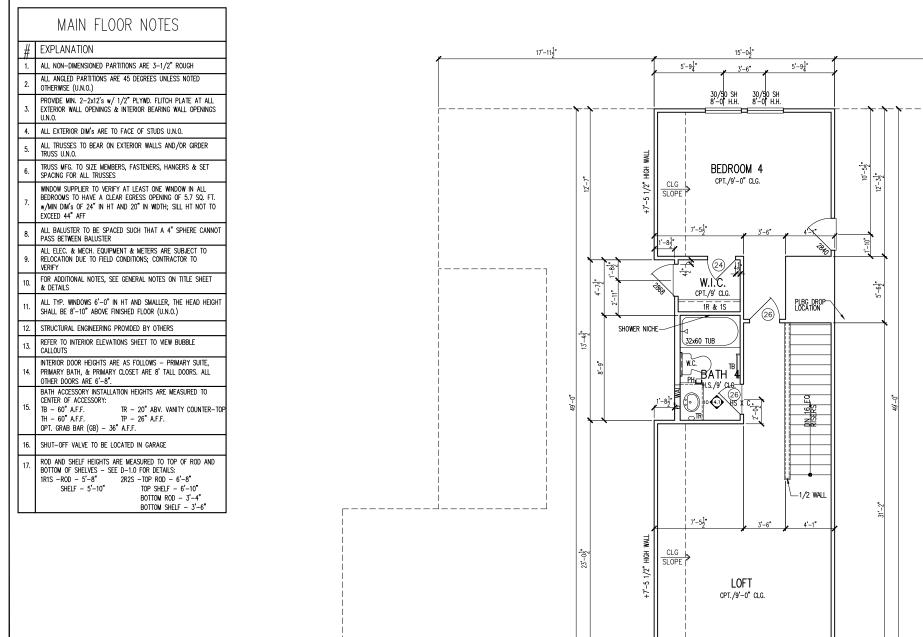
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ADDRESS:
LOT: 341

ACC

5921-07

(ASPEN CREEK

A1.10



OVER 9,000 FT<sup>2</sup> WALL REQUIRED

**LOT 341** 

**ELEVATION C** 

**REVERSE PLAN** 

**5921-07 ASPEN CREEK** 

LEFT-HAND GARAGE

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OPTION

SERENITY ALTIS @ S FLOOR SUBDIVISION:

ADDRESS: LOT: 341 Issue Date: 10-01-24 ACC

5921-07

(ASPEN CREEK

01.A30

SECOND FLOOR PLAN PARTIAL FLOOR PLAN

30/50 SH 30/50 SH 8'-0' H.H. 8'-0' H.H.

OPT. GOURMET KITCHEN 2

\*OPT. PRIMARY BATH 3 W/ ZERO ENTRY

OPT. GRAB BARS AT PRIMARY SHOWER

OPT. GRAB BAR AT PRIMARY WATER CLOSET

OPT. TRAY CEILING AT PRIMARY SUITE \*OPT. LAUNDRY SINK W/ BASE AND UPPER

CABINETS

OPT. SHOWER ILO TUB AT BATH 2

OPT. OFFICE ILO FLEX SPACE OPT. FINISHED SECOND FLOOR (LOFT)

\*OPT. 12080 MULTI SLIDE DOOR AT GREAT

**ROOM** 

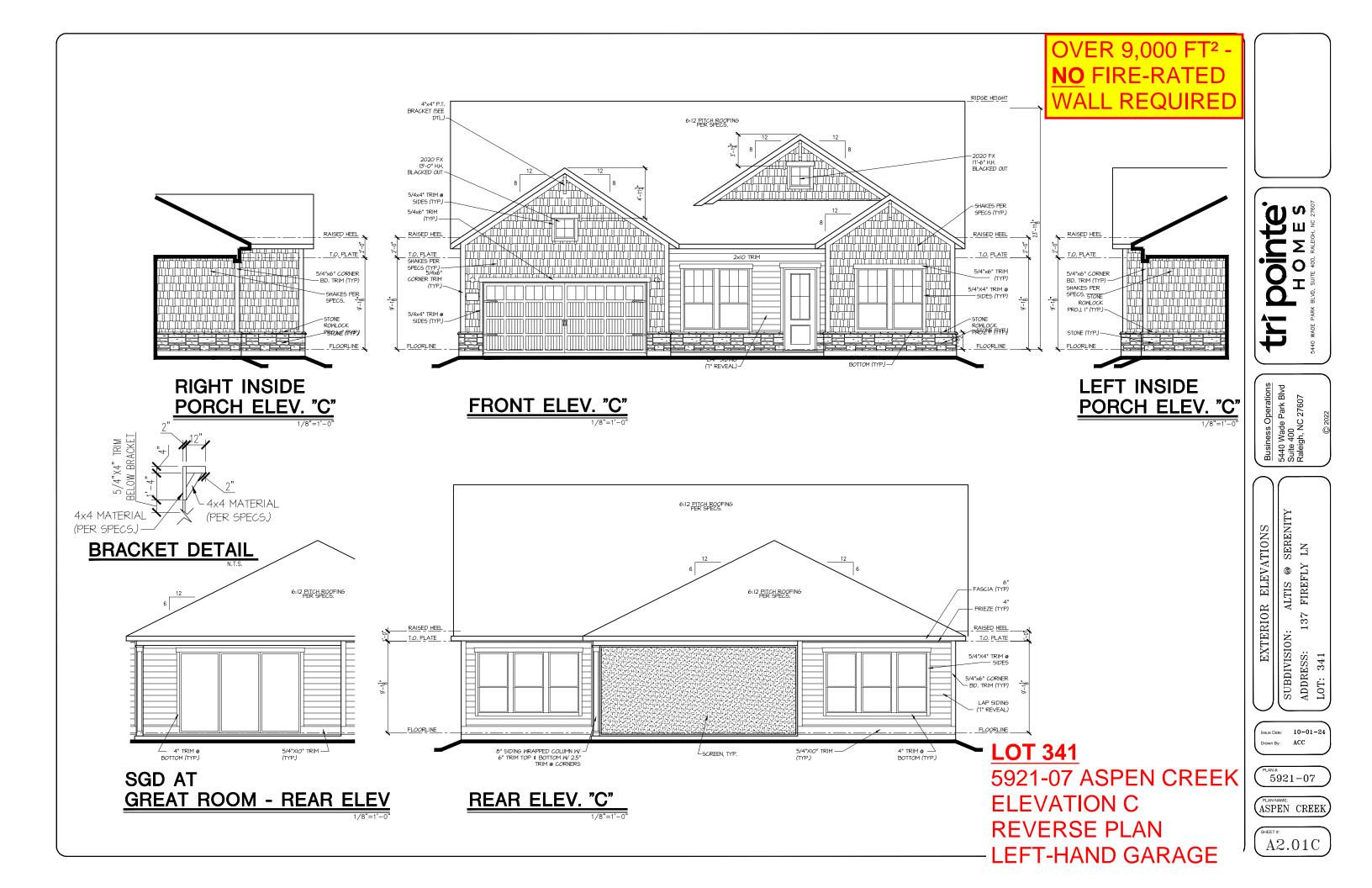
OPT. SCREENED EXTENDED COVERED

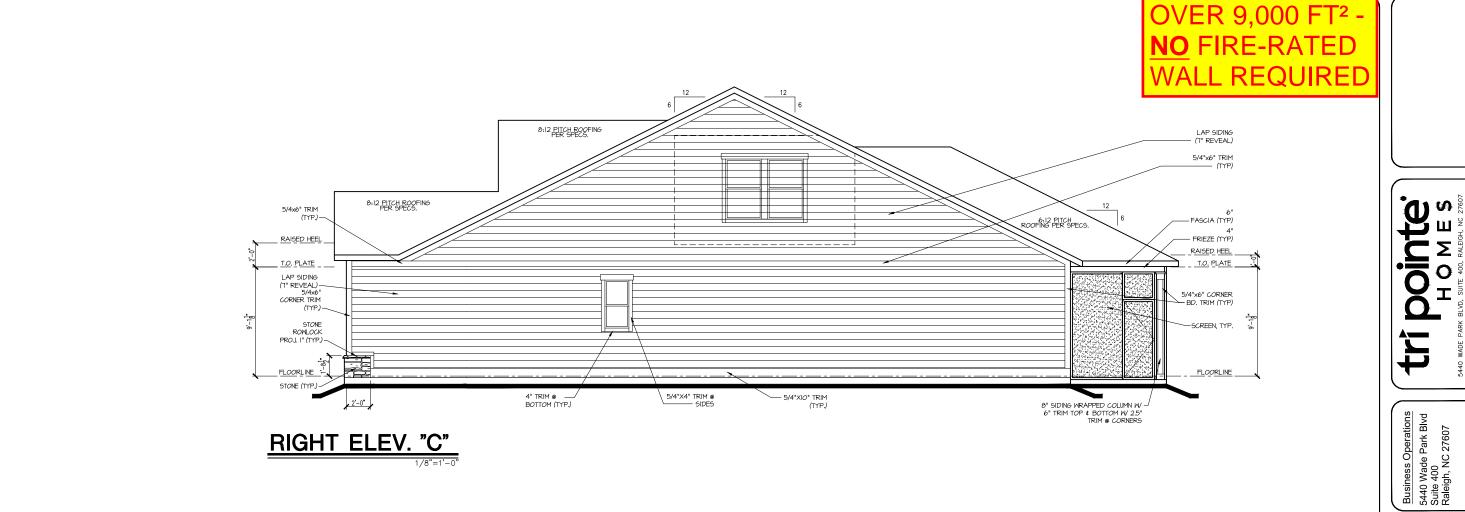
OUTDOOR LIVING

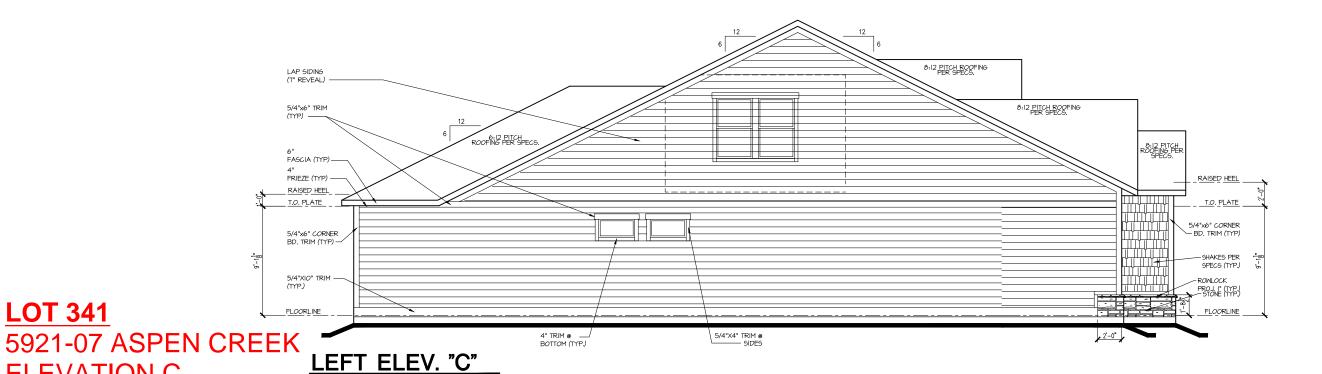
\*OPT. OUTDOOR LIVING PATIO 2

\*OPT. EXTERIOR GAS STUB OUT \*OPT. FULLY INSULATED GARAGE

**SHOWER** 







**LOT 341** 

**ELEVATION C** 

**REVERSE PLAN** 

LEFT-HAND GARAGE

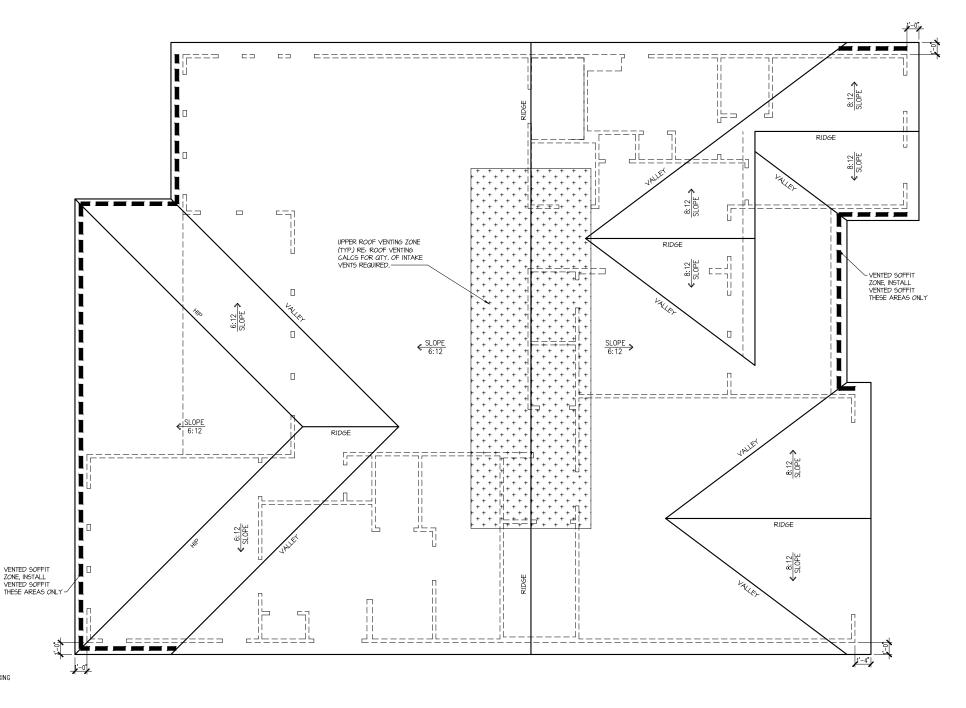
ALTIS @ SERENITY FIREFLY LN EXTERIOR ELEVATIONS SUBDIVISION:
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LOT: 341

Issue Date: 10-01-24 ACC

5921-07

(ASPEN CREEK)

A2.02C



ROOF INFORMATION BASE

TOTAL SF ROOF AREA 3149

AVAILABLE L.F. ROOF SOFFIT 200

AVAILABLE L.F. ROOF RIDGE 91

VENIT TYPES QITY VENTIS
CONTINUOUS SOFFIT VENTING
@ 5 SILLE
UPPER VENTS
SLANT 150 VENTS @ 150
SILVENT
UPPER VENTS
RIDGE VENTS @ 72 SILVENT 10

Attic Venting Calculations Elev. "C"

NOTE:
QTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING
OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.

ROOF PLAN 'C'

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HOMES

HOMES

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ROOF PLAN

N: ALTIS @ SERENITY

137 FIREFLY LN

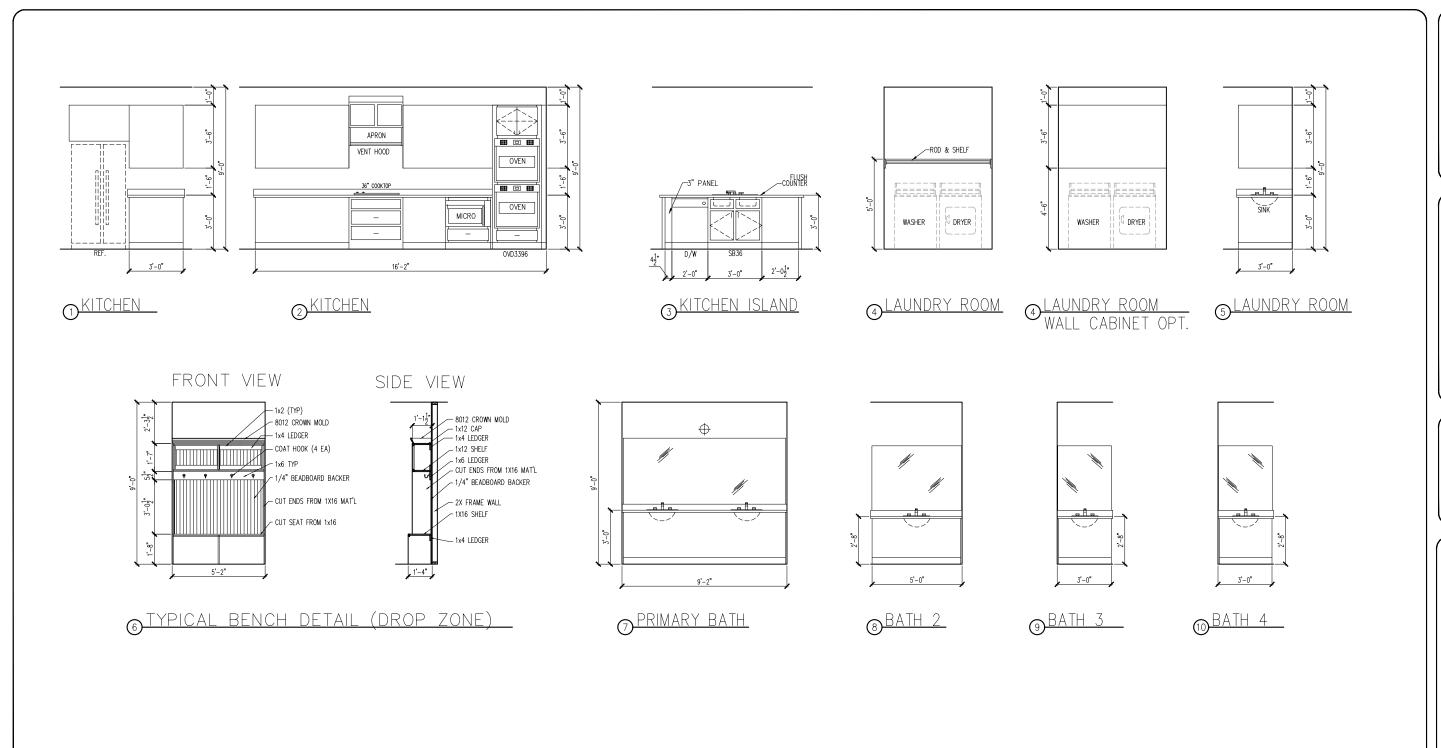
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ASPEN CREEK

A3.01C



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HOMES

5440 WADE PARK BLVD, SUITE 400, RALEOR, NO 27807

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

Busines 5440 W/s Suite 40 Raleigh,

INTERIOR DETAIL SHEET
IVISION: ALTIS ® SERENITY
ESS: 137 FIREFLY LN

SUBDIVISION: AI
ADDRESS: 137 F
LOT: 341

Issue Date: 10-01-24
Drawn By: ACC

PLAN#: 5921-07

ASPEN CREEK

A4.01

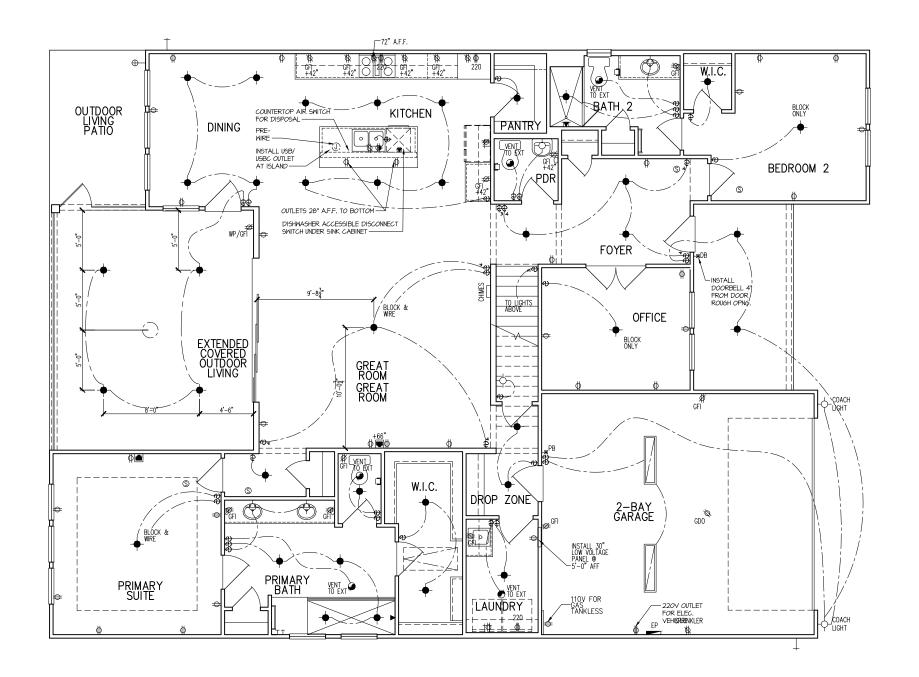
ELECTRICAL SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	ф
220V OUTLET	<b>\$</b> 220
1/2 HOT OUTLET	•
GFI OUTLET	<b>∜</b> GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GDO
SECURITY SYSTEM	♦ SEC SYS
DISHWASHER	●DW
JUNCTION BOX	①
CEILING MOUNTED LIGHT	
CEILING FAN w/ LIGHT KIT	PROVIDE
RECESSED CEILING LIGHT	Ø
RECESSED WATER PROOF LIGHT	)⊠(WP
WALL MOUNTED LIGHT	9
WALL MOUNTED PUSH BUTTON	<b>å</b> PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	<b>*\$</b>
FOUR WAY SWITCH	<b>*</b> \$
DIMMER SWITCH	\$ <sup>DIM</sup>
EXHAUST VENTS	<b>S</b> VENT TO EXT
LOW VOLTAGE PANEL	
PHONE OUTLET	<b>●</b> PH
TV OUTLET	<b>⊕</b> TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	Ŝ
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP EP
SURFACE MOUNT LED	
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	442
UNDER COUNTER LIGHTING	-cc- UCL
SMURF TUBE	

## **ELECTRICAL NOTES:**

- PROVIDE AND INSTALL LOCALLY CERTIFIED

  SMOKE AND CARBON MONOXIDE DETECTORS
  REQUIRED BY NATIONAL FIRE PROTECTION
  ASSOCIATION (NFPA) AND MEETING THE
  REQUIREMENTS OF ALL GOVERNING CODES
  PROVIDE AND INSTALL GROUND FAULT
  IGROUTI-INTERRUPTERS
  (GFI) AS REQUIRED BY
  NATIONAL ELECTRIC CODE (NEC) AND MEETING
  THE REQUIREMENTS OF ALL GOVERNING CODES.
  ELECTRICAL CONTRACTOR TO PROVIDE
  REQUIRED DIRECT HOOK—UPS/CUTOFFS.
  HAVAC CONTRACTOR TO VERIFY THERMOSTAT
  LOCATIONS.
  ALL ELECTRICAL AND MECHANICAL EQUIPMENT
  (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS,
  SANITARY SUMP PITS, DRAIN TILE SUMP, AND

SANITARY SUMP PITS, DRAIN TILE SUMP, AN WATER HEATERS) ARE SUBJECT TO RELOCATIONS.	ID TION	ĺ	
ELECTRICAL DEVICES: ABOVE FINISHED	_ FL0	OOR	:
SWITCHES OVER COUNTER			
WALL OUTLETS OVER COUNTER			
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ CO		R)	
REMAINING SWITCHES			. CL
WALL OUTLETS	2".	ΤQ	CL.
BATH VANITY BRACKET OUTLET			
WATER SOFTENER AND SUMP OUTLETS	48"	ΤO	CL
EXTERIOR GFI OUTLETS			
GARAGE GFI (ABOVE GARAGE FLOOR)	48"	TO	CL
FRONT DOOR COACH LIGHT	30"	.TO	CL
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR)			
THERMOSTAT			
DOORBELL CHIMES			
DOORBELL BUTTON	EVE DR .F	ΙAΝ	IRT
KITCHEN HOOD FAN "WHIP"	36".	ΤQ	CL
KITCHEN WALL HUNG MICROWAVE OUTLET	72"	T0	CL
KITCHEN DISHWASHER RECEPTACLE	JND	ER	SIN
KITCHEN RANGE	24." .	.TO	.CL
KITCHEN REFRIGERATOR.	48"	TO	CI



Dointe HOMES RR BLD. SUITE 400, FALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

ELECTRICAL PLAN ALTIS ® SERENITY
7 FIREFLY LN 1st FLOOR

SUBDIVISION:
ADDRESS: 13
LOT: 341

Issue Date: 10-01-24 Drawn By: ACC

5921-07

ASPEN CREEK

E1.10C

CL = CENTER LINE 1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

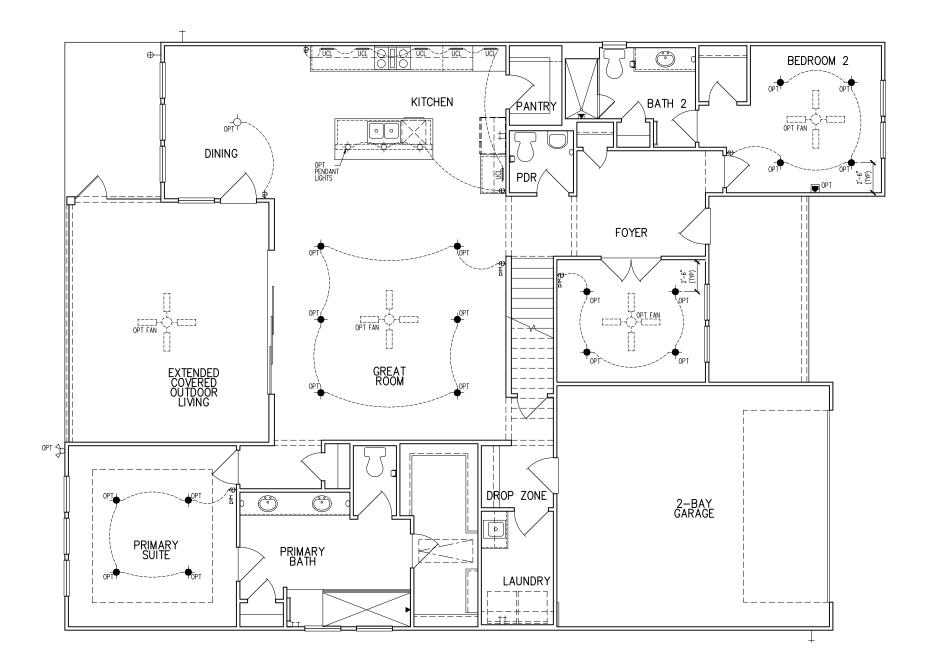
ELECTRICAL I SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	ф
220V OUTLET	<b>Q</b> 220
1/2 HOT OUTLET	<b>₽</b>
GFI OUTLET	<b>∜</b> GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GDO
SECURITY SYSTEM	♦ SEC SYS
DISHWASHER	<b>⊕</b> DW
JUNCTION BOX	(J
CEILING MOUNTED LIGHT	<b>\( \rightarrow \)</b>
CEILING FAN w/ LIGHT KIT	BRACING
RECESSED CEILING LIGHT	R
RECESSED WATER PROOF LIGHT	)⊠(WP
WALL MOUNTED LIGHT	9
WALL MOUNTED PUSH BUTTON	<b>d</b> PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	<b>*</b> \$
FOUR WAY SWITCH	4\$
DIMMER SWITCH	\$ <sup>DIM</sup>
EXHAUST VENTS	<b>S</b> VENT TO EXT
LOW VOLTAGE PANEL	
PHONE OUTLET	<b>●</b> PH
TV OUTLET	<b>⊗</b> TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	Ŝ
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP.
SURFACE MOUNT LED	•
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	442
UNDER COUNTER LIGHTING	-coo- UCL
SMURF TUBE	

## **ELECTRICAL NOTES:**

- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NPA) AND MEETING THE REQUIREMENTS OF ALL COVERNING CODES
  2. PROVIDE AND INSTALL GROUND-FAULT CIRCUIT—INTERRUPTERS (GF) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.
  4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
  5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (LE, FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD COMDITIONS.

DUE TO FIELD CONDITIONS.	LLOCATION
ELECTRICAL DEVICES: ABOVE FIL	NISHED FLOOR:
SWITCHES OVER COUNTER	48". TO. CL
WALL OUTLETS OVER COUNTER	
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP	. @ COUNTER)
REMAINING SWITCHES	48".TO.CL
WALL OUTLETS	12". JQ CL
BATH VANITY BRACKET OUTLET (1" ABOVE TOP OF VANITY)	1,2
WATER SOFTENER AND SUMP OUTLETS	
EXTERIOR GFI OUTLETS	
GARAGE GFI (ABOVE GARAGE FLOOR)	
FRONT DOOR COACH LIGHT	
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR)	84".TO CL
THERMOSTAT	54" .TO .CL
DOORBELL CHIMES	
DOORBELL BUTTON	LEVEL W/
KITCHEN HOOD FAN "WHIP"	66". TQ CL
KITCHEN WALL HUNG MICROWAVE OUTLET	72" TO CL
KITCHEN DISHWASHER RECEPTACLE	UNDER SIN
KITCHEN RANGE	24." .TO .CL
KITCHEN REFRIGERATOR	
WASHER/DRYER OUTLET	48". TO. CL

CL = CENTER LINE 1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



CHECK BOO FOR SELECTED ELECTRICAL OPTIONS

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- OPITONS ALTIS ® SERENITY
7 FIREFLY LN 1st FLOOR ELEC. PLAN

SUBDIVISION:
ADDRESS: 13
LOT: 341

Issue Date: 10-01-24 ACC

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ASPEN CREEK

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	ELECTRICAL I SCHEDU	FIXTURE LE
ľ	DESCRIPTION	SYMBOL
t	110V OUTLET	ф
r	220V OUTLET	<b>\$</b> 220
ľ	1/2 HOT OUTLET	♦
	GFI OUTLET	<b>∜</b> GFI
	WP GFI OUTLET	₩P/GFI
	GARAGE DOOR OPENER OUTLET	Ø GD0
	SECURITY SYSTEM	∯SEC SYS
	DISHWASHER	●DW
	JUNCTION BOX	٦
L	CEILING MOUNTED LIGHT	<b>-</b>
	CEILING FAN w/ LIGHT KIT	PROVIDE
	RECESSED CEILING LIGHT	e
	RECESSED WATER PROOF LIGHT	∭ WP
l	WALL MOUNTED LIGHT	9
Γ	WALL MOUNTED PUSH BUTTON	<b>å</b> PB
	TWO WAY SWITCH	\$
L	THREE WAY SWITCH	³\$
	FOUR WAY SWITCH	<b>\$</b>
L	DIMMER SWITCH	\$ <sup>DIM</sup>
L	EXHAUST VENTS	<b>S</b> VENT TO EXT
L	LOW VOLTAGE PANEL	
L	PHONE OUTLET	<b>⊕</b> PH
L	TV OUTLET	<b>●</b> TV
L	DATA & RG6 COMBO BOX	
L	SMOKE DETECTOR	© .
L	CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
L	DOOR CHIMES	CHIMES
L	ELECTRICAL PANEL	EP EP
L	SURFACE MOUNT LED	
L	EXTERIOR WALL MOUNT UPLIGHT	₹
L	SOFFIT MOUNT FLOOD LIGHT	F
L	UNDER COUNTER LIGHTING	UCL
ı	SMURF TUBE	

## **ELECTRICAL NOTES:**

PROVIDE AND INSTALL LOCALLY CERTIFIED

SMOKE AND CARBON MONOXIDE DETECTORS

REQUIRED BY NATIONAL FIRE PROTECTION

ASSOCIATION (NFPA) AND MEETING THE

REQUIREMENTS OF ALL GOVERNING CODES

PROVIDE AND INSTALL GROUND FAULT

ICRCUIT—INTERRUPTERS (GFI) AS REQUIRED BY

NATIONAL ELECTRIC CODE (NEO) AND MEETING

THE REQUIREMENTS OF ALL GOVERNING CODES.

ELECTRICAL CONTRACTOR TO PROVIDE

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ALL ELECTRICAL AND MECHANICAL EQUIPMENT

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DUE TO FIELD CONDITIONS.

ELECTRICAL DEVICES:

ABOVE FINISHED FLOORE

LECTRICAL DEVICES:

ABOVE FINISHED FLOORE

SMOKE SINISHED FLOORE

ABOVE FINISHED FLOORE

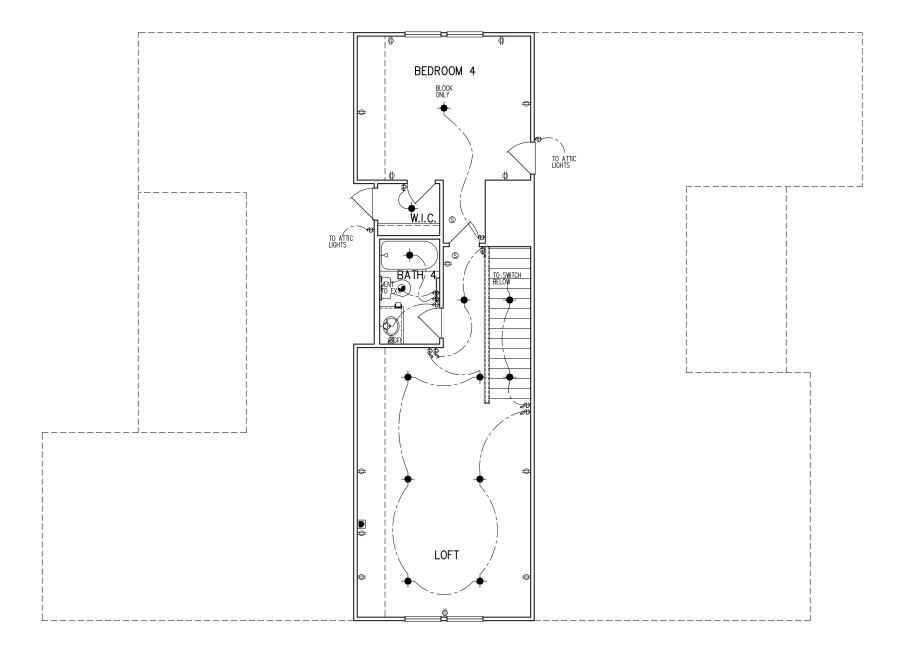
LECTRICAL DEVICES:

ABOVE FINISHED FLOORE

ASSOCIATION ASSOCIATION ASSOCIATION DUE TO FIELD CONDITIONS. ELECTRICAL DEVICES: ABOVE FINISHED FLOOR: WALL OUTLETS OVER COUNTER. . +42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER) FRONT DOOR COACH LIGHT. . GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR). . . . 84" · TO CL . . 54". TO .CL . THERMOSTAT LEVEL W/ DR .HANDLE DOORBELL BUTTON. . . . . . . . . . . . . . . . . . 

CL = CENTER LINE 1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



SECOND FLOOR PLAN PARTIAL ELECTRICAL PLAN

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OPTION

SERENITY 7 LN ALTIS @ S PLAN ELEC. SUBDIVISION: ADDRESS: 13

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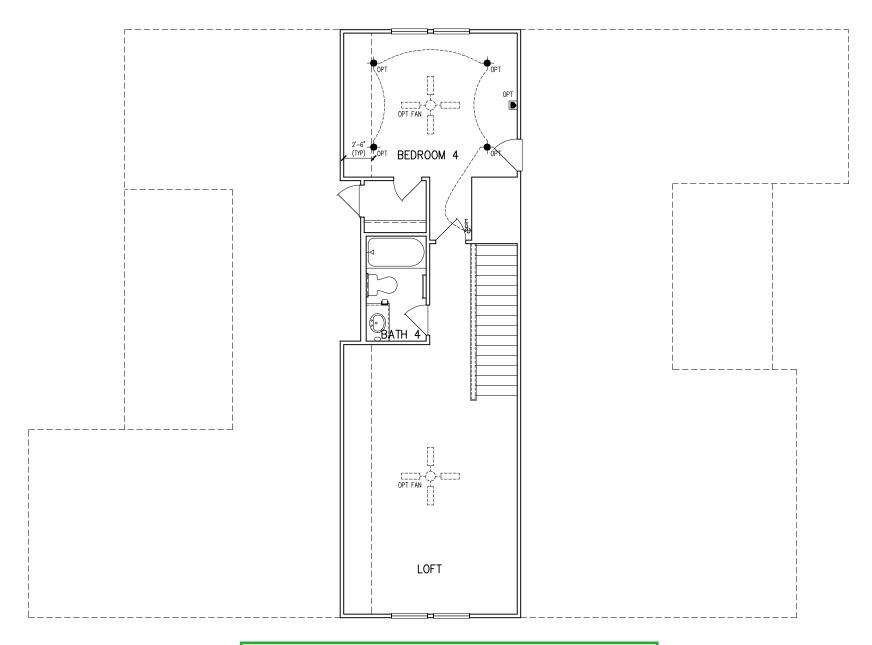
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CHECK BOO FOR SELECTED ELECTRICAL OPTIONS

SECOND FLOOR PLAN PARTIAL ELECTRICAL PLAN

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Snd FLOOR ELEC. PLAN – OPTION SUBDIVISION: ALTIS ® SERENITY ADDRESS: 137 FIREFLY LN

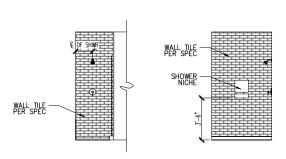
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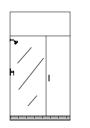
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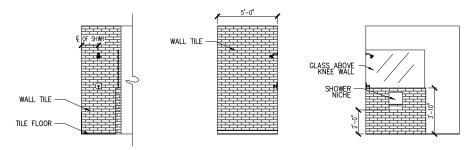




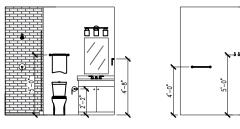
# TYPICAL SHOWER NICHE AT SHOWER DETAIL







TYPICAL SHOWER DETAIL W/ SHOWER NICHE IN KNEE WALL



TYPICAL HEIGHTS FOR BATH FIXTURES DETAIL



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: ALTIS @ SERENITY 137 FIREFLY LN

DETAILS

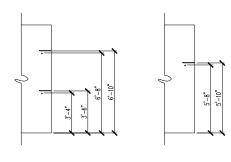
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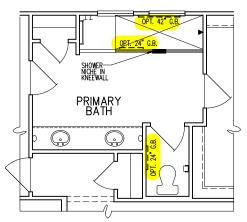
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ASPEN CREEK

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TYPICAL CLOSET RODS & SHELVES DETAIL



OPT. PRIMARY BATH 3
PARTIAL FLOOR PLAN

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PRTL FLR PLNS - OPT. GRAB BARS : ALTIS ® SERENITY 137 FIREFLY LN

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ASPEN CREEK

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#### GENERAL STRUCTURAL NOTES

#### FLOOR FRAMING

- I IOISTS/TRUSSES SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIEY THAT THE FINISHES TO BE INSTALLED. MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 ½" × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- 2 3" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD. - 2 3" x 0.113" NAIL 5 @ 3" Q.C. @ PANEL EDGES & @ 6" Q.C. IN FIELD

#### ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/ 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES \$ @ 12" O.C. FIELD.
- · w/ 2 🖁 × 0.120" NAILS 🥑 4"o.c. 💇 PANEL EDGES 🕏 🗗 O.C. FIELD. - w/ 2 🐉 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF FDGES RIDGES & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC
- EASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.51 CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING
- OF METAL PLATE CONNECTED WOOD TRUSSES. SUPPORT SHORT SPAN ROOF TRUSSES W/2x4 LEDGER FASTENED TO

FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

#### CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAIL5
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS \$ INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (I) SIMPSON H2.5T	(4) TOENAILS + (I) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG, W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. \$ FASTENED PER SHEAR WALL FASTENING SPEC.	
* 2½°x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)		

#### GENERAL STRUCTURAL NOTES

#### DESIGN LOADING

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION
- DESIGN LOADS ROOF

FLOOR

SNOW = 15 PSF (12 PSF GROUND SNOW, TRUSSES) LIVE = 20 PSF (REDUCIBLE BASED ON ROOF PITCH) DEAD = 7 PSE T.C., IO PSE B.C. LOAD DURATION FACTOR = 125

LIVE = 40 PSE (30 PSE @ SLEEPING AREAS)

DEAD = 10 PSF (I-JOISTS), 15 PSF (FLOOR TRUSSES) ADD'L IO PSE @ CERAMIC TILE IN KITCHEN. SUNROOMS, BATHS, FOYER, LAUND. & MUDRMS

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

115 MPH, EXPOSURE B

#### GENERAL FRAMING

- ALL TYP, NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT & INT BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP #2 GRADE LUMBER, OR BETTER, U.N.O.. · WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPE) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER, SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD MINIMUM
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)

  • HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15)
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 134" MAX. MIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"XO.120" NAILS @ 8" O/C OR 2 ROWS K"x3K" SIMPSON SDS SCREWS (OR 3K" TRUSSI OK SCREWS) @ 16" GREATER. APPLY EASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 31/3" OR 51/4" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF K"X6" SIMPSON SDS SCREWS (OR 6 3/1 TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY EASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABW44 BASE, U.N.O.
- CORROSION NOTES
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

#### GENERAL STRUCTURAL NOTES

#### **FOUNDATION**

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE:
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2
- ANCHORS PER PLATE 12" MAX FROM PLATE ENDS UTILIZING: I/2" DIA. ANCHOR BOLTS 6'-0" O.C,7" MIN. EMBEDMENT
- I/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C. SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONCRETE)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD CONTACT LIMBER & HARDWARE SUPPLIERS TO COORD
- FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACL 318, CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O. f'c = 3,000 psi: ...... FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: ...... GARAGE & EXTERIOR SLABS ON GRADE fu = 60.000 psi
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- . JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:1.5 RATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY

# LOT 341 5921-07 **ASPEN CREEK ELEVATION C REVERSE PLAN** LEFT-HAND **GARAGE**

# NO FIRE RATED WALL REQUIRED

#### MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY OR WARRANTY TOLERANCES

#### VENEER LINTEL SCHEDULE

		SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
		3'-0"	20 FT. MAX	L3"x3"x¼"
			3 FT. MAX	L3"x3"x¼"
		6'-0"	I2 FT. MAX	L4"x3"x¼"
			20 FT. MAX	L5"x3½"x%;"
		8'-0"	3 FT. MAX	L4"x4"x¼" *
		8-0	I2 FT. MAX	L5"x3½"x%;"
			I6 FT. MAX	L6"x3½"x¾"
		9'-6"	I2 FT. MAX	L6"x3½"x%6"
		16'-0"	2 FT. MAX	L7"x4"x½" **
			3 FT. MAX	L8"x4"x½" **

- ILLIMITES.

  \$404LL SIPPORT 2 3/\* 3 /5' VIDEER W 40 PM MAXIMM MEIGHT.

  16' SHALL HAVE 4" MIN. BEARING

  16' SHALL HAVE 9" MIN. BEARING

  16' SHALL HAVE 9" MIN. BEARING

  16' SHALL BY STEEPED BACK TO MOOD HEADER IN MALL 446"02. W 3/\* DIA. x 3 /5'

  LONG LAG SCREPK IN 2" LONG VERTICALLY SLOTTED HOLES.

  MAY. VEREER IN APPLIES TO ANY FORTION OF PERCK OVER THE OPENING.

  ALL INITIES SHALL BE LONG LEG VERTICAL.

  MAY BEC OF IN THE PELLO TO BE 3/5' MUSE OVER THE BEARING LIGHTH ONLY. THIS

  SEE STRUCTURAL PANG FOR ANY LIMITEL CANDITION NOT ENCOMPASSED BY THE

  ROOK GERN SHEPPING INE ANY LIMITEL CANDITION NOT ENCOMPASSED BY THE

  ROOK GERN SHEP INE 16' ANY LIMITEL CANDITION NOT ENCOMPASSED BY THE

  ROOK GERN SHEP INE 14-36'.
- FOR QUEEN VENEER USE L4x3x/4". \* FOR 3½" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3½" THICK

#### ADDITIONAL NOTES FOR TRUSS \$ I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN, MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES
RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A ROOF TRUSSES.

- I/4" DEAD LOAD
- FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS: I/8" DEAD LOAD

  ABSOLUTE DEAD LOAD DEFECTION OF FLOOR
- TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NO DIFFERENTIAL DEFLECTION

#### FLOOR JOIST NOTES

- ALL FLOOR JOISTS SHALL BE THE DEPTI SPECIFIED ON PLAN - FLOOR JOISTS SERIES & SPACING IS PER THE FLOOR JOIST MANUF.
- SPACING SHALL NOT EXCEED 19.2" O.C. (MAX.) LOCATION OF TILE: SPACING SHALL NOT
- EXCEED 16" O.C. (MAX.)

#### LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

# 5 MPH WIND IN 2018 NCSBC:RC

(115 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301,1,3 OF THE 2018 NCSBC:RC, ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5& R802.II.

#### EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3 XO.II3 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD.

#### 3" O.C. EDGE NAILING

 AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

#### TYP. UNIT SEPARATION WALL SHEATHING SPECIFICATION

I/2" OR 5/8" GYPSUM WALL BOARD: FASTEN GWB SHEATHING TO FRAMING W/ I \$"X0.086" COOLER NAILS OR I 1/4" DRYWALL SCREWS @ 7" O.C. " PANEL EDGES & PANEL FIELD (INCLUDING T&B PLATES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN. FWILL BE SPECIFICALLY NOTED ON PLAN
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- · ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0,120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT OSB SHEARWALL, BLOCKED PANEL EDGES. AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

SEES Brodeside Parkwey, Sale 250 - Aphrenia, SA 30022

P.770-771-0014 - multimizape.com



Julhern+Kulp project number 243-24033

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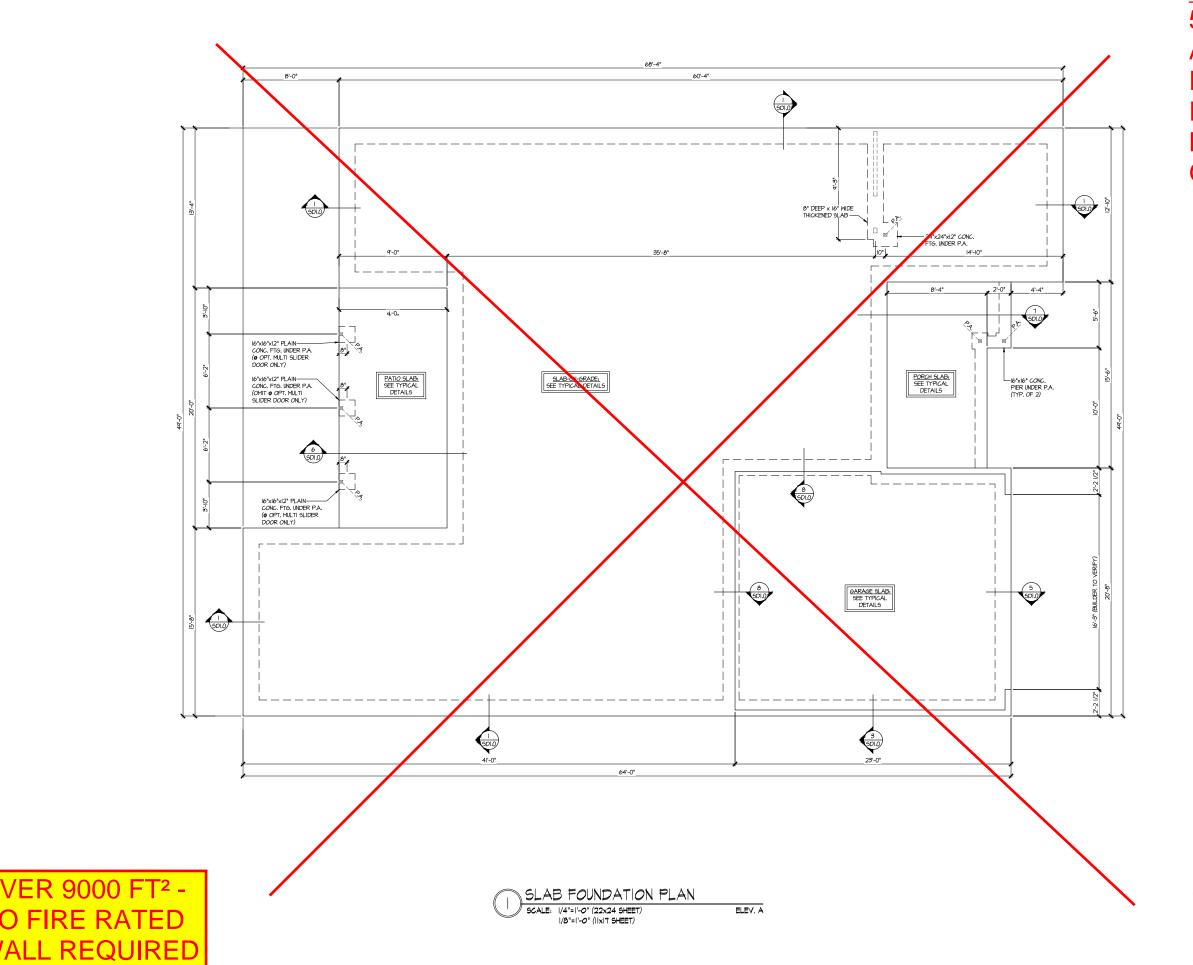
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BESIDENTIAL STRUCTURAL ENSINEERING

WES Broadsto Parkway, Sain 250 - Aghwenn, SA, 2002

P.TO-TT-0074 - mediamicapcom

NC. Licence # C-3925

243-2403:

SMK KΜ\ issue date: 08-16-2024

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05-28-2025
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• ==== BEARING WALL ABOVE (B.W.A.)

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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• IIIII INTERIOR BEARING WALL

BEAM / HEADER

EXTENT OF VALLEY TRUSS OVERFRAMING

224" O.C. (MAX.)

NDICATES HOLDOWN

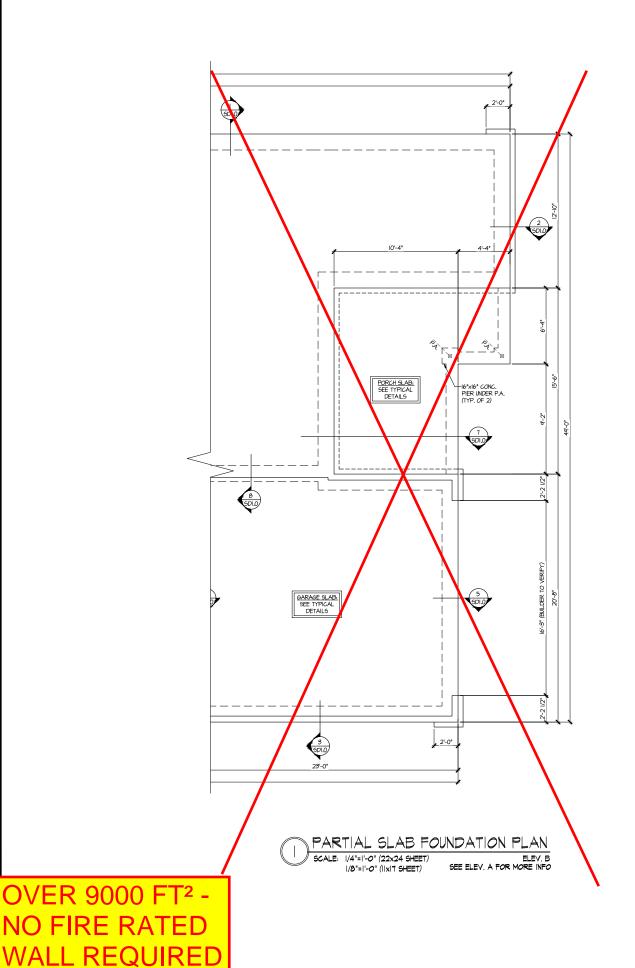
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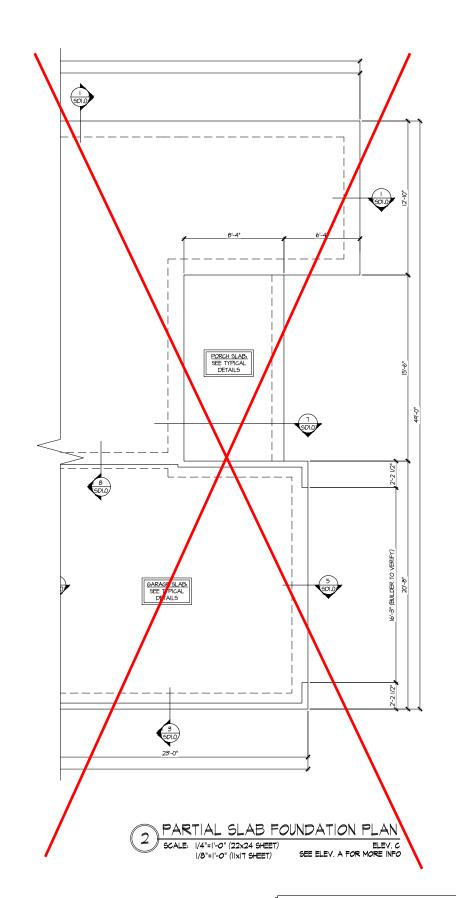
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5921-07 MODEI

SERENITY MASTER SET RALEIGH, NC

FOUNDATION PLAN





REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

**LOT 341** 5921-07 **ASPEN CREEK ELEVATION C REVERSE PLAN LEFT-HAND GARAGE** 

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243-2403:

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FOUNDATION PLAN

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LEGEND

INTERIOR BEARING WALL

● □===□ BEARING WALL ABOVE (B.W.A.)

BEAM / HEADER

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING

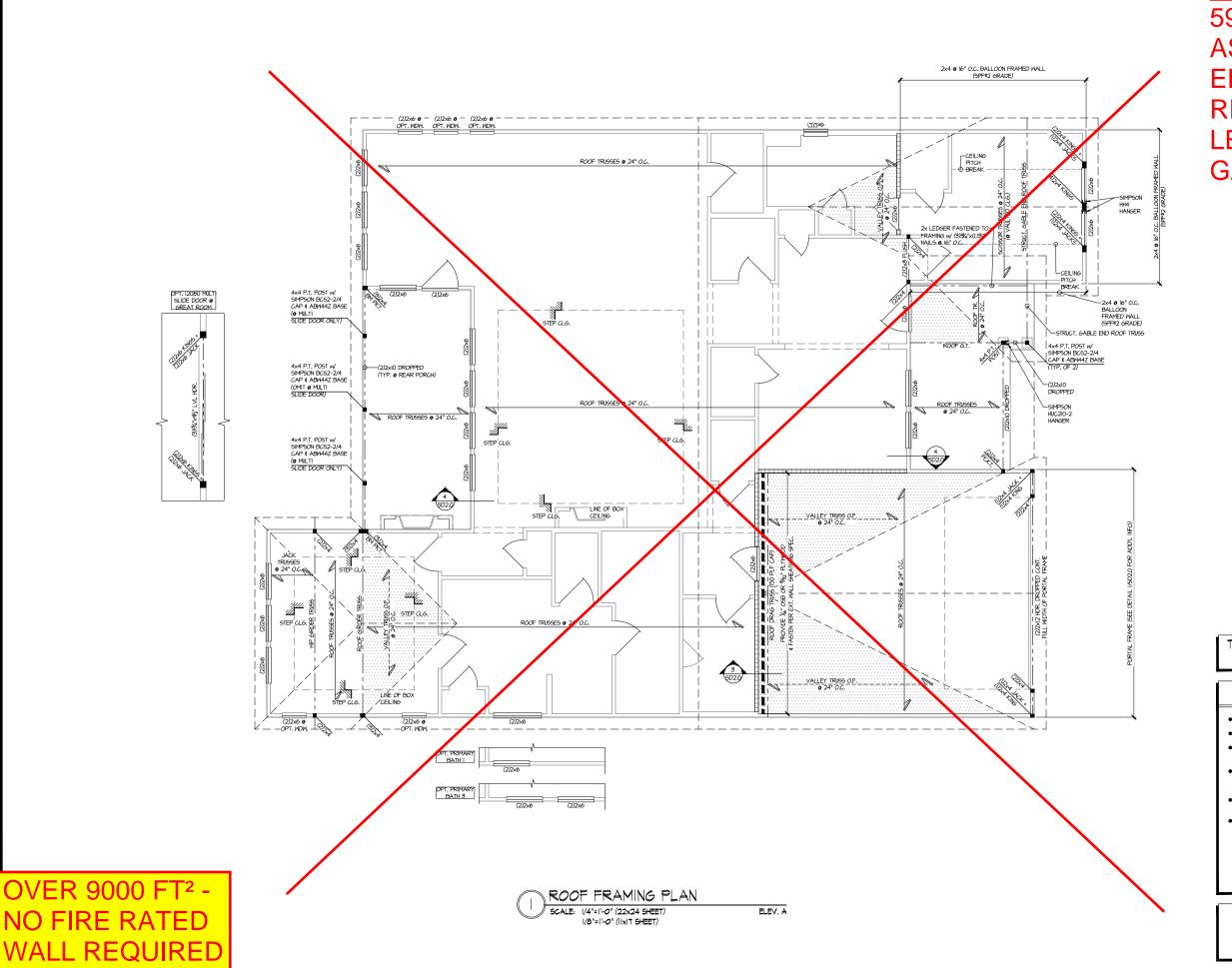
EXTENT OF VALLEY TRUSS OVERFRAMING

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

NDICATES HOLDOWN

JL METAL HANGER

\* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.





MULHERN+KULP RESIDENTIAL STRUCTURAL ENSINEERING 3655 Brodside Parkway, Suita 250 + Aphaesta, SA 3002 PT TO TO TO A complexion



Mulhern+Kulp project number:

243-24033

project mgr: SMK drawn by: KMV issue date: 08-16-2024

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date: initial:

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05-28-2025 JPP

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

#### LEGEND

- INTERIOR BEARING WALL
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- --- BEAM / HEADER
- INDICATES EXTENT OF INT.

  OSB SHEARWALL AND/OR
  3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUGG OVERFRAMING

  24" O.C. (MAX.)
- 77/7/7, EXTENT OF FLOOR SYSTEM TO
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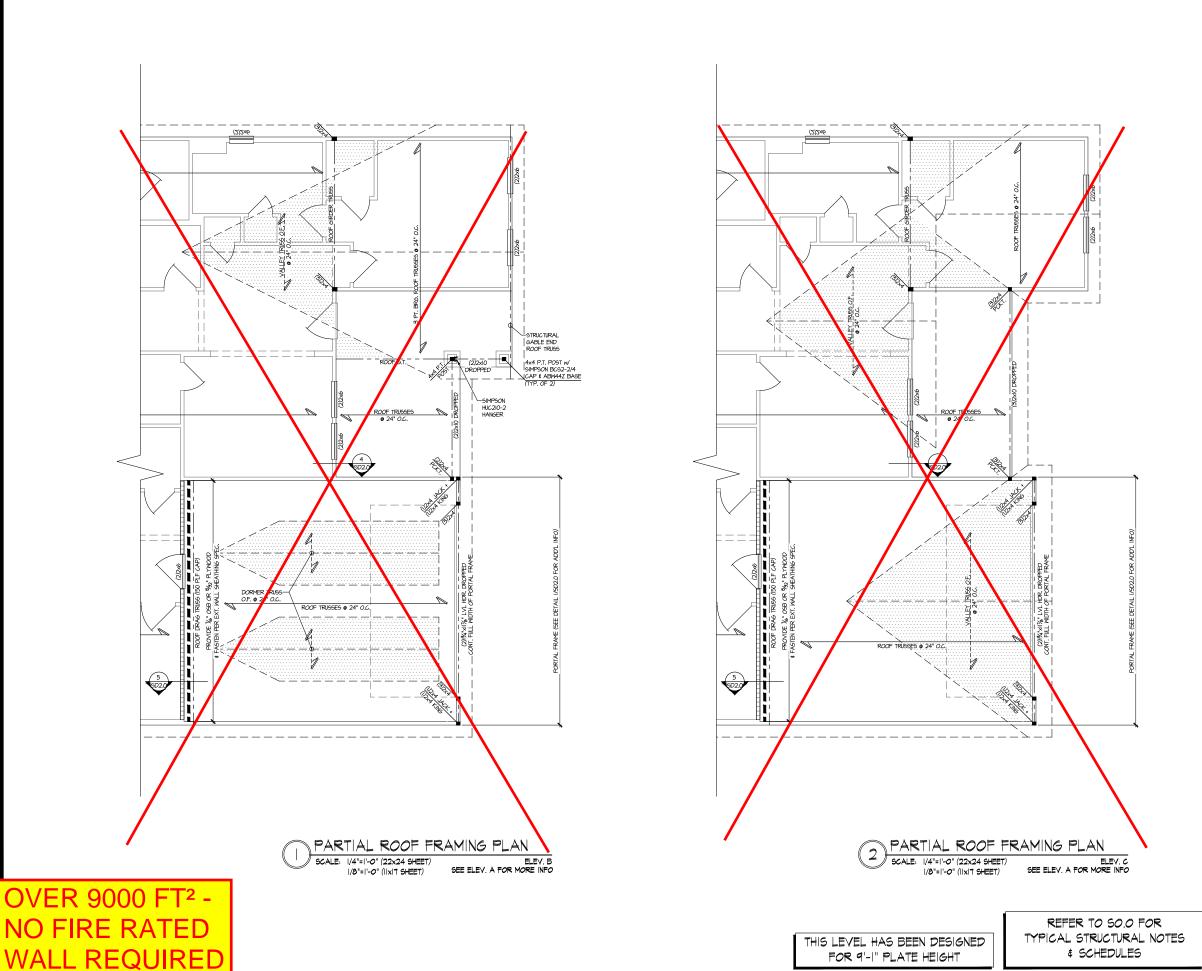
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ROOF FRAMING PLAN

5921–07 MODEI Serenity Master set Raleigh, nc

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Mulhern+Kulp project number:

243-2403:

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ROOF FRAMING PLAN 5921-07 MODEI SERENITY MASTER SET RALEIGH, NC

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

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JL METAL HANGER

\* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LEGEND

INTERIOR BEARING WALL ● □===□ BEARING WALL ABOVE (B.W.A.)

BEAM / HEADER

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

EXTENT OF VALLEY TRUSS OVERFRAMING

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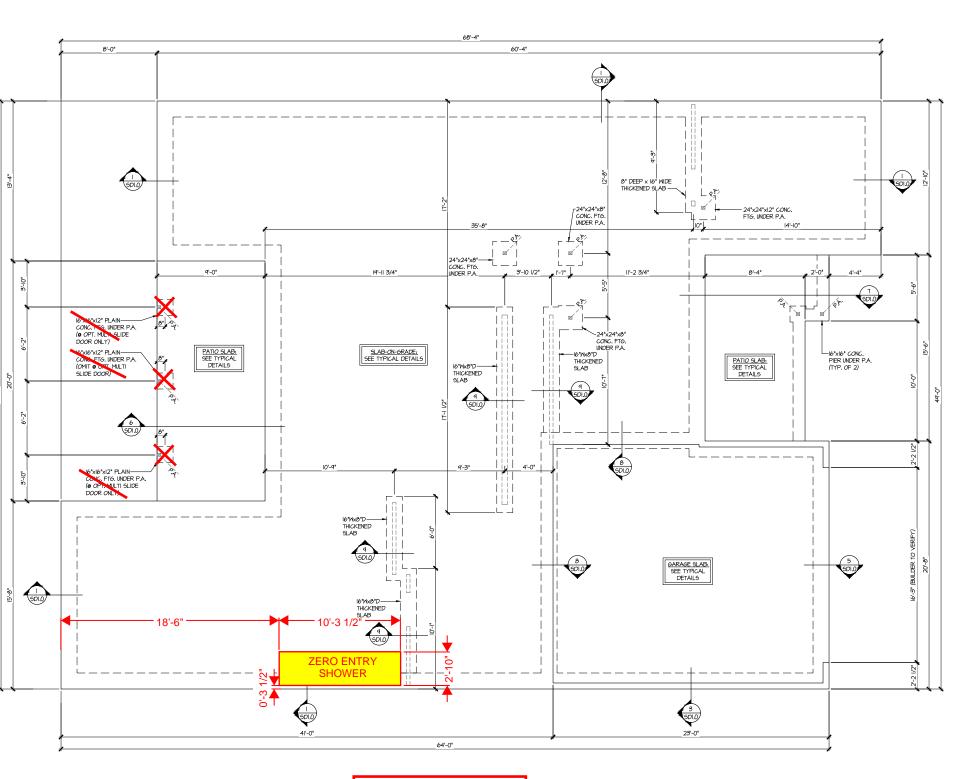
SEE OPT. **OUTDOOR LIVING PATIO 2** SLAB **FOUNDATION PARTIAL ON** SHEET S4.1

SEE OPT. **EXTENDED COVERED PORCH SLAB FOUNDATION** PARTIAL ON SHEET S4.0

OVER 9000 FT<sup>2</sup> -

NO FIRE RATED

L REQUIRED



**ELEVATION C** 

OPT. 2ND FLOOR SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" (22x24 SHEET)

ELEV. A

**LOT 341** 5921-07 **ASPEN CREEK ELEVATION C LEFT-HAND GARAGE** 

**REVERSE PLAN** 

SEE ELEVATION C **FOUNDATION** PLAN PARTIAL ON SHEET S3.1

MULHERN+KULP RESIDENTIAL STRUCTURAL ENSINEERINS 3855 Brookside Parkway, Sulp 250 - Apharam, SA, 30022 p.719-717-0074 - multimologicom NC Licence # C-3025



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SMK KΜ\ issue date: 08-16-2024

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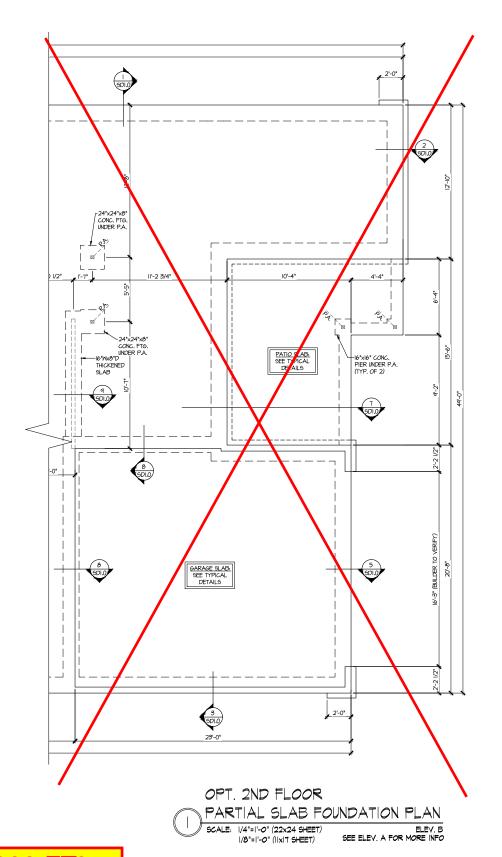
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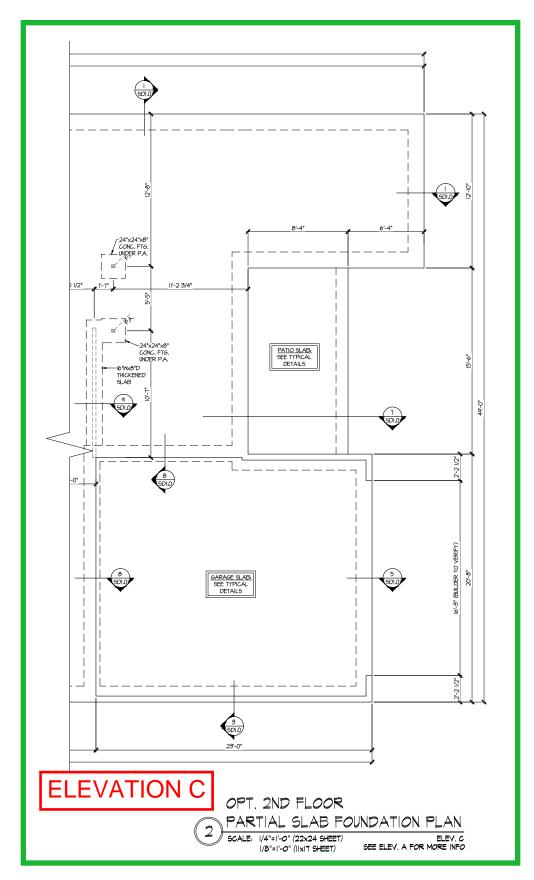
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STRUCTURAL OPTIONS

5921-07 MODEI SERENITY MASTER SET RALEIGH, NC





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**LOT 341** 5921-07 **ASPEN CREEK ELEVATION C REVERSE PLAN LEFT-HAND GARAGE** 

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LEGEND

INTERIOR BEARING WALL ■ ==== BEARING WALL ABOVE (B.W.A.)

BEAM / HEADER

INDICATES EXTENT OF INT.

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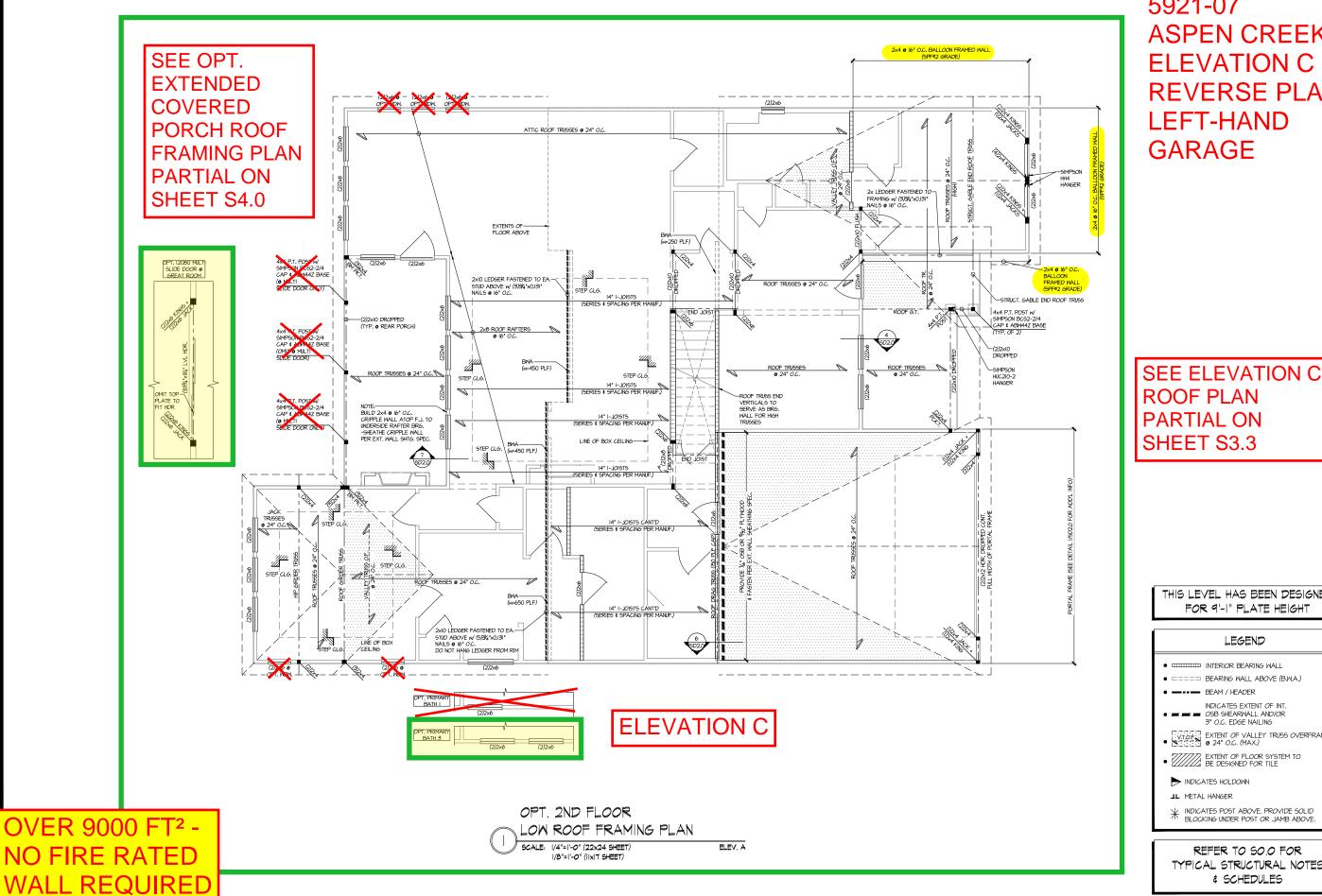
EXTENT OF VALLEY TRUSS OVERFRAMING

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

NDICATES HOLDOWN

M INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.





MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING

243-24033

issue date: 08-16-2024

initial: 11-08-2024 5 SMM NAME, OPT. EXT. COVID. PORCH 05-28-2025

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

#### LEGEND

- INTERIOR BEARING WALL
- ==== BEARING WALL ABOVE (B.W.A.)
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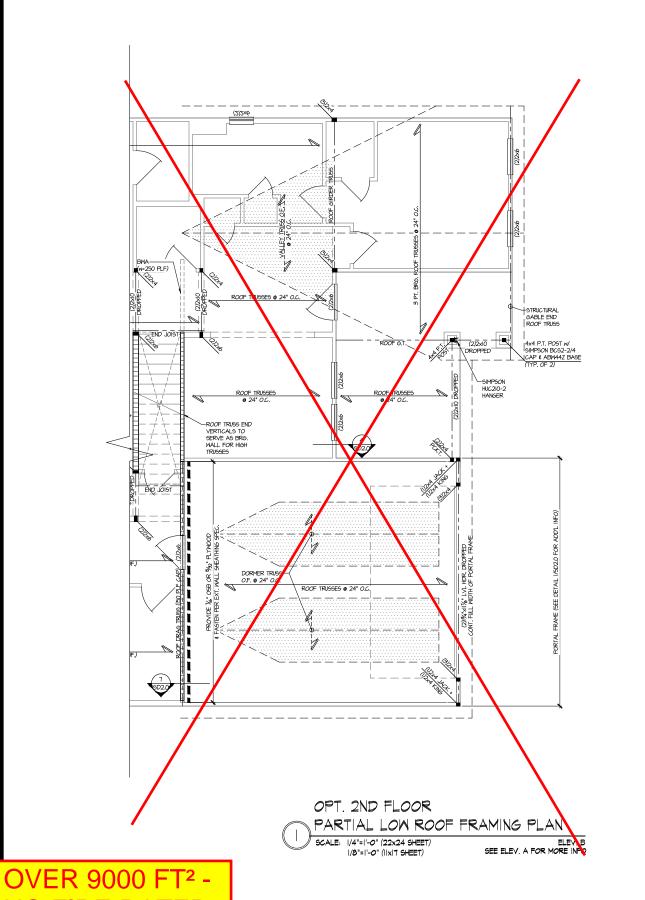
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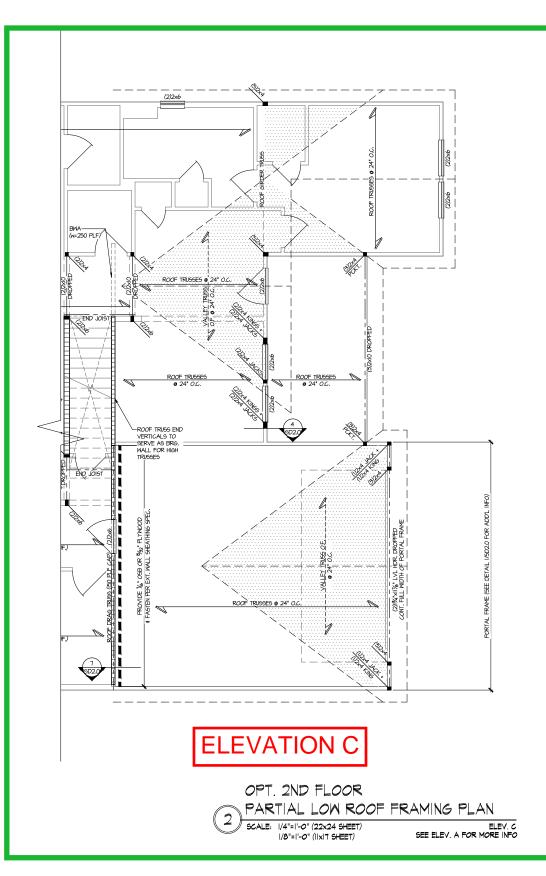
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**LOT 341** 5921-07 **ASPEN CREEK ELEVATION C REVERSE PLAN LEFT-HAND GARAGE** 



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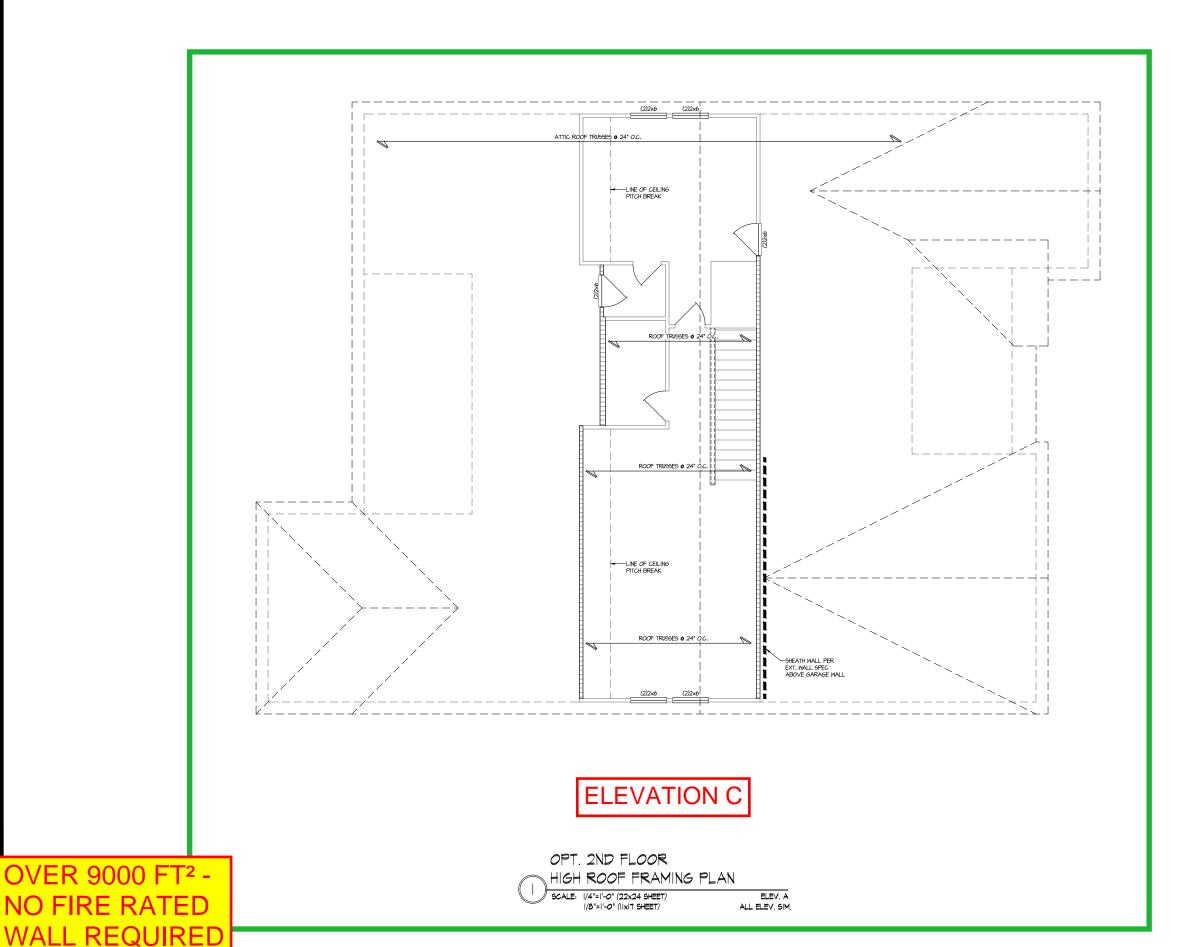
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Mulhern+Kulp project number:

243-24033

project mgr: SMK drawn by: KMV issue date: 08-16-2024

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05-28-2025 JPP
MSC. ARCH. BYDATE

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

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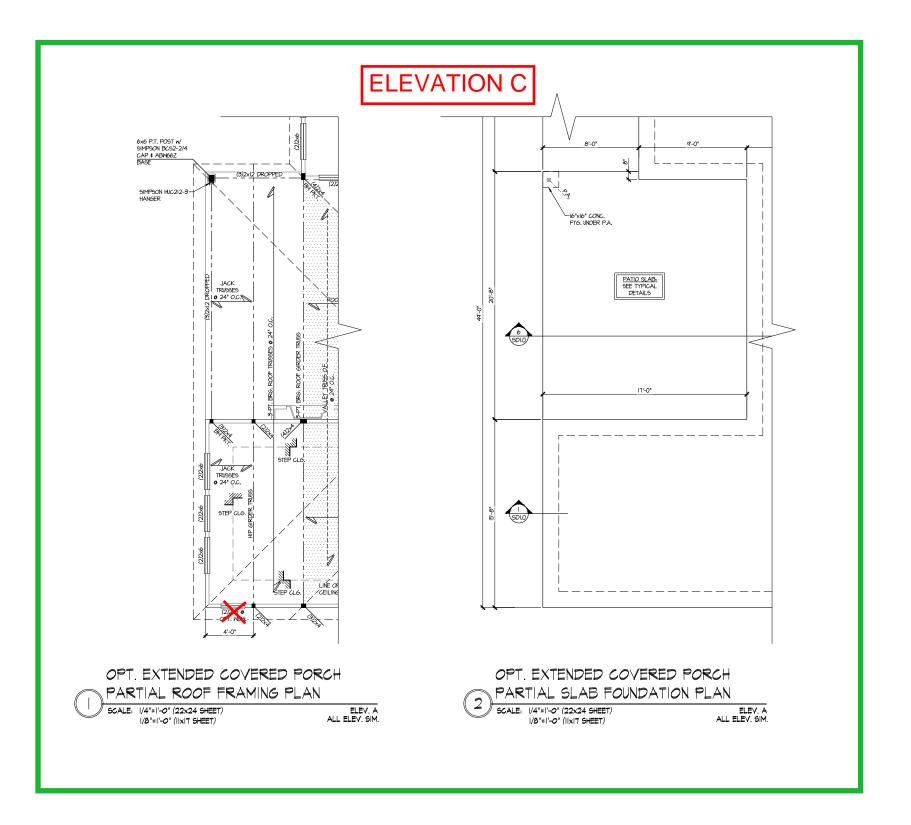
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- ► INDICATES HOLDOWN
- METAL HANGER
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STRUCTURAL OPTIONS

5921-07 MODEL

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- □□□□□ BEARING WALL ABOVE (B.W.A.)

- \* INDICATES POST ABOVE. PROVIDE SOLID

LEGEND

• INTERIOR BEARING WALL

BEAM / HEADER

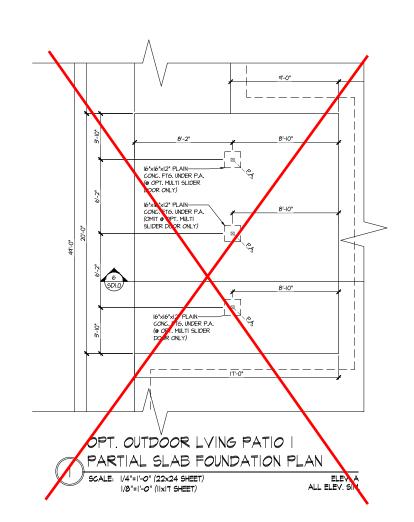
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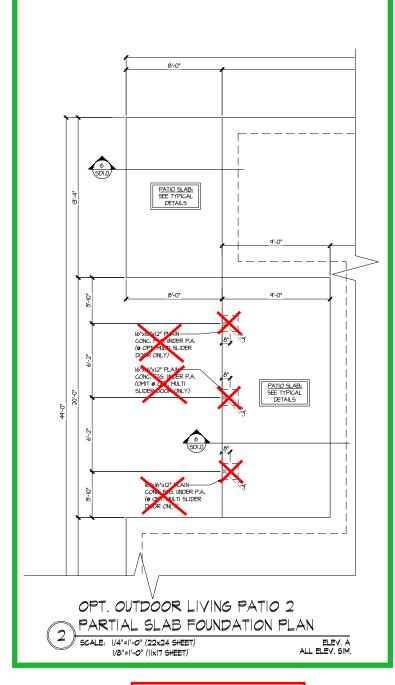
- EXTENT OF VALLEY TRUSS OVERFRAMING
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- JL METAL HANGER
- BLOCKING UNDER POST OR JAMB ABOVE.

OVER 9000 FT<sup>2</sup> -L REQUIRED

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES





**ELEVATION C** 

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

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**LOT 341** 5921-07 **ASPEN CREEK ELEVATION C REVERSE PLAN LEFT-HAND GARAGE** 



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243-2403:

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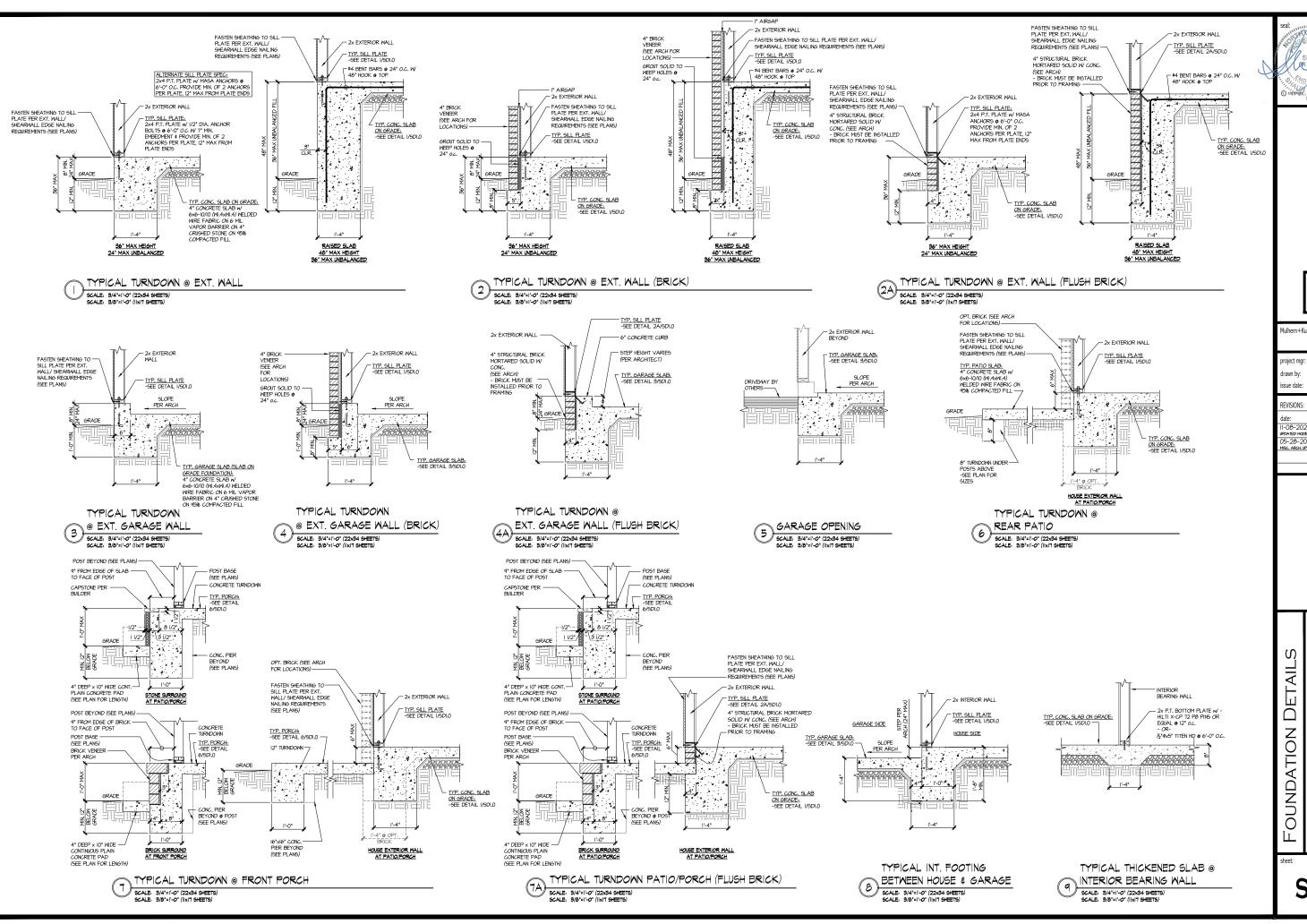
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- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE

STRUCTURAL OPTIONS 5921-07 MODEI

SERENITY MASTER SET RALEIGH, NC

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OVER 9000 FT<sup>2</sup> -L REQUIRED



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RESIDENTIAL STRUCTURAL ENSINEERINS Parkwey, Suite 250 🕶

lulhern+Kulp project number 243-2403

SMK ΚM issue date: 08-16-2024

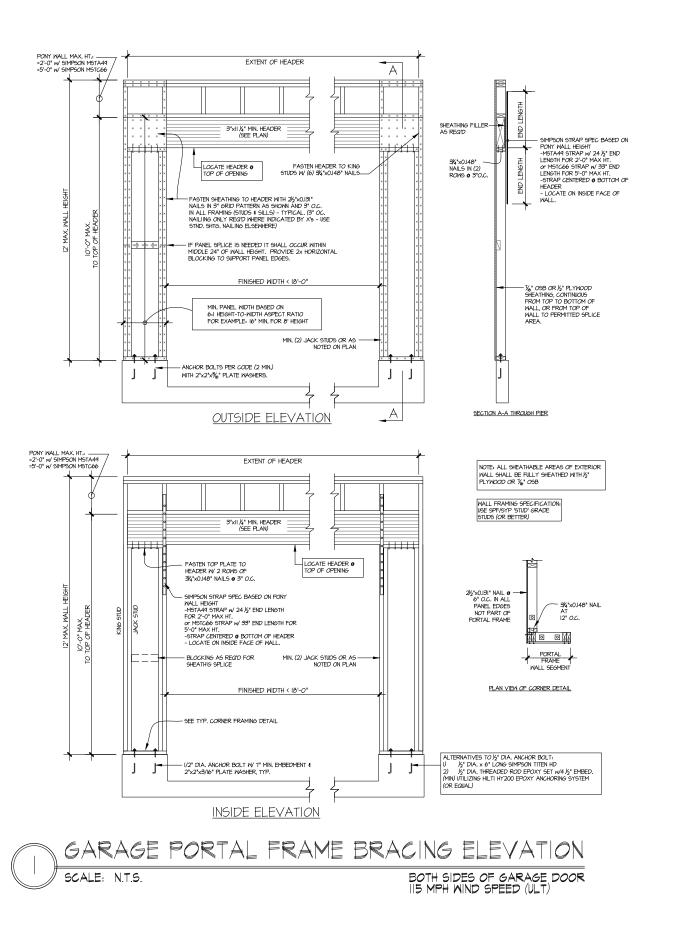
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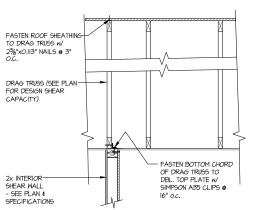
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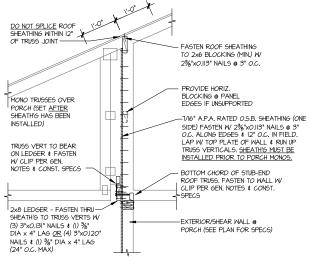
SERENITY MASTER SET RALEIGH, NC 5921-0

**SD1.0** 

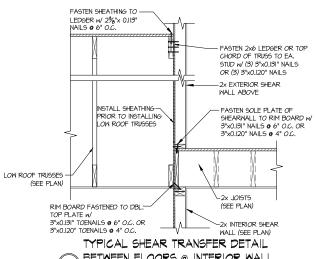




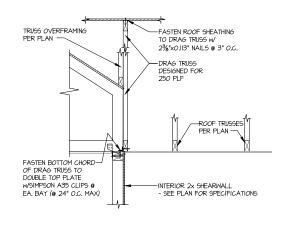
#### INTERIOR DRAG TRUSS DETAIL 2 INTERIOR SCALE: 3/4"=1'-0'



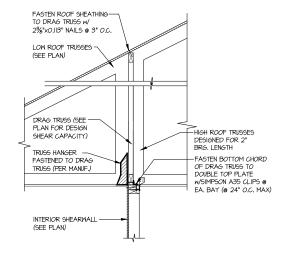
#### SHEAR TRANSFER DETAIL @ BREAK IN TRUSSES OVER SHEAR WALL 9CALE: 3/4"=|'-0" - 22x34 3/8"=|'-0" - ||x|7



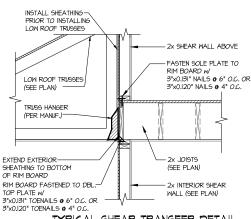
6 BETWEEN SCALE: 3/4"=1"-0" BETWEEN FLOORS @ INTERIOR WALL



### SHEAR TRANSFER DETAIL AT INTERIOR SHEARWALL BELOW



### SHEAR TRANSFER DETAIL AT INTERIOR SHEARWALL BELOW



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
96ALE: 9/4"=1"-0"

MULHERN+KULP
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243-2403

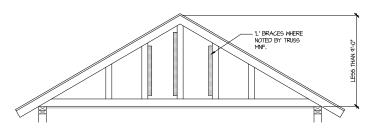
ΚM issue date: 08-16-2024

REVISIONS: initial: SMM NAME, OPT. EXT. COVID. PORCH 1-08-202 5-28-2025

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Ŋ DETAIL MOD FRAMING SERENITY MASTER SET RALEIGH, NC 5921-07

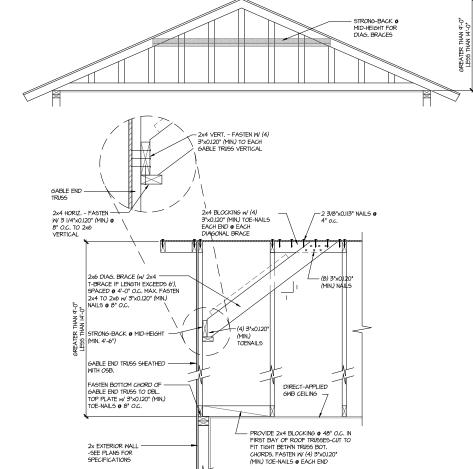
**SD2.0** 



'L' BRACES FASTENED TO VERTICALS MEERE RECO'D BY TRUSS MANUFACTURER, FASTEN W 16d GUN NAILS (0.131 x 3 1/2") @ 6" O.C.

GABLE END TRUSS SHEATHED-WITH OSB.

FASTEN BOTTOM CHORD OF — GABLE END TRUSS TO DBL. TOP PLATE w/ 3"x0.120" (MIN.) TOE-NAILS & 8" O.C.



TYPICAL GABLE END BRACING DETAIL SCALE: NOME REQUIRED TRUSS REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0'

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9"-0". "L" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

DIRECT-APPLIED GWB CEILING —

- PROVIDE 2x4 BLOCKING ● 48" O.C. IN FIRST BAY OF ROOF TRUSSES-CUT TO FIT TIGHT BETWN TRUSS BOT. CHORDS, FASTEN W (3) 3 J V4"x0.120" (MIN.) TOE-NAILS @ EACH END

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. "L' BRACES NOT REQUIRED.

TYPICAL GABLE END BRACING DETAIL SCALE. NONE REQUIRE GABLE END TRUSS

REQ'D @ GABLE END TRUSS HEIGHT BETWN 9'-0" TO 14'-0"

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NC Licence # C-38.25

Mulhern+Kulp project number:

243-24033

SMK KΜV issue date: 08-16-2024

REVISIONS: initial: UI-08-2024 SMM
UPDATED MODEL NAME, OPT. EXT. COVID. PORCH
05-28-2025 JPP
MISC. ARCH. UPDATE

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FRAMING DETAILS 5921-07 MODEL SERENITY MASTER SET RALEIGH, NC

**SD2.1**