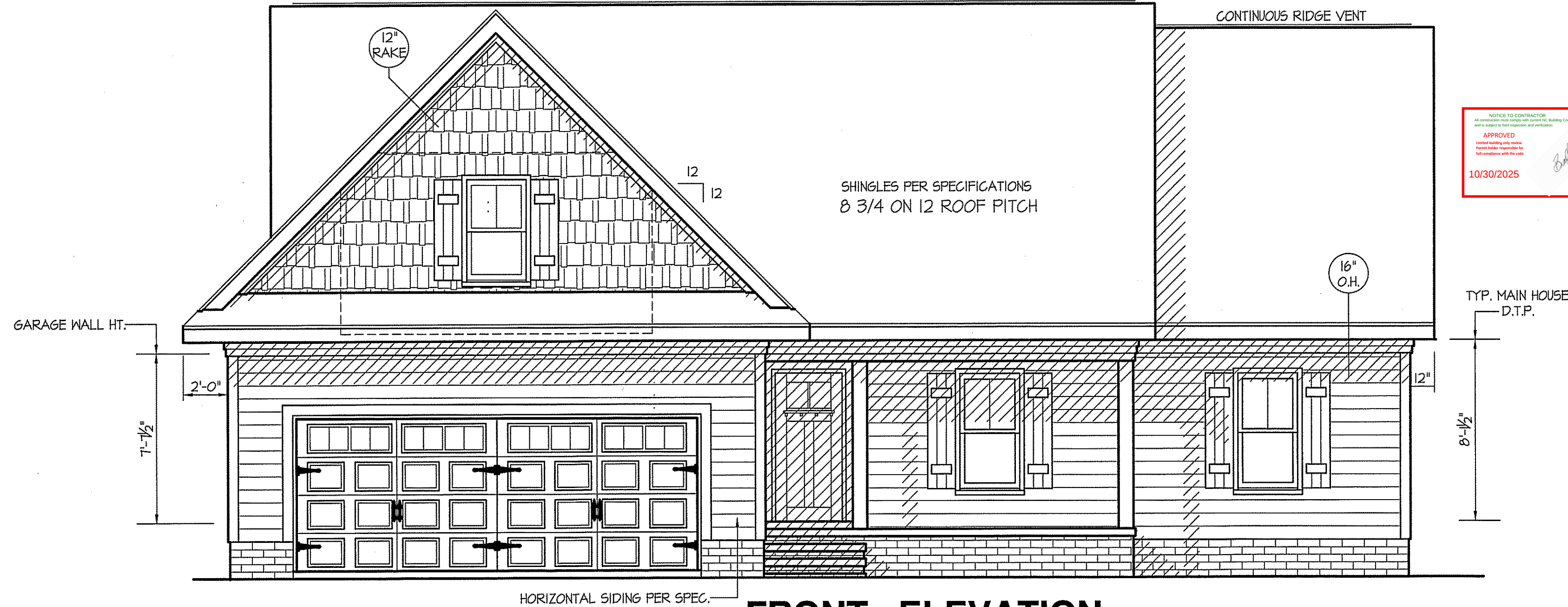


MAIN COMPUTER FILE: FFH - HIGH POINT - AUG.-2025

THIS PLAN IS DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION

CONTINUOUS RIDGE VENT

CONTINUOUS RIDGE VENT



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

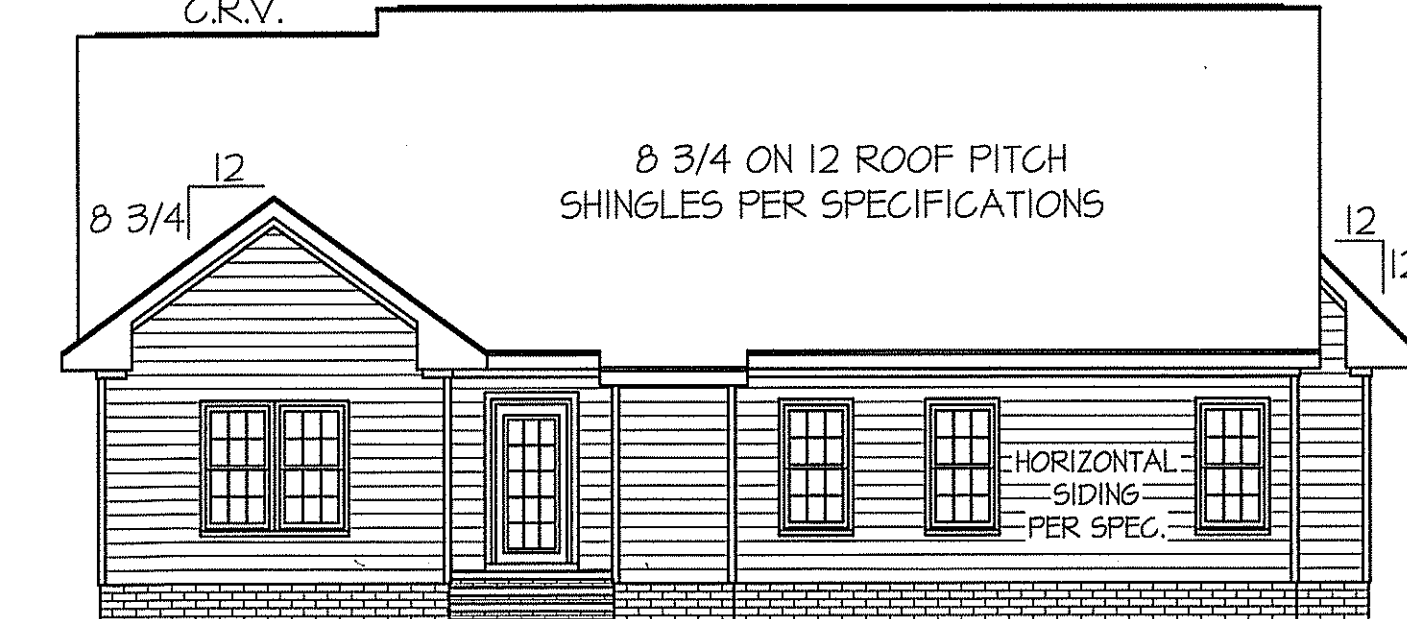
ALL EXTERIOR WALLS TO BE SHEATHED WITH CS-WSP (1/16" OSB) IN ACCORDANCE WITH SECTION R602.10.3 UNLESS OTHERWISE NOTED.

ROOF VENTILATION REQ'TS.
2216 ATTIC SQ. FT. / 300 = 7.38

PROVIDED ON PLAN
89 L.F. RIDGE VENT = 16.68
122 L.F. SOFFIT VENT = 7.62
TOTAL = 24.30 S.F. FREE NET AREA

C.R.V.

CONTINUOUS RIDGE VENT



REAR ELEVATION

SCALE: 1/8" = 1'-0"

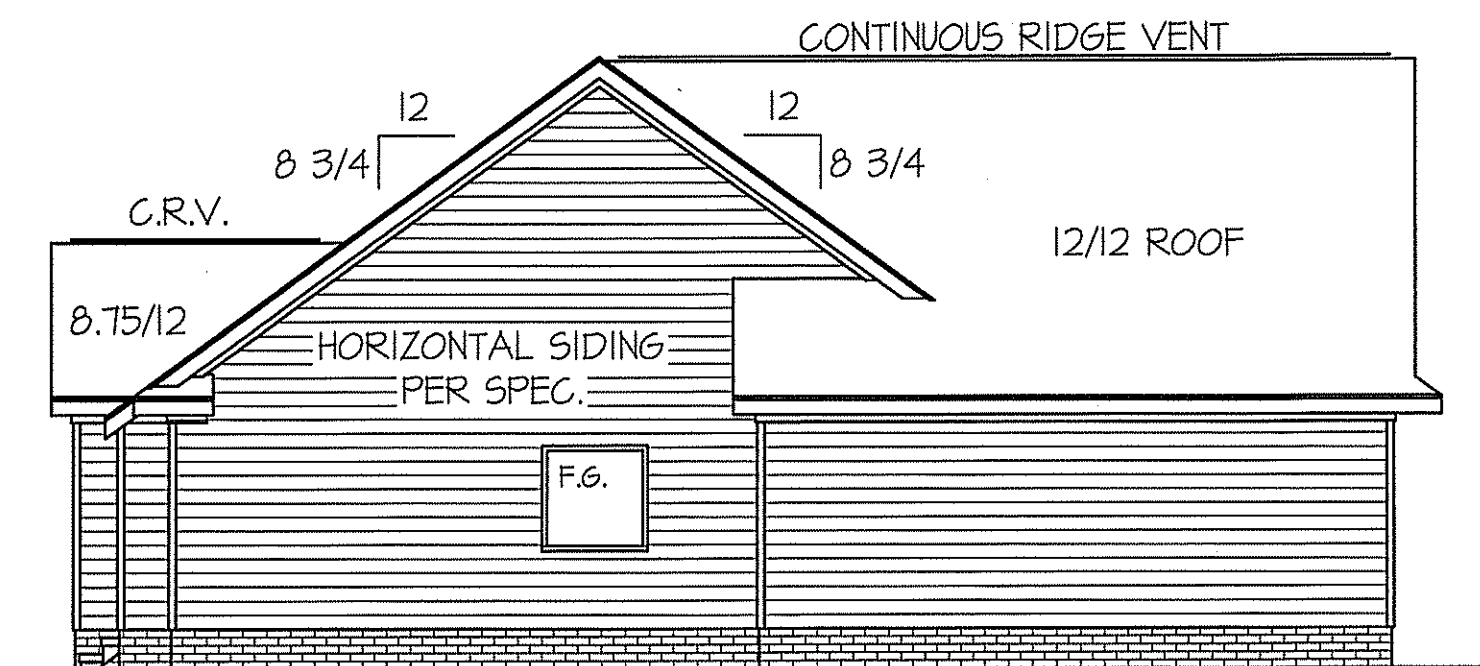
WIND ZONES (PER TABLE R301.2(4))

COUNTY	MPH
HARNETT	120
JOHNSTON	120
SAMPSON	130
WAKE	115

INSULATION and FENESTRATION REQUIREMENTS

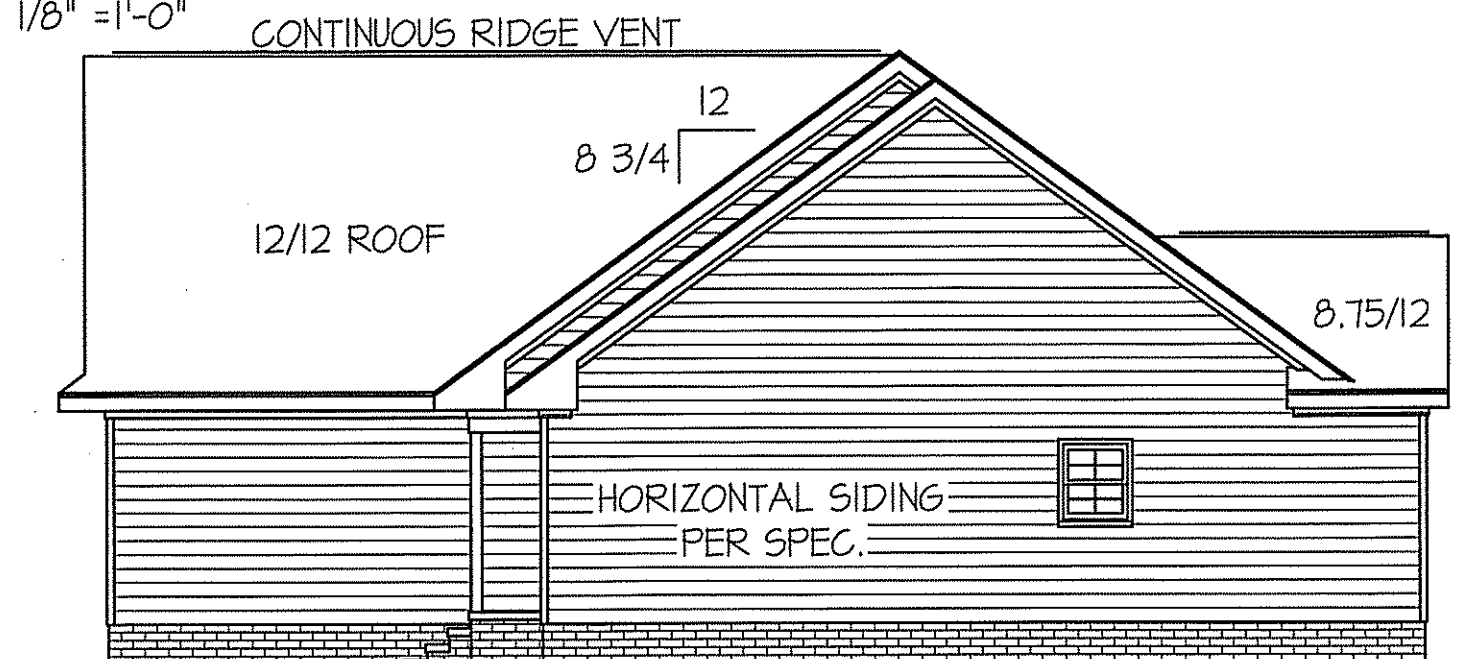
CLIMATE ZONE	ZONE-3	ZONE-4
FENESTRATION U-FACTOR	0.35	0.35
GLAZED FENESTRATION SHGC	0.30	0.30
MINIMUM CEILING R-VALUE	R-38	R-38
MINIMUM WALL R-VALUE	R-15, 13+2.5	R-15, 13+2.5
MINIMUM FLOOR R-VALUE	R-19	R-19
MIN. CRAWL SPACE WALL R-VALUE	5/13	10/15
MIN. SLAB R-VALUE	0	R-10

PROVIDE STEPS AS REQUIRED
GRADE MAY VARY - BUILDER TO VERIFY



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

DATE:

AUG. 28, 2025

FREEDOM FAMILY HOMES

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FFH

EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
HIGH POINT ~ LEFT
W/ BONUS ROOM

SHEET NO.

1

DATE:
AUG. 28, 2025

PLAN: **EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
HIGH POINT ~ LEFT
W/ BONUS ROOM**

SHEET NO.

2

ALL INTERIOR AND EXTERIOR
LOAD BEARING HEADERS
WILL BE 2x10 #2 SPF
UNLESS OTHERWISE NOTED.

HEADER SPAN (feet)	MAX. STUD SPACING (Inches [per Table R602.3(5)])	
	16	24
< 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

ALL EXTERIOR WALLS TO BE
SHEATHED WITH CS-WSP (7/16" OSB)
IN ACCORDANCE WITH SECTION
R602.10.3 UNLESS OTHERWISE NOTED.

8' CEILINGS UNLESS OTHERWISE NOTED
MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR HEATED FRAME AREA = 1523 S.F.
PORCH AREA = 87 S.F.
ROOM ABOVE GARAGE = 380 S.F.
DOUBLE GARAGE AREA = 606 S.F.

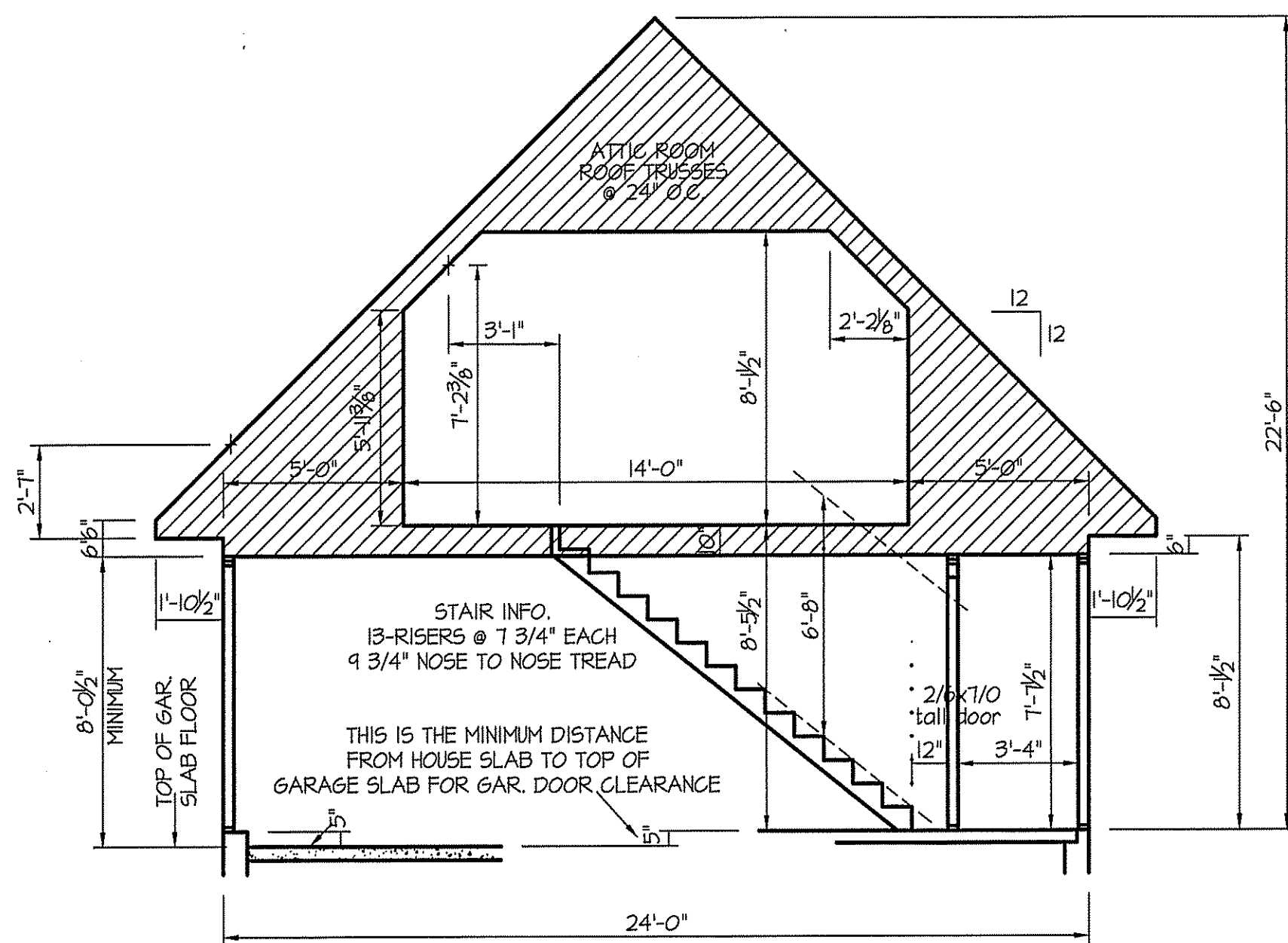
HEADER SCHEDULE		
SYMBOL #	SIZE	JACKS
H-1	(2) 2x10	1
H-2	(2) 2x10	2
H-3	(2) 2x8	2
H-4	(2) 2x12	2
H-5	(2) 1.75 x 9.25 LVL	3

SECTION R407~COLUMNS

R407.3 STRUCTURAL REQUIREMENTS.

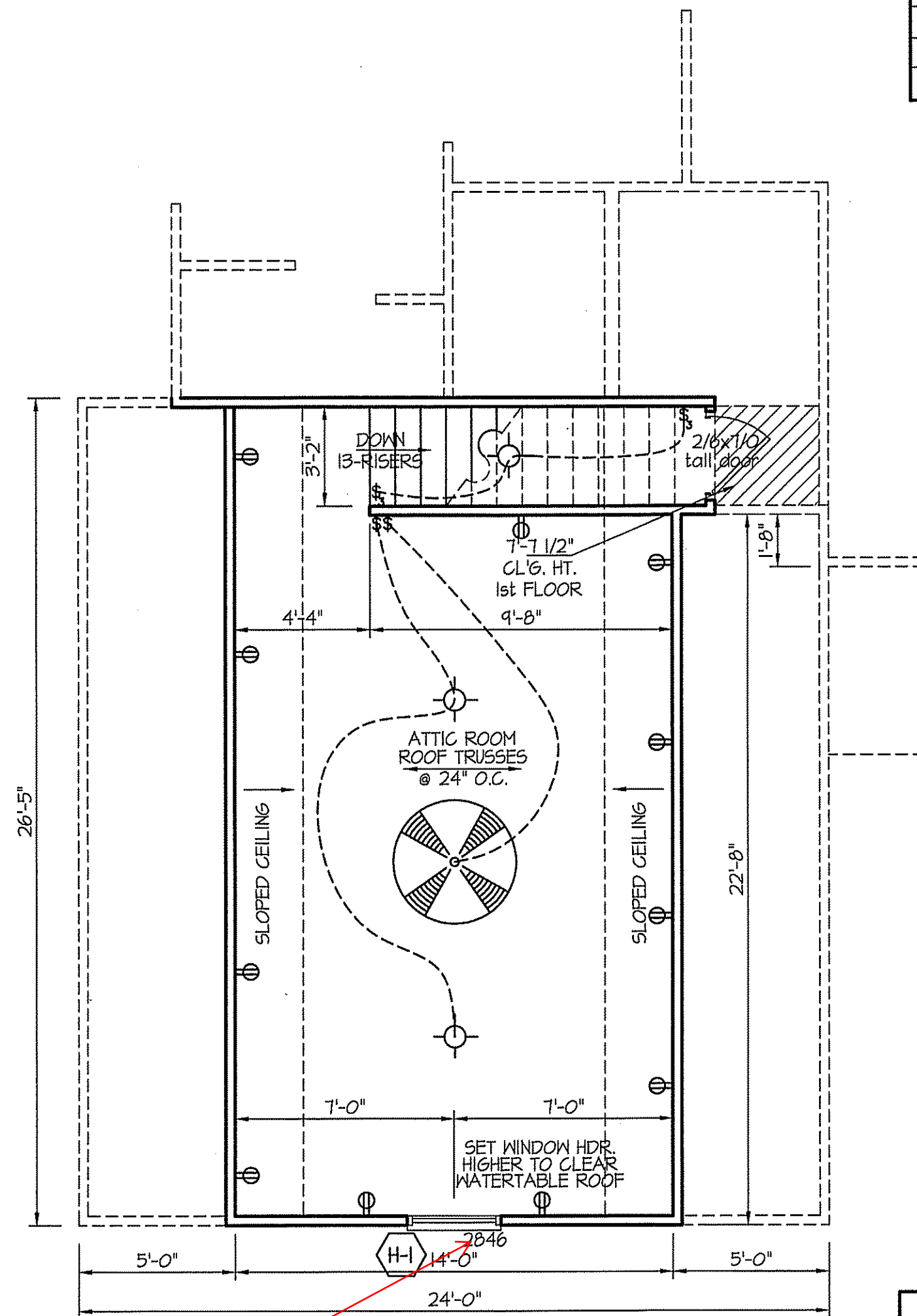
THE COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE TOP AND BOTTOM END. WOOD COLUMNS SHALL BE NOT LESS IN NOMINAL SIZE THAN 4 INCHES BY 4 INCHES (102 mm BY 102 mm). STEEL COLUMNS SHALL BE NOT LESS THAN 3-INCH-DIAMETER (76 mm) SCHEDULE 40 PIPE MANUFACTURED IN ACCORDANCE WITH ASTM A53 GRADE B OR APPROVED EQUIVALENT.

GIRDER AND HEADER SIZES AND JACK STUD REQUIREMENTS ON EXTERIOR AND INTERIOR LOAD BEARING WALLS ARE TO COINCIDE WITH TABLE EXT.~R602.7 (1) AND INT.~R602.7 (2).



SECTION THRU UPPER FLOOR
SCALE: 1/4" = 1'-0"

Verify Egress Compliance.



UPPER FLOOR PLAN DIMENSIONS and ELEC.
SCALE: 1/4" = 1'-0"

TOTAL HEAT GAIN = 6,498 B.T.U.H.
TOTAL HEAT LOSS = 9,842 B.T.U.H.

SECTION R407-COLUMNS
R407.3 STRUCTURAL REQUIREMENTS.
THE COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE TOP AND BOTTOM END. WOOD COLUMNS SHALL BE NOT LESS IN NOMINAL SIZE THAN 4 INCHES BY 4 INCHES (102 mm BY 102 mm). STEEL COLUMNS SHALL BE NOT LESS THAN 3-INCH-DIAMETER (76 mm) SCHEDULE 40 PIPE MANUFACTURED IN ACCORDANCE WITH ASTM A53 GRADE B OR APPROVED EQUIVALENT.

GIRDER AND HEADER SIZES AND JACK STUD REQUIREMENTS ON EXTERIOR AND INTERIOR LOAD BEARING WALLS ARE TO COINCIDE WITH TABLE EXT.-R602.7 (1) AND INT.-R602.7 (2).

HEADER SCHEDULE		
SYMBOL #	SIZE	JACKS
H-1	(2) 2x10	1
H-2	(2) 2x10	2
H-3	(2) 2x8	2
H-4	(2) 2x12	2
H-5	(2) 1.75 x 4.25 LVL	3

WIND ZONES (PER TABLE R301.2(4))	
COUNTY	MPH
HARNETT	120
JOHNSTON	120
SAMPSON	130
WAKE	115

ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS WILL BE 2x10 #2 SPF UNLESS OTHERWISE NOTED.

TABLE R602.7.5 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS		
HEADER SPAN (feet)	MAX. STUD SPACING (Inches) [per Table R602.3(5)]	
	16	24
< 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

ALL EXTERIOR WALLS TO BE SHEATHED WITH CS-WSP (7/16" OSB) IN ACCORDANCE WITH SECTION R602.10.3 UNLESS OTHERWISE NOTED.

8' CEILINGS UNLESS OTHERWISE NOTED
FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR HEATED FRAME AREA = 1523 S.F.
PORCH AREA = 87 S.F.
ROOM ABOVE GARAGE = 380 S.F.
DOUBLE GARAGE AREA = 606 S.F.

DATE:
AUG. 28, 2025

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FFH

EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
HIGH POINT ~ LEFT
W/ BONUS ROOM

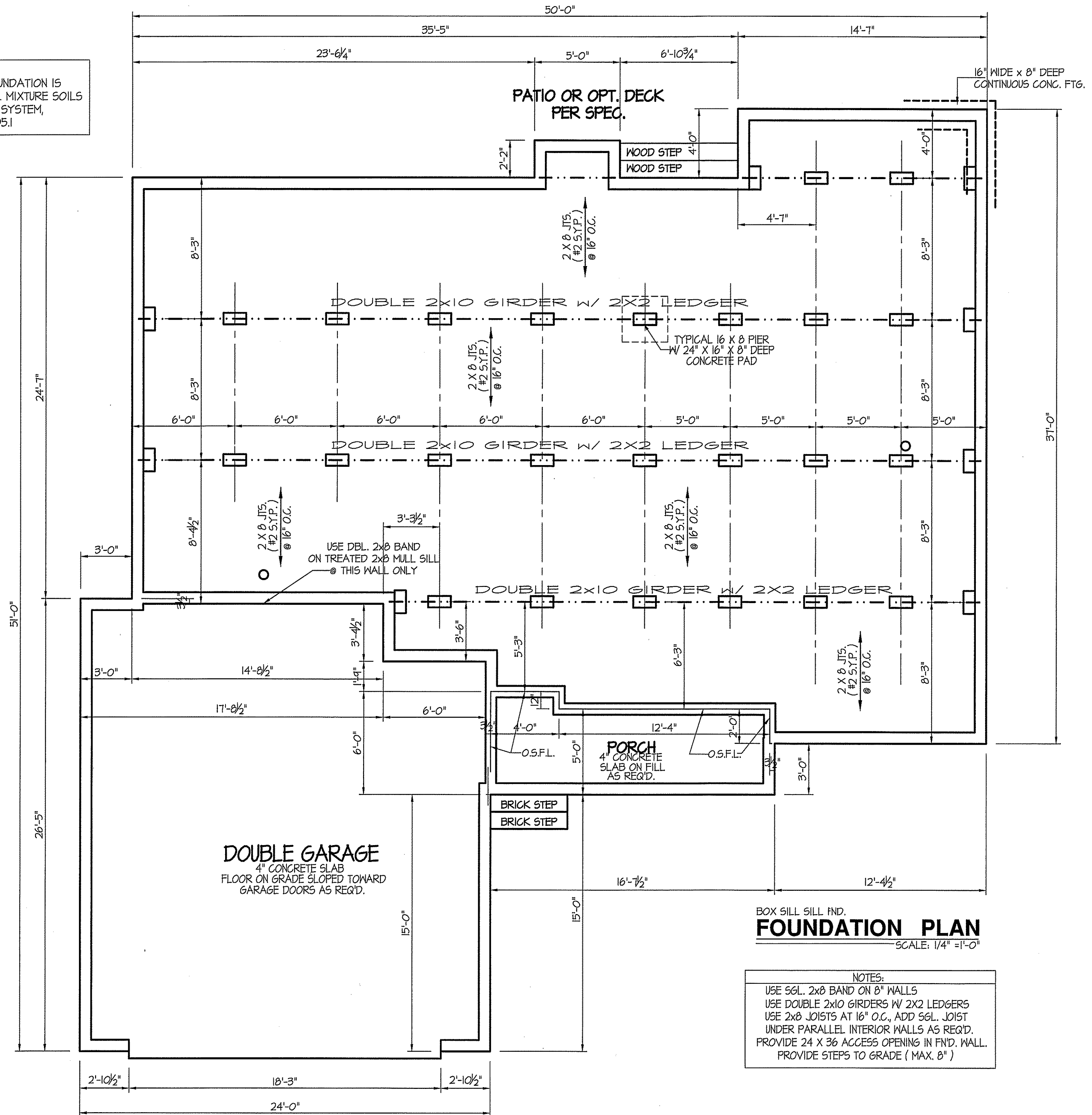
SHEET NO.

3

REQUIRED VENTS ARE TO BE PLACED SO AS TO PROVIDE CROSS-VENTILATION OF THE CRAWL SPACE.

THE WOOD SOLE PLATE AT EXTERIOR WALLS ON MONOLITHIC
SLABS AND WOOD SILL PLATE SHALL BE ANCHORED TO
THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM
OF 4 FEET (1219.3 mm) ON CENTER AND NOT MORE
THAN 12 INCHES (305 mm) FROM THE CORNER.
BOLTS SHALL BE AT LEAST 1/2 INCH (12.7 mm) IN DIAMETER
AND SHALL EXTEND A MINIMUM OF 15 INCHES (178 mm)
INTO MASONRY OR CONCRETE.

ALL JOISTS AND GIRDERS WILL BE #2 S.Y.P.
JOIST SPANS TO COINCIDE WITH REVISED TABLES
R502.3.1(1) AND R502.3.1(2) FROM 2018 NCR CODES
GIRDER SPANS AND HEADER SPANS TO COINCIDE
WITH TABLE R602.7(1), R602.7(2) AND R602.7(3).



BOX SILL SILL FND.
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTES:
USE 5GL, 2x8 BAND ON 8" WALLS
USE DOUBLE 2X10 GIRDERS W/ 2X2 LEDGERS
USE 2x8 JOISTS AT 16" O.C., ADD 5GL. JOIST
UNDER PARALLEL INTERIOR WALLS AS REQ'D.
PROVIDE 24 X 36 ACCESS OPENING IN FND. WALL.
PROVIDE STEPS TO GRADE (MAX. 8")

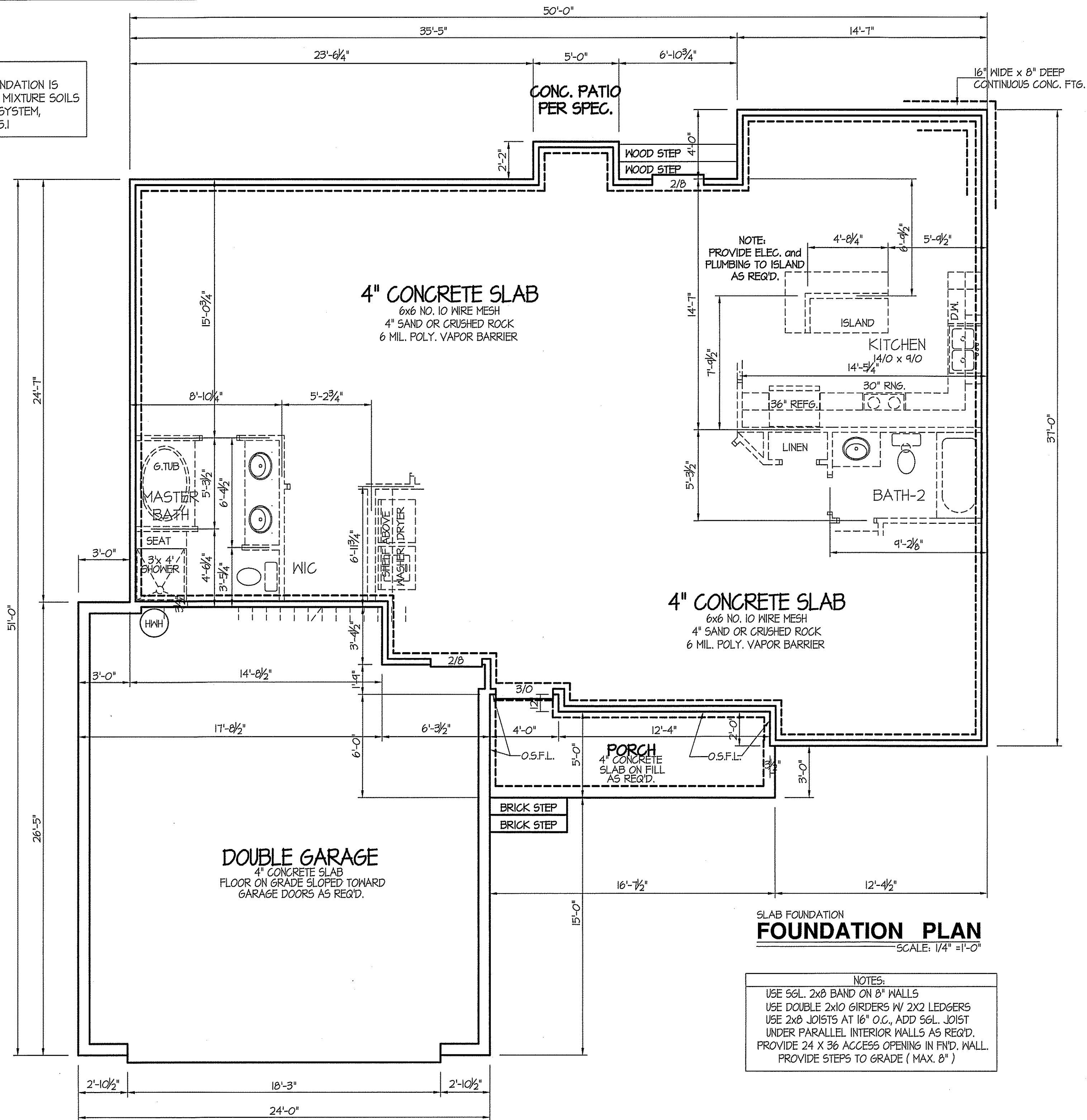
4 b/s

FOUNDATION DRAINAGE
A DRAINAGE SYSTEM IS NOT REQUIRED WHEN THE FOUNDATION IS INSTALLED ON WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1

FOUNDATION VENTILATION INFORMATION
(MIN. NET AREA OF VENT. REQ'D. = 1/150)
1511 S.F. (CRAWL) x .06 = 145.06 S.I.
USE 23" WITTEN AUTO. VENT. FND. VENTS @ 65 S.I. FREE NET AREA OR EQUIVALENT.
(MIN. NET AREA CAN BE REDUCED TO 1/1500)
1511 S.F. (CRAWL) x .096 = 145.06 S.I.
USE 3" WITTEN AUTO. VENT. FND. VENTS @ 65 S.I. FREE NET AREA OR EQUIVALENT.
W/ APPROVED 6-MIL POLYETHYLENE VAPOR RETARDER OR EQUIVALENT IN CRAWL SPACE.
REQUIRED VENTS ARE TO BE PLACED SO AS TO PROVIDE CROSS-VENTILATION OF THE CRAWL SPACE.

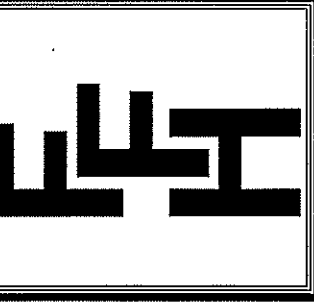
FOUNDATION ANCHORAGE
THE WOOD SOLE PLATE AT EXTERIOR WALLS ON MONOLITHIC SLABS AND WOOD SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OF 4 FEET (1219.3 mm) ON CENTER AND NOT MORE THAN 12 INCHES (305 mm) FROM THE CORNER.
BOLTS SHALL BE AT LEAST 1/2 INCH (12.7 mm) IN DIAMETER AND SHALL EXTEND A MINIMUM OF 15 INCHES (178 mm) INTO MASONRY OR CONCRETE.

ALL JOISTS AND GIRDERS WILL BE #2 S.Y.P.
JOIST SPANS TO COINCIDE WITH REVISED TABLES R502.3.1(1) AND R502.3.1(2) FROM 2018 NCR CODES
GIRDER SPANS AND HEADER SPANS TO COINCIDE WITH TABLE R602.7(1), R602.7(2) AND R602.7(3).



DATE:
AUG. 28, 2025

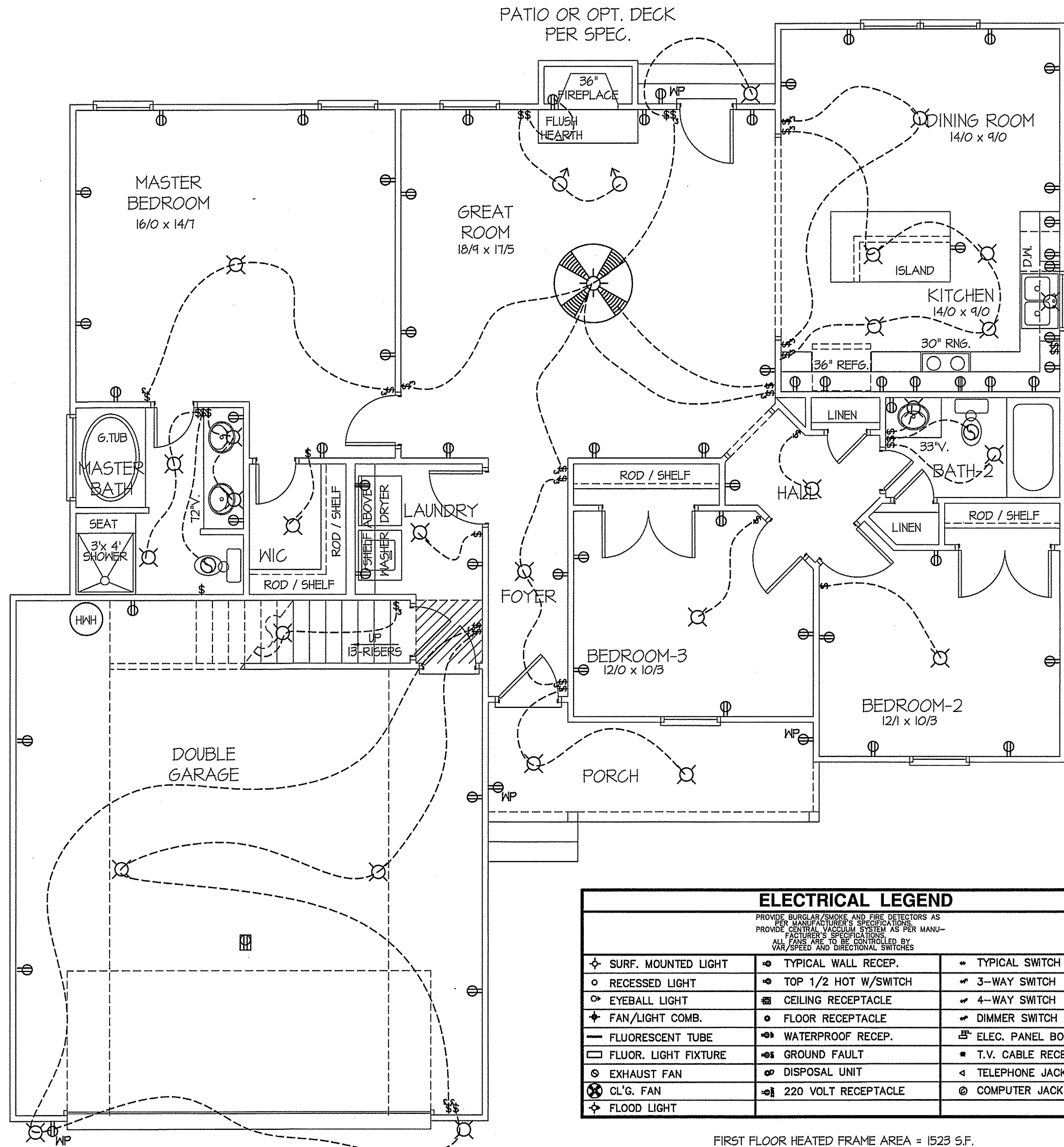
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EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
HIGH POINT ~ LEFT
W/ BONUS ROOM

SHEET NO.
4 slab

MAIN COMPUTER FILE: FFH - HIGH POINT - AUG-2025



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AUG. 28, 2025

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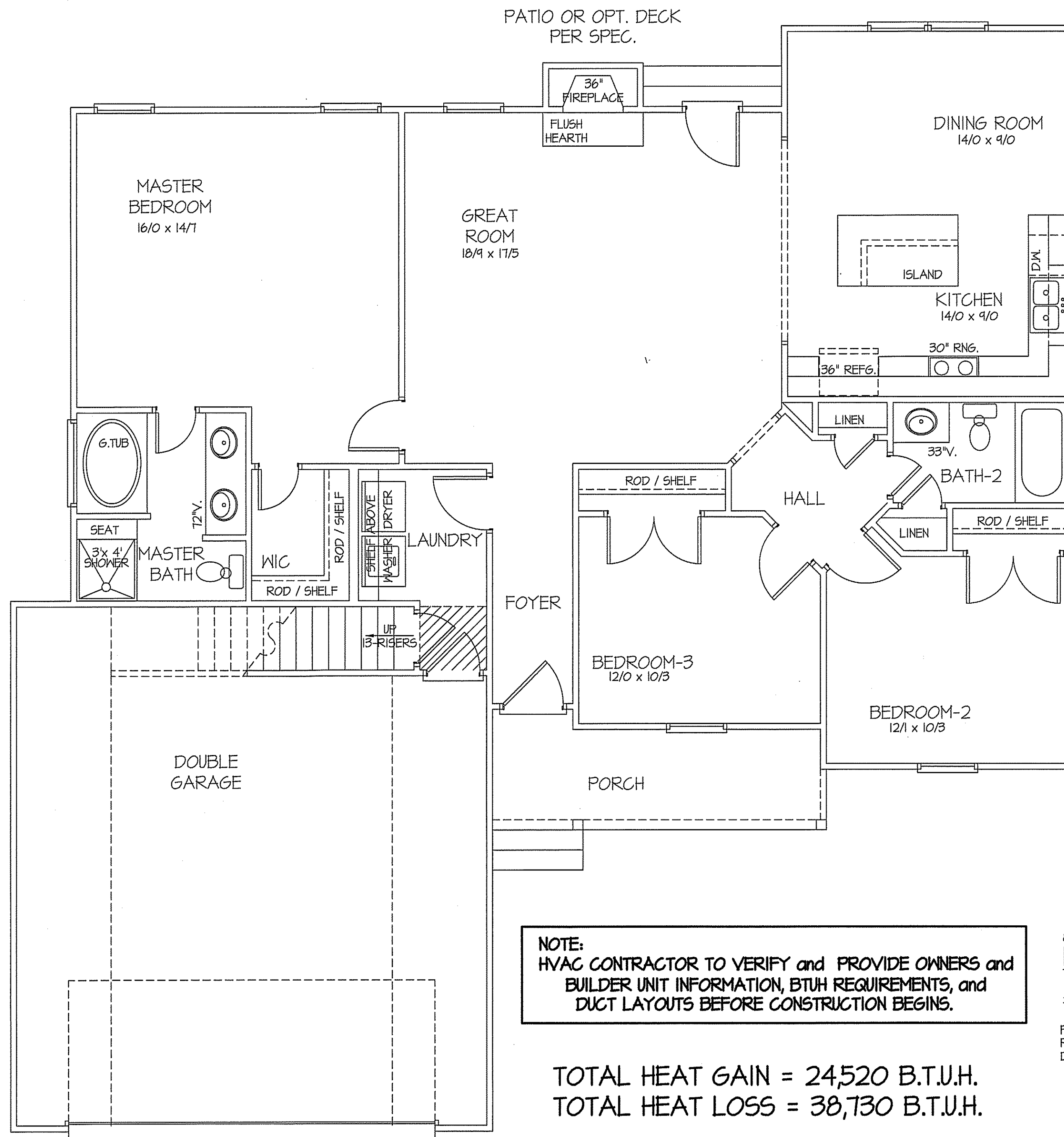
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EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
HIGH POINT ~ LEFT
W/ BONUS ROOM

SHEET NO.

5



NOTE:
HVAC CONTRACTOR TO VERIFY and PROVIDE OWNERS and
BUILDER UNIT INFORMATION, BTUH REQUIREMENTS, and
DUCT LAYOUTS BEFORE CONSTRUCTION BEGINS.

TOTAL HEAT GAIN = 24,520 B.T.U.H.
TOTAL HEAT LOSS = 38,730 B.T.U.H.

8' CEILINGS UNLESS OTHERWISE NOTED

**HVAC
FLOOR PLAN**
SCALE: 1/4" = 1'-0"

FIRST FLOOR HEATED FRAME AREA = 1523 S.F.
PORCH AREA = 87 S.F.
DOUBLE GARAGE AREA = 606 S.F.

DATE:

AUG. 28, 2025

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PLAN:
**EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
HIGH POINT ~ LEFT
W/ BONUS ROOM**

SHEET NO.

7

Freedom Const
Job #28964
Lot 12 Legacy

