

# LOT 2 MAGNOLIA RIDGE INVENTORY MARKED

## EMBARK DREAM FINDERS HOMES

### PLAN REVISIONS

02-04-20 ADJUSTED THE PATIO/PAD TO MEASURE 10' X 8' AND ADJUSTED DIMENSIONS OF CONCRETE PAD/PATIO.  
VERIFIED HDR HGT. WAS AT LEAST 7'-0" ON ALL EXTERIOR WINDOWS.  
VERIFIED ROOM SIZES AND DIMENSIONS.  
CHANGED WASHER DRYER, AND REFRIGERATOR TO OPTIONAL COMPONENTS.  
VERIFIED MASTERS WAS CHANGED TO OWNER'S THROUGHOUT PLAN.  
CHANGED FRONT DOOR ON ELEVATION C TO 2-PANEL INSTEAD OF 3-PANEL DOOR.  
ADDED ROOF VENT CALCULATIONS OF ALL ELEVATION.  
CHANGED 2X4 WALL AT REAR OF THE GARAGE TO 2X6 WALL.  
UPDATED SLAB INTERFACE PLAN AND OPTIONS.  
ADDED OPT. DBL OVEN TO PLANS IN KITCHEN.  
ADDED INSULATION DETAIL TO PLANS SHEETS.  
ADDED 3-0 5-0 WINDOW AT OWNER'S BEDROOM FOR VENTILATION PURPOSES.  
CHANGE ALL CEILING FANS TO OPTIONAL.  
REVISED CUTSHEETS.

06-01-20 REMOVED HANSEN BOX AND DRYER VENT.  
GATHERING WAS CHANGED TO FAMILY, CAFE WAS CHANGED TO CASUAL DINING, AND FLEX ROOM WAS CHANGED TO STUDY.  
CREATED NEW SHEET FOR FLOOR PLAN OPTIONS.  
UPDATED CUTSHEETS.  
CHANGED 2X4 WALL AT LEFT, BACK AND FRONT GARAGE WALLS TO 2X6.  
REMOVED OUTLETS, PHONES AND TVs FROM ELECTRICAL PLANS.  
ADDED CARBON MONOXIDE DETECTOR AT BEDROOMS.  
CREATED ELEVATION ARTS AND CRAFTS D'.  
CHANGED CORNER BOARDS ON ELEVATIONS TO BE 1X4 TRIM BOARD.  
SHOULDER COACH LIGHTS ON ELEVATIONS.  
ADDED DIAGONAL DIMENSIONS ON SLAB INTERFACE PLAN.  
REVISED ROOM DIMENSIONS FOR THE FOLLOWING ROOMS:  
GARAGE WAS 11'-4"X20'-8", NOW 11'-2"X20'-6".  
FAMILY ROOM WAS 19'-6"X14'-8", NOW 19'-6"X14'-1".  
REVISED SF, AS FOLLOWS:  
LIVING WAS 1124 SF, NOW 1125 SF.  
GARAGE WAS 249 SF, NOW 16 248 SF.  
FRONT PORCH AT ELEVATION B WAS 63 SF, NOW 16 73 SF.  
REMOVED ELEVATION C ON 01-09-2020.  
REMOVED ROUNDING AT 8 SQ. FT. BLOCK. PORCH A WAS 63 SF, NOW 16 65 SF. PORCH B WAS 73 SF, NOW 16 72 SF.  
CHANGED SHUTTERS TO BE 14" WIDE.  
REMOVED OPT. FRIEZE BOARD AT REAR AND SIDE ELEVATIONS.  
CREATED LEFT HAND GARAGE VERSION

06-08-20 ADDED WINDOW SCHEDULE  
CHANGED OWNER'S BATH DOOR TO 2'6"  
CHANGED GARAGE WALL FROM 2X6 TO 2X4  
ADDED DETAIL FOR DECORATIVE BRACKET ON ELEVATION A, ELEVATION B, & ELEVATION D  
CHANGED COLUMNS TO MATCH STANDARD COLUMNS ACROSS ALL PURL PLANS  
REMOVED COLUMN BASE FROM ELEVATION D AND CREATED FULL HEIGHT 8' SQUARE COLUMN  
REMOVED GARAGE SHAKE FROM ELEVATION D  
CHANGED LINEN HALL DOOR FROM 2/6 BIFOLD TO 2/6 STD.  
CHANGED LINEN DOOR FROM 2/0 BIFOLD TO 2/0 STD.  
CHANGED OWNER'S BATH LINEN DOOR FROM 2/6 BIFOLD TO 2/6 STD.  
CHANGED COATS DOOR FROM 2/6 BIFOLD TO 2/6 STD.  
CHANGED BED 2 CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD.  
CHANGED BED 3 CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD.  
CHANGED OWNER'S BEDROOM DOOR FROM 2/8 STD. TO 2/6 STD.  
REMOVED OPTIONAL DOUBLE OVEN  
REMOVED VENT FROM GABLE ON ELEVATION A (01-18-24)

12-01-22 ADDED ELEVATION D2 SHOWING BRICK COLUMN AND D3 SHOWING STONE COLUMN  
ADDED SQUARE FOOTAGE BLOCK FOR D2 AND D3 ELEVATIONS.  
VERIFIED AND UPDATED OPTIONAL OWNER'S BATH 2 & 3 LAYOUTS  
CHANGING OF FIRST FLOOR CEILING HEIGHT FROM 9'-0" TO 8'0" CEILING HEIGHT  
SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION "D2" CHANGED TO 126 SQ. FT.  
SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION "D3" CHANGED TO 136 SQ. FT.

12-01-22 CHANGED GARDEN TUB OF OPTIONAL OWNER'S BATH 2 FROM 66" TO 60"  
CHANGED GARDEN TUB OF OPTIONAL OWNER'S BATH 3 FROM 66" TO 60"  
CHANGED WINDOW HEAD HEIGHTS TO 85"  
ADDED (6) OPTIONAL LED CAN LIGHTS IN KITCHEN (06-15-23)

08-15-24 CEILING HEIGHT CHANGED FROM 8'-0" TO 9'-0"  
OPTIONAL COVERED PATIO CREATED

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'A'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	65 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'B'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	72 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

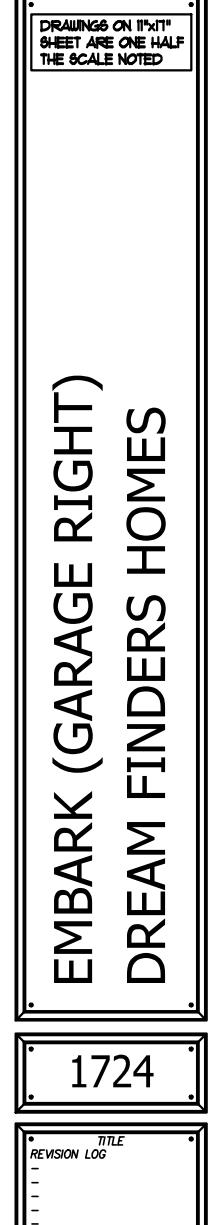
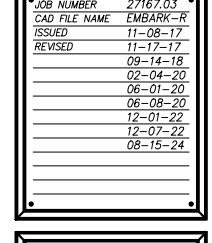
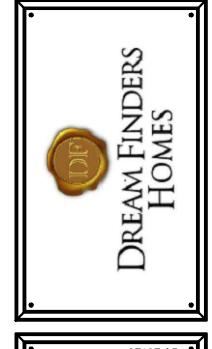
SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	126 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D2'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	136 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D3'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	136 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

1724
TITLE
REVISION LOG
-
-
-
-
SHEET
CS

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.  
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EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES  
LOT 2 MAGNOLIA RIDGE



## DREAM FINDERS HOMES

27167.03  
EMBARK-R  
11-08-17  
11-17-17  
09-14-18  
02-04-20  
06-01-20  
06-08-20  
12-01-22  
12-07-22  
08-15-24

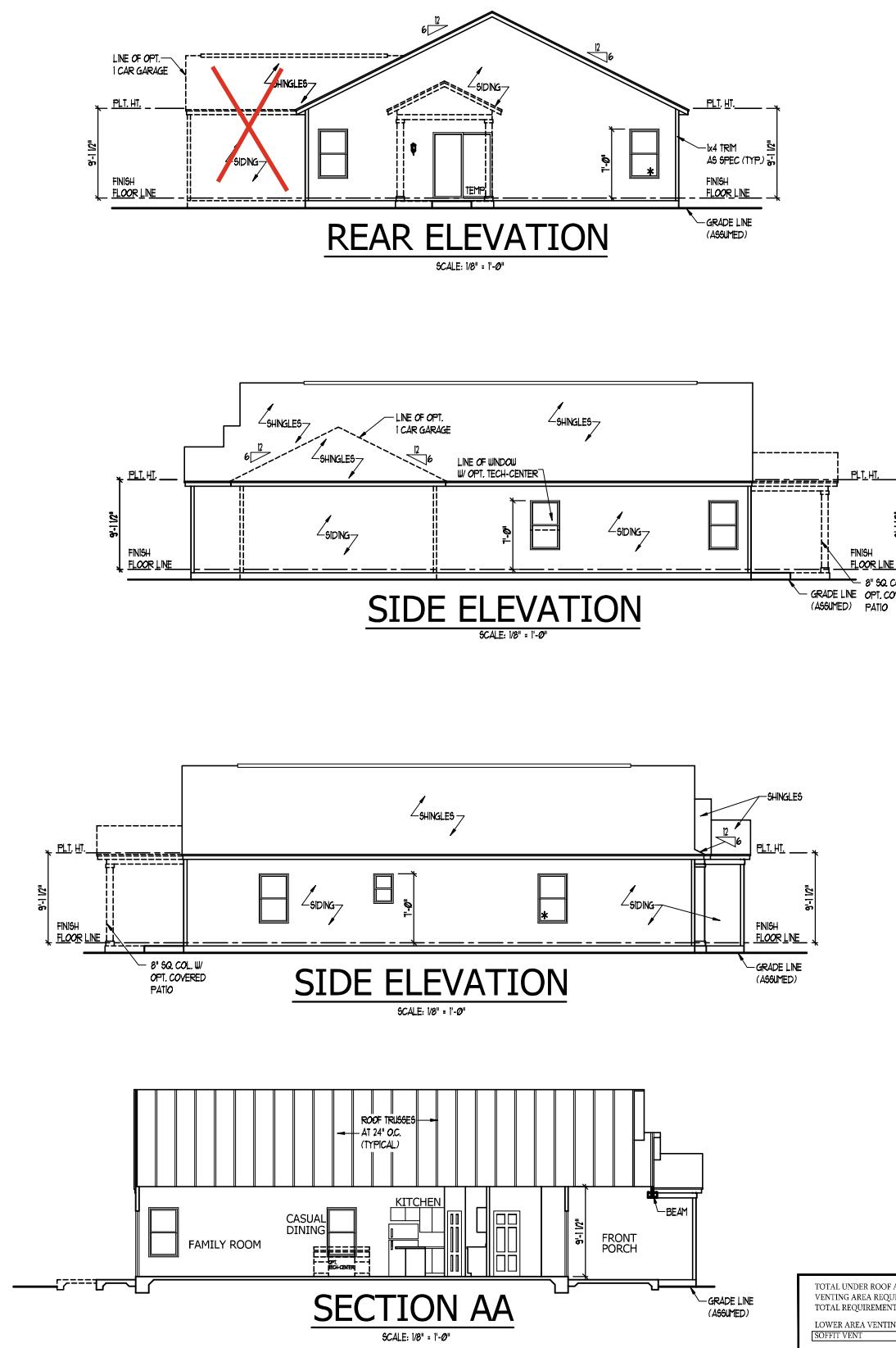
IN 11" x 17"  
ONE HALF  
NOTED

# DREAM FINDERS HOMES

24

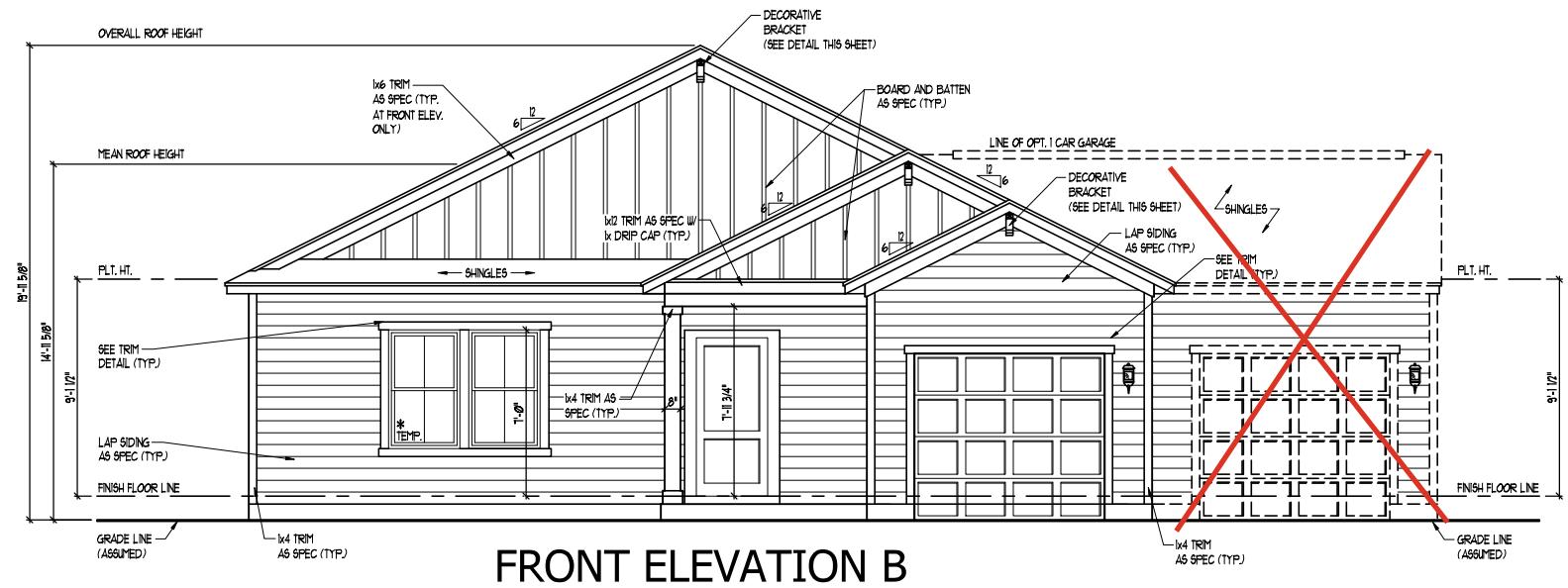
**N  
ELEVATIONS**

.1



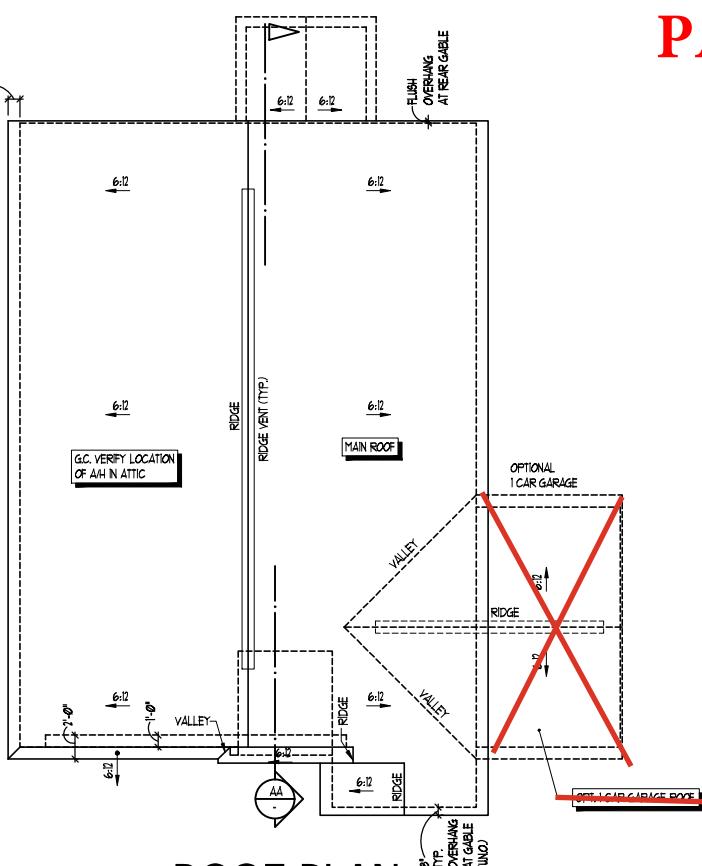
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TOTAL UNDER ROOF AREA:	2045	SQ. FT.
VENTING AREA REQUIRED:	2045	SQ. FT.
TOTAL REQUIREMENTS:	2045	SQ. FT.
<b>LOWER AREA VENTING</b>		
SOFFIT VENT	SIZE: -	PER UNIT: # UNITS: PROVIDED: 321
		.041 SF/FT 127*2*
		LOWER AREA VENTING PROVIDED: -
<b>UPPER AREA VENTING</b>		
RIDGE VENT	SIZE: -	PER UNIT: # UNITS: PROVIDED: 5.00
		.175 SF/FT 40*40*
		UPPER AREA VENTING PROVIDED: -
<b>TOTAL AREA PROVIDED</b>		
SOFFIT AND RIDGE VENT		10.21

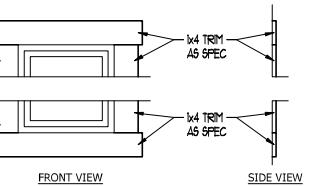


## FRONT ELEVATION B

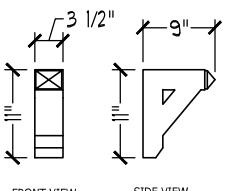
# PARKING PAD



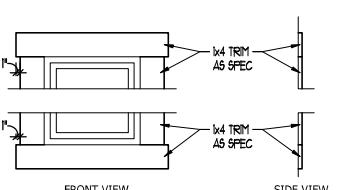
# ROOF PLAN



TRIM DETAIL

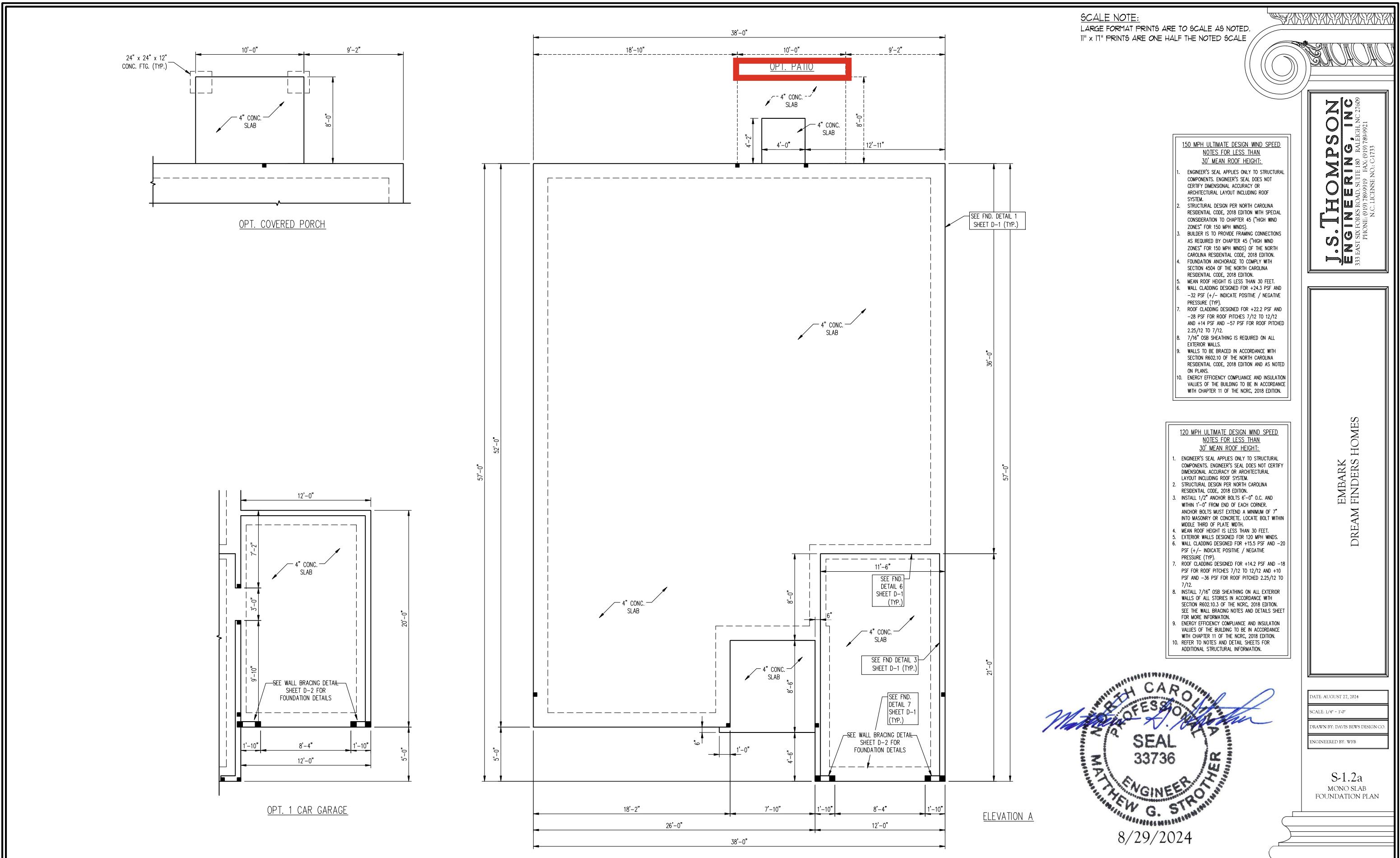


### BRACKET DETAIL

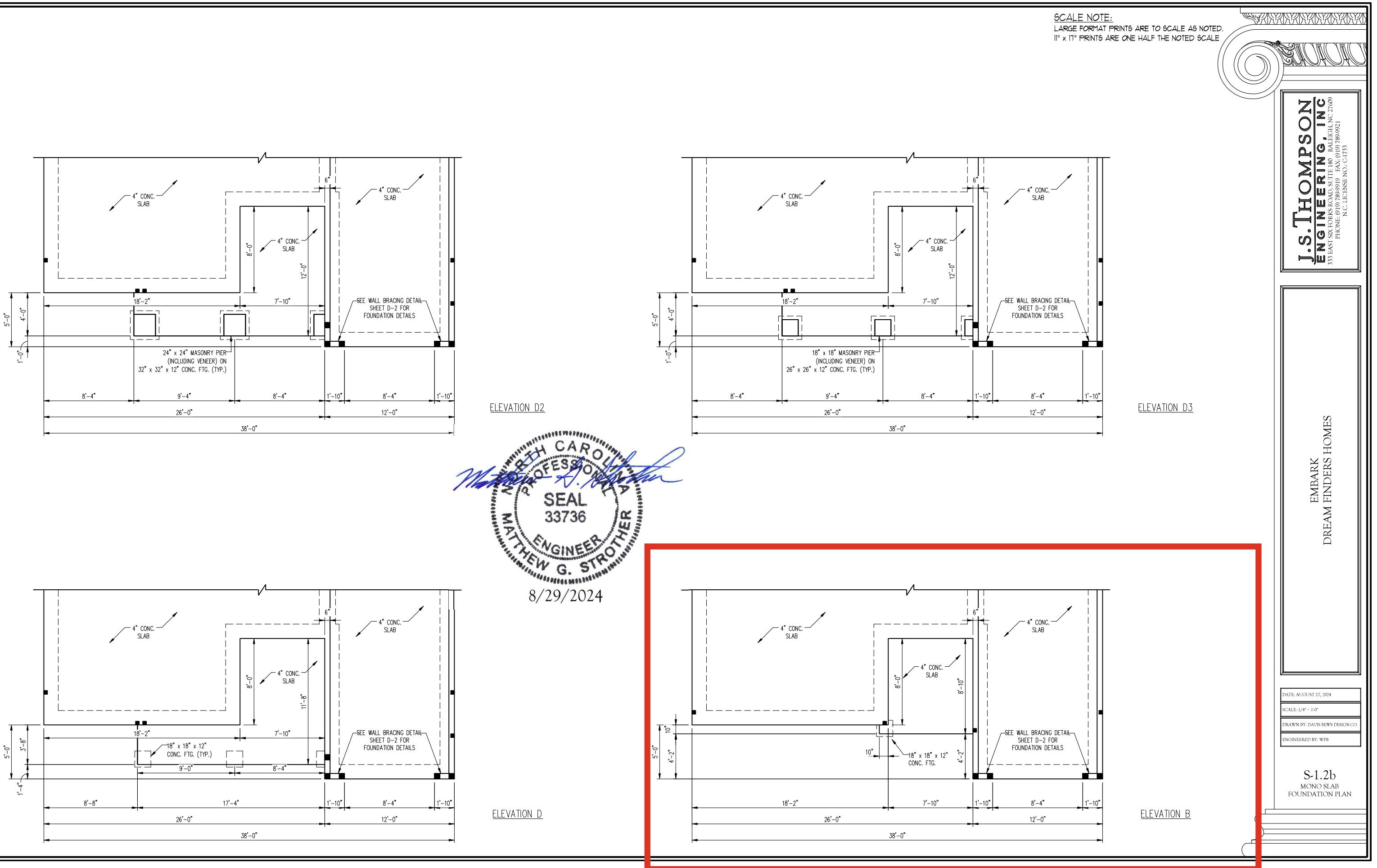


TRIM DETAIL

## ELEVATION "B" - FARMHOUSE



SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE





DREAM FINDERS  
HOMES

DREAM FINDERS  
HOMES

3 NUMBER	27167.03
4 FILE NAME	EMBARK-R
5UED	11-08-17
6VISED	11-17-17
	09-14-18
	02-04-20
	06-01-20
	06-08-20
	12-01-22
	12-07-22
	08-15-24

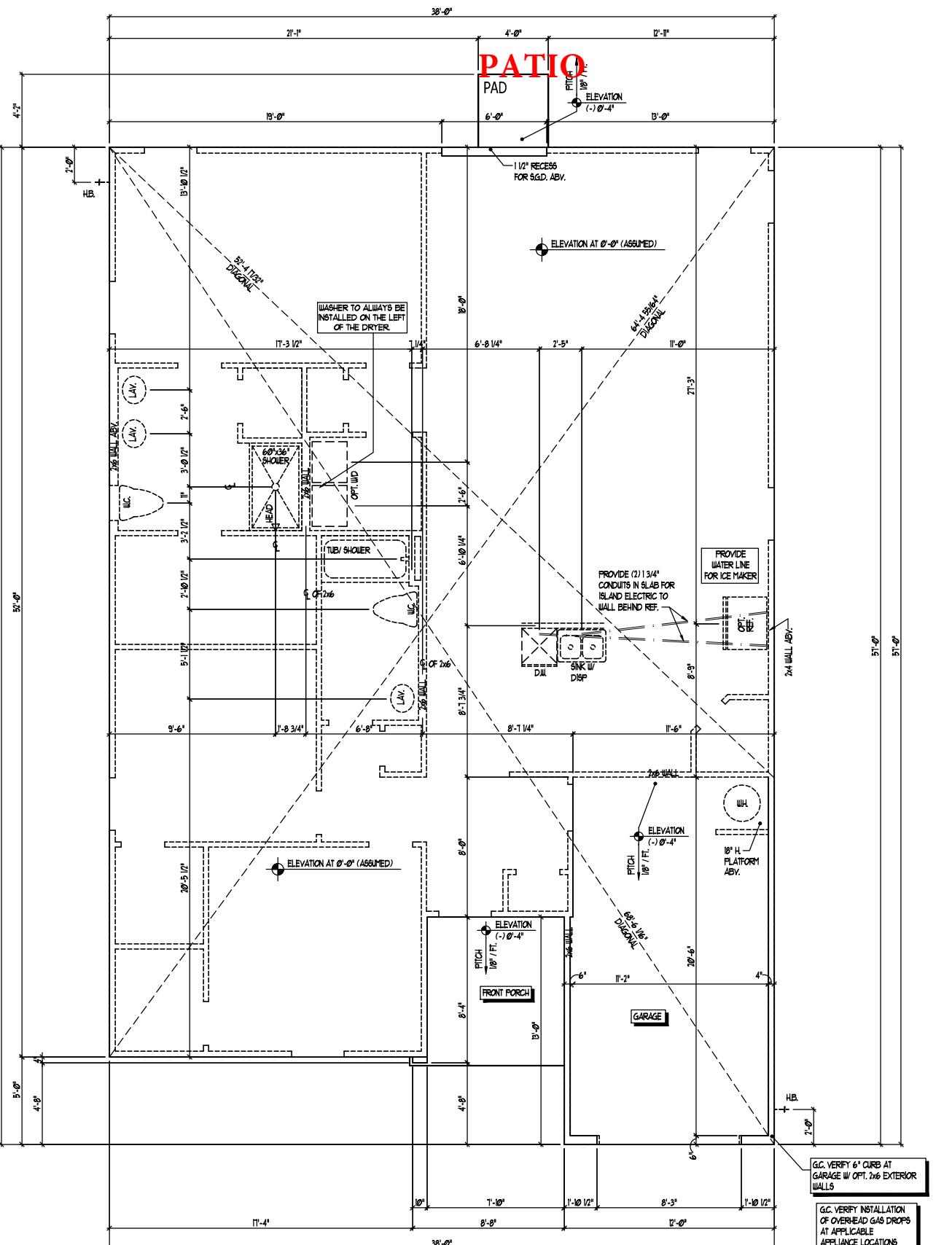
DRAWINGS ON 11" x 17"  
SHEET ARE ONE HALF  
THE SCALE NOTED

# EMBARK (GARAGE RIGHT) DREAM FINDERS HOMES

1724

**TITLE**  
**AB INTERFACE PLAN**

**SHEET**  
**A1.0**



## FLOOR PLAN

SCALE: 1/4" = 1'-0"

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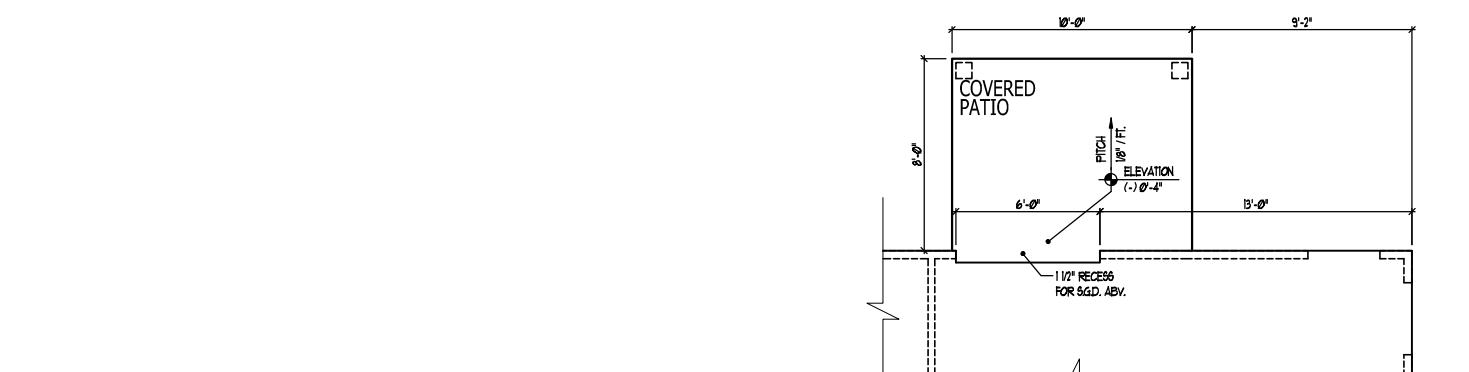
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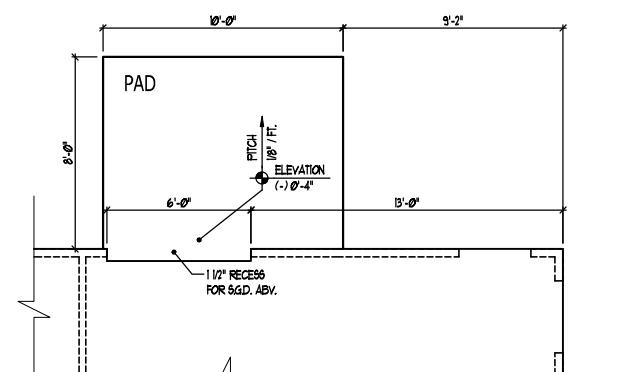
# SLAB INTERFACE PLAN A

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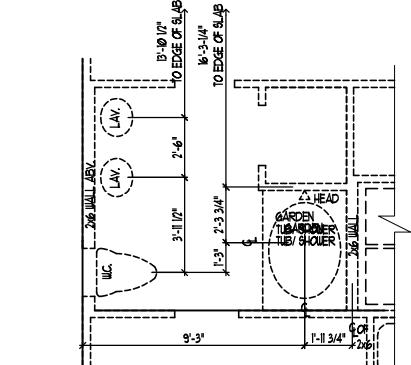
OPT. COVERED PATIO

SCALE: 1/4" = 1'-0"



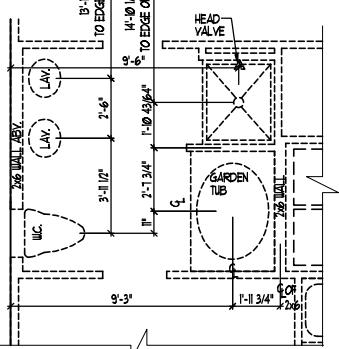
OPT. PATIO

SCALE: 1/4" = 1'-0"



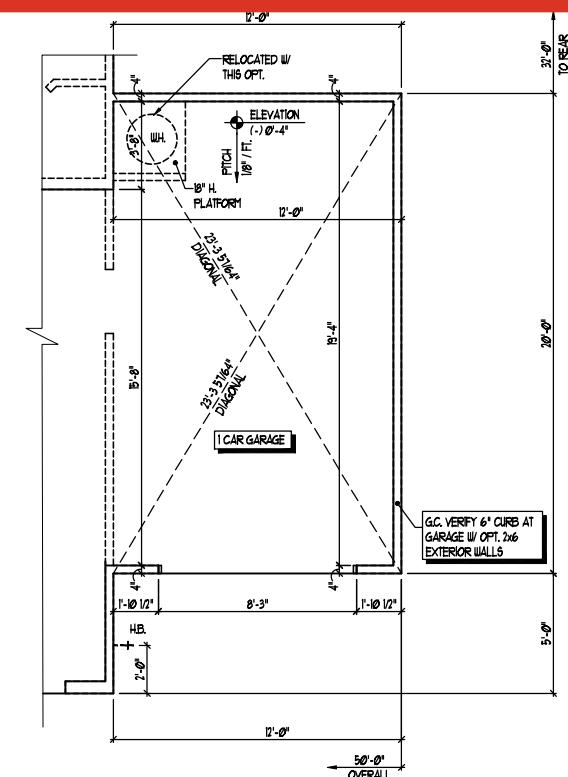
OPT. OWNER'S BATH 3

SCALE: 1/4" = 1'-0"



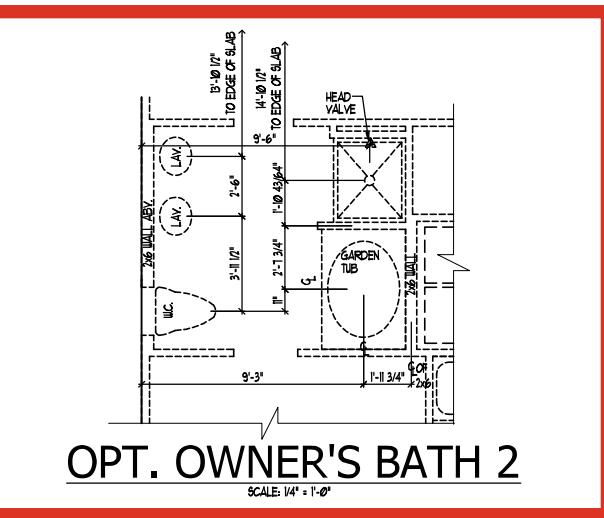
OPT. OWNER'S BATH 2

SCALE: 1/4" = 1'-0"



OPT.1 CAR GARAGE

SCALE: 1/4" = 1'-0"



OPT. SLAB INTERFACE PLANS

SCALE: 1/4" = 1'-0"

EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

TITLE  
SLAB INTERFACE PLAN

SHEET  
A1.1

DRAWINGS ON 11" x 17" SHEET ARE ONE HALF THE SCALE NOTED

Dream Finders Homes

JOB NUMBER 27167.03  
CAD FILE NAME EMBARK-R  
ISSUED 11-08-17  
REVISED 11-17-17  
09-14-18  
02-04-20  
06-01-20  
06-08-20  
12-01-22  
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CAD FILE NAME EMBARK-R  
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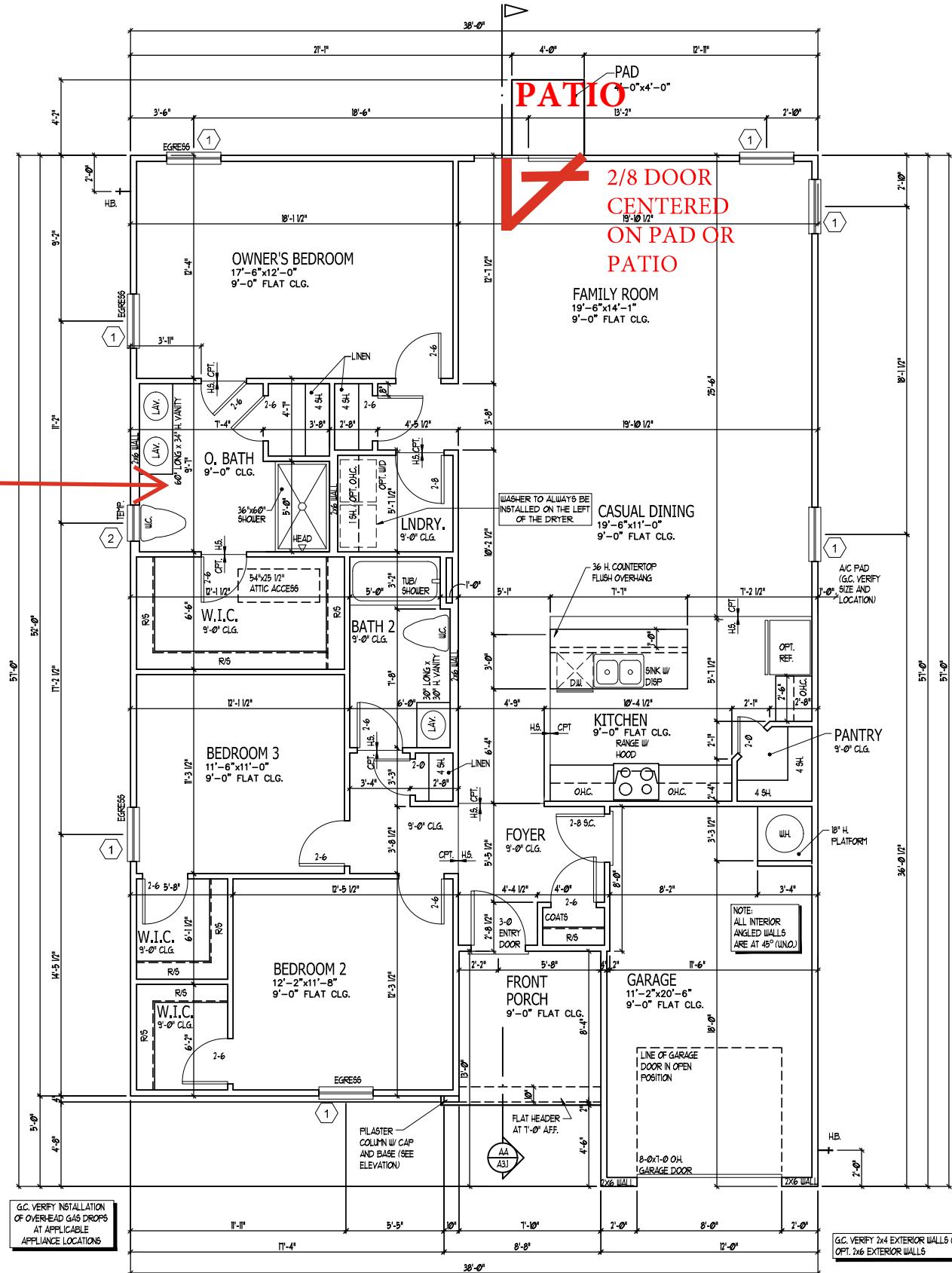
DRAWINGS ON 11"X17" SHEET ARE ONE HALF THE SCALE NOTED

# EMBARK (GARAGE RIGHT) DREAM FINDERS HOMES

1724

FLOOR PLAN

SHEET A2.0



## FLOOR PLAN

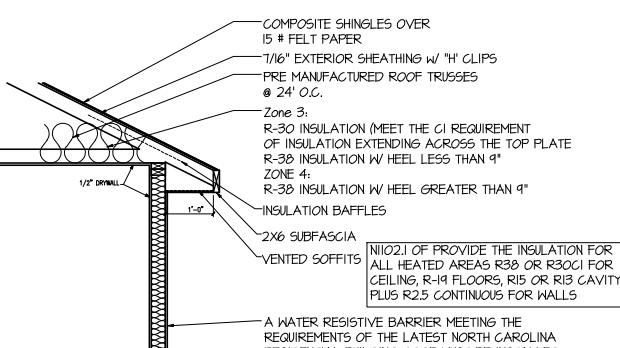
SCALE: 1/4" = 1'-0"

FLOOR PLAN A

### WINDOW SCHEDULE

MARK	SIZE		TYPE	HEAD HEIGHT
	WIDTH	HEIGHT		
1	3'0"	5'0"	SINGLE HUNG	7'0"
2	2'0"	3'0"	SINGLE HUNG	7'0"
3	3'0"	3'0"	SINGLE HUNG	7'0"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.

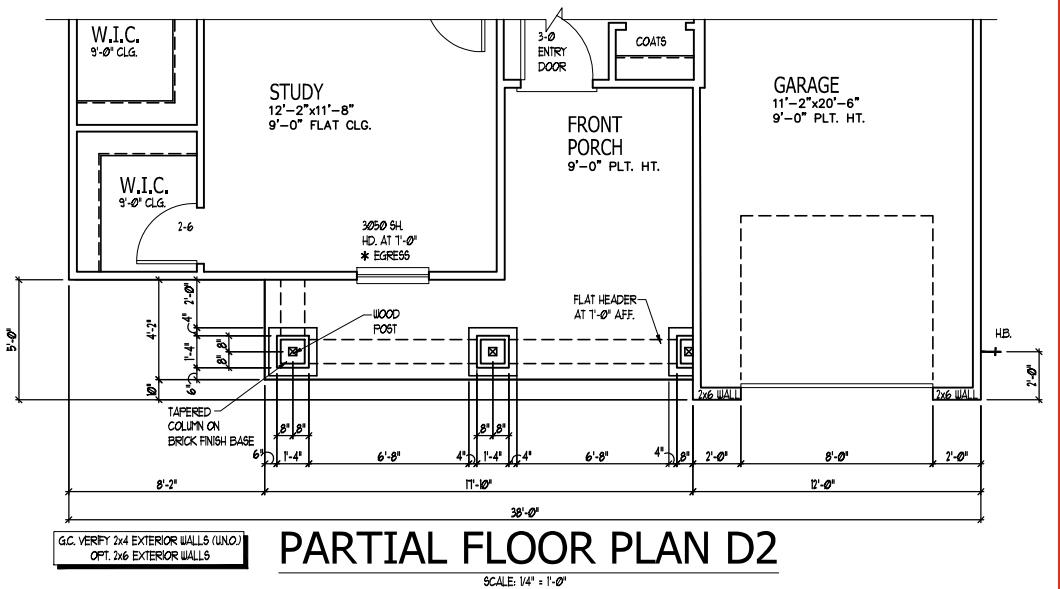


INSULATION DETAIL

### SQUARE FOOTAGE

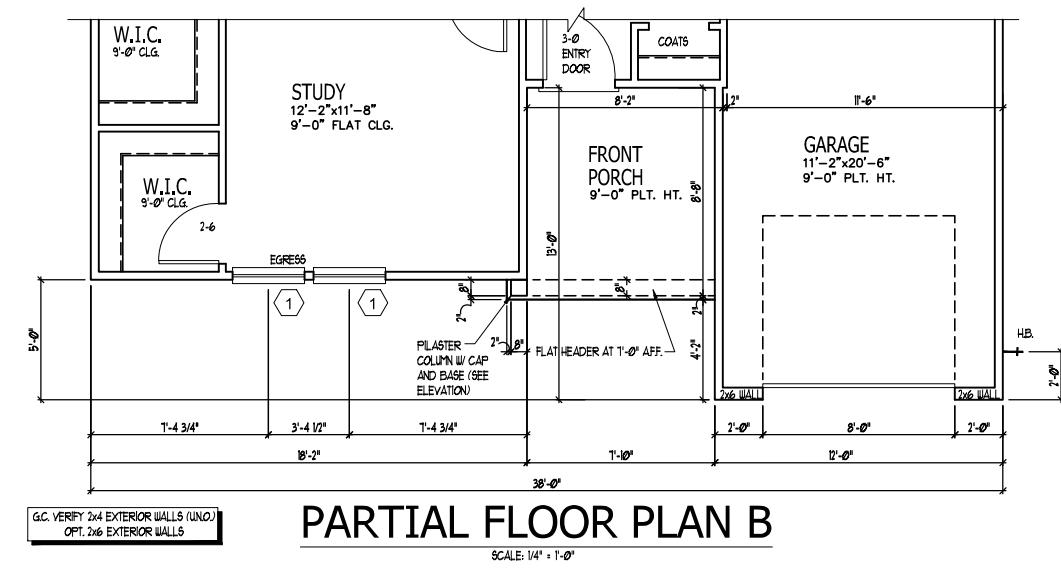
HEATED AREAS	ELEV 'A'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	65 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

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PARTIAL FLOOR PLAN D2

SCALE: 1/4" = 1'-0"



PARTIAL FLOOR PLAN B

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D2'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	136 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SCALE: 1/4" = 1'-0"

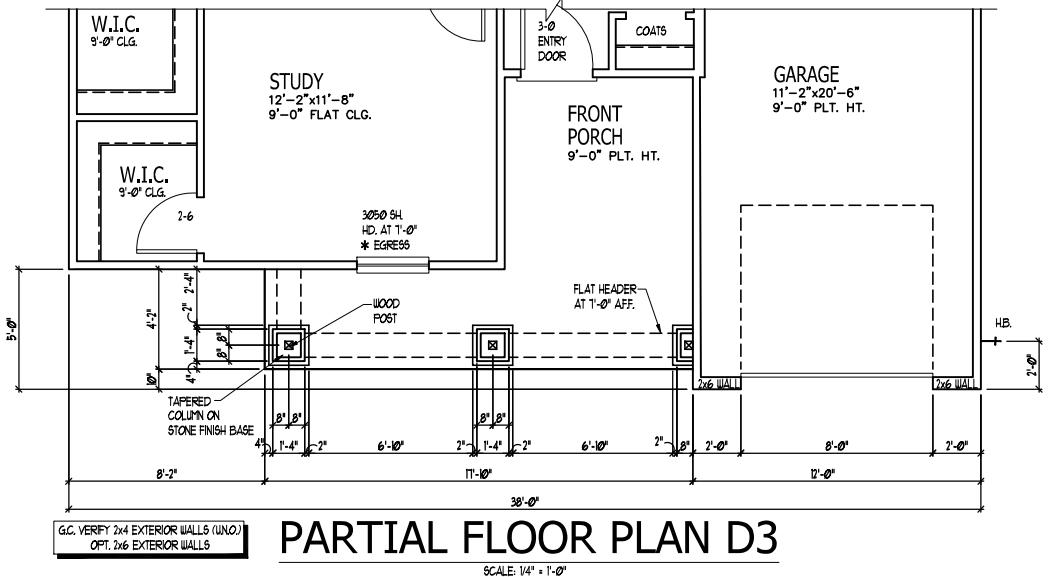
DREAM FINDERS HOMES

JOB NUMBER 27167.03  
CAD FILE NAME EMBARK-R  
ISSUED 11-08-17  
REVISED 11-17-17  
09-14-18  
02-04-20  
06-01-20  
06-08-20  
12-01-22  
12-07-22  
08-15-24

DRAWINGS ON 11" x 17" SHEET ARE ONE HALF THE SCALE NOTED

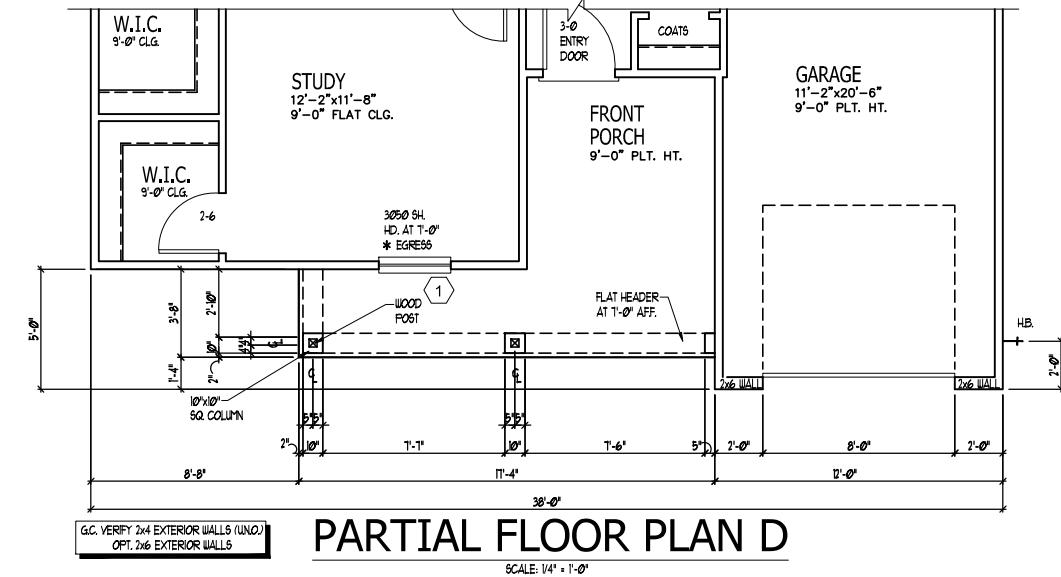
WINDOW SCHEDULE			
MARK	SIZE	TYPE	HEAD HEIGHT
(1)	3'0"	5'0"	SINGLE HUNG
(2)	2'0"	3'0"	SINGLE HUNG
(3)	3'0"	3'0"	SINGLE HUNG

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.



PARTIAL FLOOR PLAN D3

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D3'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	136 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.



PARTIAL FLOOR PLAN D

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	126 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

FLOOR PLAN OPTIONS

A2.1

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JOB NUMBER 27167.03  
CAD FILE NAME EMBARK-R  
ISSUED 11-08-17  
REVISED 11-17-17  
09-14-18  
02-04-20  
06-01-20  
06-08-20  
12-01-22  
12-07-22  
08-15-24

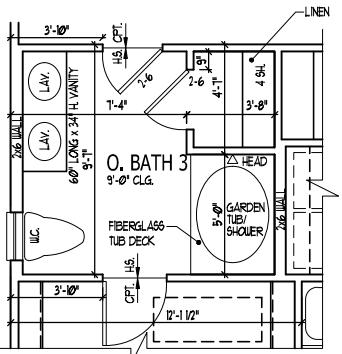
DRAWINGS ON 11"X17" SHEET ARE ONE HALF THE SCALE NOTED

EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

TITLE  
FLOOR PLAN OPTIONS

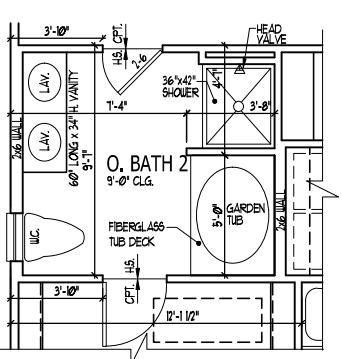
SHEET  
A2.2



OPT. OWNER'S BATH 3

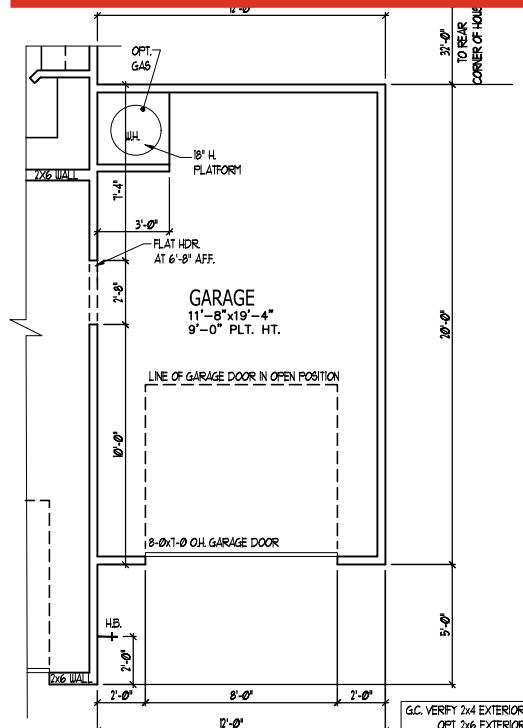
SCALE: 1/4" = 1'-0"

GC. VERIFY 2x4 EXTERIOR WALLS (UNO)  
OPT. 2x6 EXTERIOR WALLS



OPT. OWNER'S BATH 2

SCALE: 1/4" = 1'-0"

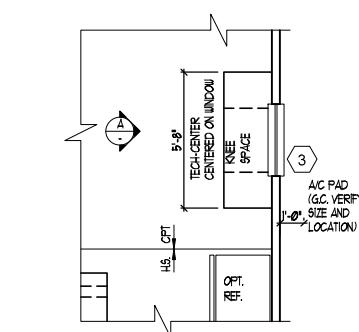
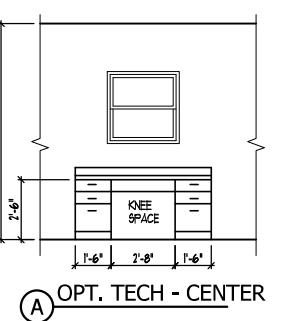


OPT.1 CAR GARAGE

SCALE: 1/4" = 1'-0"

GC. VERIFY 2x4 EXTERIOR WALLS (UNO)  
OPT. 2x6 EXTERIOR WALLS

OPT. FLOOR PLANS

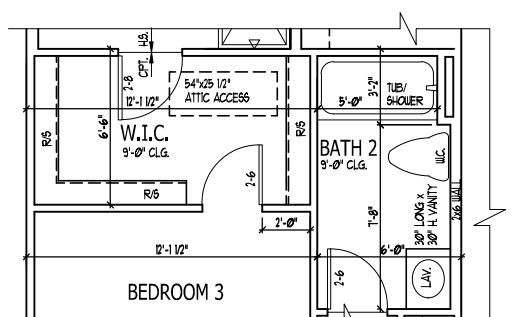


OPT. TECH - CENTER AT  
CASUAL DINING

SCALE: 1/4" = 1'-0"

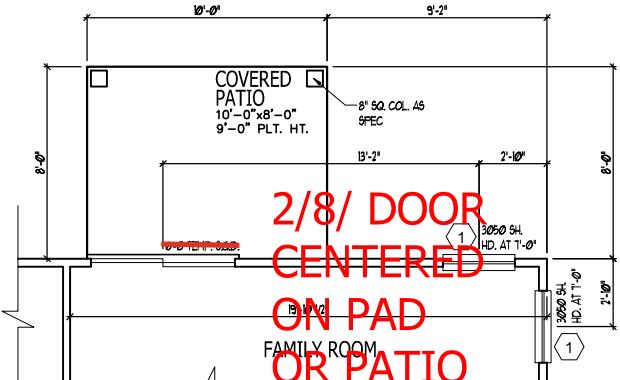
WINDOW SCHEDULE			
MARK	SIZE	TYPE	HEAD HEIGHT
①	3'0"	5'0"	SINGLE HUNG 7'0"
②	2'0"	3'0"	SINGLE HUNG 7'0"
③	3'0"	3'0"	SINGLE HUNG 7'0"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.



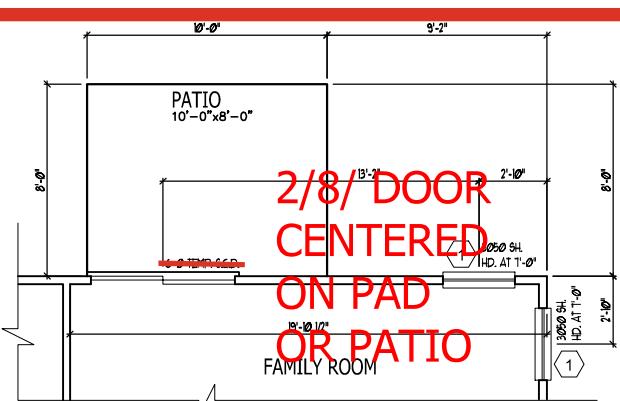
OPT. DOOR FROM  
BEDROOM 3 TO WIC

SCALE: 1/4" = 1'-0"



OPT. COVERED PATIO

SCALE: 1/4" = 1'-0"



OPT. PATIO

SCALE: 1/4" = 1'-0"

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DRAWINGS ON 11"X17" SHEET ARE ONE HALF THE SCALE NOTED

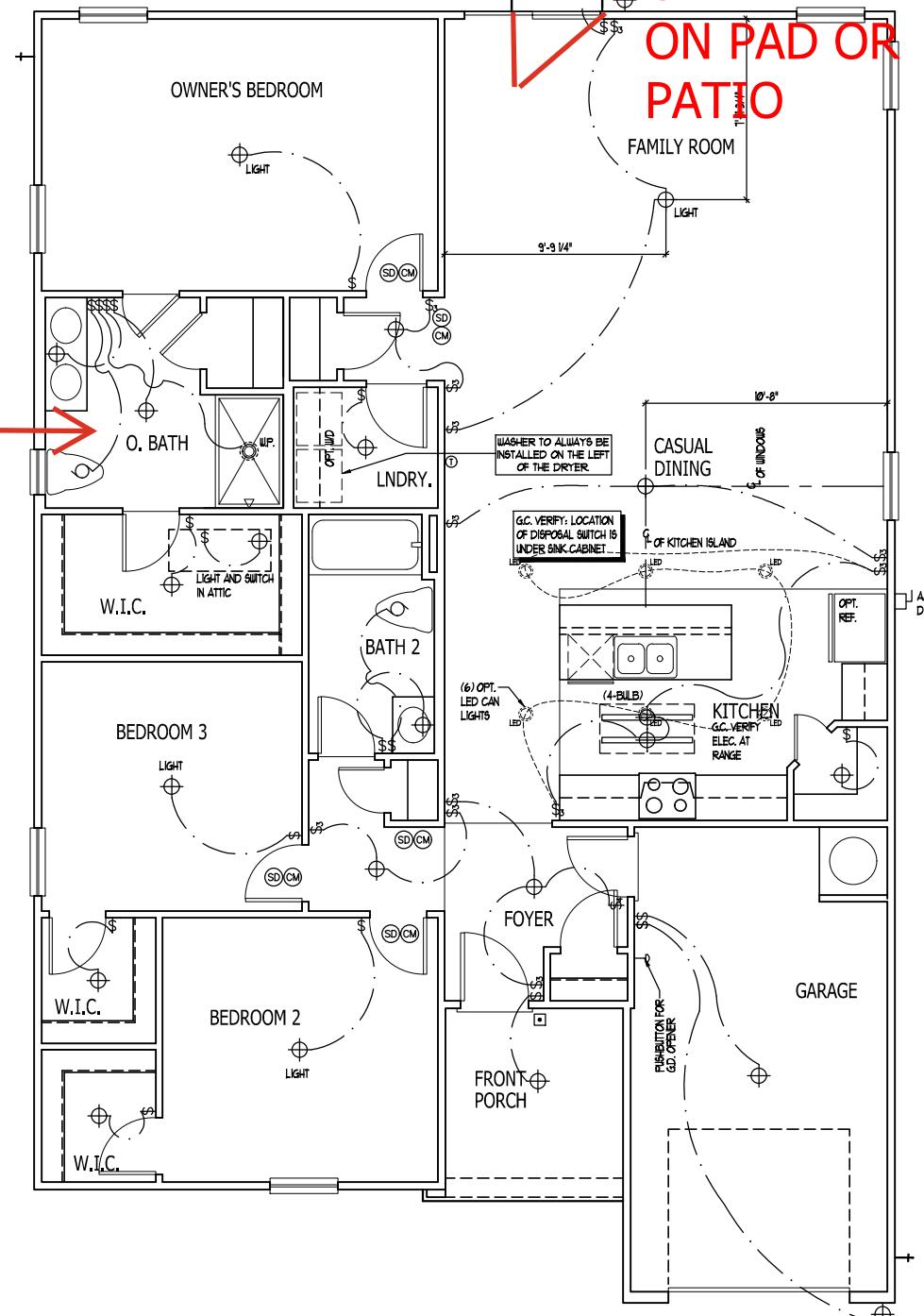
EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

TITLE  
ELECTRICAL PLAN

SHEET  
E1.0  
ELECTRICAL PLAN A  
SIMILAR AT ELEVATION B

PATIO 2/8 DOOR  
CENTERED  
ON PAD OR  
PATIO



## FLOOR PLAN

SCALE: 1/4" = 1'-0"

## ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 20A VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LED CAN LIGHT
- LIGHT FIXTURE WITH PULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL)
- CHIMES (OPTIONAL)
- PUSHBUTTON SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- SMOKE / CARBON MONO. COMBO DETECTOR
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

## NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
  - SWITCHES... 42"
  - OUTLETS... 14"
  - TELEPHONE... 14" (UNLESS ABOVE COUNTERTOP)
  - TELEVISION... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEVS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 2014 406.12 AND 406.13.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC 2014, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

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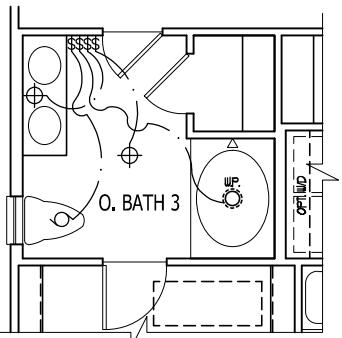
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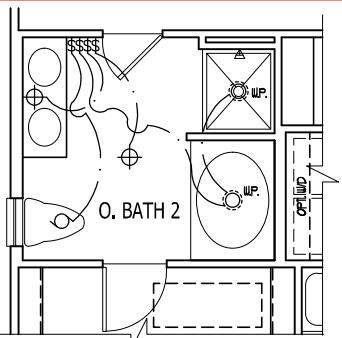
TITLE  
ELECTRICAL PLAN OPTIONS

SHEET  
E1.1



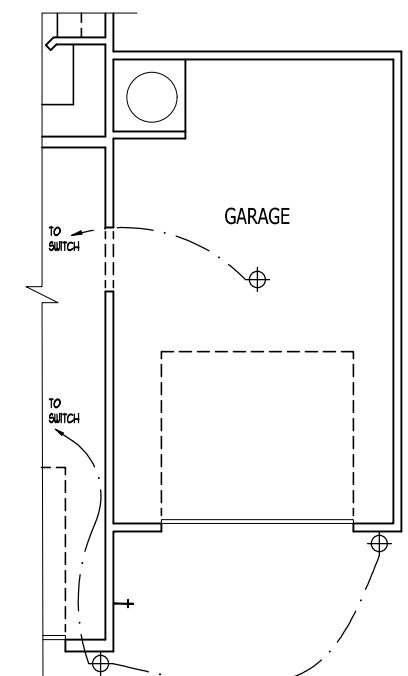
OPT. OWNER'S BATH 3

SCALE: 1/4" = 1'-0"



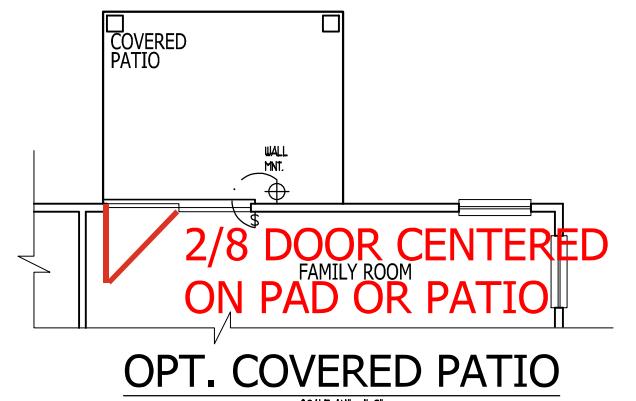
OPT. OWNER'S BATH 2

SCALE: 1/4" = 1'-0"



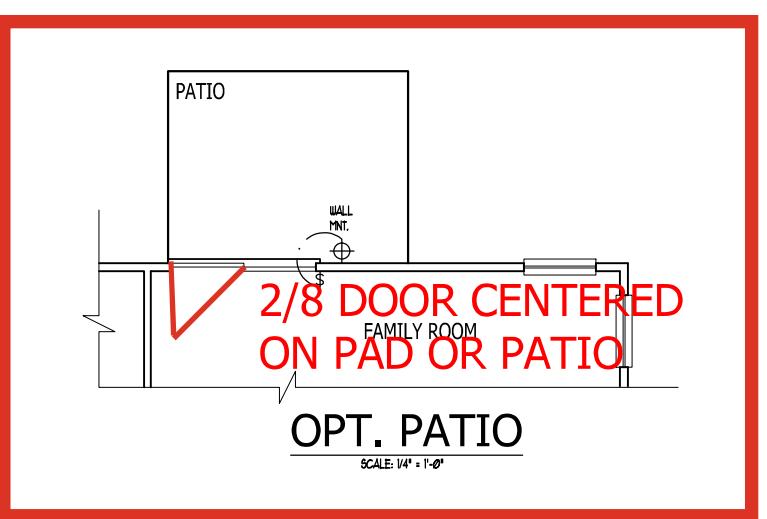
OPT.1 CAR GARAGE

SCALE: 1/4" = 1'-0"



OPT. COVERED PATIO

SCALE: 1/4" = 1'-0"



OPT. PATIO

SCALE: 1/4" = 1'-0"

OPT. ELECTRICAL PLANS

SCALE: 1/4" = 1'-0"

ELECTRICAL KEY

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- 14: HALF-SWITCHED DUPLEX OUTLET
- 15: SPECIAL PURPOSE OUTLET
- 16: DUPLEX OUTLET IN FLOOR
- 17: 220 VOLT OUTLET
- 18: WALL SWITCH
- 19: THREE-WAY SWITCH
- 20: FOUR-WAY SWITCH
- 21: DIMMER SWITCH
- 22: CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- 23: WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- 24: RECESSED INCANDESCENT LIGHT FIXTURE
- 25: LED CAN LIGHT
- 26: LIGHT FIXTURE WITH FULL CHAIN
- 27: TRACK LIGHT
- 28: FLUORESCENT LIGHT FIXTURE
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- 40: ELECTRIC METER
- 41: ELECTRIC PANEL
- 42: DISCONNECT SWITCH
- 43: SPEAKER (OPTIONAL)
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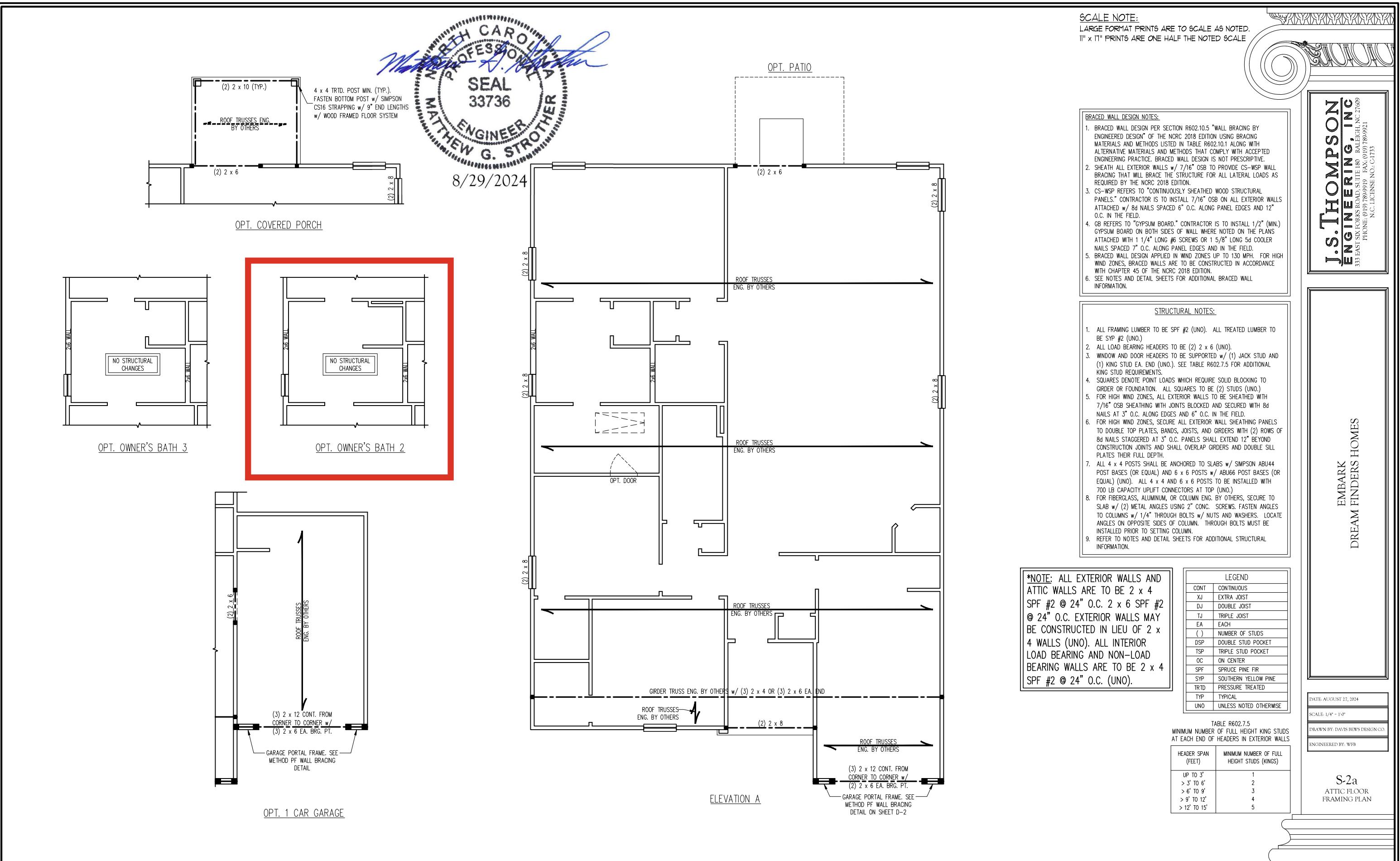
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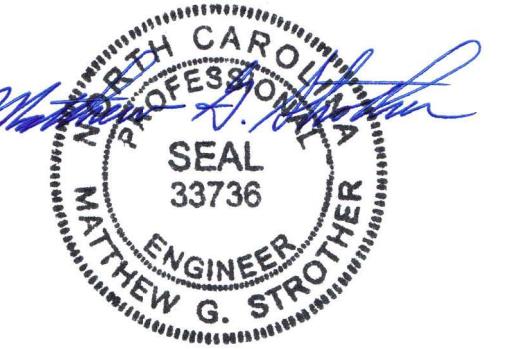
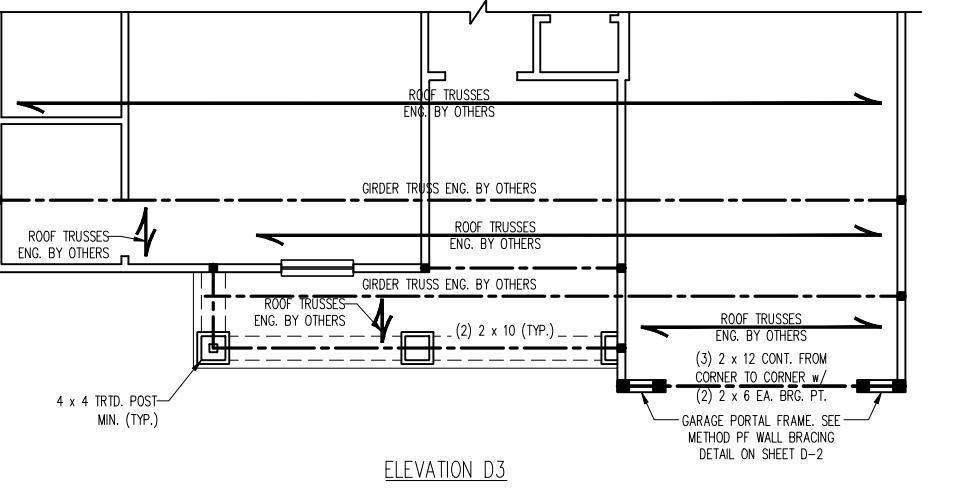
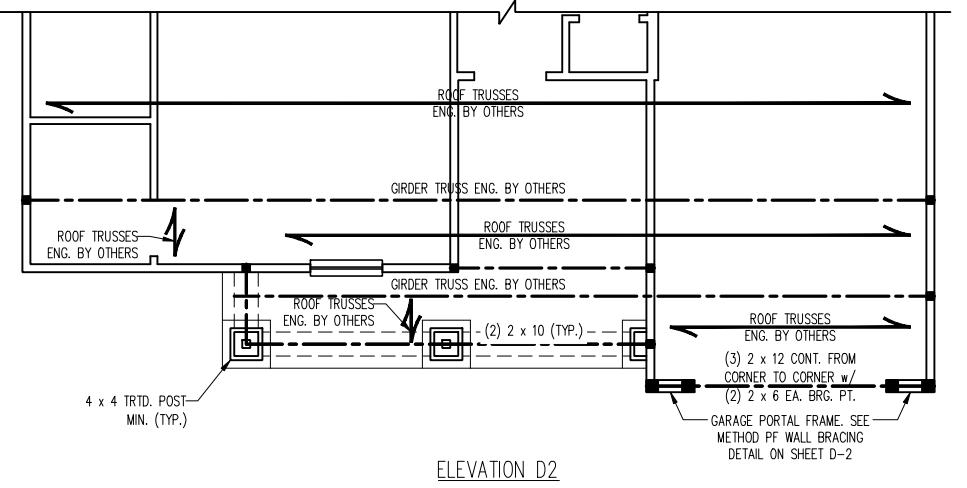
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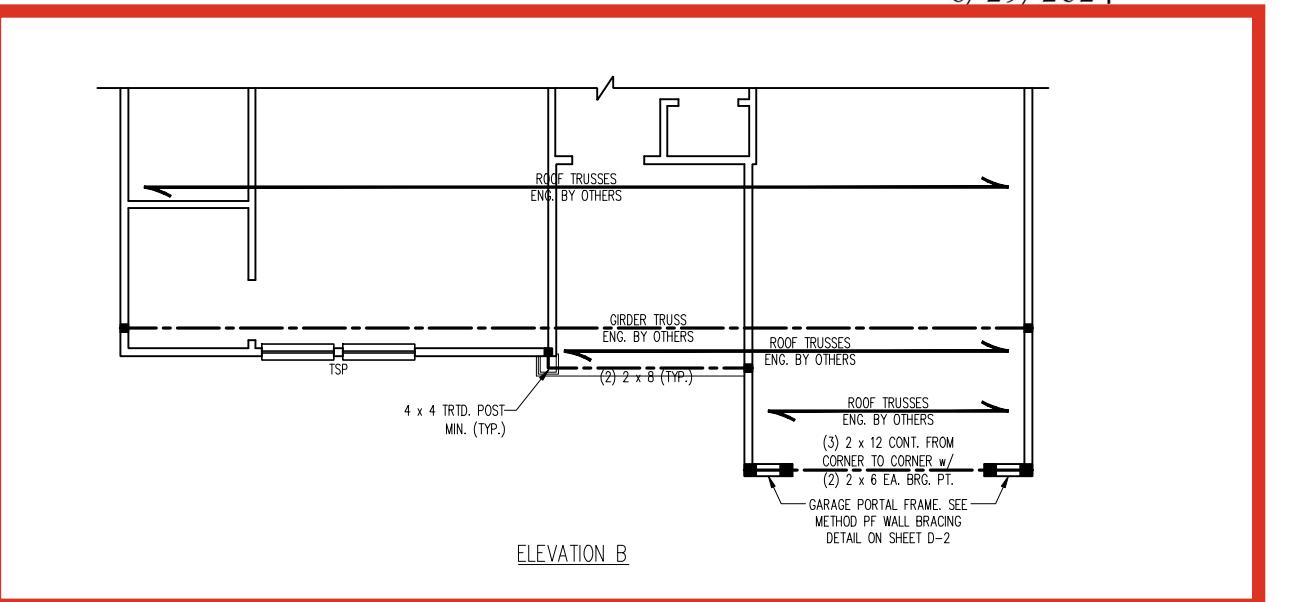
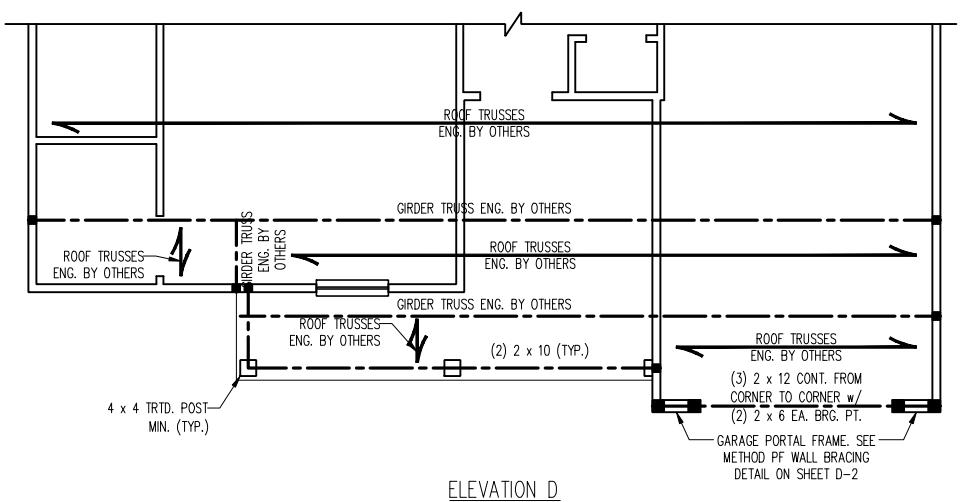
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SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



8/29/2024

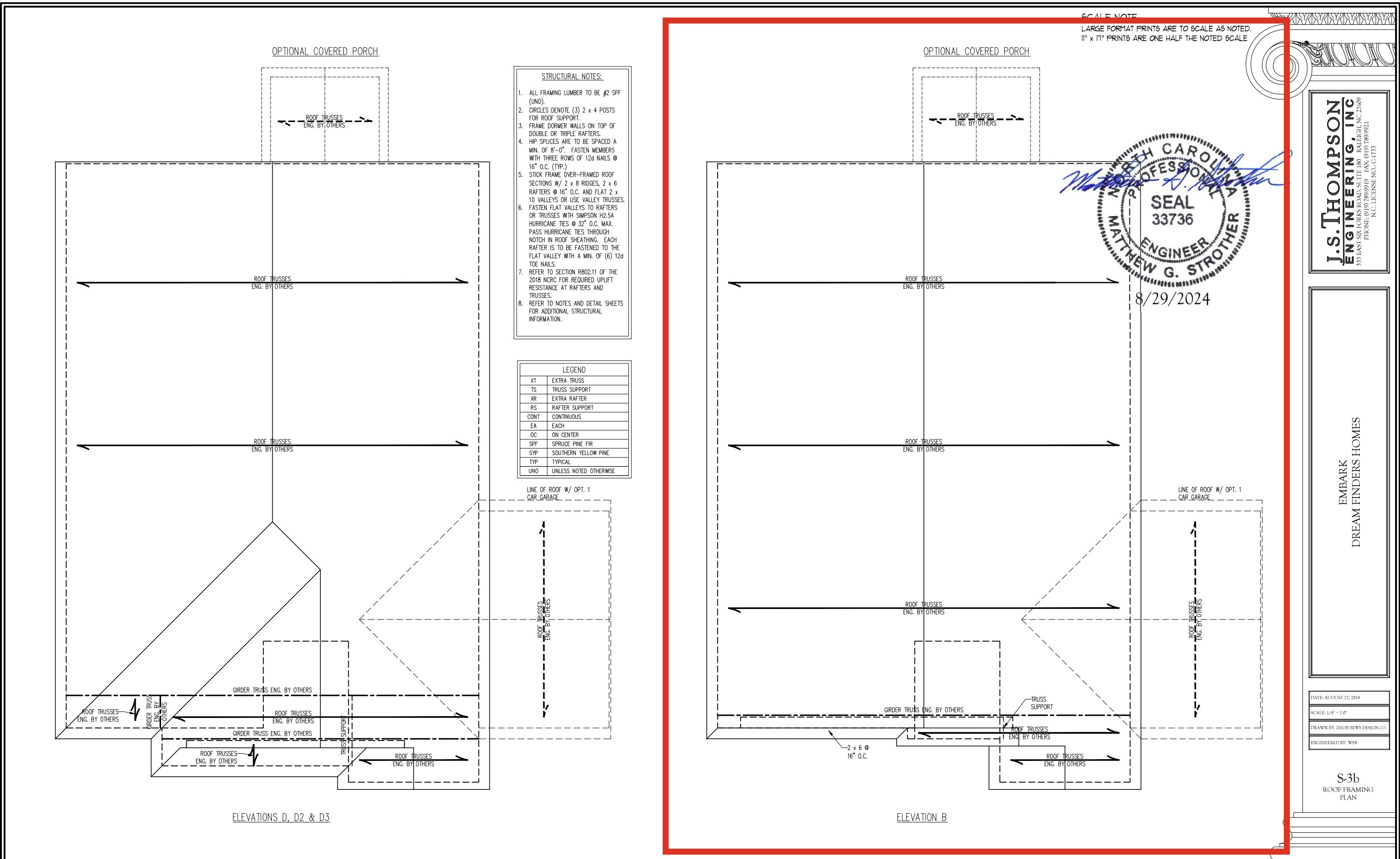


EMBARK  
DREAM FINDERS HOMES

DATE: AUGUST 27, 2024  
SCALE: 1/4" - 1'-0"  
DRAWN BY: DAVIS BEWS DESIGN CO.  
ENGINEERED BY: WFB

S-2b  
ATTIC FLOOR  
FRAMING PLAN

J.S. THOMPSON  
ENGINEERING, INC  
333 EAST SIX FORKS ROAD, SUITE 180, RALEIGH, NC 27609  
PHONE: (919) 789-9919 FAX: (919) 789-9921  
N.C. LICENSE NO.: C1733



**MONOLITHIC SLAB DETAILS**

**DETAIL 1**

**TYPICAL SLAB DETAIL**

**DETAIL 2**

**BRICK VENEER DETAIL**

**DETAIL 3**

**GARAGE CURB DETAIL**

**DETAIL 4**

**Typical Stem Wall Detail (w/ Optional Watertable)**

**DETAIL 5**

**THICKENED SLAB DETAIL**

**DETAIL 6**

**STEP IN GARAGE DETAIL**

**OPTIONAL DETAIL 3**

**OPTIONAL STEM WALL FND. DETAIL w/ CURB @ GARAGE**

**DETAIL 4**

**Typical Stem Wall Fnd. w/ Brick Detail**

**DETAIL 7**

**SLAB AT GARAGE DOOR DETAIL**

**DETAIL 8**

**THREADED ROD THROUGH BRICK MASONRY**

**STEMWALL DETAILS**

**DETAIL 1**

**Typical Stem Wall Detail**

**OPTIONAL DETAIL 1**

**Optional Stem Wall Detail**

**DETAIL 2**

**Typical Stem Wall Fnd. w/ Brick Detail**

**DETAIL 3**

**Typical Stem Wall Fnd. Detail w/ Curb @ Garage**

**OPTIONAL DETAIL 3**

**Optional Stem Wall Fnd. Detail w/ Curb @ Garage**

**DETAIL 4**

**Typical Stem Wall Fnd. Detail w/ Brick and Curb @ Garage**

**DETAIL 5**

**Optional Stem Wall Fnd. Detail w/ Brick and Curb @ Garage**

**DETAIL 6**

**Optional Stem Wall Fnd. Detail w/ Brick and Curb @ Garage**

**MASONRY STEMWALL SPECIFICATIONS**

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
3	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
4	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 64" O.C.
5	GROUT SOLID w/ #4 REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 36" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
6	GROUT SOLID w/ #4 REBAR @ 24" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 24" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

**STRUCTURAL NOTES:**

1. WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
2. TIE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
4. BACKFILL OF CLEAN #57 / #67 WASHED STONE IS ALLOWABLE.
5. BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 PSF/FT BELOW GRADE) CLASSIFIED AS GROUP I ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
6. PREP SLAB PER R506.2.1 AND R506.2.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
7. MINIMUM 24" LAP SPLICE LENGTH.
8. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
9. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

**ANCHOR SPACING AND EMBEDMENT**

WIND ZONE	120 MPH	130 MPH
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE

**NOTE:**  
THREADED ROD WITH EPOXY, SIMPSON TITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.

**J.S. THOMPSON  
ENGINEERING, INC.**  
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PHONE (919) 789-9019 FAX (919) 789-9221  
N.C. LICENSE NO. C-1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
FOUNDATION DETAILS  
DREAM FINDERS HOMES

DATE: NOVEMBER 28, 2022  
SCALE: NTS  
DRAWN BY: JST  
ENGINEERED BY: JST



8/29/2024

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D-1  
FOUNDATION DETAILS

**GENERAL WALL BRACING NOTES:**

- WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NCRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NCRC.
- SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NCRC FOR ADDITIONAL INFORMATION AS NEEDED.
- BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STOREYS BELOW THE TOP FLOOR, HAVE BEEN DESIGNED PER R602.3.5 (3). WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERED PRACTICE.
- SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1.
- CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" IN THE FIELD (U.N.O.).
- GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (U.N.O.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R702.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). EXTERIOR GB TO BE INSTALLED VERTICALLY.
- REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-WSP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES .5 ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 1.5 TIMES ITS ACTUAL LENGTH.

**METHOD PF-PORTAL FRAME DETAIL** (1)

12'-0" TOTAL MAX. WALL HEIGHT  
10'-0" MAX. HEIGHT

HEADER PER PLAN CONTINUOUS TO CORNER UNLESS NOTED OTHERWISE ON PLANS. IF HEADER IS NOT CONTINUOUS TO CORNER, BLOCK BETWEEN STUDS FROM END OF HEADER TO CORNER OF WALL w/ 2 x 2 x 12 BLOCKING AND CONTINUE NAILING PATTERN AS SHOWN.  
FASTEN TOP PLATE TO HEADER WITH (2) ROWS OF 16d SINKER NAILS @ 3" O.C.  
(2) SIMPSON CS16 COIL STRAPS w/ 18" END LENGTHS INSTALLED ON INSIDE OF WALL  
EDGE OF CONTINUOUS 4' x 8' SHEET OF SHEATHING, INSTALL 7/16" OSB SHEATHING ON OUTSIDE OF BRACED WALLS (AND INSIDE FACE WHERE NOTED ON THE PLANS). ATTACH OSB WITH 8d NAILS 3" O.C. ALONG EDGES, INTERMEDIATE STUDS, AND PLATES. WHERE SHEATHING LAPS HEADER DIRECTLY ABOVE BRACED WALL PANEL, 8d NAILS ARE TO BE SPACED IN A 3" O.C. GRID PATTERN AS SHOWN AND 6" O.C. IN THE FIELD ABOVE THE OPENING. INSIDE SHEET(S) (IF INSTALLED) WILL TERMINATE AT THE CEILING LINE (TYP.)  
FOR A PANEL SPLICING (IF NEEDED), PANEL EDGES SHALL OVERLAP AND BE NAILED TO COMMON BLOCKING. ONE ROW OF 8d NAILS @ 3" O.C. ALONG EA. PANEL EDGE.  
MIN 2 x 4 STUDS WITH PONY WALL HEIGHT UP TO 2'  
MIN 2 x 6 STUDS WITH PONY WALL HEIGHT GREATER THAN 2'  
BOTTOM PLATE SECURED BY 1/2" DIA. BOLTS w/ 2" x 2" x 3/16" PLATE WASHERS (MIN.) BOLTS TO BE INSTALLED WITHIN 12" OF THE ENDS OF EACH PLATE (MIN. OF TWO ANCHORS PER PLATE SECTION). FOR MASONRY STEMWALL CONSTRUCTION OPTIONS, SEE FIG. R602.10.4.3.  
CONCRETE OR MASONRY BLOCK FOUNDATION.  
OVER CONCRETE OR MASONRY BLOCK FOUNDATION

SIMPSON LTP4 ANCHOR AT EACH END OF THE PORTAL FRAME PANEL  
WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND OR RIM JOIST

OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION  
\* APPLICABLE w/ GREATER THAN 12" KNEE WALL HEIGHTS IN CRAWL SPACE AND ABOVE FRAMED BASEMENT WALLS \*

**GENERAL WALL BRACING NOTES:**

- WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NCRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NCRC.
- SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NCRC FOR ADDITIONAL INFORMATION AS NEEDED.
- BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STOREYS BELOW THE TOP FLOOR, HAVE BEEN DESIGNED PER R602.3.5 (3). WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERED PRACTICE.
- SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1.
- CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" IN THE FIELD (U.N.O.).
- GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (U.N.O.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R702.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). EXTERIOR GB TO BE INSTALLED VERTICALLY.
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**TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING** (5)

PER FIGURE R602.10.3(5)

MIN. 24" WOOD STRUCTURAL PANEL AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
ORIENTATION OF STUD MAY VARY. SEE FIGURE R602.3(2)  
CYPUM WALLBOARD AS REQUIRED AND INSTALLED IN ACCORDANCE WITH CHAPTER 7 (TYP.)  
OPTIONAL NON-STRUCTURAL FILLER PANEL  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
SEE TABLE R602.3(1) FOR FASTENING  
16d NAIL (3 1/2" x 0.131") @ 12" O.C.  
ORIENTATION OF STUD MAY VARY. SEE FIGURE R602.3(2)  
CONTINUOUS WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
16d NAIL (3 1/2" x 0.131") (2 ROWS @ 24" O.C.)  
SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
16d NAIL (3 1/2" x 0.131") (2 ROWS @ 24" O.C.)  
SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
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SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
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16d NAIL (3 1/2" x 0.131") (2 ROWS @ 24" O.C.)  
SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
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SHEATHING PER PLAN  
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SHEATHING PER PLAN  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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SHEATHING PER PLAN  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
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SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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SHEATHING PER PLAN  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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FASTENERS ON EACH STUD AT EACH PANEL EDGE  
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16d NAIL (3 1/2" x 0.131") (2 ROWS @ 24" O.C.)  
SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
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SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
16d NAIL (3 1/2" x 0.131") (2 ROWS @ 24" O.C.)  
SHEATHING PER PLAN  
CONTINUOUS WOOD STRUCTURAL PANEL BRACED WALL LINE  
FASTENERS ON EACH STUD AT EACH PANEL EDGE  
MIN. 24" WOOD STRUCTURAL PANEL CORNER RETURN. AN 800 LB HOLD DOWN DEVICE MAY BE INSTALLED IN LIEU OF CORNER RETURN  
SEE TABLE R602.3(1) FOR FASTENING  
16d NAIL

SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

### GENERAL NOTES

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NCRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NCRC, 2018 EDITION (R301.4 – R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD			(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE)
GROUND SNOW LOAD: Pg		20 (PSF)	

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- 4. FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NCRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NCRC, 2018 EDITION.
- 5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.

### FOOTING AND FOUNDATION NOTES

1. FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
2. FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPAKTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL, A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NCRC, 2018 EDITION.
3. PROPERLY Dewater EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" – 1" DEEP CONTROL JOINTS ARE TO BE SAWED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
4. CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NCRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR Poured CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
6. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
7. THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NCRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCMA TR68-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(1), R404.1(2), R404.1(3), OR R404.1(4) OF THE NCRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(5) OF THE NCRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

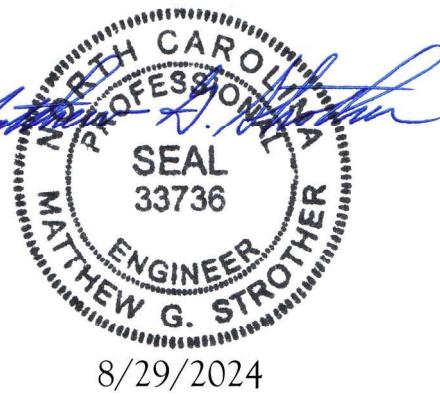
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### FRAMING NOTES

1. ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv = 175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
2. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
3. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS
 

A. W AND WT SHAPES:	ASTM A992
B. CHANNELS AND ANGLES:	ASTM A36
C. PLATES AND BARS:	ASTM A36
D. HOLLOW STRUCTURAL SECTIONS:	ASTM A500 GRADE B
E. STEEL PIPE:	ASTM A53, GRADE B, TYPE E OR S
4. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):
 

A. WOOD FRAMING	(2) 1/2" DIA. x 4" LONG LAG SCREWS
B. CONCRETE	(2) 1/2" DIA. x 4" WEDGE ANCHORS
C. MASONRY (FULLY GROUTED)	(2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS
D. STEEL PIPE COLUMN	(4) 3/4" DIA. A325 BOLTS OR 3/16" FILLET WELD
5. LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.
6. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
7. ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NCRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
8. ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
9. ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
10. BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
11. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
12. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 12d NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.8.2.1 OF THE NCRC, 2018 EDITION.
13. FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
14. FOR TRUSS ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
15. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON H6 OR LTS12 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON CS16 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.



8/29/2024

S-0  
STRUCTURAL  
STROTH  
NOTES

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
STANDARD STRUCTURAL NOTES  
DREAM FINDERS HOMES

**J.S. THOMPSON**  
ENGINEERING, INC.  
335 EAST SIX FORKS ROAD, SUITE 160, RALEIGH, NC 27609  
PHONE: (919) 789-9919 FAX: (919) 789-9921  
N.C. LICENSE NO.: C1733