CYPRESS COVE **ABBREVIATIONS** A A PRESSURE TREATED WD H.R. HALF ROUN HWD HARDWOOD (FL ILLO. N LIEU OF ISUL NSULATED(TION INT NTERIOR ITC N THE CLEAR KIT KITCHEN R&M RANGE W/MICROWAY LIV LIVING LTL LINTEL LVR LOUVER MAX MAXIMUM DRY DRYER MACHINE TEMP TEMPERED (GLASS MISC MISCELLANE MULL MULLION(ED ELEC ELECTRIC(AL U.N.O. UNLLGGOTHERWISE EXTERIOR 0A OVERALL F.F. FINISH FLOOR (LINE OBS OBSCURE (GLA VB VANITY BASE O.H. OVERHANI OPNG OPENING FLR FLOOR(ING WH WATER HEATER FP FIREPLACE OPT OPTIONAL WIC WALK-IN CLOSE FURRED(ING) PEDESTAL (SINK) FUR W/W/O WITH or WITHOU ROHND FAIL ORIENTED STRA 0SB ERPROOF(ING) CIRCUIT INTERRU

GENERAL NOTES

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TRI POINTE HOMES ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TRI POINTE HOMES IS STRICTLY

TRI POINTE HOMES DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF TH INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF TRI POINTE HOMES BY CALLING (469)329-0470.

). THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY

INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY TRI POINTE HOMES
4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS – DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE

ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES. OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS

) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAM. THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

3 - CONCRETE

1) SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND

4 - MASONRY

ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS

) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER 18703.7.6 – LR.C.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

) Fire stopping and/ or draft stopping shall meet the requirements of IRC R602.8. 2) Attic ventilation shall be provided at 1/300 th of the Area of the Space ventilated. Cross VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW. S) PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE) PROVIDE ATTIC VENTILATION PER IRC-R806.1

8 - DOORS AND WINDOWS

-) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - LR.C.
- FRONT DOOR WIDTH PER IRC-R311.3
- GARAGE DOOR PER IRC-R309.1

FMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - LR C 2018 - SLEEPING ROOMS HALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT IFSS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR

15 - MECHANICALS

) WOOD BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. AND RE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION R1002.1 EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY

16 - ELECTRICAL

ALL FLECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC) MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS ABORATORIES, INC.

) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE ONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS. GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC

ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH VLESS NOTED OTHERWISE) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE

INISHED FLOOR UNLESS NOTED OTHERWISE

ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS.

APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC CTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.)) CONDUCTORS SHALL BE OF COPPER.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 CHES IN ACCORDANCE WITH SECTION I.R.C.

HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE OVIDED ON AT LEAST. ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 — I.R.C HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED. ACCORDING TO IRC. ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE SERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LÓWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. ANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL

WALLS:

) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

I SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF $rac{1}{2}"$ GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILINGS WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

FLOORS:

STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS ECIFIED IN IRC

) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED

) ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

FRAMING:

ALL FRAMING DIMENSIONS TO FACE OF MEMBER. ALL BEARING HEADERS TO BE PER ENGINEERING PLANS.

FIRE STOPPING AND / OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

ROOF

HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION, CUT ENDS OF AFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE

REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO

SQUARE FOOTAGE

Elevation "A"

(Slab S.F.)	
Slab Area	Sq. Ft
FIRST FLOOR	1767
2 BAY GARAGE	428
PORCH	172
COVERED OUTDOOR LIVING	153
Total Slab Area	2520

(Outside of Frame S.F.)	
A/C Area	Sq. Ft.
FIRST FLOOR	1767
Total A/C Area	1767
Non-A/C Area	Sq. Ft.
2 BAY GARAGE	428
PORCH	172
COVERED OUTDOOR LIVING	153
Total Non-A/C Area	753

(Inside of Frame S.F.)	
C Area	Sq. Ft.
RST FLOOR	1718
otal A/C Area	1718

NOTE: ALL OPTIONAL SQUARE FOOTAGES LISTED ARE INDEPENDENT OF AND IN ADDITION TO BASE SQUARE FOOTAGES.

OPTIONS GREAT ROOM FIREPLACE PRIMARY SUITE TRAY CEILING GREAT ROOM TRAY CEILING PRIMARY BATH 1 PRIMARY BATH 1 GOURMET KITCHEN 1 12080 SGD AT GREAT ROOM LAUNDRY CABS AND SINK WINDOWS AT PRIMARY SUITE BEDROOM 3 ILO FLEX SPACE SCREENED COV'D OUTDOOR LIV

LOT 328 CYPRESS COVE ELEVATION A REVERSE PLAN LEFT-HAND GARAGE

UNDER 9.000 FT² -FIRE-RATED WALL REQUIRED AT **GARAGE SIDE &** NON-GARAGE SIDE

BUILDING CODE COMPLIANCE

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED MINIMUM CODE REQUIREMENTS OF 2018 LR (

LECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM

TABLE OF CONTENTS

	SHEET LEGEND
SHEET NO.	TYPE OF SHEET/LAYOUT
"G0.01"	COVER SHEET & GEN. NOTES
"G0.11"	REVISIONS & SYMBOLS
"S1.10A"	BASE FOUNDATION PLAN - ELEVATION 'A'
"A1.10A"	FIRST FLOOR PLAN — ELEVATION 'A'
"A2.01A"	EXTERIOR ELEVATIONS - 'A'
"A2.02A"	EXTERIOR ELEVATIONS - 'A'
"A3.01A"	ROOF PLAN — ELEVATION 'A'
"A4.01"	INTERIOR DETAIL SHEET
"E1.10A"	1ST FLR. ELECTRICAL PLAN — ELEVATION 'A'
"01.E11"	1ST FLR. ELECTRICAL PLAN UPGRADE OPTIONS
"D1.0"	DETAILS
"D1.1"	DETAILS

*OPT. GOURMET KITCHEN 1

*OPT. PRIMARY BATH 1 W/ TILE WALLS & TILE FLOOR PLAN

*OPT. TRAY CEILING AT PRIMARY BEDROOM

*OPT. WINDOWS AT PRIMARY BEDROOM

*OPT. CABINET ILO LINEN

*OPT. TRAY CEILING AT GREAT ROOM

*OPT. FIREPLACE AT GREAT ROOM

*OPT. 12080 SGD AT GREAT ROOM

*OPT. LAUNDRY SINK W/ BASE & UPPER CABINETS

*OPT. BEDROOM 3 ILO FLEX SPACE

*OPT. SCREENED COVERED OUTDOOR LIVING

*OPT. FIRE-RATED GARAGE SIDE

*OPT. FIRE-RATED NON-GARAGE SIDE

SYMBOLS

SHOWER CONTROLS

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DOINTEHOMES

Blvd Business Operation 5440 Wade Park Blv Suite 400 Raleigh, NC 27607

NOTES SERENITY GENERAL STREAMSIDE @ ALTIS ઝ

SUBDIVISION: ADDRESS: LOT: 328

SHE

10-13-24 Issue Date: ACC

5920-04

CYPRESS COVE

G0.01

STONE VENEER

REVISION INDEX			
REL. #	DESCRIPTION	DATE	DRAWN BY
5920-04	NEW PLAN	10/13/2024	ACC
	ADDED ATTIC PULL-DOWN, REVISED ROD/SHELF IN PRIMARY WIC, ADDED OPTIONS - SCREENED COVERED OUTDOOR LIVING, GOURMET KITCHEN KITCHEN, ZERO ENTRY SHOWER AT PRIMARY BATH, ADDED TRIM SURROUNDING VENTS AT VARIOUS ELEVATIONS, REVISED BENCH DETAIL, ADDED OPT. LAUNDRY CABINETS, ADDED (2) 4-LED LIGHTS IN GARAGE, REVISED ELECT LIGHTING AND SWITCHES IN PRIMARY BATH, ADDED DISHWASHER ACCESSIBLE DISCONNECT SWITCH AND COUNTER-TOP AIR SWITCH FOR DISPOSAL NOTE.	01/19/2025	ACC
	ADDED SHOWER NICHE NOTE, ADDED CURB TO SHOWERS, REVISED INT/EXT FIREPLACE DEPTHS, REVISED OPENING HEADER HEIGHTS THROUGHOUT, REVISED BEAR EXTERIOR DOOR TO 3', REVISED BROP ZONE AREA, ADDED DOOR HEIGHTS TO MAIN FLOOR NOTES, ADDED BATH ACCESSORY HEIGHTS TO MAIN FLOOR NOTES, ADDED ZERO ENTRY SHOWER DETAIL, REMOVED PRIMARY BATH 2 OPTION, ADDED UTIDOOR LIVING PATIO OPTION, ADDED PARTIAL SHOWER NICHE DETAIL, ADDED GOURMET KITCHEN INTERIOR, REVISED ELECTRICAL / ELECTRICAL OPTION AT GREAT ROOM AND PRIMARY BATH.	04/22/2025	ACC
	ADDED TYPICAL CLOSET ROD AND SHELF DETAILS, ADDED SHOWER NICHE DETAILS, REVISED PANTRY SHELVES TO 4, REMOVED KITCHEN ISLAND "TOP SIZE" NOTE, ADDED TOWEL HOOK IN PRIMARY BATH, ADDED GABLE WINDOW DIMENSIONS, REVISED TYPICAL BENCH DETAIL, ADDED VARIOUS ELECTRICAL NOTES, ADDED SWITCHES TO OPTIONAL ELECTRICAL SHEETS,	07/31/2025	ACC
	ADDED OPTIONAL BEAMS IN PRIMARY SUITE, ADDED OPTIONAL GRAB BARS IN ALL BATHS, REVISED TOWEL BAR AND HOLDER HEIGHTS	09/06/2025	ACC

tri pointe.

HOMES

5440 WADE PARK BLVD, SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

SUBDIVISIONS & SYMBOLS
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 270 STREAMSIDE TER
LOT: 328

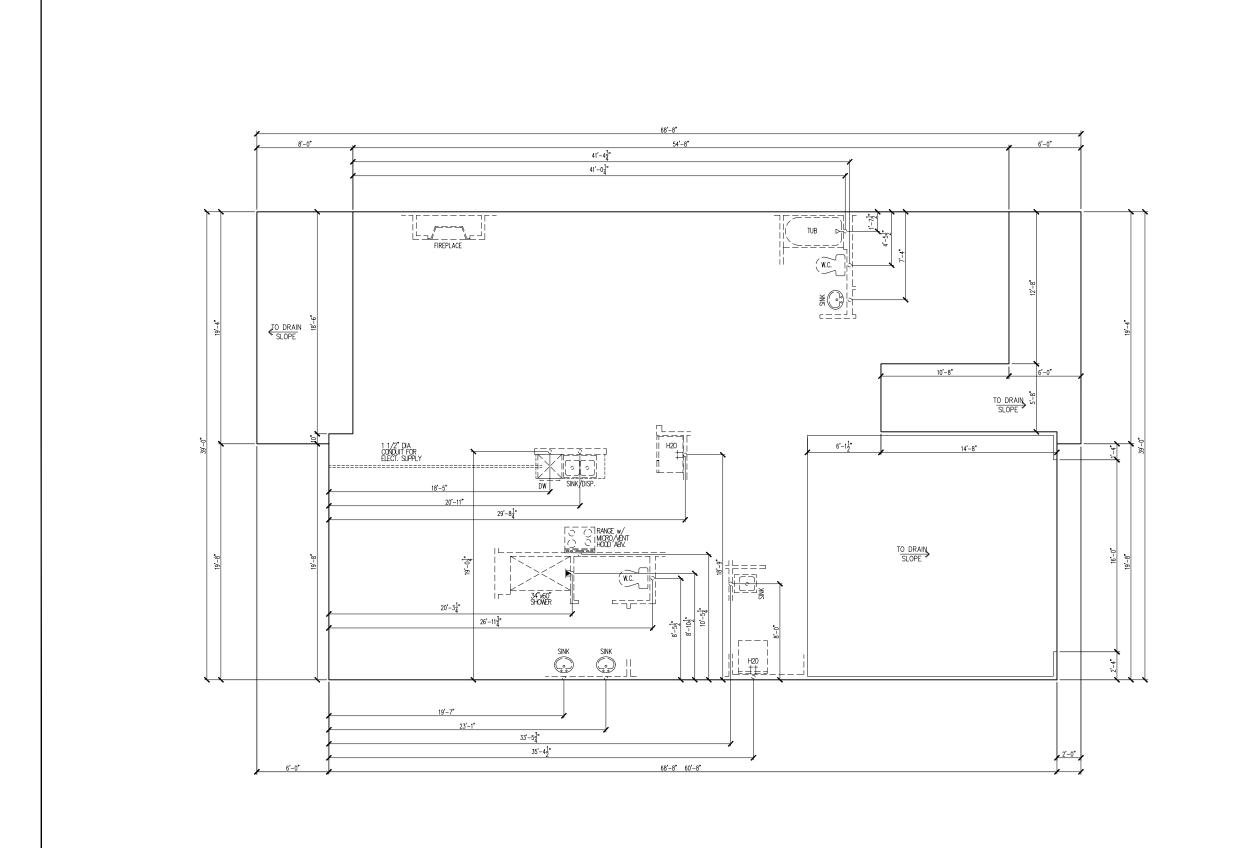
Issue Date: 10-13-24

Drawn By: ACC

5920-04

PLAN NAME:
CYPRESS COVE

G0.11



tribointe.

HOME \$5

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

SUBDIVISION: ALTIS ® SERENITY ADDRESS: 270 STREAMSIDE TER LOT: 328 BASE FOUNDATION PLAN

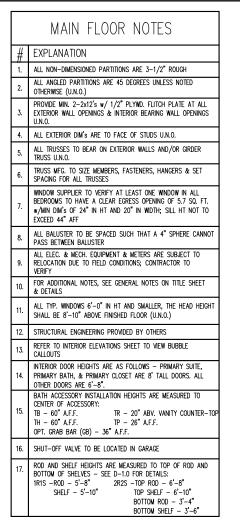
Issue Date: 10-13-24

Drawn By: ACC

5920-04

CYPRESS COVE

SHEET#: S1.10A



LOT 328

5920-04 CYPRESS COVE ELEVATION A REVERSE PLAN LEFT-HAND GARAGE

*OPT. GOURMET KITCHEN 1

*OPT. PRIMARY BATH 1 W/ TILE WALLS & TILE FLOOR PLAN

*OPT. TRAY CEILING AT PRIMARY BEDROOM

*OPT. WINDOWS AT PRIMARY BEDROOM

*OPT. CABINET ILO LINEN

*OPT. TRAY CEILING AT GREAT ROOM

*OPT. FIREPLACE AT GREAT ROOM

*OPT. 12080 SGD AT GREAT ROOM

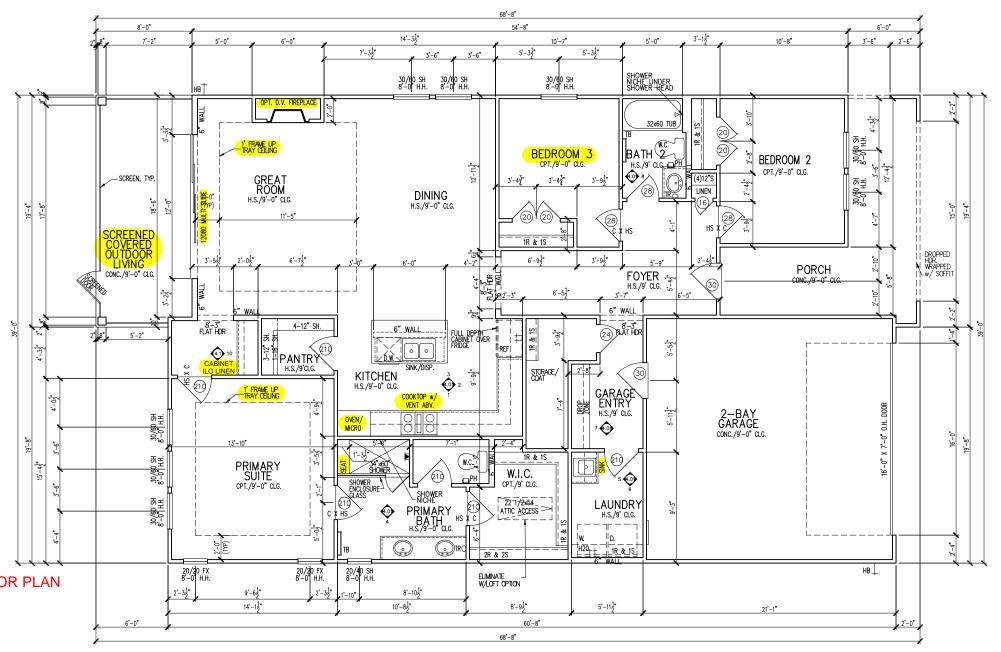
*OPT. LAUNDRY SINK W/ BASE & UPPER CABINETS

*OPT. BEDROOM 3 ILO FLEX SPACE

*OPT. SCREENED COVERED OUTDOOR LIVING

*OPT. FIRE-RATED GARAGE SIDE

*OPT. FIRE-RATED NON-GARAGE SIDE



UNDER 9,000 FT² FIRE-RATED WALL
REQUIRED AT
GARAGE SIDE &
NON-GARAGE SIDE

tri pointe.
HOMES.

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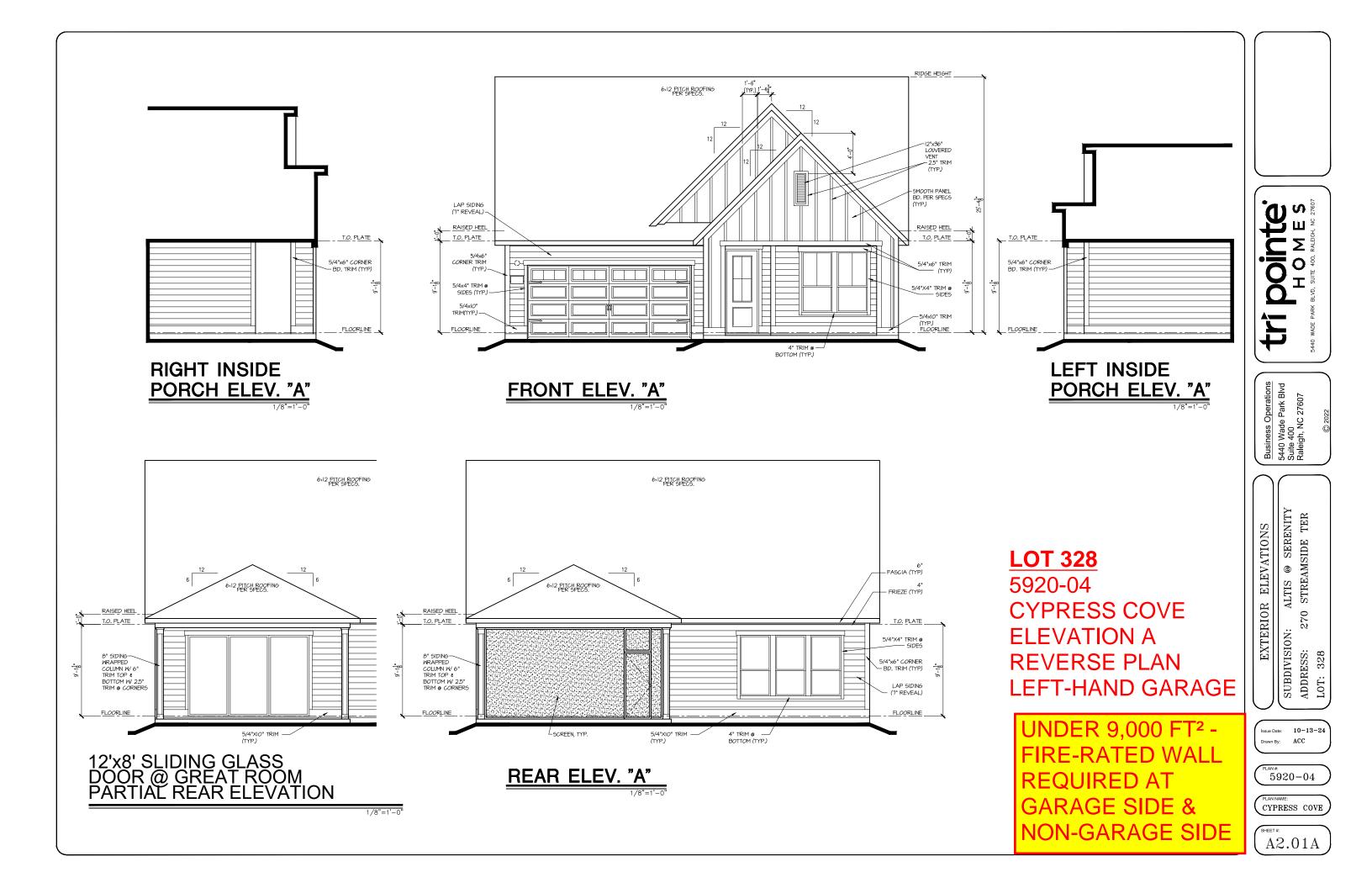
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ADDRESS: 270 STREAMSIDE TER
LOT: 328

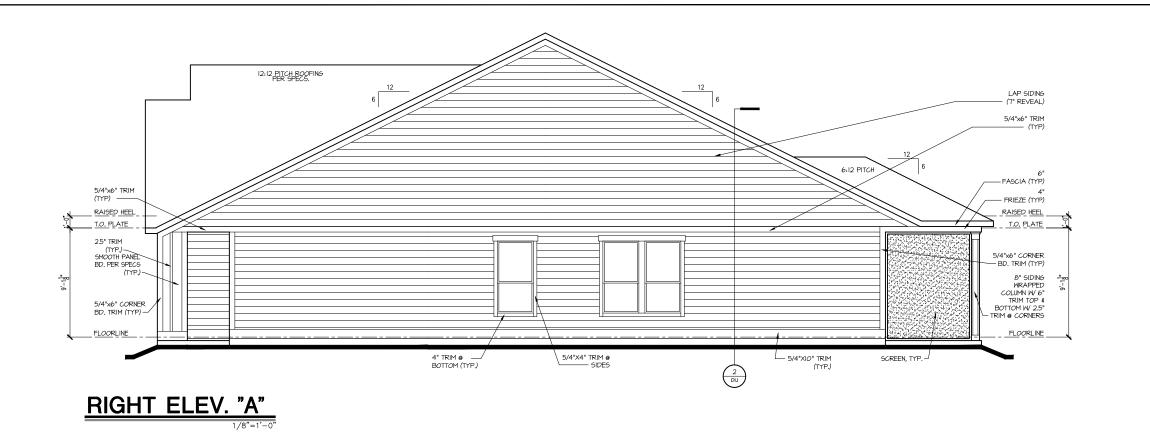
Issue Date: 10-13-24
Drawn By: ACC

5920-04

CYPRESS COVE

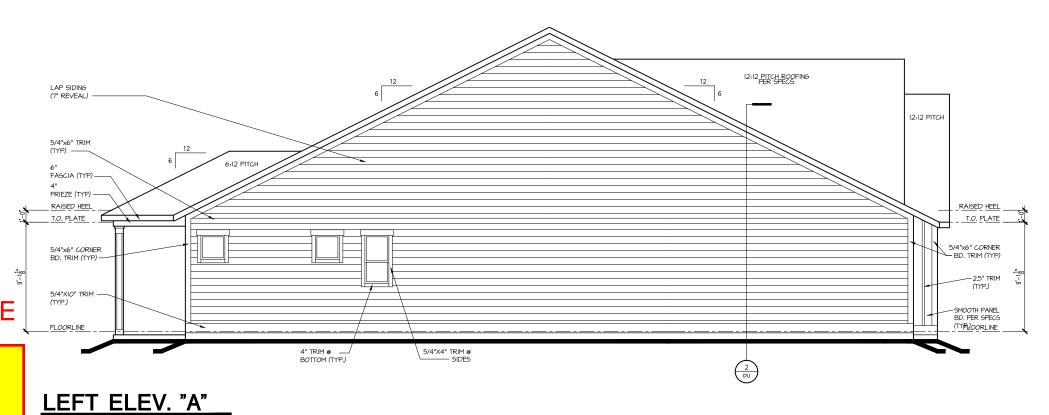
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LOT 328
5920-04
CYPRESS COVE
ELEVATION A
REVERSE PLAN
LEFT-HAND GARAGE

UNDER 9,000 FT² -FIRE-RATED WALL REQUIRED AT GARAGE SIDE & NON-GARAGE SIDE



Tripointe HOMES 540 WADE PARK BLYD. SUITE 400, RALEIGH, NC 27607

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EXTERIOR ELEVATIONS
TSION: ALTIS @ SERENITY
SS: 270 STREAMSIDE TER

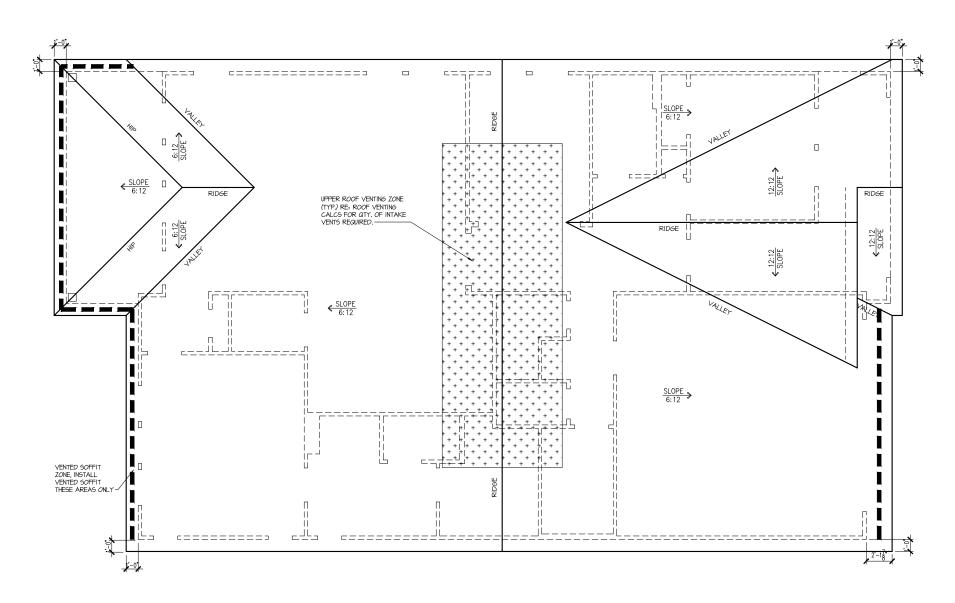
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ADDRESS: 2'
LOT: 328

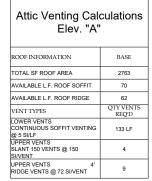
Issue Date: 10-13-24
Drawn By: ACC

5920-04

CYPRESS COVE

(sheet #: A2.02A





NOTE: QTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.



Dointe HOMES RR BLW, SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

ALTIS @ SERENITY
0 STREAMSIDE TER ROOF PLAN

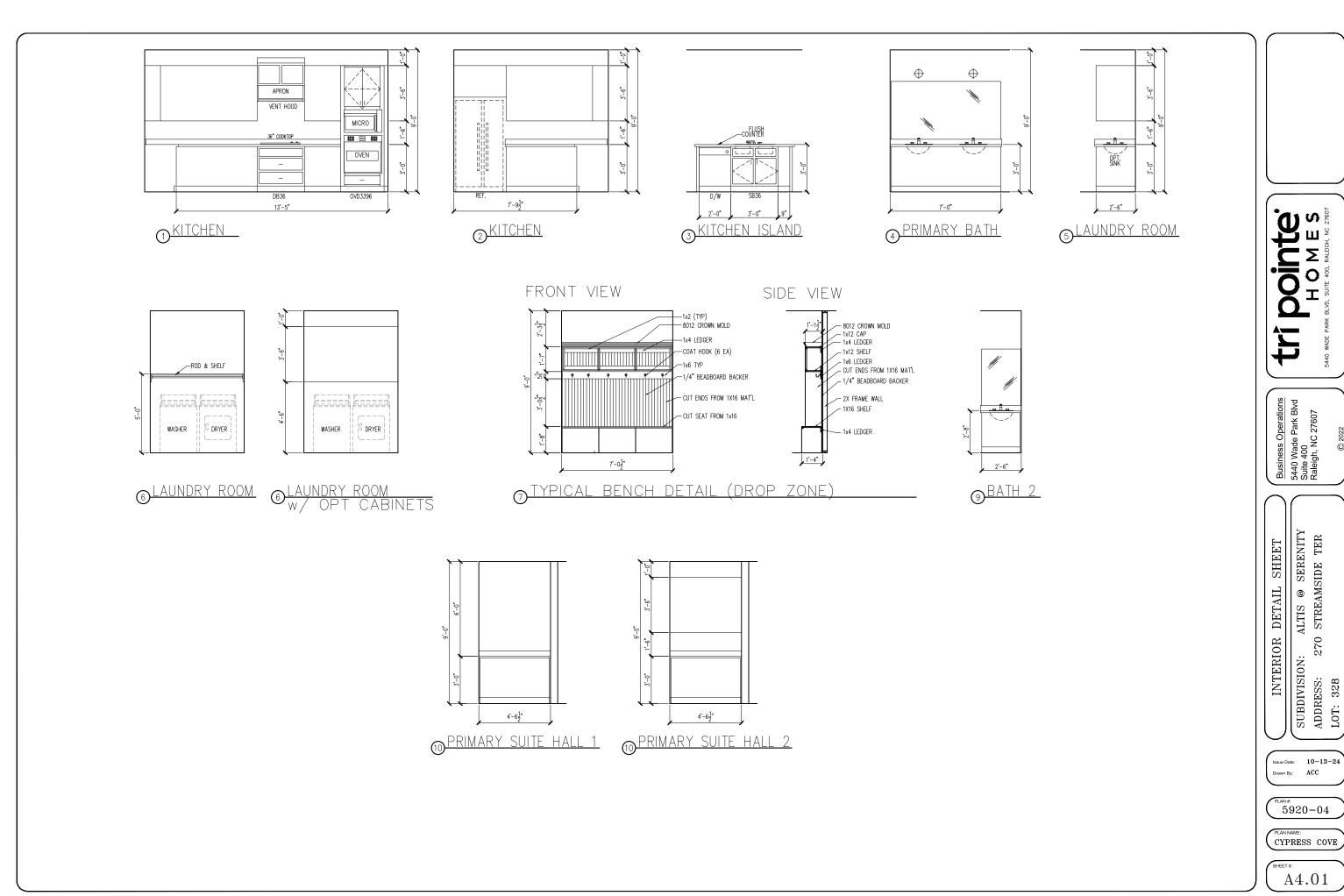
SUBDIVISION:
ADDRESS: 2'
LOT: 328

Issue Date: 10-13-24 Drawn By: ACC

5920-04

CYPRESS COVE

A3.01A



ELECTRICAL I SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	Ф
220V OUTLET	
1/2 HOT OUTLET	₩
GFI OUTLET	∜\$ GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GDO
SECURITY SYSTEM	∯SEC SYS
DISHWASHER	⊕ DW
JUNCTION BOX	٦
CEILING MOUNTED LIGHT	
CEILING FAN w/ LIGHT KIT	BRACING
RECESSED CEILING LIGHT	Ø
RECESSED WATER PROOF LIGHT	⊠ WP
WALL MOUNTED LIGHT	9
WALL MOUNTED PUSH BUTTON	å PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	3\$
FOUR WAY SWITCH	⁴\$
DIMMER SWITCH	\$ ^{DIM}
EXHAUST VENTS	SVENT TO EXT
LOW VOLTAGE PANEL	
PHONE OUTLET	●PH
TV OUTLET	● TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	<u>©</u>
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP EP
SURFACE MOUNT LED	•
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	44
UNDER COUNTER LIGHTING	esse-UCL
SMURF TUBE	

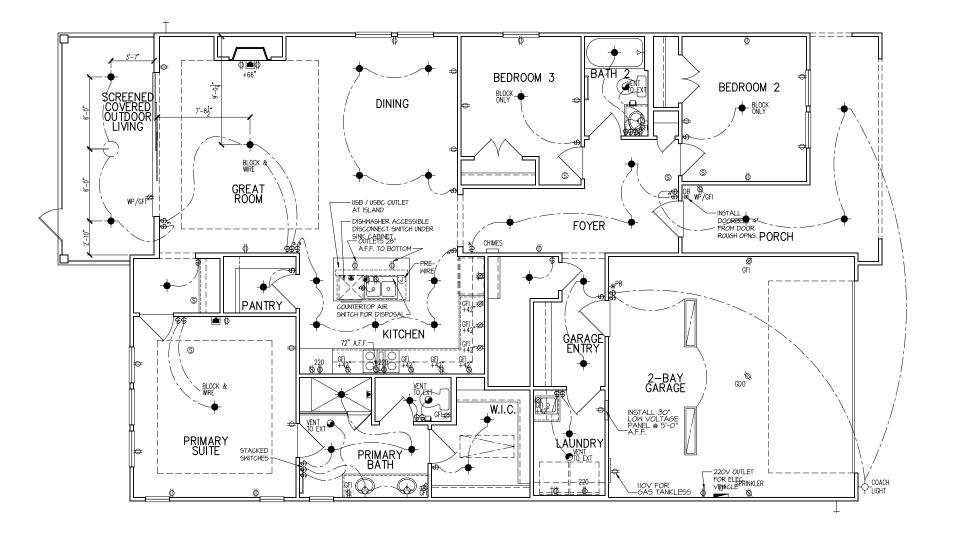
ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED

 SMOKE AND CARBON MONOXIDE DETECTORS
 REQUIRED BY NATIONAL FIRE PROTECTION
 ASSOCIATION (NFPA) AND MEETING THE
 REQUIREMENTS OF ALL GOVERNING CODES
 PROVIDE AND INSTALL GROUND FAULT
 GROUTI-INTERRUPTERS
 (GF) AS REQUIRED BY
 NATIONAL ELECTRIC CODE (NEC) AND MEETING
 THE REQUIREMENTS OF ALL GOVERNING CODES.
 ELECTRICAL CONTRACTOR TO PROVIDE
 REQUIRED DIRECT HOOK—UPS/CUTOFFS.
 HAVAC CONTRACTOR TO VERIFY THERMOSTAT
 LOCATIONS.
 ALL ELECTRICAL AND MECHANICAL EQUIPMENT
 (I.E. FURNAGES, A/C UNITS, ELECTRICAL PANELS,
 SANITARY SUMP PITS, DRAIN TILE SUMP, AND
 WAITER HEATERS) ARE SUBJECT TO RELOCATION
 DUE TO FIELD CONDITIONS.

	OUE TO FIELD CONDITIONS.	UT TO RELOCA	HUP	4	
ΕI	ECTRICAL DEVICES:	ABOVE FINISHED) FL(00R:	:
S	WITCHES OVER COUNTER		.48".	TO.	CL
	ALL OUTLETS OVER COUNTER.				
	42" TO BOTTOM OF HORIZONTAL C				
	EMAINING SWITCHES				
W	ALL OUTLETS		12".	10	CL.
B. (1	ATH VANITY BRACKET OUTLET. " ABOVE TOP OF VANITY)		1,2		
W	ATER SOFTENER AND SUMP OU	JTLETS	48"	T0	CL
E)	KTERIOR GFI OUTLETS		12." .	.TO .	.CL
	ARAGE GFI (ABOVE GARAGE FL				
	RONT DOOR COACH LIGHT				
G (ARAGE DOOR COACH LIGHT, ABOVE GARAGE FLOOR)		84"	. TO	CL
TH	HERMOSTAT		54."	OT.	.CL
D	OORBELL CHIMES		84"	OT.	ΩL
D	OORBELL BUTTON		LEVE DR .	L V HAN	RTE
KI	TCHEN HOOD FAN "WHIP"		.66".	ΤQ	CL
KI	TCHEN WALL HUNG MICROWAVE	OUTLET	72"	T0	CL
	TCHEN DISHWASHER RECEPTAGE				
	TCHEN RANGE				
	TCHEN REFRIGERATOR				
W	ASHER/DRYER OUTLET		.48".	TO.	CL

CL = CENTER LINE 1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



Dointe HOMES RELVO, SUITE 400, RALEIGH, NG 27607

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ALTIS @ SERENITY

STREAMSIDE TER ELECTRICAL PLAN 1st FLOOR

SUBDIVISION:
ADDRESS: 27
LOT: 328

Issue Date: 10-13-24 ACC

5920-04

CYPRESS COVE

E1.10A

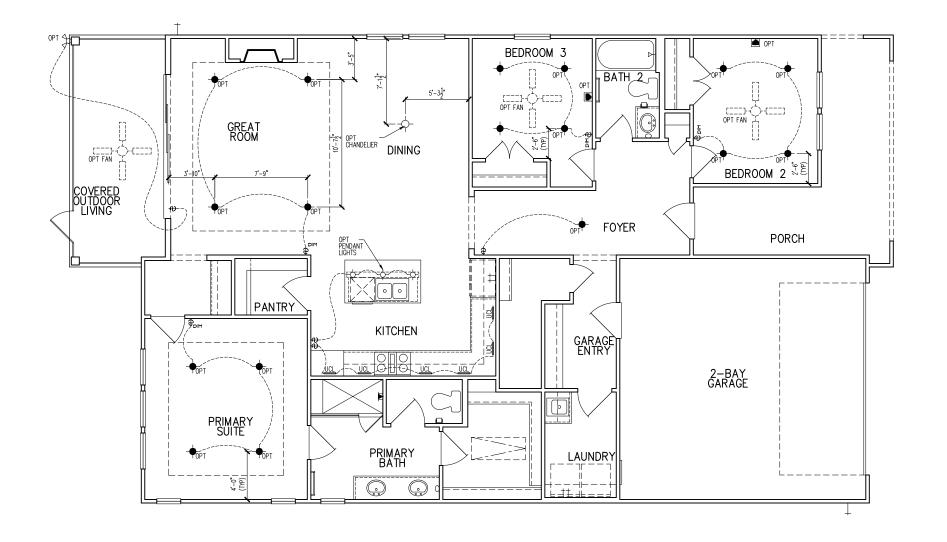
ELECTRICAL I SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	Ф
220V OUTLET	Ф 220
1/2 HOT OUTLET	•
GFI OUTLET	∜ GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GDO
SECURITY SYSTEM	♦ SEC SYS
DISHWASHER	●DW
JUNCTION BOX	Ū
CEILING MOUNTED LIGHT	
CEILING FAN w/ LIGHT KIT	PROVIDE
RECESSED CEILING LIGHT	Ø
RECESSED WATER PROOF LIGHT)⊠(WP
WALL MOUNTED LIGHT	φ
WALL MOUNTED PUSH BUTTON	e PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	* \$
FOUR WAY SWITCH	⁴ \$
DIMMER SWITCH	\$ ^{DIM}
EXHAUST VENTS	S VENT TO EXT
LOW VOLTAGE PANEL	
PHONE OUTLET	● PH
TV OUTLET	⊗ TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	<u>(S)</u>
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP EP
SURFACE MOUNT LED	
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	448
UNDER COUNTER LIGHTING	-coc- UCL
SMURF TUBE	

ELECTRICAL NOTES:

- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
 2. PROVIDE AND INSTALL GROUND FAULT CIRCUIT—INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIRED MISS OF ALL COVERNING CODES.
 3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
 4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION OF COMES O

WATER HEATERS) ARE S DUE TO FIELD CONDITION	UBJECT TO RELOCATION S.
ELECTRICAL DEVICES:	ABOVE FINISHED FLOOR:
WALL OUTLETS OVER COUN	
	TAL OUTLET(TYP. @ COUNTER)
WALL OUTLETS	
BATH VANITY BRACKET OU (1" ABOVE TOP OF VANITY	TLET 1,2)
	IP OUTLETS 48" TO CL
	12." .TO .CL
	GE FLOOR) 48" TO CL
GARAGE DOOR COACH LIGH	T,
DOORBELL BUTTON	LEVEL W/ DR.HANDLE
KITCHEN HOOD FAN "WHIP"	
	WAVE OUTLET 72" TO CL
KITCHEN DISHWASHER RECE	PTACLE UNDER SINK
KITCHEN RANGE	24." .TO .CL .
KITCHEN REFRIGERATOR	
WASHER/DRYER OUTLET	
CL = CENTER LINE 1 = FIFLD VERIFY	

1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



CHECK BOO FOR SELECTED ELECTRICAL OPTIONS

Dointe HOMES RELVD. SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

- OPITONS ALTIS @ SERENITY

STREAMSIDE TER 1st FLOOR ELEC. PLAN 270

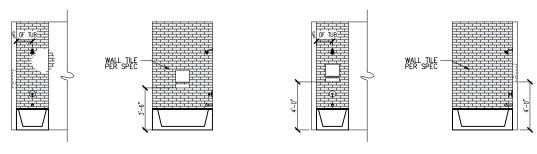
SUBDIVISION:
ADDRESS: 27
LOT: 328

Issue Date: 10-13-24 ACC

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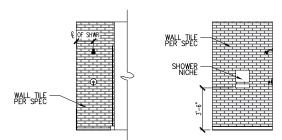
CYPRESS COVE

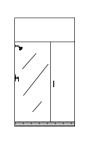
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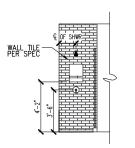


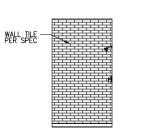
TYPICAL SHOWER NICHE AT TUB SHOWER DETAIL

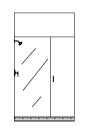
TYPICAL SHOWER NICHE AT TUB SHOWER DETAIL





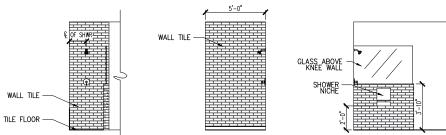




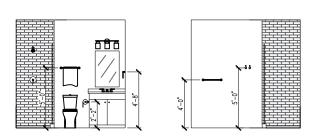


TYPICAL SHOWER NICHE AT SHOWER DETAIL

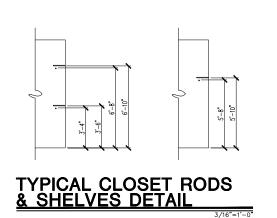
TYPICAL SHOWER NICHE AT SHOWER DETAIL







TYPICAL HEIGHTS FOR BATH FIXTURES DETAIL



DETAILS

SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 270 STREAMSIDE TER

LOT: 328

Dointe HOMES NR BLVD, SUITE 400, RALEIGH, NC 27607

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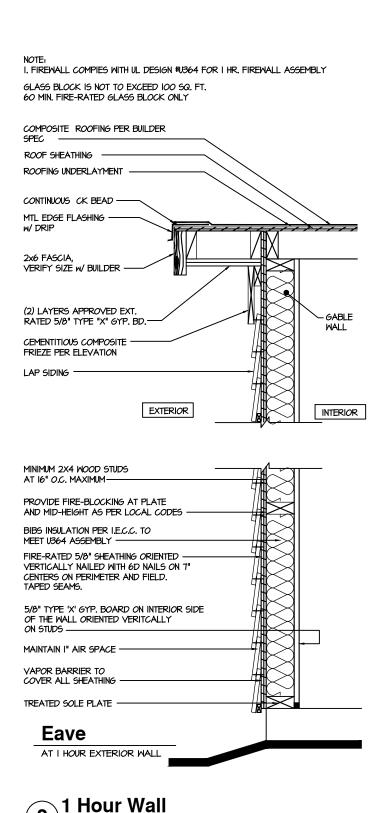
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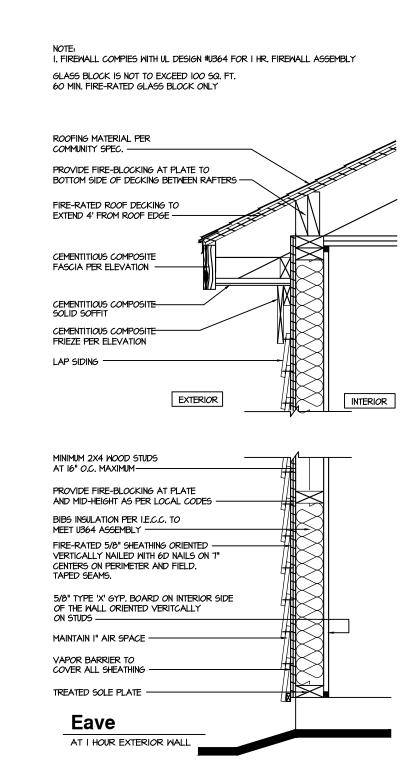
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I HOUR FIRE-RESISTIVE CONSTRUCTION

AT EXTERIOR WALL





I HOUR FIRE-RESISTIVE CONSTRUCTION (PROPERTY LINE) tri pointe.
HOMES

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> ALTIS @ SERENITY 70 STREAMSIDE TER

DETAILS

SUBDIVISION:
ADDRESS: 270
LOT: 328

Issue Date: 10-13-24
Drawn By: ACC

5920-04

CYPRESS COVE

D1.1

GENERAL STRUCTURAL NOTES

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I I/8" MIN. OSB RIM BOARD
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS, SHALL BE SUBMITTED TO ARCH, & ENG.
 FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 $\frac{1}{2}$ " x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- 2 3 × 0.120 NAILS @ 4 O.C. @ PANEL EDGES \$ @ 8 O.C. FIELD.

- 2 3 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES \$ @ 6" O.C. IN FIELD

- ROOF FRAMING ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16
 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- · W/ 2 ½" x 0.131" NAILS @ 6"0.c. @ PANEL EDGES & @ 12" O.C. FIELD.
- w/ 2 🖁 × 0.120" NAILS 🥑 4"o.c. 🧇 PANEL EDGES 🕻 💇 8" O.C. FIELD. - w/ 2 3 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O. ROOF TRUSS SHOP DWGS SHALL BE SUBMITTED TO ARCH & ENG
- FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING
- OF METAL PLATE CONNECTED WOOD TRUSSES." SUPPORT SHORT SPAN ROOF TRUSSES W/2x4 LEDGER FASTENED TO

FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAIL5
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" O.C.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA	(15) NAILS IN LAPPED AREA
TOD DI ATE I AD a CODUEDO :	(24" MIN.)	(24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS +	(4) TOENAILS +
	(I) SIMPSON H2.5T	(I) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 91/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2XIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2XI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUGS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. \$ FASTENED PER SHEAR WALL FASTENING SPEC.	

2½"X0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"X0.120", SAME SPACING OR NUMBER OF NAILS. DNLY ACCEPTABLE WHERE * ARE SHOWN)

GENERAL STRUCTURAL NOTES

DESIGN LOADING

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE RESIDENTIAL CODE.
- MOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

DESIGN LOADS ROOF SNOW = 15 PSF (12 PSF GROUND SNOW, TRUSSES)

LIVE = 20 PSF (REDUCIBLE BASED ON ROOF PITCH) DEAD = 7 PSF T.C., IO PSF B.C. LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS), 15 PSF (FLOOR TRUSSES) ADD'L IO PSE @ CERAMIC TILE IN KITCHEN

BUNROOMS, BATHS, FOYER, LAUND. & MUDRMS

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

115 MPH, EXPOSURE B

GENERAL FRAMING

- ALL TYP, NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP #2 GRADE LUMBER, OR BETTER, U.N.O.. • WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER, SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD MINIMUM
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)

 • HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15)
- PENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING 'LVL' - Fb=2400 psi; Fcll=2500 psi; E=1.8xl0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 134" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS 16" X"X3K" SIMPSON SDS SCREWS (OR 3K" TRUSSLOK SCREWS) GREATER. APPLY EASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREMS 2" FROM EDGE SOLID 3½" OR 5¼" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 € 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF $\frac{1}{4}$ "x6" SIMPSON SDS SCREWS (OR 6 $\frac{3}{4}$ ' TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP ANI BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABW44 BASE, U.N.O.
- CORROSION NOTES
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

UNDER 9.000 FT² -NON-GARAGE SIDE

LOT 328 5920-04 CYPRESS COVE **ELEVATION A REVERSE PLAN** LEFT-HAND GARAGE

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE:
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2
- ANCHORS PER PLATE 12" MAX FROM PLATE ENDS UTILIZING: I/2" DIA. ANCHOR BOLTS 6'-0" O.C,7" MIN. EMBEDMENT
- I/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C. • SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONCRETE)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O. f'c = 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE fu = 60,000 psi
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
 - · JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OF 15'-0" O.C. (MAXIMUM)
 - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO
 - CONTROL JOINTS SHALL <u>NOT</u> BE INSTALLED IN STRUCTURAL
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
► HD-I	SIMPSON CSI6 STRAP TIE W/ 14" END LENGTH
► HD-2	SIMPSON MSTC66 STRAP TIE w/ 24" END LENGTH
▶ HD-3	SIMPSON HTT4 HOLD-DOWN *
► HD-4	SIMPSON HDU5-SDS2.5 HOLD-DOWN *
HD-5	SIMPSON STHDI4RJ HOLD-DOWN *

UTILIZE SIMPSON "SET-3G" EPOXY SYSTEM TO FASTEN %" DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 12" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUE, RECOMMENDATIONS, DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF FOUNDATION

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO COMPONENTS DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS. SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY OR WARRANTY TOLERANCES.

VENEER LINTEL SCHEDULE

		SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
		3'-0"	20 FT. MAX	L3"x3"x¼"
		6'-0"	3 FT. MAX	L3"x3"x¼"
			I2 FT. MAX	L4"x3"x1/4"
			20 FT. MAX	L5"x3½"x¾"
		8'-0"	3 FT. MAX	L4"x4"x¼" *
			I2 FT. MAX	L5"x3½"x¾6"
			I6 FT. MAX	L6"x3½"x¾"
		9'-6"	I2 FT. MAX	L6"x3½"x%6"
		16'-0"	2 FT. MAX	L7"x4"x½" **
			3 FT. MAX	L8"x4"x½" **

- ALL LINTELS

 **SHALL SHOPE 7.2 %* 3 ½* VENEER w/ 40 psi MAXIMM MEIGHT.

 (16 SHALL HAVE 4" NIN, EEARNIG

 (16 SHALL HAVE 4" NIN, EEARNIG

 (16 SHALL HAVE 5" NIN, EEARNIG

 **(16 SHALL HAVE 16 SHIDED PACK TO HEADER IN WALL 446"02. w/ ½* DIA x 3 ½*

 LONG LAG SCREPES IN 2" LONG VERTICALLY SLOTTED HOLES.

 **MALL ER FORSTEDE PACK TO ROCKIT HE GET HOLES.

 **ALL LINTELS SHALL BE LONG LEG VERTICALLY SLOTTED HOLES.

 **ALL LINTELS SHALL BE LONG LEG VERTICAL.*

 **ALL LINTELS SHALL BE LONG LEG VERTICAL.*

 **HALL SHAPPLIST TO SHE 3 ½* WILE OVER THE BEARNIG LENGTH ONLY. THIS

 **SHE'S SHAPPLIST HAS TO BE 3 ½* WILE OVER THE BEARNIG LENGTH ONLY. THIS

 **SHE'S STRUCTURE, PLASS FOR ANY LINTEL CADITION NOT ENCOMPASSED BY THE

 ABOVE PRAVAMETERS.

* FOR QUEEN VENEER USE L4x3x/4". ** FOR 3½" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3½" THICK,

ADDITIONAL NOTES FOR TRUSS \$

I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES
RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A ROOF TRUSSES.

I/4" DEAD LOAD

B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:

ABSOLUTE DEAD LOAD DEFECTION OF FLOOR TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NO

FLOOR JOIST NOTES

- · ALL FLOOR JOISTS SHALL BE THE DEPTH SPECIFIED ON PLAN - FLOOR JOISTS SERIES & SPACING IS PER THE FLOOR JOIST MANUF.
- SPACING SHALL NOT EXCEED 19.2" O.C. (MAX.) LOCATION OF TILE: SPACING SHALL NOT

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

5 MPH WIND IN 2018 NCSBC:RO

(115 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NGSBG:RG, ACCORDINGLY THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 R802.II

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 ₹x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 ¾" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD.

<u>3" O.C. EDGE NAILING</u>

 AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3 × 0.113 NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

TYP. UNIT SEPARATION WALL SHEATHING SPECIFICATION

•1/2" OR 5/8" GYPSUM WALL BOARD: FASTEN GMB SHEATHING TO FRAMING W/ 1 8 x0.086 COOLER NAILS OR 1 1/4" DRYWALL SCREWS @ 7" O.C. TO PANEL EDGES & PANEL FIELD (INCLUDING T&B PLATES)

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, T WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES. AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

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lulhern+Kulp project numbe 243-2403

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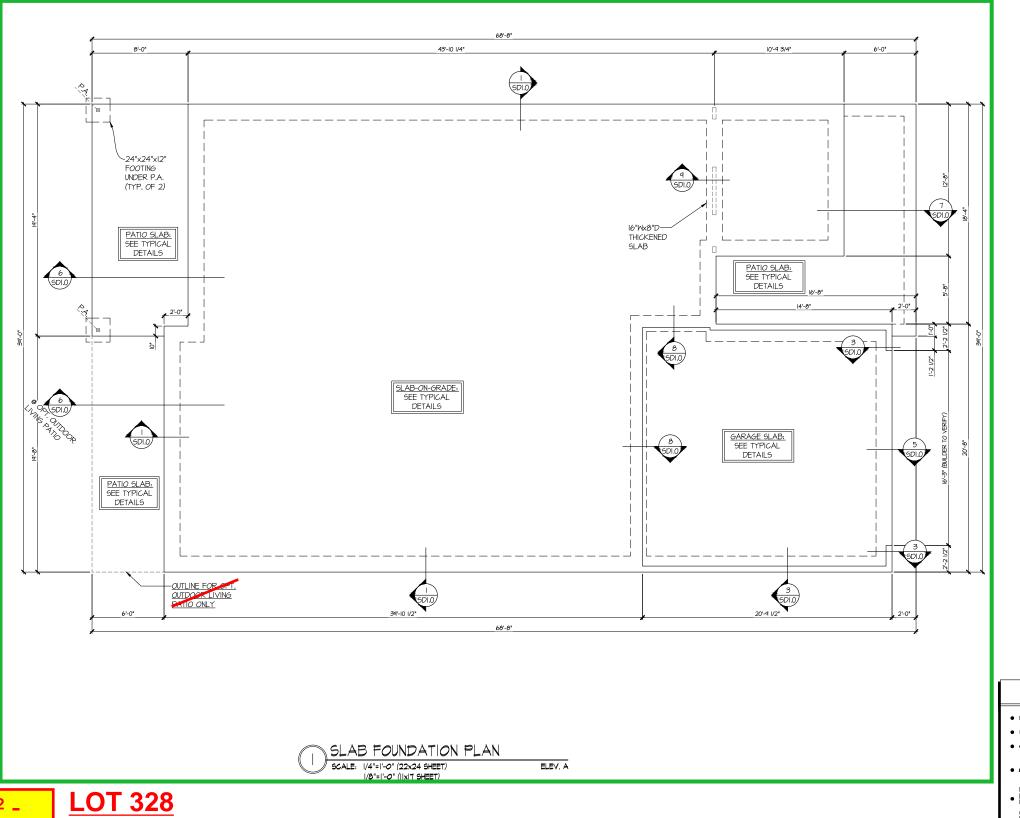
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NOTES GENERAL

SERENITY MASTER SET RALEIGH, NC 5920-04

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UNDER 9,000 FT² -**GARAGE SIDE & NON-GARAGE SIDE** 5920-04 **CYPRESS COVE ELEVATION A REVERSE PLAN LEFT-HAND GARAGE** LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING

- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- ► INDICATES HOLDOWN

- | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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243-24030

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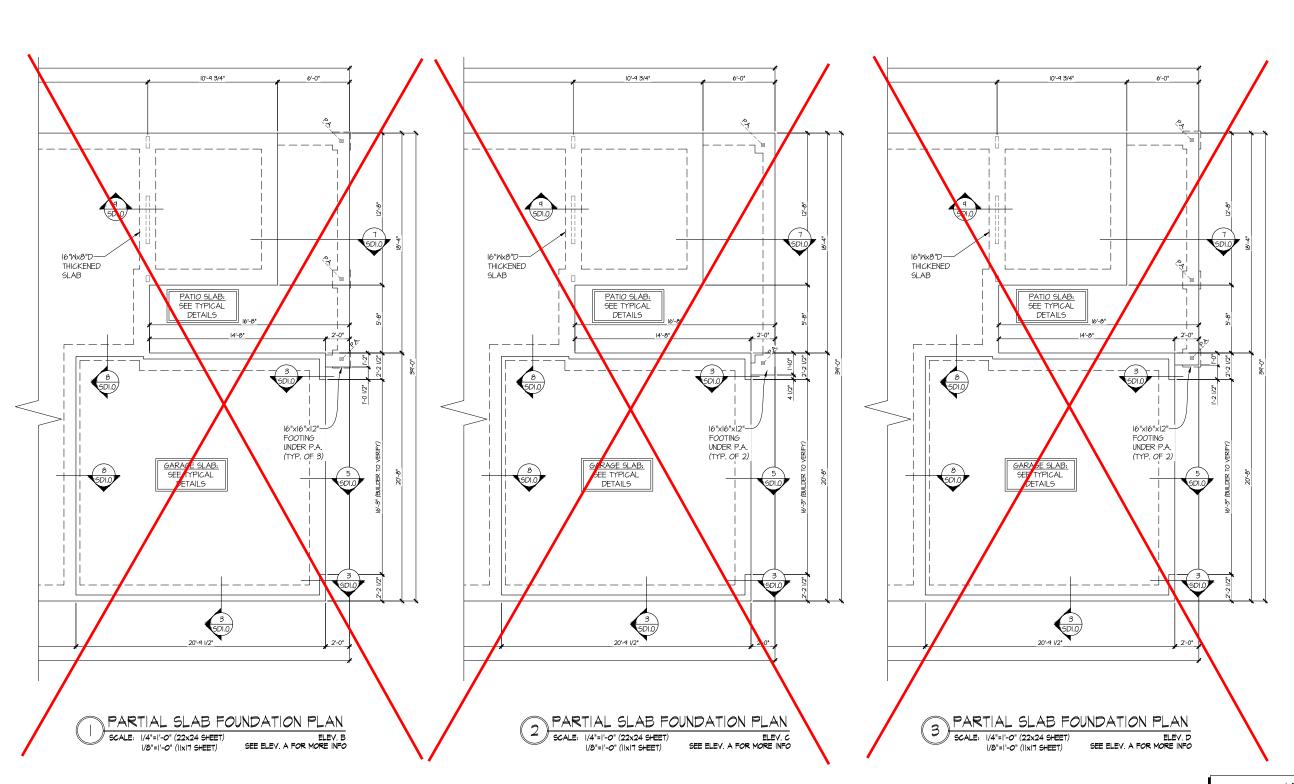
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FOUNDATION PLAN 5920-04 MODEI

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UNDER 9,000 FT² -**GARAGE SIDE & NON-GARAGE SIDE** **LOT 328** 5920-04 **CYPRESS COVE ELEVATION A REVERSE PLAN** LEFT-HAND GARAGE

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING

 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

FOUNDATION PLAN

5920-04 MODEI SERENITY MASTER SET RALEIGH, NC

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NC LICENSE # C-3825

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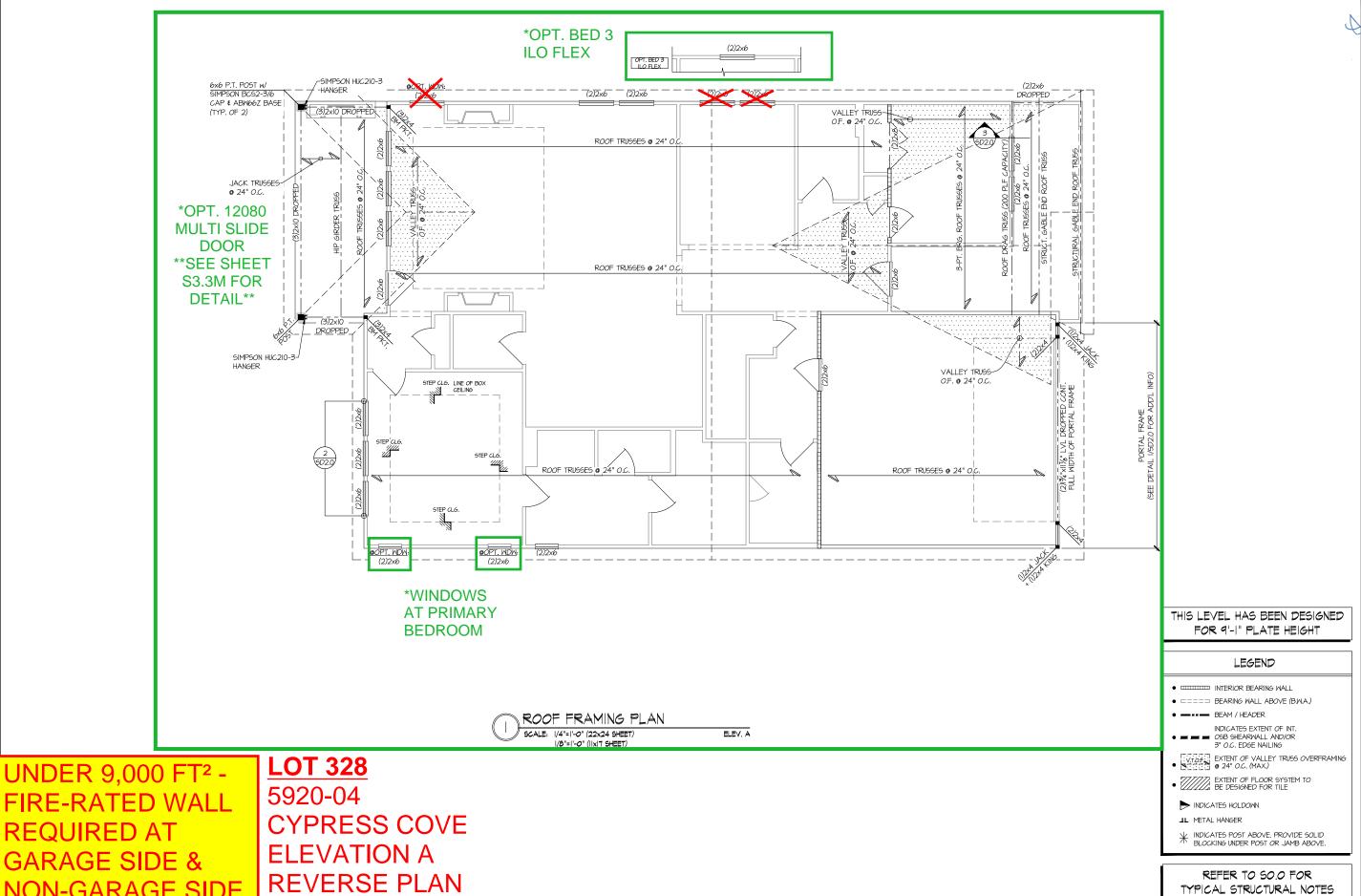
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NON-GARAGE SIDE

LEFT-HAND GARAGE

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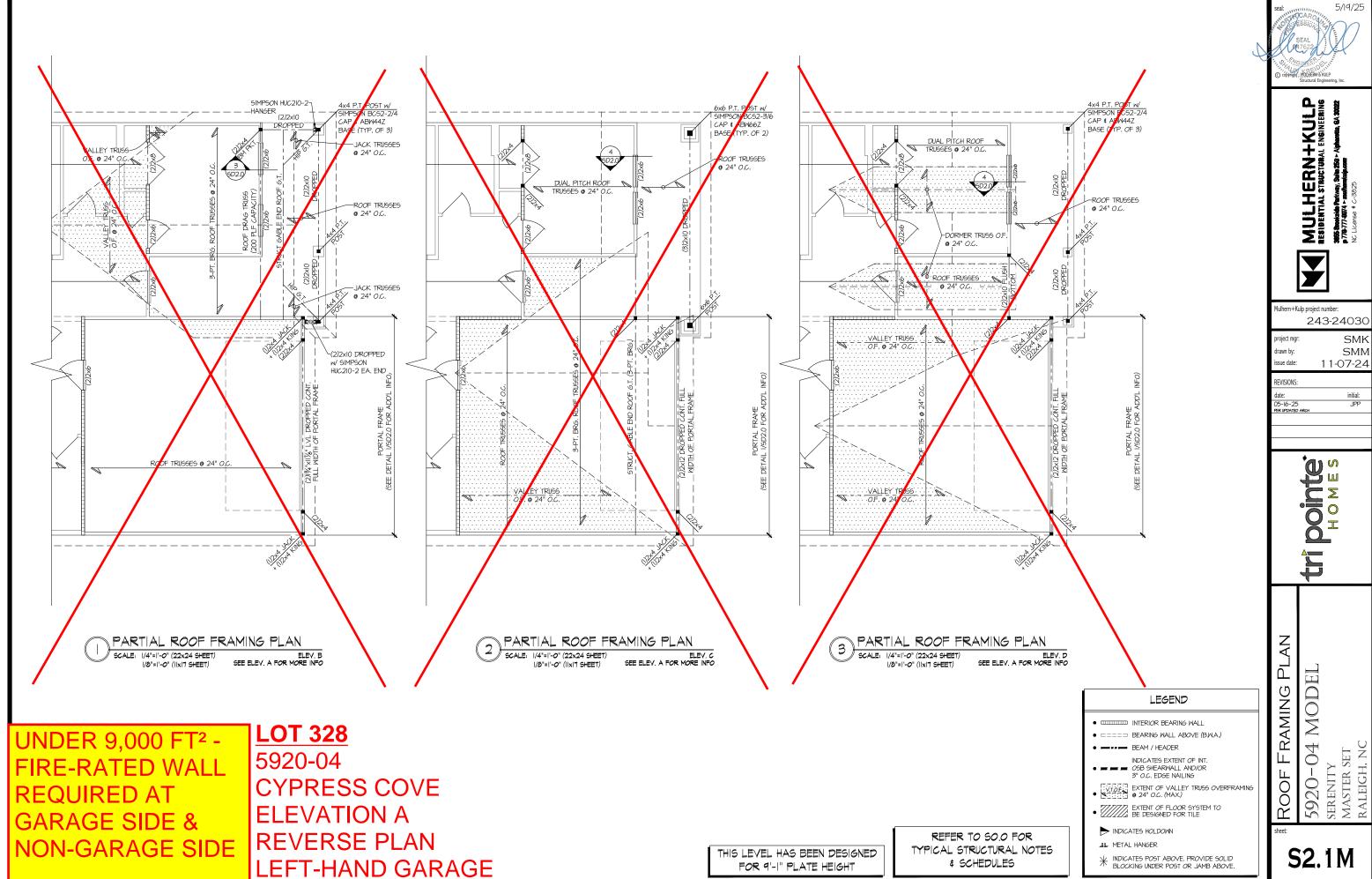
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REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

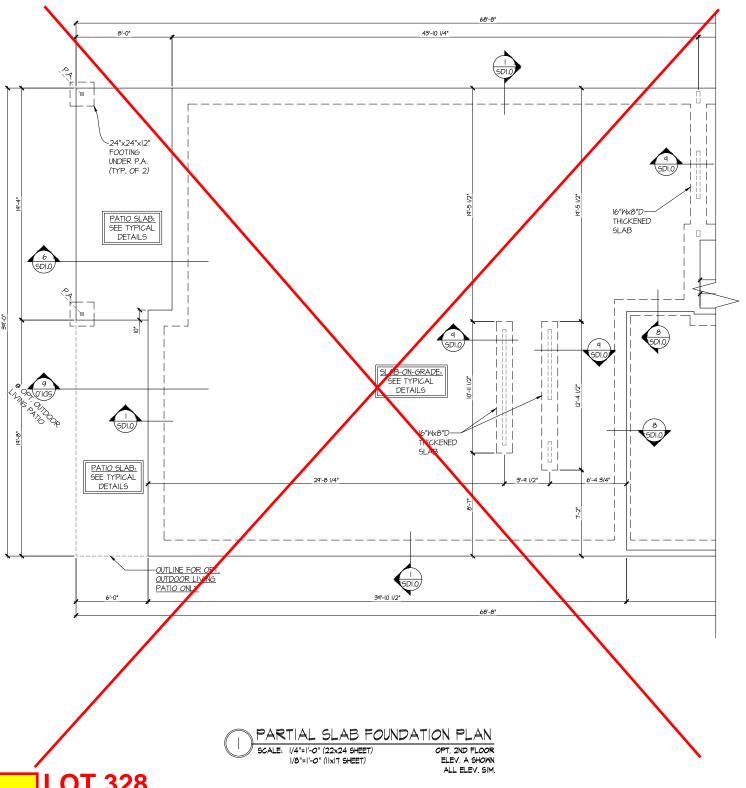
ROOF FRAMING PLAN

S2.0M

5920-04 MODEI



S2.1M



UNDER 9,000 FT² -**GARAGE SIDE & NON-GARAGE SIDE**

LOT 328 5920-04 CYPRESS COVE **ELEVATION A** REVERSE PLAN LEFT-HAND GARAGE

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□□□□□ BEARING WALL ABOVE (B.W.A.)

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

● □□□□□□□□ INTERIOR BEARING WALL

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

EXTENT OF VALLEY TRUSS OVERFRAMING

OCT OF VALLEY TRUSS OVERFRAMING

OCT OF VALLEY TRUSS OVERFRAMING

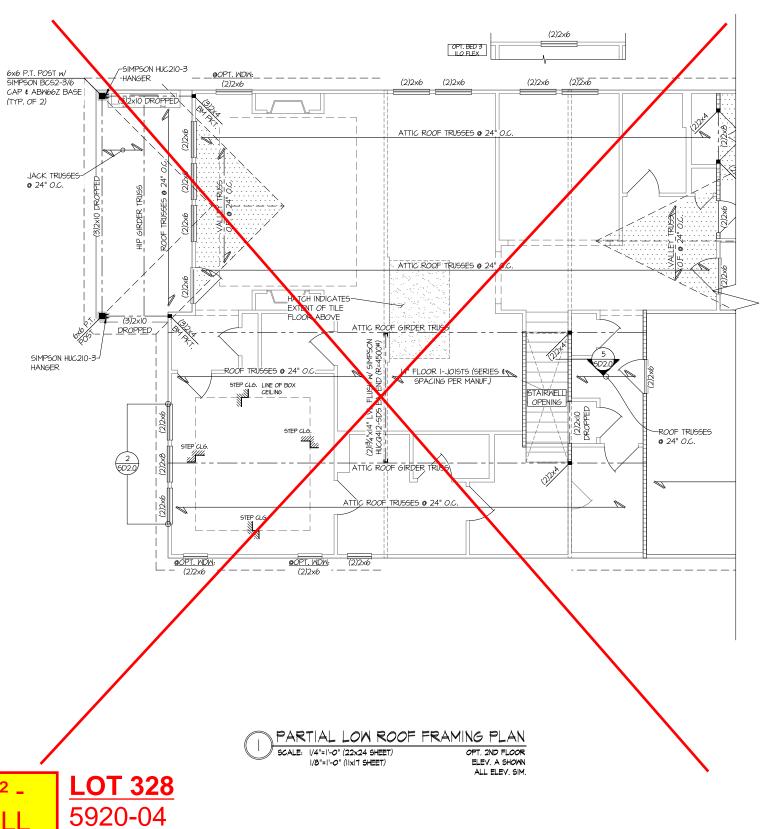
► INDICATES HOLDOWN

NDICATES POST ABOVE. PROVIDE SOLID

S3.0M

STRUCTURAL OPTIONS

5920-04 MODEI



GARAGE SIDE & NON-GARAGE SIDE

5920-04 **CYPRESS COVE ELEVATION A REVERSE PLAN LEFT-HAND GARAGE**

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

- □□□□□□□□ INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING

 OCT OF VALLEY TRUSS OVERFRAMING

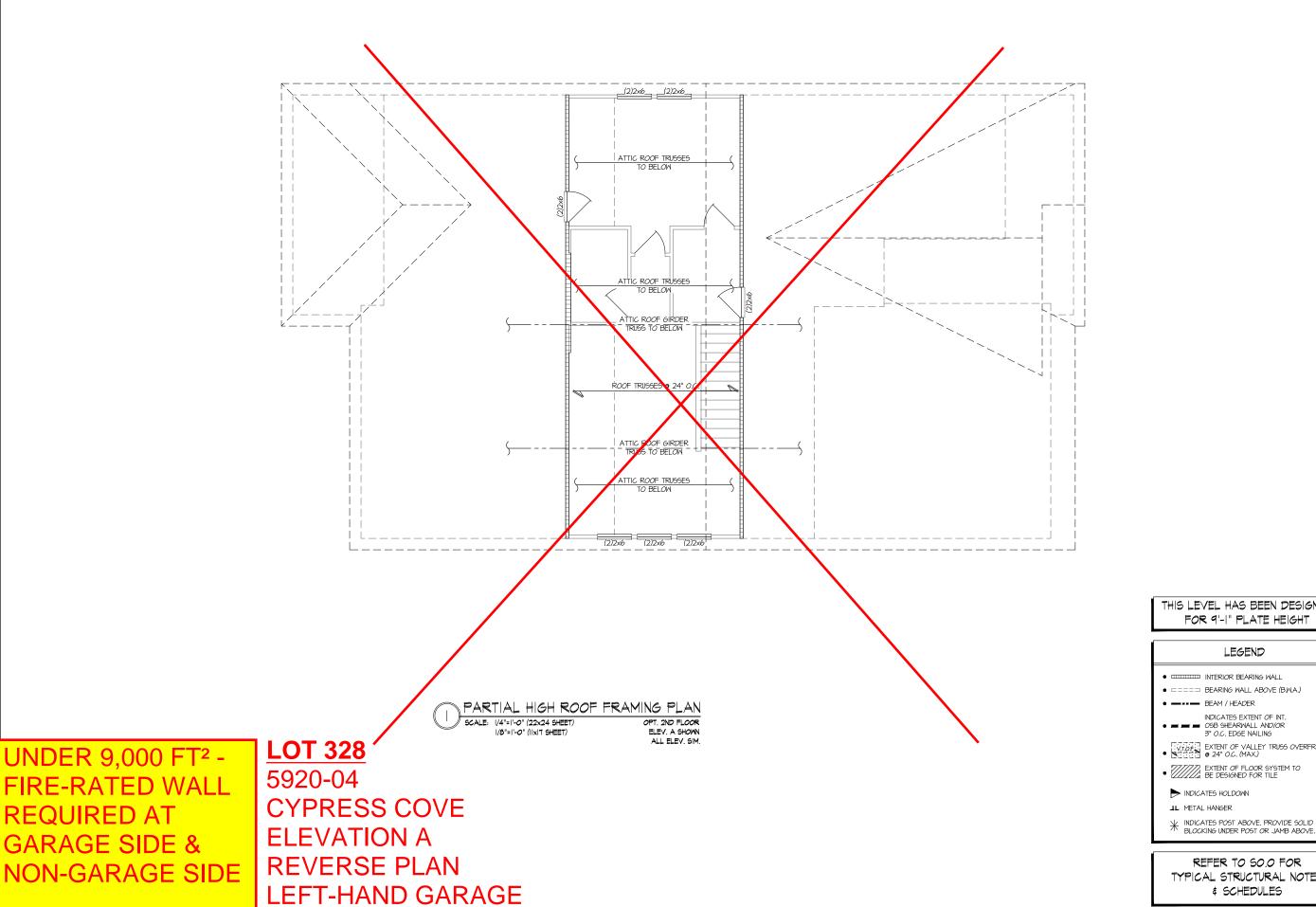
 OCT OF VALLEY TRUSS OVERFRAMING
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- ► INDICATES HOLDOWN

- # INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

STRUCTURAL OPTIONS 5920-04 MODEI

S3.1M



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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

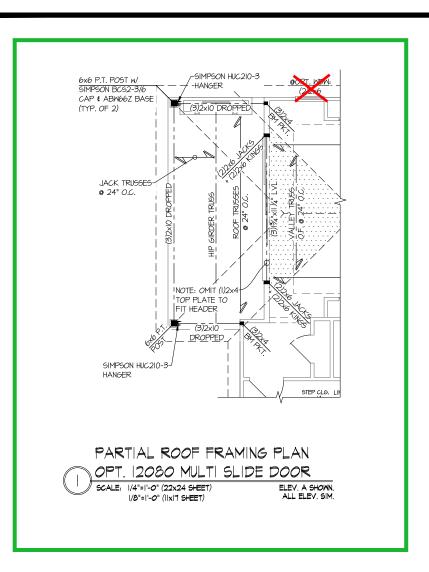
- BLOCKING UNDER POST OR JAMB ABOVE.

TYPICAL STRUCTURAL NOTES

STRUCTURAL OPTIONS

S3.2M

5920-04 MODEI



OPT. 12080 **MULTI SLIDE DOOR**

UNDER 9,000 FT² -**GARAGE SIDE & NON-GARAGE SIDE** **LOT 328** 5920-04 **CYPRESS COVE ELEVATION A REVERSE PLAN LEFT-HAND GARAGE**

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STRUCTURAL OPTIONS 5920-04 MODEI SERENITY MASTER SET RALEIGH, NC

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE ► INDICATES HOLDOWN

| INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LEGEND

• IIIIII INTERIOR BEARING WALL

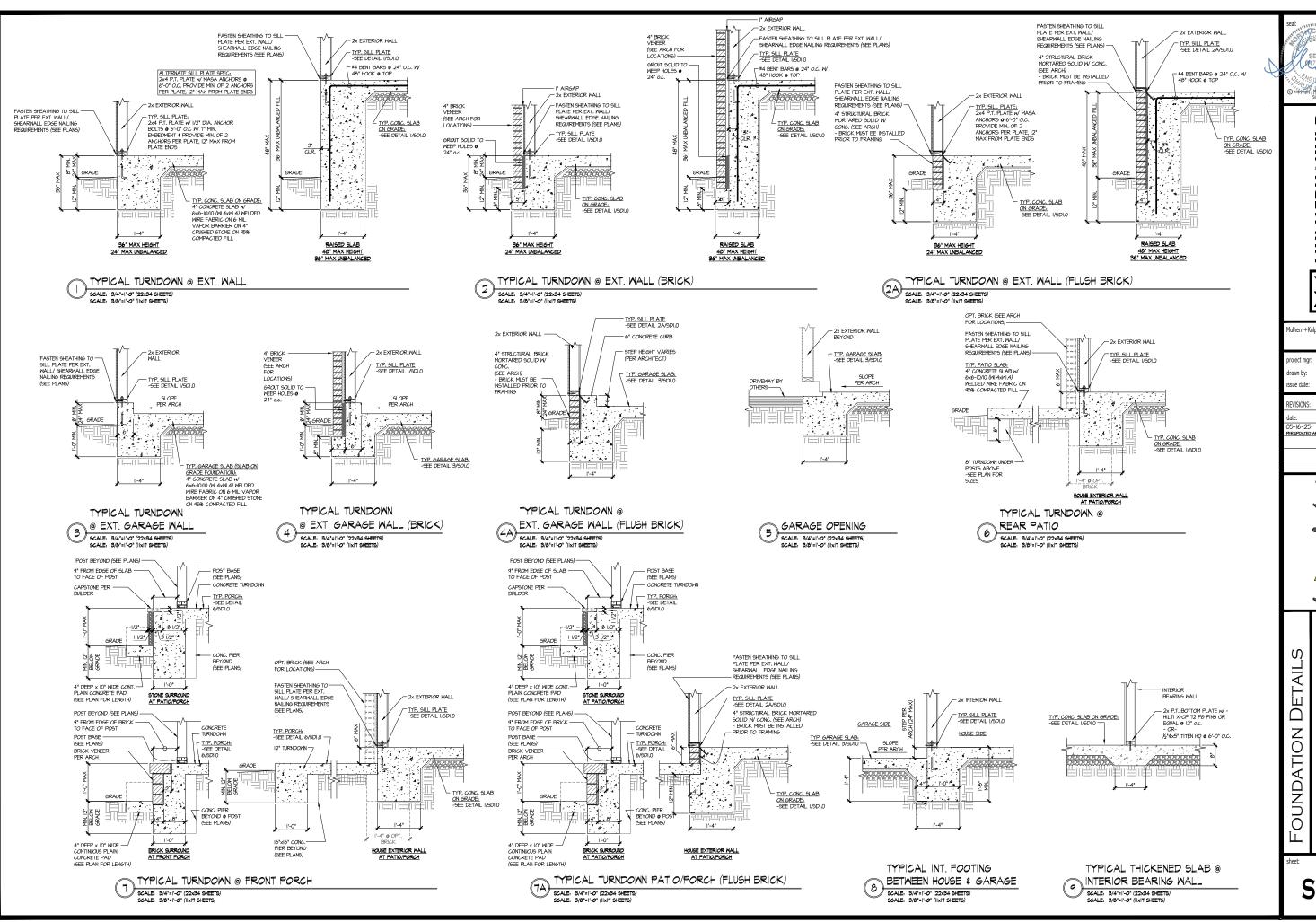
□□□□□ BEARING WALL ABOVE (B.W.A.)

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

S3.3M



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Structural Engineering, Inc.

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Mulhern+Kulp project number: 243-24030
project mgr: SMH

drawn by: SMN issue date: 11-07-24

REVISIONS:

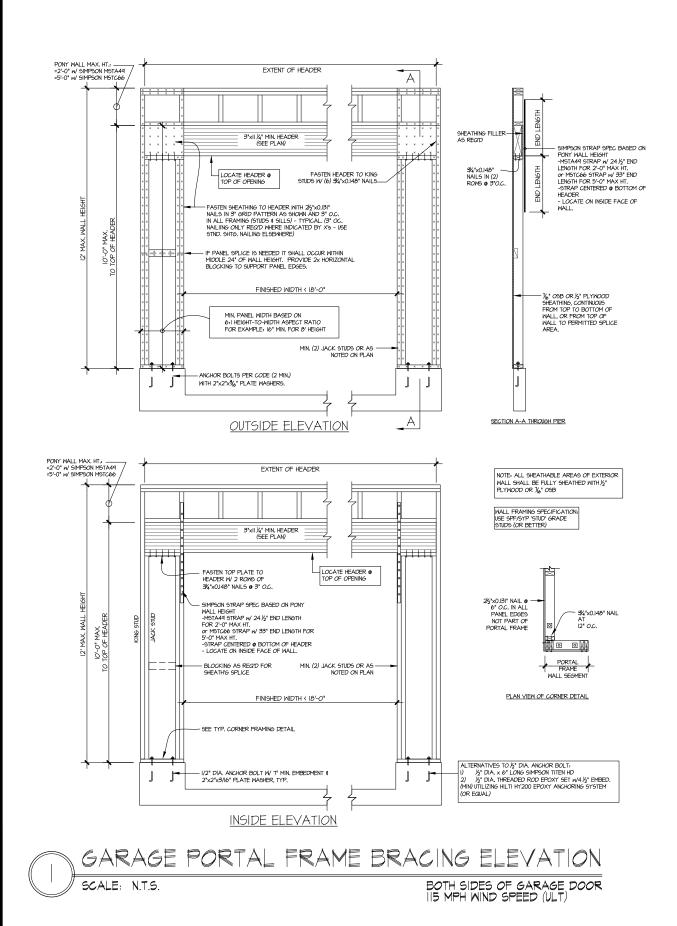
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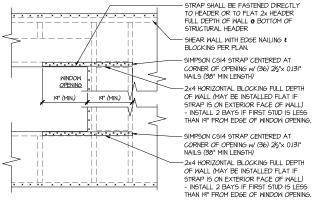
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NDATION DETAILS
-04 MODEL

5920–04 N Serenity Master set Raleigh, nc

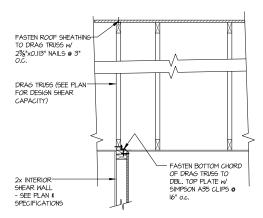
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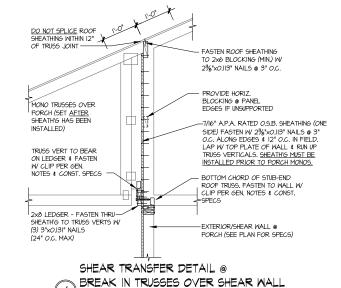


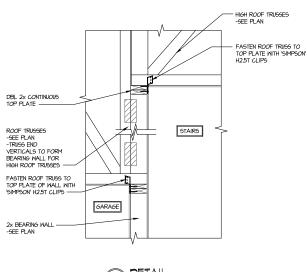
- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHTG. (MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR WINDOW NAILING
 REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION SCALE: NTS



DRAG TRUSS DETAIL 3 DRAG TR





SCALE: 3/4"=1'-0" - 22x34 3/8"=1'-0" - 11x17

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Aulhern+Kulp project number 243-24030

SMK frawn by: SMN issue date: 11-07-24

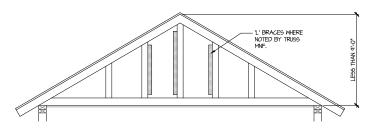
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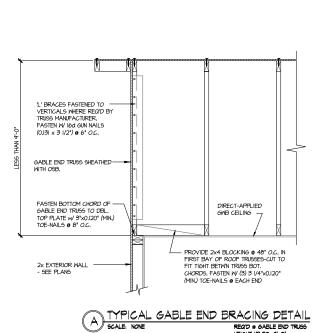
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Ŋ DETAIL MODE FRAMING

SERENITY MASTER SET RALEIGH, NC 5920-04

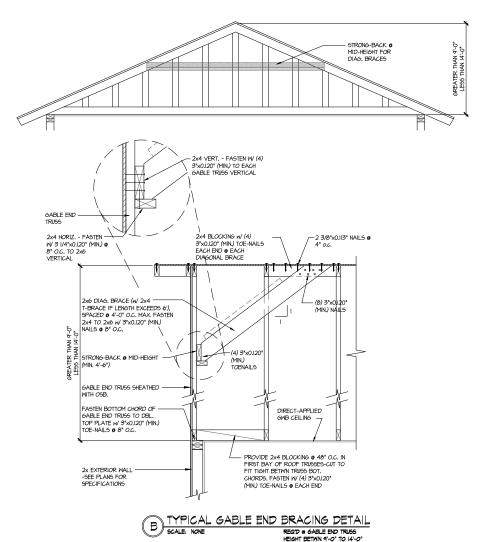
SD2.0





BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9"-0". "L" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0'



BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. "L' BRACES NOT REQUIRED.

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3005 Brodside Parkway, Sale 250 - Alphaenta, 9A 3002

p.778-777-6974 - markemiziquam

NC Licence # C-38.25

Mulhern+Kulp project number: 243-24030

SMK SMM drawn by: issue date: 11-07-24

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FRAMING DETAILS 5920-04 MODEL SERENITY MASTER SET RALEIGH, NC

SD2.1