

ABBREVIATIONS

A/C	AIR CONDITIONING	INSUL	INSULATION
ABV.	ABOVE	INT.	INTERIOR
AFF.	ABOVE FINISHED FLOOR	JST.	JOIST
ALT.	ALTERNATE	KIT.	KITCHEN
APPROX.	APPROXIMATE	LTL	LINTEL
ASF	ABOVE SUB-FLOOR	LVR.	LOUVER
B&B	BOARD & BATTEN	MECH.	MECHANICAL
BLDG.	BUILDING	MFR.	MANUFACTURER
BLK	BLOCK	NTS.	NOT TO SCALE
BM.	BEAM	OC	ON CENTER
BSMNT.	BASEMENT	OFB.	OUTSIDE FACE OF STUD
CO.	CASED OPENING	OH.	OVERHEAD
CAB.	CABINET	OPNG.	OPENING
CJ.	CEILING JOIST	PT.	PRESSURE TREATED
CLG.	CEILING	RAFG.	RETURN AIR FILTER GRILL
CMU.	CONCRETE MASONRY UNIT	RAD.	RADIUS
COL.	COLUMN	REC.	RECREATION
CONC.	CONCRETE	REG.	REGISTER
CONT.	CONTINUOUS	REQ'D.	REQUIRED
CSMNT.	CASEMENT	REV.	REVISION
DH.	DOUBLE HUNG	RFG.	ROOFING
DIAG.	DIAGONAL	RM.	ROOM
DIM.	DIMENSION	RO	ROUGH OPENING
DIN.	DINING	SCRN.	SCREEN
DN.	DOWN	SQFT.	SQUARE FOOT
DW.	DISHWASHER	SHVS.	SHELVES
DWR.	DRAWER	SHT.	SHEET
ELEV.	ELEVATOR	SPEC'D.	SPECIFIED
EXT.	EXTERIOR	STD.	STANDARD
FFE.	FINISHED FLOOR ELEVATION	STOR.	STORAGE
FLR.	FLOOR	T&G.	TONGUE IN GROOVE
FND.	FOUNDATION	TB.	TOWEL BAR
FRFL.	FIREPLACE	TFL.	TOP OF PLATE
FTG.	FOOTING	TYP.	TYPICAL
H/C.	HANDICAP	UNF.	UNFINISHED
HB.	HOSE BIB	VERT.	VERTICAL
HDR.	HEADER	WD.	WOOD
HORIZ.	HORIZONTAL	WH.	WATER HEATER
HT.	HEIGHT	WIC.	WALK-IN CLOSET
HVAC.	HEATING, VENTILATION & A/C	WP.	WATERPROOFING
HW.	HOT WATER	WWM.	WELDED WIRE MESH

AREA CALCULATION

LIVING SPACE		
	WITHOUT BRICK	WITH BRICK
FIRST FLOOR:	3085 SQFT	3164 SQFT
SECOND FLOOR:	1664 SQFT	1560 SQFT
TOTAL LIVING:	4749 SQFT	4724 SQFT
NON-LIVING SPACE		
GARAGE:	1251 SQFT	1298 SQFT
SECOND FLOOR (UNFIN)	165 SQFT	170 SQFT
FRONT PORCH:	80 SQFT	80 SQFT
COV. REAR PORCH:	342 SQFT	342 SQFT
TOTAL NON-LIVING:	2059 SQFT	2105 SQFT

SQUARE FOOTAGE IS CALCULATED FROM EXTERIOR CORNER TO EXTERIOR CORNER, INCLUDING WALLS. BRICK VENEER IS INCLUDED IN ALL FINAL SQUARE FOOTAGE CALCULATIONS. STAIRWAYS ARE COUNTED ON EACH FLOOR.

THESE PLANS, NOTES AND DETAILS ARE DESIGNED TO MEET THE REQUIREMENTS OF THE 2024 NC RESIDENTIAL BUILDING CODE.

DESIGN LOADS

FLOOR LIVE LOAD (SLEEPING)	30 PSF
FLOOR LIVE LOAD (ALL OTHERS)	40 PSF
DECKS	40 PSF
BALCONIES	60 PSF
ATTIC DEAD LOAD (NO STOR.)	10 PSF
ATTIC LIVE LOAD (STORAGE)	20 PSF
ATTIC W/STAIRS (DEVELOPABLE)	40 PSF

MINIMUM VALUES FOR ENERGY COMPLIANCE

CEILINGS:	R-38
WALLS:	R-15
FLOORS:	R-19
BASEMENT WALLS:	R-1
CRAWL SPACE WALLS:	R-8
SLAB PERIMETER @ 24" DEEP:	R-4
MAX GLAZING U-FACTOR:	0.35
DESIGNED FOR WIND ZONE OF 120 MPH	

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT				
	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

SEE NC BUILDING CODE FOR LOCATION OF ZONES

PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARDS AND AWAY FROM THE BUILDING SURFACES

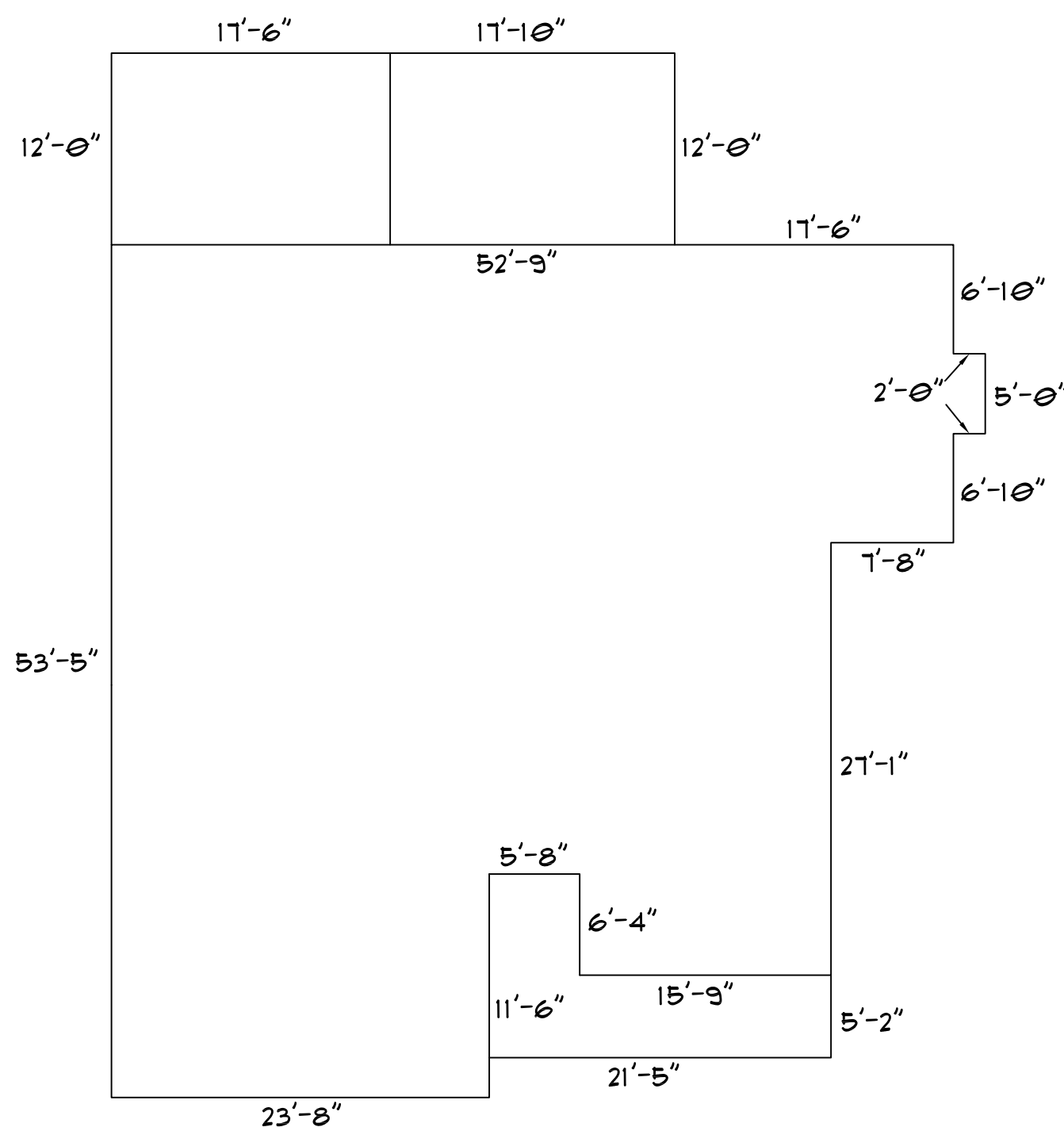
CHARLES DEZIEL/MAVEN HOMES

SOUTH RIVER ROAD, LILLINGTON, NC, 27546



FRONT ELEVATION

NOT TO SCALE



BUILDING FOOTPRINT

GENERAL NOTES:

- 1) ALL NOTES ARE APPLICABLE UNLESS NOTED OTHERWISE (UNO)
- 2) THESE PLANS ARE DESIGNED TO BE USED BY A LICENSED GENERAL CONTRACTOR
- 3) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 4) ALL PMSE PLANS ARE TO BE HANDLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 5) ENGINEER'S INFORMATION AND NOTES TAKE PRECEDENCE OVER TRD'S PLANS AND NOTES

GENERAL CONTRACTOR:

- 1) PRIOR TO CONSTRUCTION, REVIEW ALL PLANS VERIFYING DIMENSIONS AND CONDITIONS, LOCAL CODES, ENERGY TYPES AND SITE CONDITIONS.
- 2) PRIOR TO CONSTRUCTION, REVIEW ALL LISTED WINDOW SIZES AND COMPARE WITH ELEVATION DRAWINGS TO INSURE ACCURACY. REVIEW ALL WINDOWS AND DOOR OPENINGS FOR CLEARANCE AND ACCURACY.
- 3) INSURE ALL PHASES OF CONSTRUCTION COMPLY WITH BUILDING CODES IN THE AREA THE HOME IS TO BE BUILT
- 4) CONSULT WITH LOCAL ENGINEER FOR STRUCTURAL DESIGN
- 5) ANY DISCREPANCY IN THE PLANS IS TO BE BROUGHT TO THE ATTENTION OF TRD FOR CORRECTION PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
- 6) IF AN UNSPECIFIED PRODUCT CAUSES AN ERROR IN THE PLAN OR DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ADJUSTMENTS AS REQUIRED.

NON-EXCLUSIVE LICENSING & LIABILITY:

- 1) THE PURCHASER OF THIS PLAN HAS BEEN GRANTED A NON-EXCLUSIVE, NON-TRANSFERABLE LICENSE TO USE THIS COPYRIGHTED PLAN TO BUILD ONE HOME
- 2) THE PLANS ARE NOT TO BE REPRODUCED, WHOLE OR IN PART, OR REBOLD, WITHOUT WRITTEN CONSENT FROM TRD.
- 3) THE LIABILITY OF TRD IN CONNECTION WITH THIS PLAN AND THE HOME BUILT THEREFROM IS LIMITED TO THE TOTAL FEES PAID BY THE PURCHASER OF THE PLAN.
- 4) TRD ASSUMES NO LIABILITY FOR ALTERATIONS TO THE PLANS, FIELD MODIFICATIONS OF THE PLANS OR STRUCTURAL COMPONENTS. THEY ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR

INDEX TO SHEETS

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SHEET 8	GARAGE OPTION "B"
SHEET 9 1-5	STRUCTURAL SHEETS

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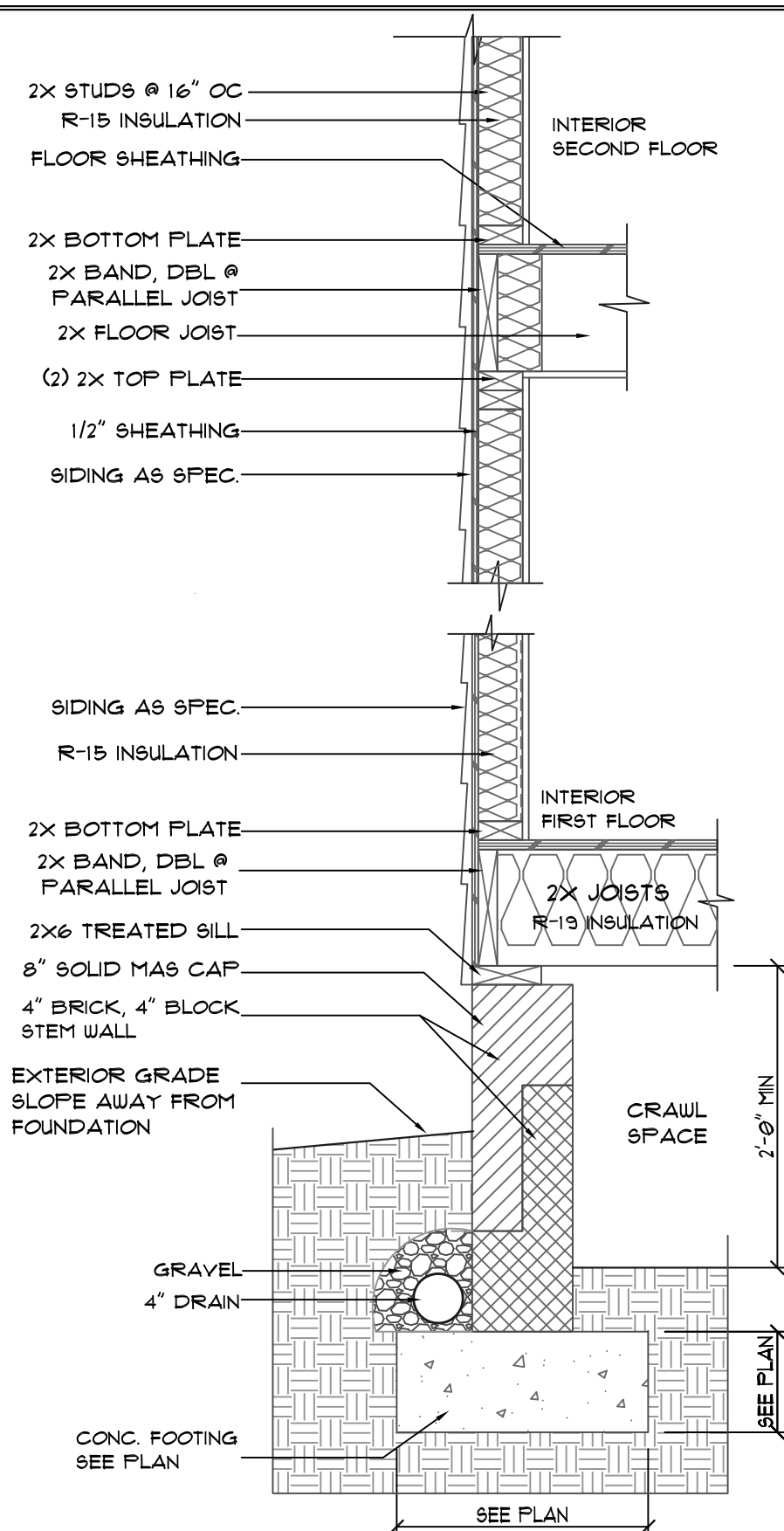
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CHARLES DEZIEL
PROJECT:
CUSTOM RESIDENCE

DRAWN BY:
LDB, DEB

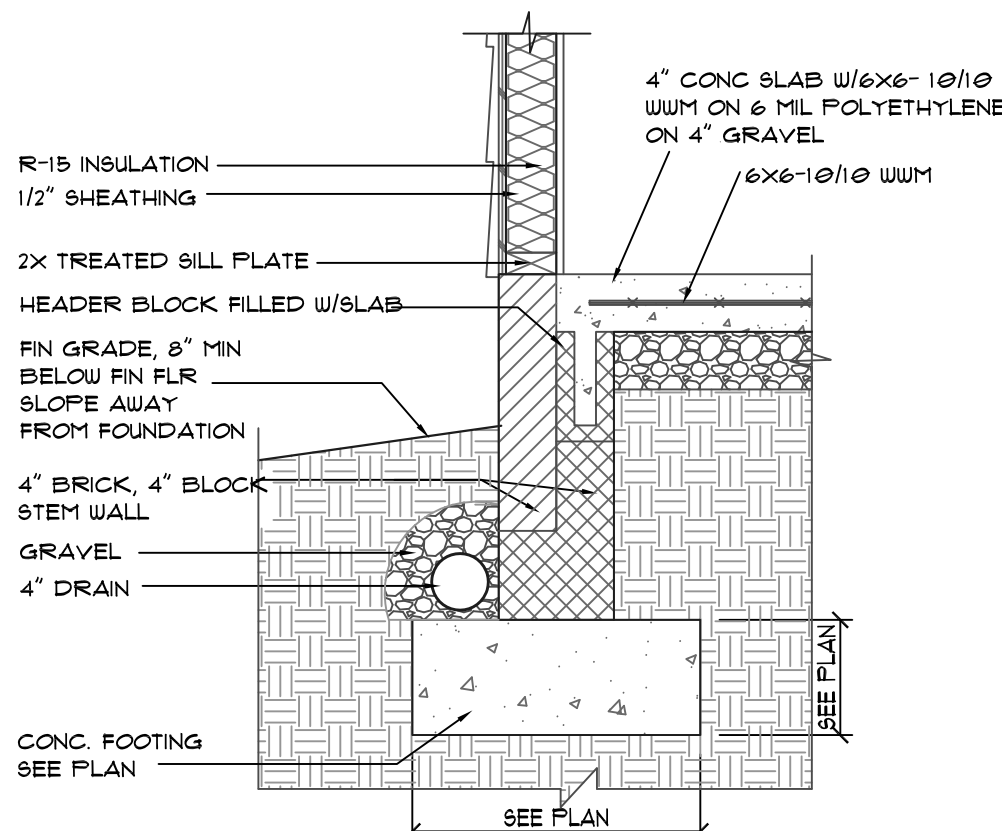
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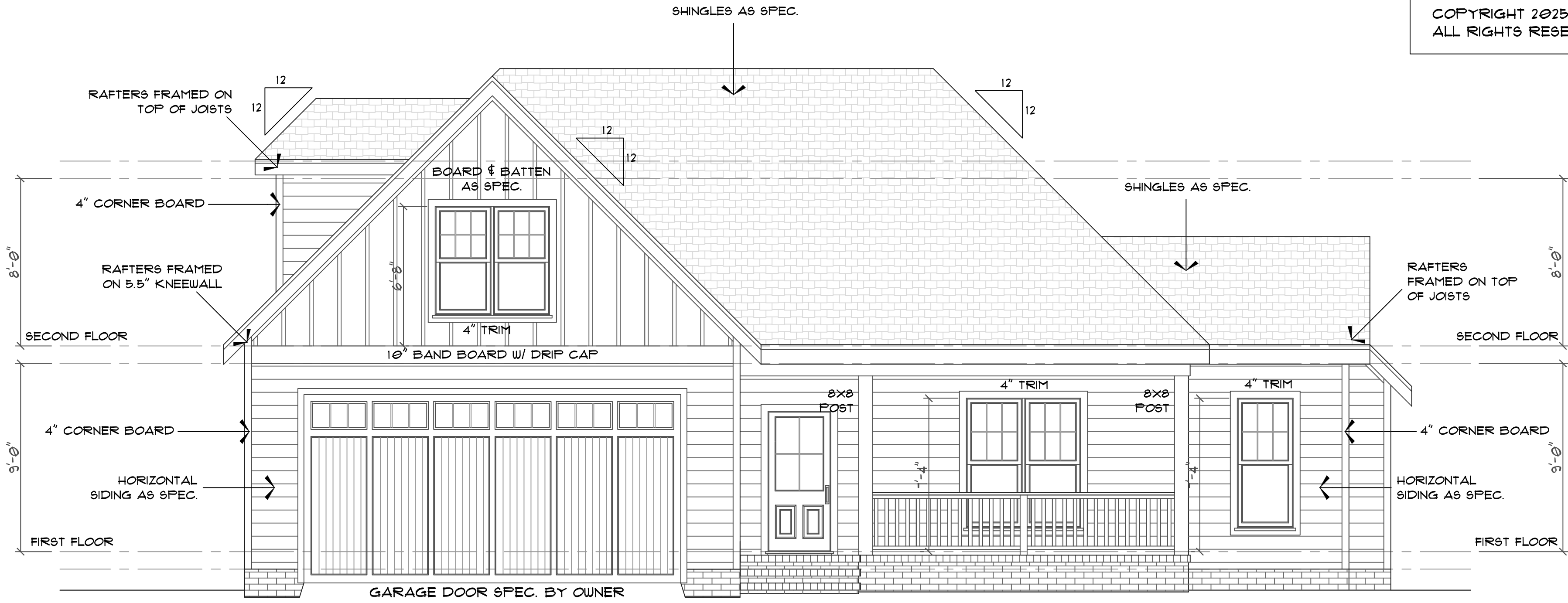
CRAWL SPACE W/SIDING



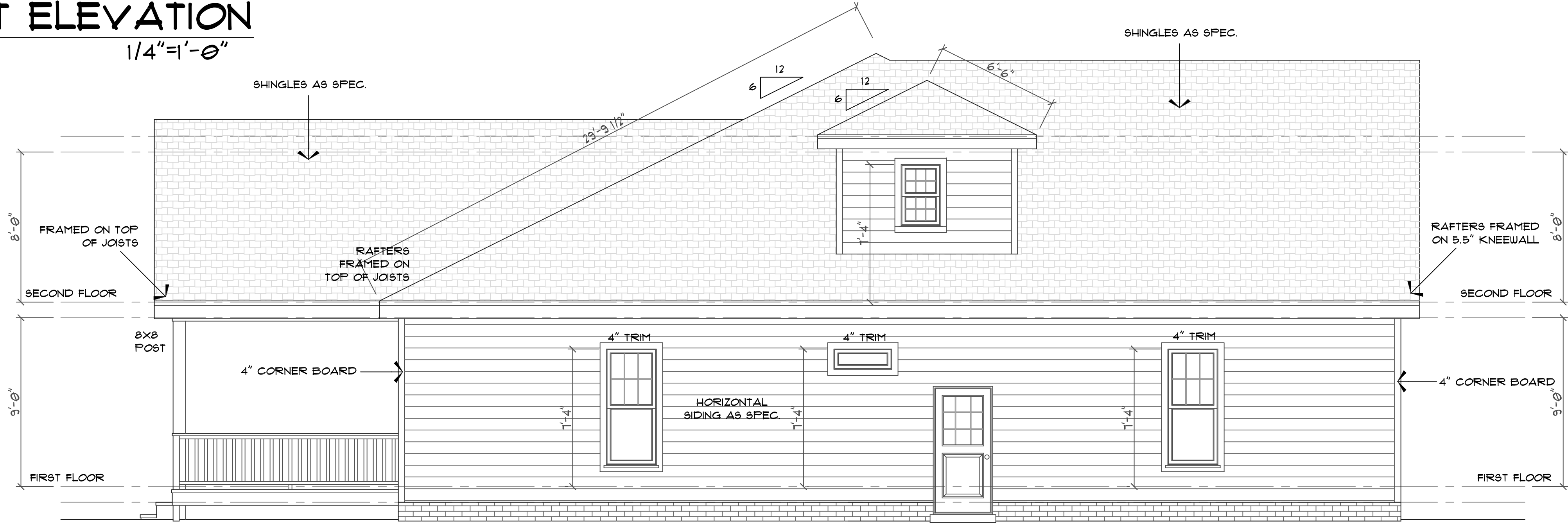
GARAGE SLAB W/SIDING

EXTERIOR MATERIALS

- ROOF SHINGLES
- METAL ROOF
- HORIZONTAL SIDING
- BOARD & BATTEN SIDING
- VERTICAL SIDING
- SHAKE SIDING
- BRICK
- STONE
- STUCCO OR FARGING
- SCREEN
- BRICK ROWLOCK OR SOLDIER

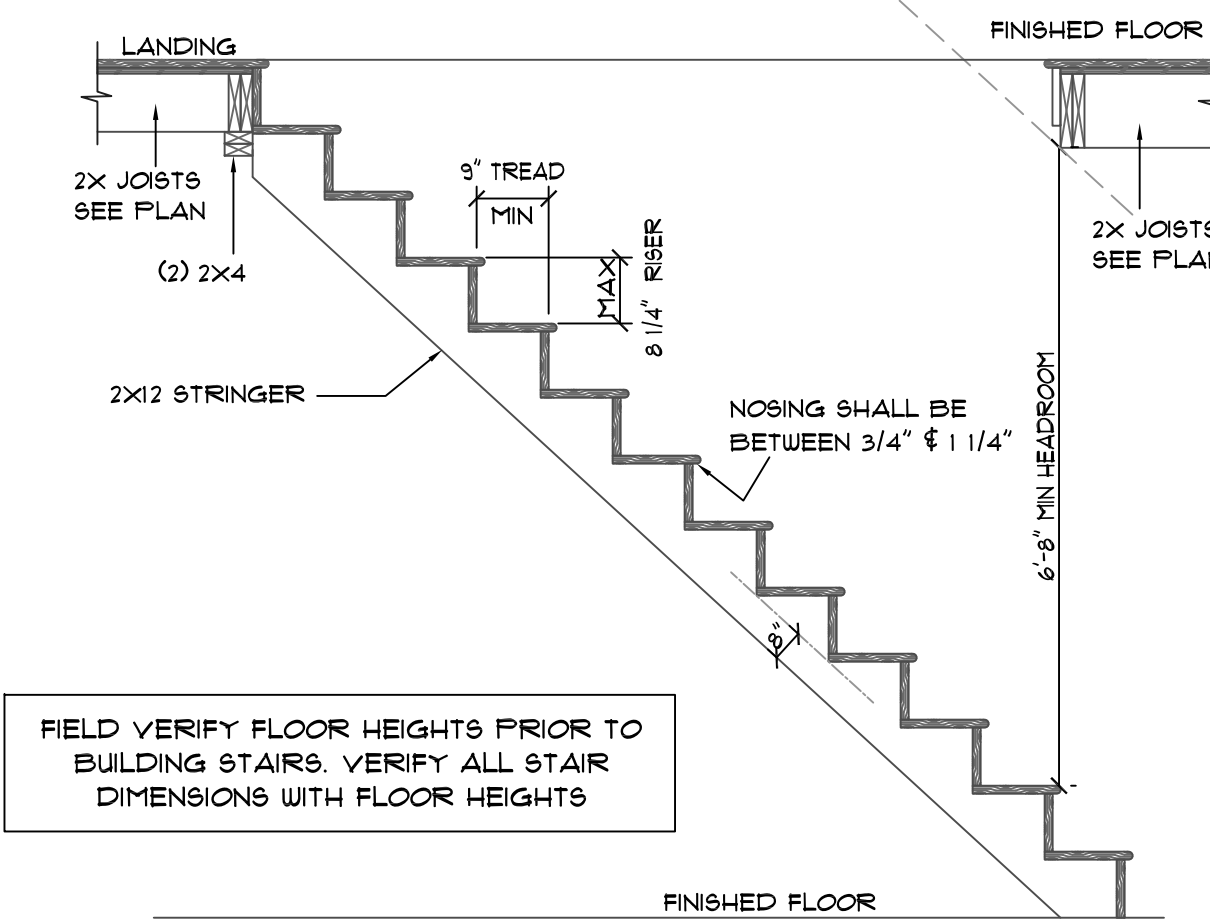


FRONT ELEVATION
SCALE: 1/4"=1'-0"

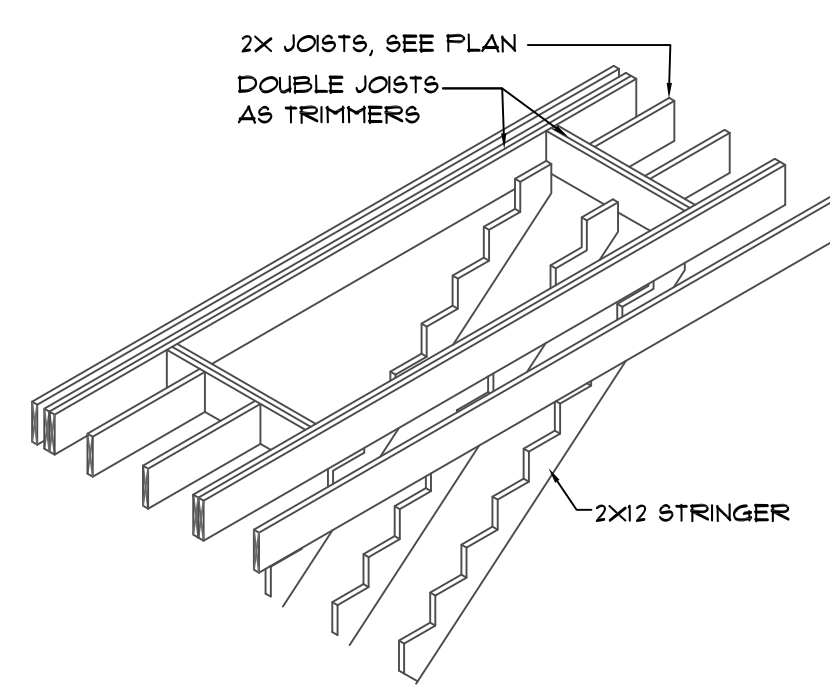


LEFT ELEVATION
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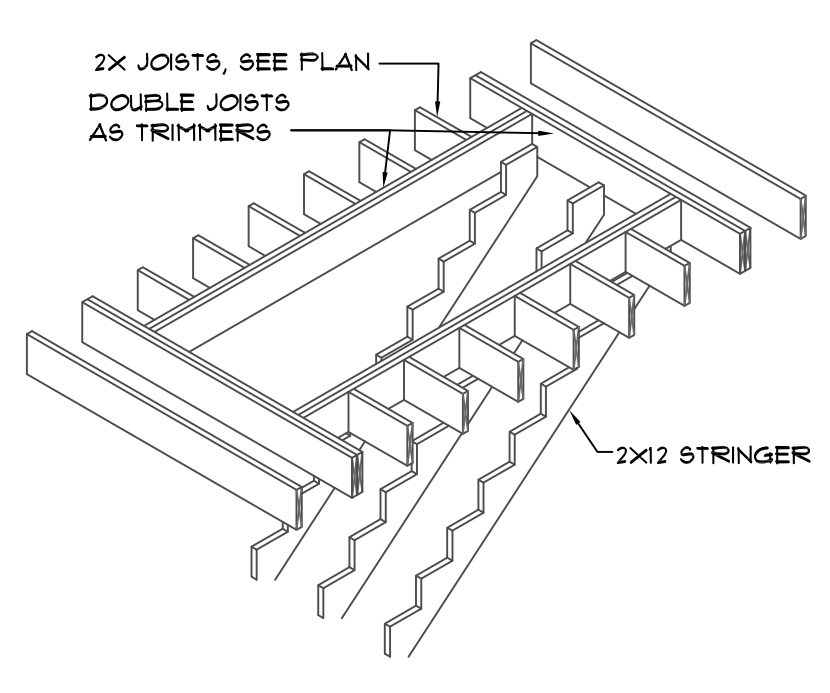
STANDARD STAIR FRAMING DETAILS



STAIR SECTION



STAIR FRAMING
W/PARALLEL JSTS



STAIR FRAMING
W/PERPENDICULAR JSTS

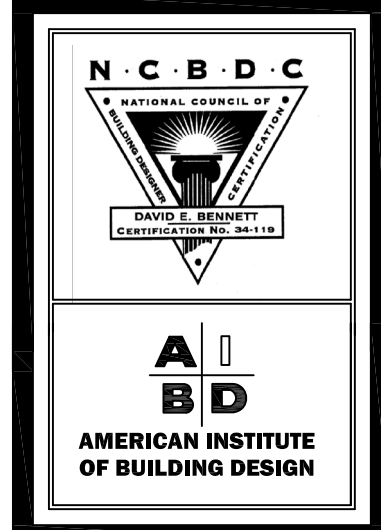
STAIRWAYS

- 1) MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8".
- 2) STAIRWAYS SHALL BE A MINIMUM 3'-0" WIDE.
- 3) STAIRS NOT REQUIRED FOR EGRESS MAY BE AS NARROW AS 26".
- 4) MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL SHALL NOT BE LESS THAN 31.5" WHERE THE HANDRAIL IS INSTALLED ON ONE SIDE AND 21" WHERE HANDRAILS ARE ON BOTH SIDES.
- 5) MAXIMUM RISER HEIGHT SHALL BE 8-1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9".
- 6) NOSING SHALL BE 3/4" MINIMUM AND 1-1/4" MAXIMUM.
- 7) WINDERS MUST NOT BE MORE THAN 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER, BE LESS THAN 9" AND THE MINIMUM WIDTH OF ANY TREAD IS NOT LESS THAN 4".
- 8) SPIRAL STAIRS MUST BE 26" WIDE MINIMUM AND TREADS MUST BE 1-1/2" AT 12" FROM THE NARROW EDGE. ALL TREADS MUST BE IDENTICAL WITH A MAXIMUM RISE OF 9-1/2". MINIMUM HEADROOM OF 6'-8" REQUIRED.
- 9) CIRCULAR STAIRS MUST, AT A POINT NOT MORE THAN 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER, BE LESS THAN 9" AND THE MINIMUM WIDTH OF ANY TREAD IS NOT LESS THAN 6".

HANDRAIL AND GUARDS

- 1) HANDRAILS SHALL HAVE A MINIMUM HEIGHT OF 34" AND A MAXIMUM HEIGHT OF 38".
- 2) HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE.
- 3) PORCHES, BALCONES OR RAISED FLOORS OVER 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARD RAILS NO LESS THAN 36" HIGH.
- 4) STAIRS THAT HAVE A RISE OF 30" ABOVE THE FLOOR SHALL HAVE HANDRAILS OF 30" HIGH.
- 5) GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOORS, BALCONES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES OF LESS THAN 4" TO REJECT A 4" SPHERE.

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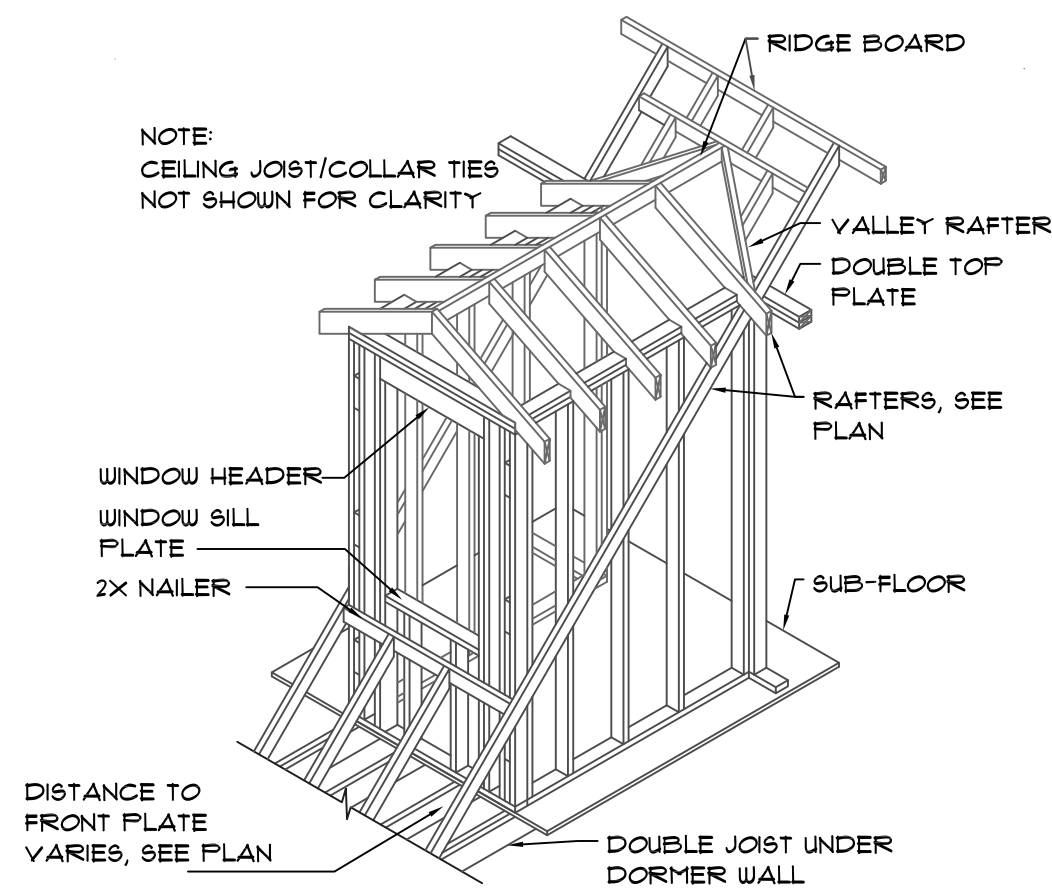
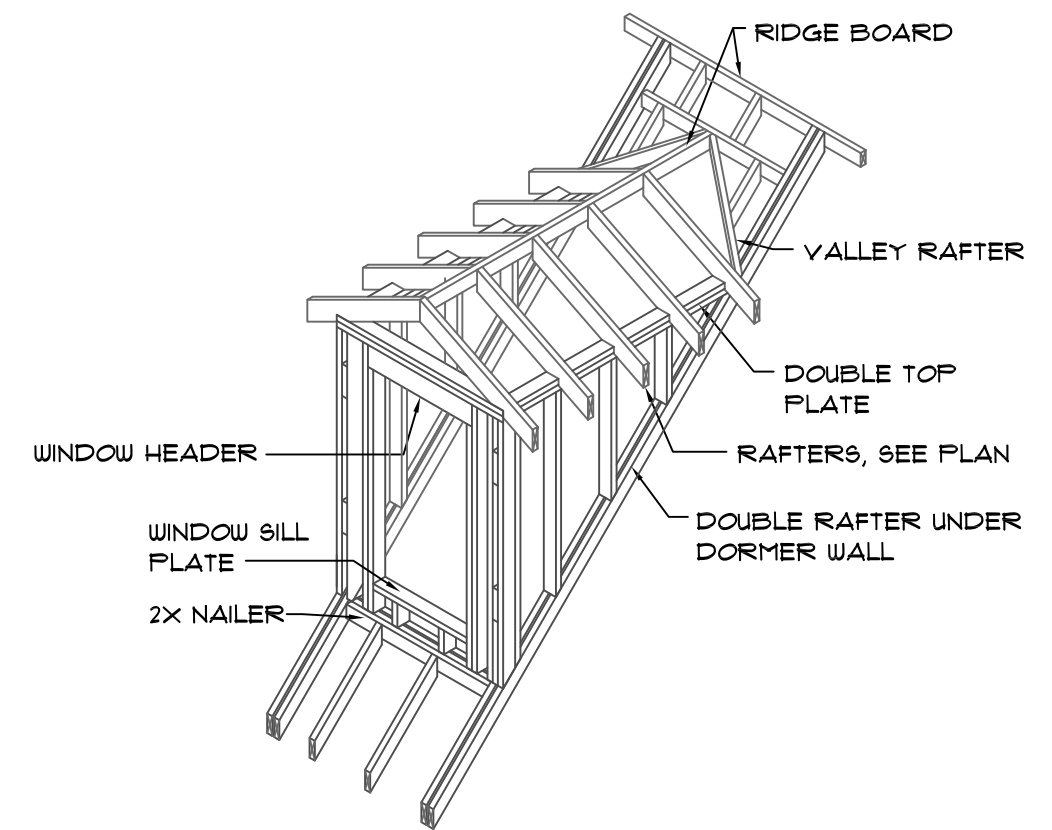
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PROJECT: CUSTOM RESIDENCE

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LDB, DEB

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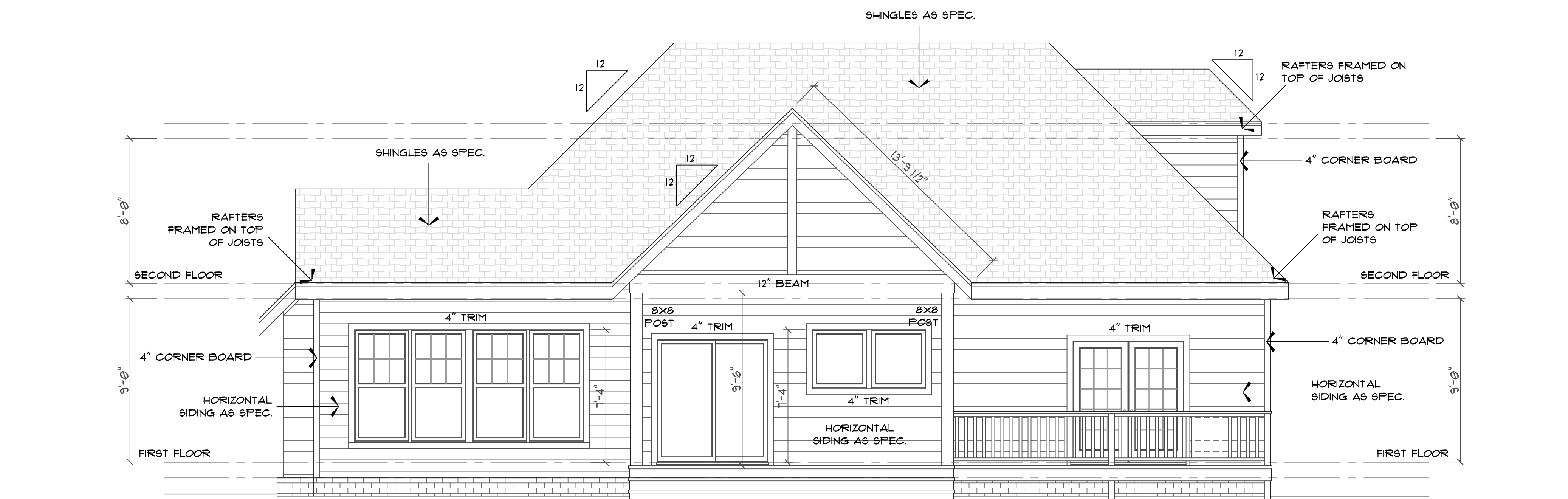
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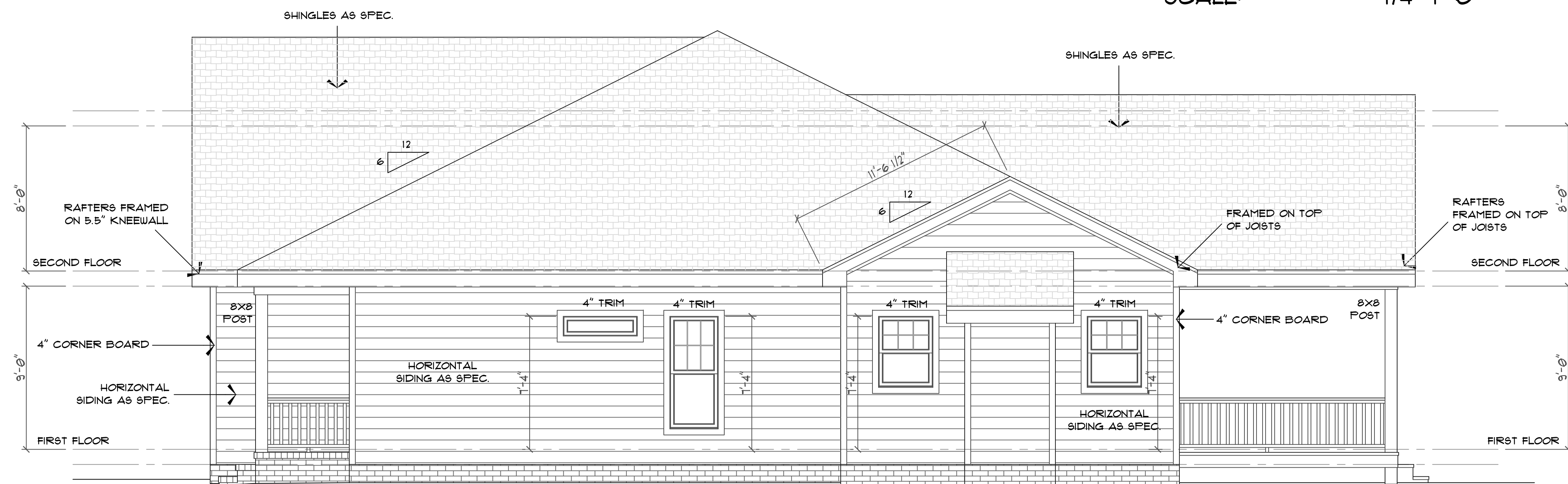
STANDARD DORMER FRAMING DETAIL

EXTERIOR MATERIALS

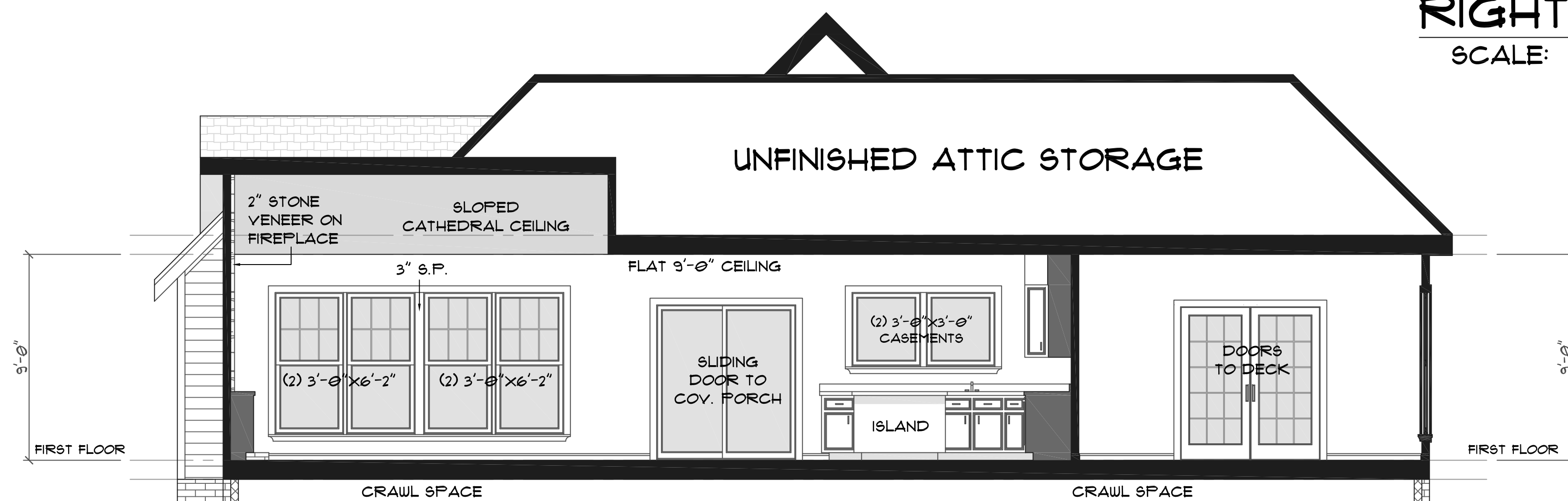
- ROOF SHINGLES
- METAL ROOF
- HORIZONTAL SIDING
- BOARD & BATTEN SIDING
- VERTICAL SIDING
- SHAKE SIDING
- BRICK
- STONE
- STUCCO OR FARGING
- SCREEN
- BRICK ROWLOCK OR SOLDIER



REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



SECTION "A"
SCALE: 1/4"=1'-0"

FOUNDATION NOTES

- 1) CRAWL SPACE IS TO BE LEVEL & CLEAN OF CONSTRUCTION DEBRIS, VEGETATION AND ANY ORGANIC MATERIAL.
2) ONE VENT MUST BE WITHIN 3' OF EACH CORNER OF THE BUILDING
3) VENT LOCATIONS TO BE DETERMINED ON SITE WITH REGARD TO GRADE AND FLOOR FRAMING
APPROVED VAPOR RETARDER TO COVER 100% OF THE CRAWL SPACE

FOOTINGS

- 1) FOOTING PROJECTIONS SHALL BE AT LEAST 2" AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING.
2) THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL W/MASONRY UNITS WITH FULL MORTAR JOINTS. BOTTOM SURFACE OF FOOTINGS MAY SLOPE NO MORE THAN 10%. FOOTINGS SHALL BE STEPPED TO CHANGE THE ELEVATION OF THE TOP SURFACE OR WHERE THE SLOPE OF THE BOTTOM OF THE FOOTING WILL EXCEED 10%.
3) FINISHED GRADE OF THE UNDER FLOOR SURFACE MAY BE LOCATED AT THE BOTTOM OF THE FOOTINGS.
4) MINIMUM 8" WALL FOOTING TO BE NO LESS THAN 16" X 8"
5) MINIMUM CONCRETE FOOTING STRENGTH = 3000 PSI

DRAINAGE

- 1) INSTALL AROUND FOUNDATION, DRAIN TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPES OR OTHER APPROVED SYSTEM AS REQUIRED BY GRADE.
2) FOUNDATION DRAINAGE MAY BE OMITTED WHEN THE INTERIOR GRADE IS LESS THAN 12" BELOW THE EXTERIOR GRADE.
3) GRADE LOT SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS AT A MINIMUM OF 6" WITHIN THE FIRST 10'.

WATERPROOFING:

- 1) FOUNDATION WALLS, WHERE THE OUTSIDE GRADE IS HIGHER THAN THE INSIDE GRADE, SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE. USE CODE APPROVED METHOD

ANCHORAGE

- 1) THE WOOD SOLE PLATE AT EXTERIOR WALLS ON MONOLITHIC SLABS AND WOOD SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION W/ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" ON CENTER AND LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION. BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE.
2) BOLTS MAY BE REPLACED BY ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE.
3) INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLABS SHALL BE ANCHORED W/APPROVED FASTENERS.

FOUNDATION WALLS

- 1) VERTICAL REINFORCEMENT OF MASONRY WALLS SHALL BE TIED TO THE HORIZONTAL REINFORCEMENT OF THE FOOTINGS.
2) FOUNDATION WALL IS TO BE 8" CONC. BLOCK OR 8" BRICK & BLOCK ON CONTINUOUS CONCRETE FOOTING.
3) FOUNDATION WALL IS TO HAVE A SOLID 8" MASONRY CAP.
4) WALL HEIGHT ABOVE FINISHED SHALL BE 4" WHERE MASONRY VENEER IS USED AND 6" ELSEWHERE.
5) WALL SUPPORTING OVER 4' OF UNBALANCED BACKFILL MUST BE BRACED TO PREVENT DAMAGE BY THE BACKFILL.
6) CAVITY WALL OR MASONRY VENEER CONSTRUCTION MAY BE SUPPORTED ON AN 8" FOUNDATION WALL, PROVIDED THE WALL IS CORBELED WITH SOLID MASONRY TO THE WIDTH OF THE WALL SYSTEM ABOVE. THE TOTAL HORIZONTAL PROJECTION OF THE CORBEL SHALL NOT EXCEED 2" WITH INDIVIDUAL CORBELS PROJECTING NOT MORE THAN 1/3 THE THICKNESS OF THE UNIT OR 1/2 THE HEIGHT OF THE UNIT. THE TOP COURSE OF ALL CORBELS SHALL BE A HEADER COURSE.
7) VENTS ARE INTENDED TO BE 16" X 8" ALUMINUM.

PIERS

- 1) MASONRY PIERS HEIGHT SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION.
2) WHEN STRUCTURAL CLAY OR HOLLOW CONCRETE MASONRY UNITS ARE USED TO SUPPORT BEAMS & GIRDERS, THE CELLULAR SPACES MUST BE FILLED SOLIDLY WITH CONCRETE OR TYPE "M" OR "S" MORTAR.
3) UNFILLED UNITS MAY BE USED IF THE HEIGHT IS NOT MORE THAN 4 TIMES THE LEAST DIMENSION.
4) HOLLOW PIERS SHALL BE CAPPED WITH 4" OF SOLID MASONRY OR CONCRETE, OR SHALL HAVE CAVITIES OF THE TOP COURSE FILLED WITH CONCRETE.
5) PIERS INDICATED ON PLAN ARE TYPICALLY 16"x 16" ON 24"x 24"x 8" FOOTINGS.
6) TIE ALL HALF PIERS INTO WALLS.

ANCHOR BOLTS

- 1/2" DIA X 10" ANCHOR BOLTS W/ 1" MIN EMBEDMENT @ 6'-0" OC AND 12" FROM EACH PLATE SPlice AND CORNER.

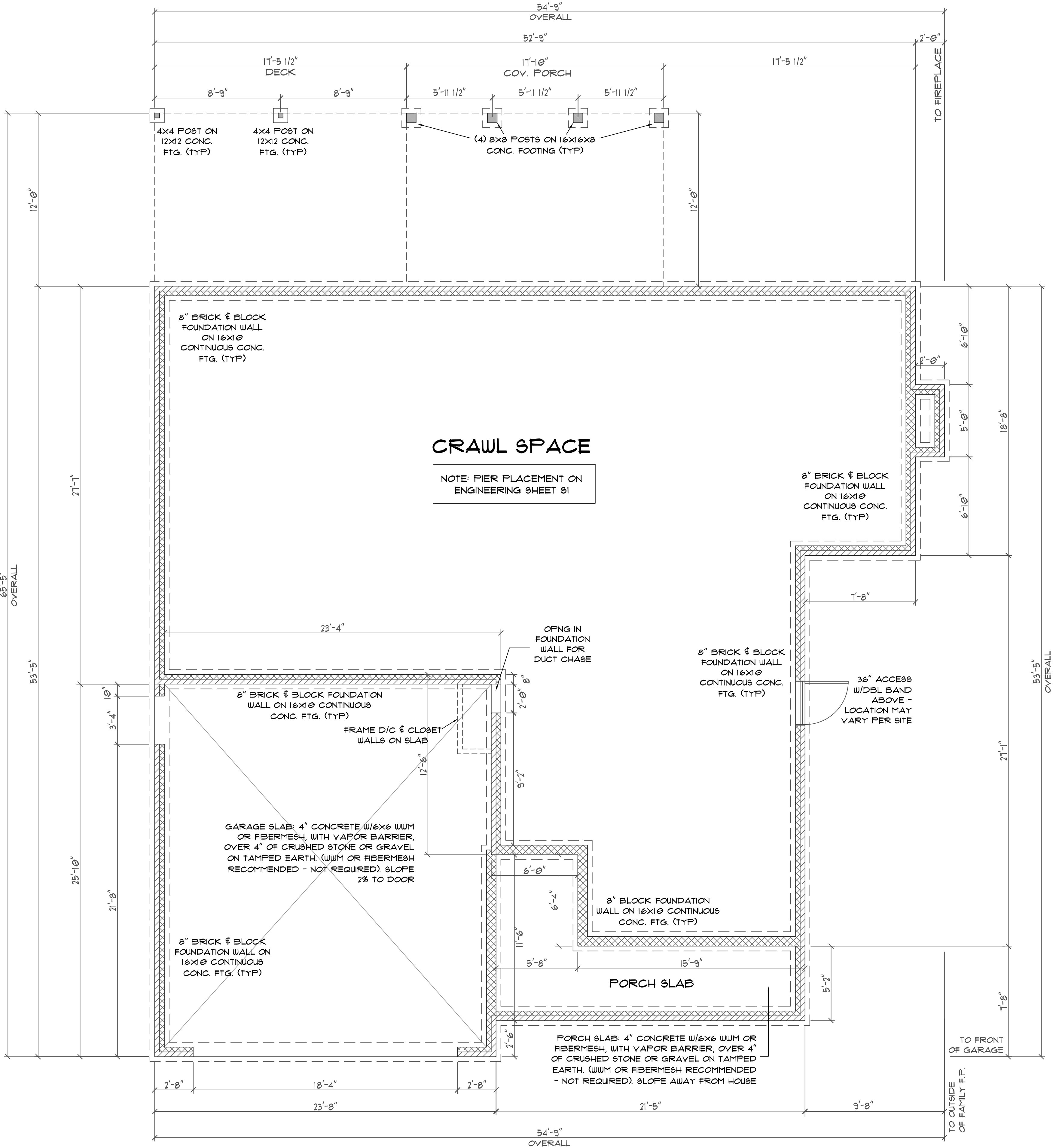
CAVITY ACCESS

- 1) MIN. CRAWL SPACE ACCESS IS 18"(W) X 24"(H) W/DBL BAND ABOVE. PLACE AT BEST LOCATION WITH REFERENCE TO GRADE.
2) ACCESS MAY BE INCREASED IF MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS - SEE NC MECHANICAL CODE FOR REQUIREMENTS.
3) ATTIC ACCESS SHALL BE 22" X 30" MINIMUM.

FOUNDATION VENT CALCULATION
(AS PER 2024 NORTH CAROLINA RESIDENTIAL CODE)

MINIMUM REQUIRED:
1143 SQFT OF CRAWL SPACE DIVIDED BY 300 EQUALS 3.8 SQFT OF AREA

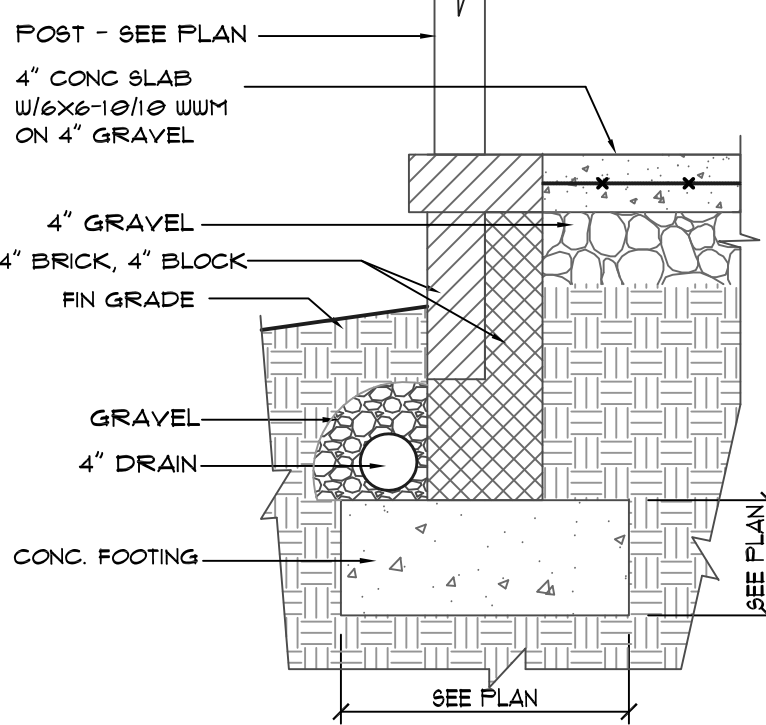
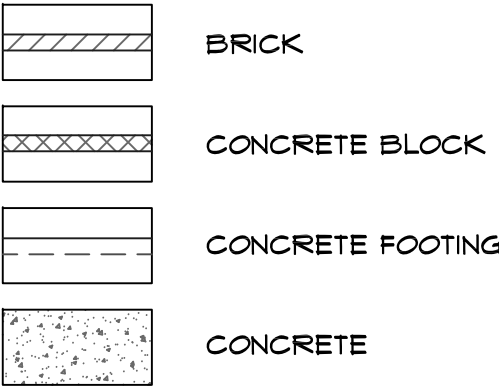
- NOTES:
* ONE VENT MUST BE WITHIN 3' OF EACH CORNER OF THE BUILDING
* POSSIBLE VENT LOCATIONS INDICATED ON THE FOUNDATION PLAN.
* ACCESS DOORS MAY BE VENTED FOR ADDITIONAL REQUIRED VENTILATION.
* CRAWL SPACE MUST BE CROSS-VENTILATED AND AN APPROVED VAPOR RETARDER COVERS 100% OF THE CRAWL SPACE.



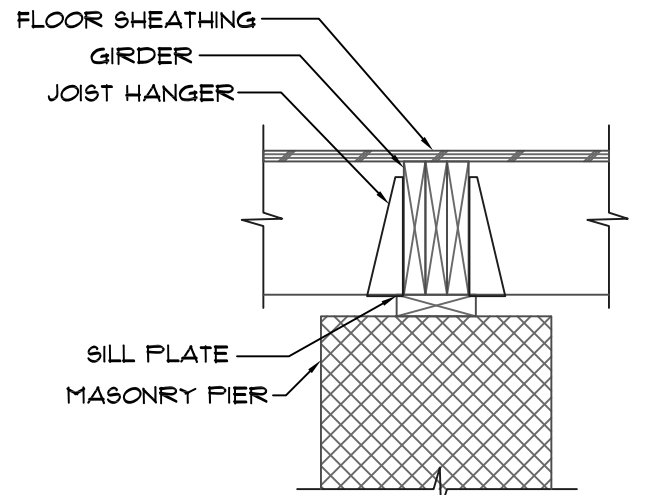
FOUNDATION PLAN

SCALE: 1/4"=1'-0"

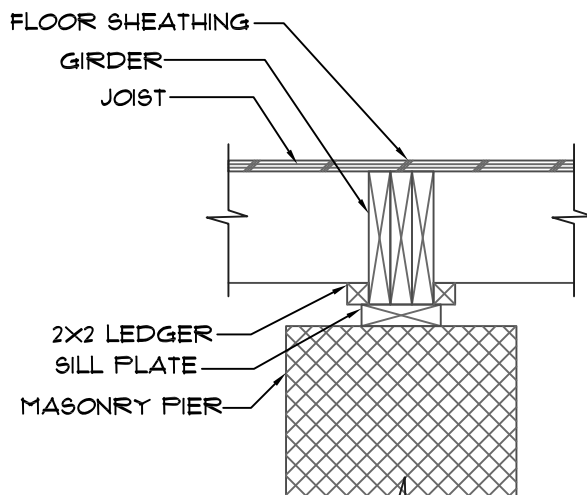
FOUNDATION MATERIALS
LEGEND



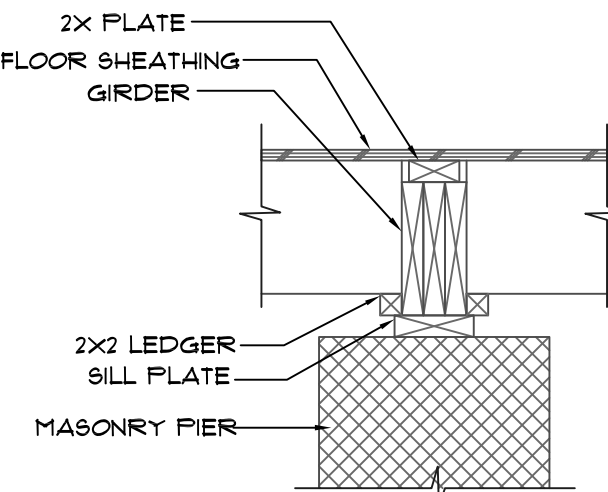
PORCH SLAB



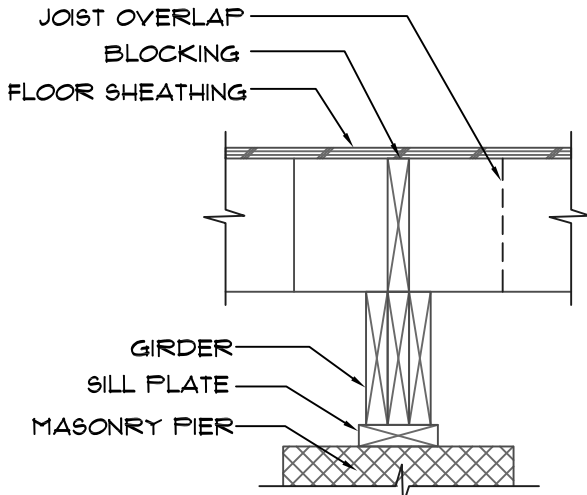
FLUSH BEARING
W/HANGER



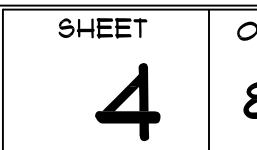
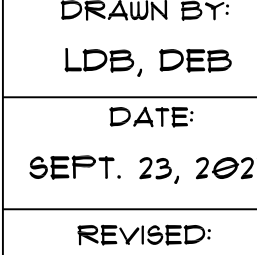
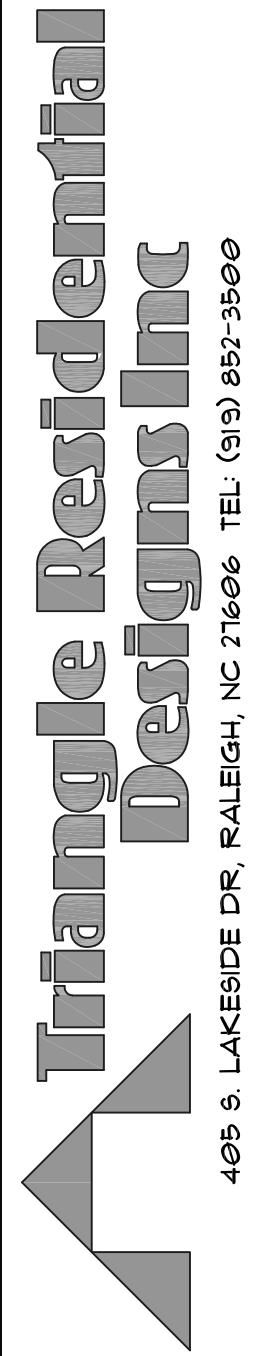
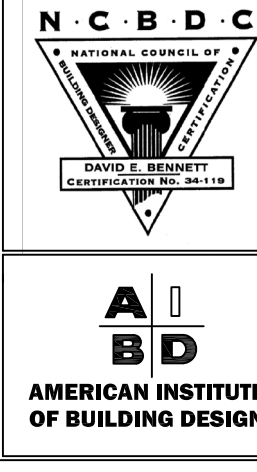
FLUSH BEARING
W/LEDGER



FLUSH BEARING
W/CAP



DROPPED GIRDER



FLOOR PLAN NOTES

- 1) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FIR.
2) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED TO PROVIDE MINIMUM INSULATION VALUES OR AIR PASSAGES.
3) PROVIDE DOUBLE FLOOR JOISTS AT ALL NON LOAD BEARING PARTITION WALLS RUNNING PARALLEL TO FLOOR JOISTS. ALSO UNDER ALL BOOKCASES, CABINETS, TUBS AND WASHING MACHINES (RECOMMENDED - NOT REQUIRED).
4) FLOOR JOISTS MUST BEAR 1.5" MIN. ON WOOD OR METAL AND 3" MIN. ON MASONRY OR CONCRETE.
5) PROVIDE 1"x4" CROSS-BRACING OR SOLID BLOCKING BETWEEN FLOOR JOISTS AT 6'-0" O.C. MAX. (RECOMMENDED BUT NOT REQUIRED).
6) ALL EXTERIOR AND LOAD BEARING HEADERS ARE TO BE (2)-2X10.
7) MINIMUM LVL DESIGN STRENGTH: E=2.0 X 2 MILLION PSI, FB=2800 PSI, FX=285 PSI.
8) ALL LVL BEAMS TO HAVE 3 STUDS EACH END.
9) LOAD BEARING HEADER JACKS MUST REST ON DOUBLE JOISTS - SUPPLY EXTRA JOISTS AS REQUIRED.
10) DRAFTSTOPPING AND FIREBLOCKING AS REQUIRED PER CODE.
11) DESIGNS FOR WOOD FLOOR TRUSSES MUST BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL.

GENERAL NOTES:

- 9'-0" CEILING ON THIS FLOOR UNLESS NOTED OTHERWISE (UNO).
- STAIRS ARE DESIGNED TO COVER A 120" MAX. RISE:
 - 15 RISERS @ 102" +/- EACH OR
 - 16 RISERS @ 113" +/- EACH
 - 14 OR 15 TREADS @ 9" EACH (ROUGH CUT) (FIELD VERIFY ALL STAIRS DIMENSIONS)
- ALL ANGLES 45° UNLESS OTHERWISE NOTED.
- ALL DOOR HEIGHTS 6'-8" UNLESS OTHERWISE NOTED.
- ALL DOOR JAMBS ARE 4" UNLESS OTHERWISE NOTED.
- SEE CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR WALL CONSTRUCTION.
- GARAGE WALLS ADJACENT TO HEATED SPACE SHALL BE COVERED WITH FIRE RATED SHEETROCK PER CODE.
- ALL HABITABLE ROOMS SHALL MEET LIGHT, VENTILATION & EGRESS CODES AS REQUIRED.
- ALL WINDOW SIZES & DETAILS TO BE VERIFIED WITH CHOSEN MANUFACTURER.
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.

WOOD WALL CONSTRUCTION

- 1) ALL STUDS ARE TO BE #3 GRADE STANDARD OR STUD GRADE LUMBER - #2 GRADE RECOMMENDED BUT NOT REQUIRED.
2) ALL INTERIOR LOAD-BEARING WALLS SHALL BE CONSTRUCTED, FRAMED & FIREBLOCKED AS SPECIFIED FOR EXTERIOR WALLS.
3) WALLS ARE 2X4 STUDS @ 16" O.C.
4) ALL OPEN AREA, TWO STORY WALLS ARE TO BE BALLOON FRAMED, 2"x 6" STUDS AT 12" O.C.
5) DRAFTSTOPPING AND FIREBLOCKING REQUIRED AS PER CODE.
6) ALL OPEN AREA, TWO STORY WALLS ARE TO BE BALLOON FRAMED, 2"x 6" STUDS AT 12" O.C.
7) WINDOWS SHOULD BE RATED FOR 25PSF.

GARAGE DOOR WALL CONSTRUCTION

- ONLY FOR GARAGE DOOR WALLS THAT DO NOT MEET BRACING REQUIREMENTS OF THE NC 2009 RESIDENTIAL BUILDING CODE.
1) PLACE (2)-1/2" DIAM. ANCHOR BOLTS AT OUTSIDE QUARTER OF THESE PANELS. EXTEND #4 STEEL REINFORCING VERTICALLY, LAPPING THE ANCHOR BOLT A MINIMUM OF 6" AND EXTENDING TO THE FOOTING WITH A 4" MINIMUM HORIZONTAL LEG INTO THE FOOTING. THE FOOTING MUST BE REINFORCED WITH (1) #4 BAR TOP AND BOTTOM IN THIS AREA. SECURE WALL TO ANCHOR BOLTS WITH SIMPSON "STRONG TIE" LTT101, HTT16, HTT22, MTT28B OR TENSION TIE WITH 1800# MINIMUM CAPACITY.
2) FULLY FACE GARAGE WALL WITH 1/16" OSB OR 1/2" CDX, NAILED PER TABLE R602.3(1) AND BLOCKED AT ALL WOOD STRUCTURAL PANEL SHEATHING EDGES.

GARAGE

- 1) DOOR FROM GARAGE TO HOUSE MUST BE 1-3/8" THICK SOLID WOOD OR SOLID OR HONEYCOMBED CORE STEEL DOORS OR 20 MIN. FIRE RATED.
2) GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE.

DECK NOTES

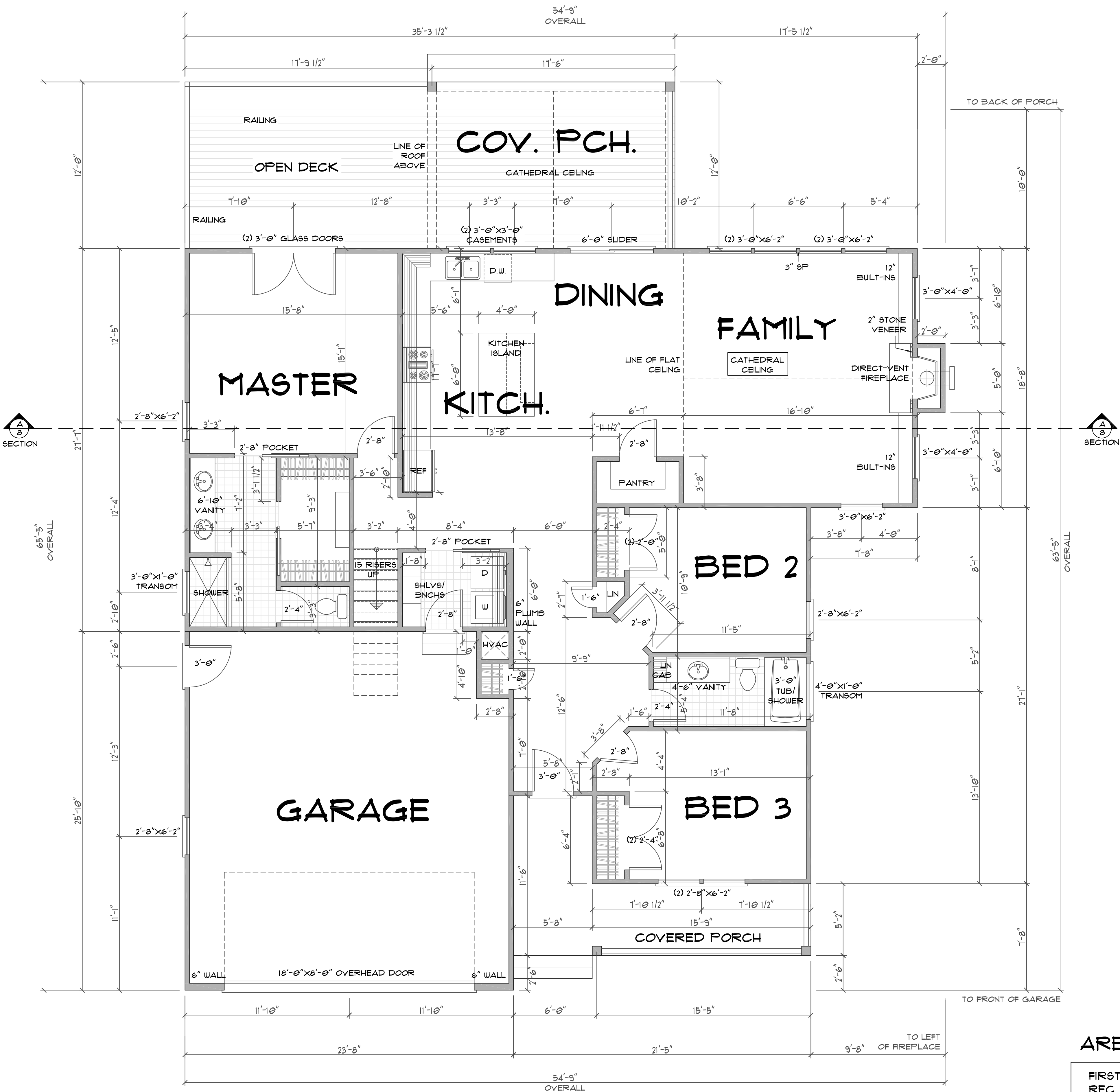
- 1) WHEN THE DECK IS ATTACHED TO THE STRUCTURE, THE STRUCTURE SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING FO THE STRUCTURE.
2) THE DECK AND STRUCTURE BANDS SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER, EXCEPT ON BRICK VENEER STRUCTURES AND WHERE PLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED.
3) SIDING SHALL NOT BE INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND.
4) IF ATTACHED TO A BRICK STRUCTURE, NEITHER THE FLASHING NOR A TREATED BAND FOR THE STRUCTURE IS REQUIRED. THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK VENEER.
5) GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF THE POSTS WITH 2-5/8" HOT DIPPED GALVANIZED BOLTS.
6) FLOOR DECKING SHALL BE #2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. MINIMUM FLOOR DECKING THICKNESS FOR JOISTS AT 16" O.C. IS 1" T&G.
7) DECKS MAY NOT BE ATTACHED TO CANTILEVERED FLOOR SYSTEMS.
8) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FIR.
9) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED.
10) DECKS OVER 4'-0" ABOVE GRADE SHALL BE BRACED AS PER CODE APPENDIX M.

RAILINGS AND GUARDS

- 1) HANDRAILS & GUARD RAILS SHALL HAVE A MINIMUM HEIGHT OF 34" AND A MAXIMUM HEIGHT OF 38".
2) PORCHES, BALCONIES OR RAISED FLOORS OVER 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARD RAILS NO LESS THAN 36" HIGH.
3) GUARD RAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOORS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES OF LESS THAN 4" TO REJECT A 4" SPHERE.

GLAZING

- 1) ALL HABITABLE ROOMS SHALL HAVE A GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA.
2) WINDOWS SHALL HAVE A MINIMUM DESIGN REQUIREMENT OF 25#DPI AND U-F-40
3) VERIFY WINDOW EGRESS WITH WINDOW MANUFACTURER.



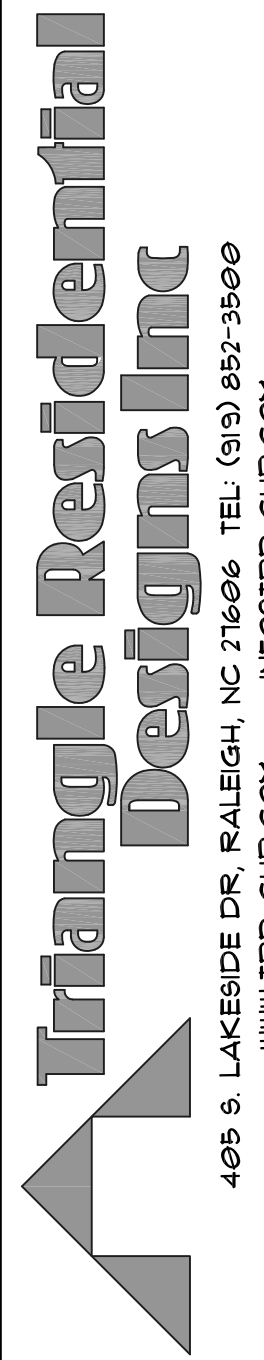
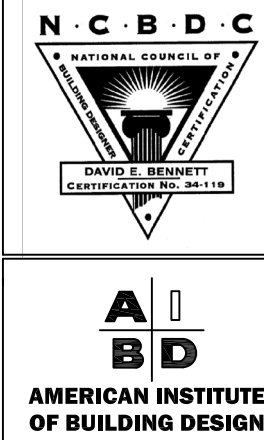
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

9'-0" CEILING ON THIS FLOOR

AREA CALCULATION

FIRST FLOOR:	1765 SQFT
REC ROOM:	262 SQFT
TOTAL LIVING:	2027 SQFT
GARAGE:	596 SQFT
FRONT PORCH:	146 SQFT
REAR PORCH:	118 SQFT
TOTAL NON-LIVING:	920 SQFT



PROJECT ADDRESS:
SOUTH RIVER ROAD
LILLINGTON, NC 27546
HARNETT COUNTY

CLIENT:
CHARLES DEZEL
PROJECT:
CUSTOM RESIDENCE

DRAWN BY:
LDB, DEB
DATE:
SEPT. 23, 2025

REVISED:

FLOOR PLAN NOTES

- 1) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FIR.
2) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED TO PROVIDE MINIMUM INSULATION VALUES OR AIR PASSAGES.
3) PROVIDE DOUBLE FLOOR JOISTS AT ALL NON LOAD BEARING PARTITION WALLS RUNNING PARALLEL TO FLOOR JOISTS. ALSO UNDER ALL BOOKCASES, CABINETS, TUBS AND WASHING MACHINES (RECOMMENDED - NOT REQUIRED)
4) FLOOR JOISTS MUST BEAR 1.5" MIN. ON WOOD OR METAL AND 3" MIN. ON MASONRY OR CONCRETE.
5) PROVIDE 1"x4" CROSS BRACING OR SOLID BLOCKING BETWEEN FLOOR JOISTS AT 6'-0" O.C. MAX. (RECOMMENDED BUT NOT REQUIRED).
6) ALL EXTERIOR AND LOAD BEARING HEADERS ARE TO BE (2)-2x10.
7) MINIMUM LVL DESIGN STRENGTH: E=2.0 X 2 MILLION PSI, FB=2800 PSI, FX=285 PSI
8) ALL LVL BEAMS TO HAVE 3 STUDS EACH END.
9) LOAD BEARING HEADER JACKS MUST REST ON DOUBLE JOISTS - SUPPLY EXTRA JOISTS AS REQUIRED
10) DRAFTSTOPPING AND FIREBLOCKING AS REQUIRED PER CODE.
11) DESIGNS FOR WOOD FLOOR TRUSSES MUST BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL.

GENERAL NOTES:

- 9'-0" CEILING ON THIS FLOOR UNLESS NOTED OTHERWISE (UNO)
- STAIRS ARE DESIGNED TO COVER A 120" MAX. RISE:
 - 15 RISERS @ 102" +/- EACH OR
 - 16 RISERS @ 13" +/- EACH
 - 14 OR 15 TREADS @ 9" EACH (ROUGH CUT)(FIELD VERIFY ALL STAIRS DIMENSIONS)
- ALL ANGLES 45° UNLESS OTHERWISE NOTED
- ALL DOOR HEIGHTS 6'-8" UNLESS OTHERWISE NOTED
- ALL DOOR JAMBS ARE 4" UNLESS OTHERWISE NOTED
- SEE CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR WALL CONSTRUCTION
- GARAGE WALLS ADJACENT TO HEATED SPACE SHALL BE COVERED WITH FIRE RATED SHEETROCK PER CODE
- ALL HABITABLE ROOMS SHALL MEET LIGHT, VENTILATION & EGRESS CODES AS REQUIRED
- ALL WINDOW SIZES & DETAILS TO BE VERIFIED WITH CHOSEN MANUFACTURER
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE

EMERGENCY ESCAPE

- 1) OPENINGS PROVIDED AS MEANS OF ESCAPE CANNOT HAVE A SILL HEIGHT OF MORE THAN 44" ABOVE THE FLOOR.
2) ESCAPE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT. THE MINIMUM CLEAR OPENING HEIGHT IS 22" AND THE WIDTH IS 20".
3) ESCAPE OPENINGS SHALL HAVE A TOTAL GLASS AREA OF NOT LESS THAN 5 SQ. FT. FOR A GROUND WINDOW AND 5.71 SQ. FT. FOR AN UPPER STORY WINDOW.
4) REQUIRED EXIT DOORS SHALL BE NO LESS THAN 3'-0" X 6'-8".

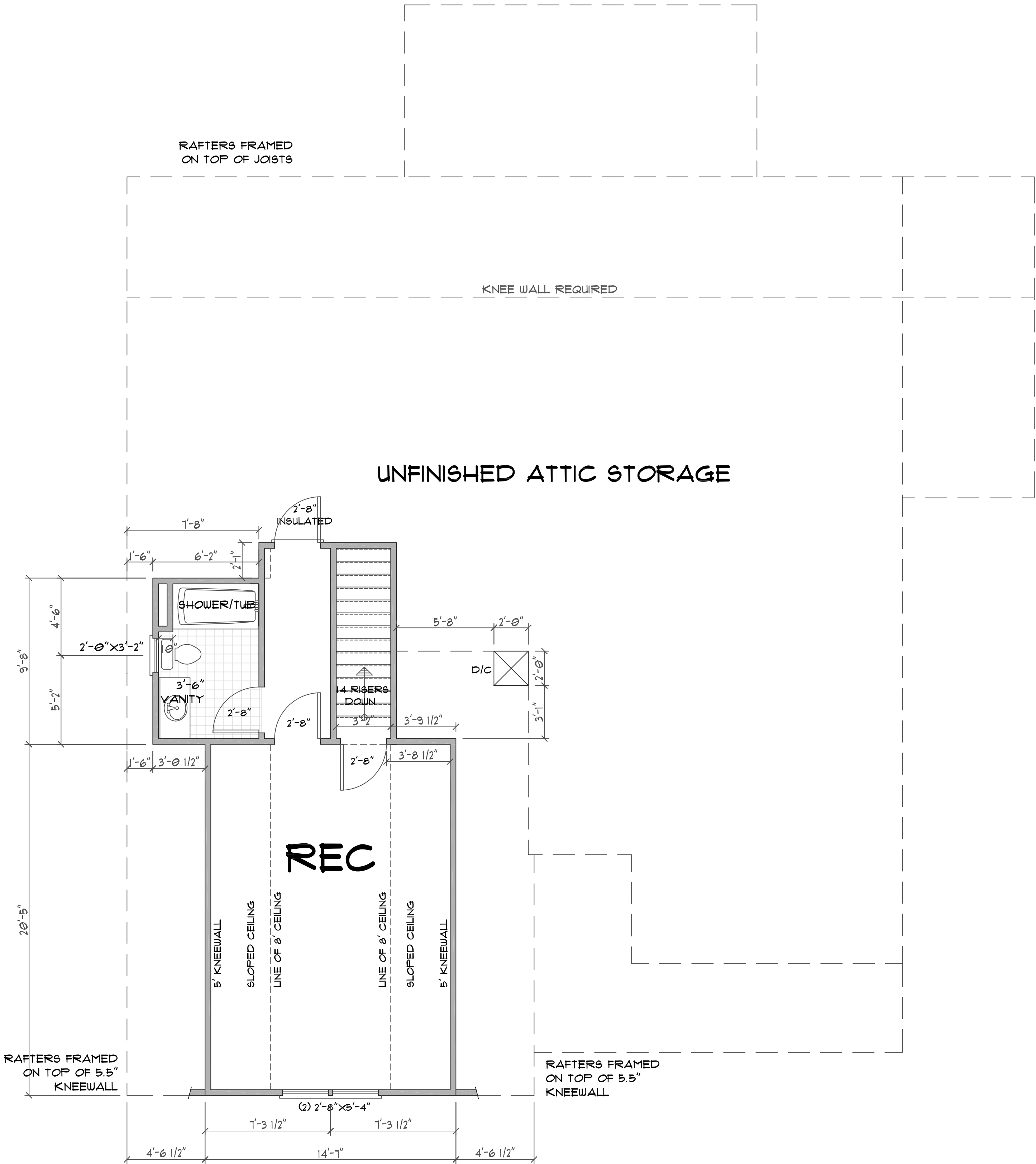
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT				
	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

SEE NC BUILDING CODE FOR LOCATION OF ZONES
PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARDS AND AWAY FROM THE BUILDING SURFACES

NOTES:

- THESE PLANS, NOTES AND DETAILS ARE DESIGNED TO MEET THE REQUIREMENTS OF THE 2018 NC RESIDENTIAL BUILDING CODE.
- ALL NOTES ARE APPLICABLE UNLESS NOTED OTHERWISE (UNO)
- THIS DETAIL SHEET IS TO BE USED ONLY IN CONJUNCTION WITH PLANS CREATED BY TRIANGLE RESIDENTIAL DESIGNS
- SEALED ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER TRD'S STANDARD DETAILS NOTES



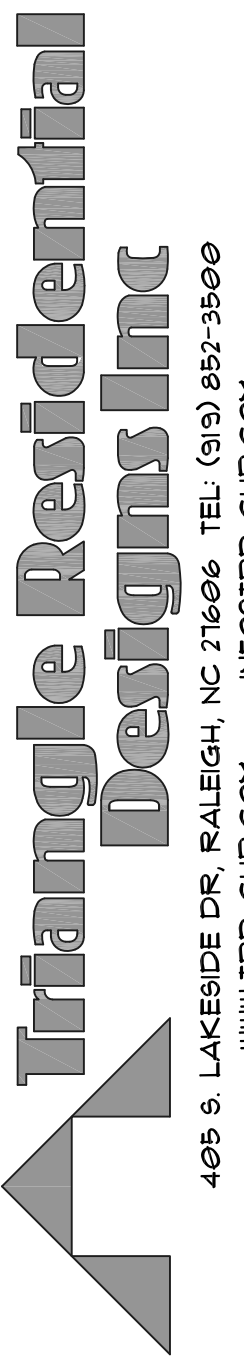
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

8'-0" CEILING ON THIS FLOOR

AREA CALCULATION

FIRST FLOOR:	1765 SQFT
REC ROOM:	262 SQFT
TOTAL LIVING:	2027 SQFT
GARAGE:	536 SQFT
FRONT PORCH:	146 SQFT
REAR PORCH:	178 SQFT
TOTAL NON-LIVING:	920 SQFT

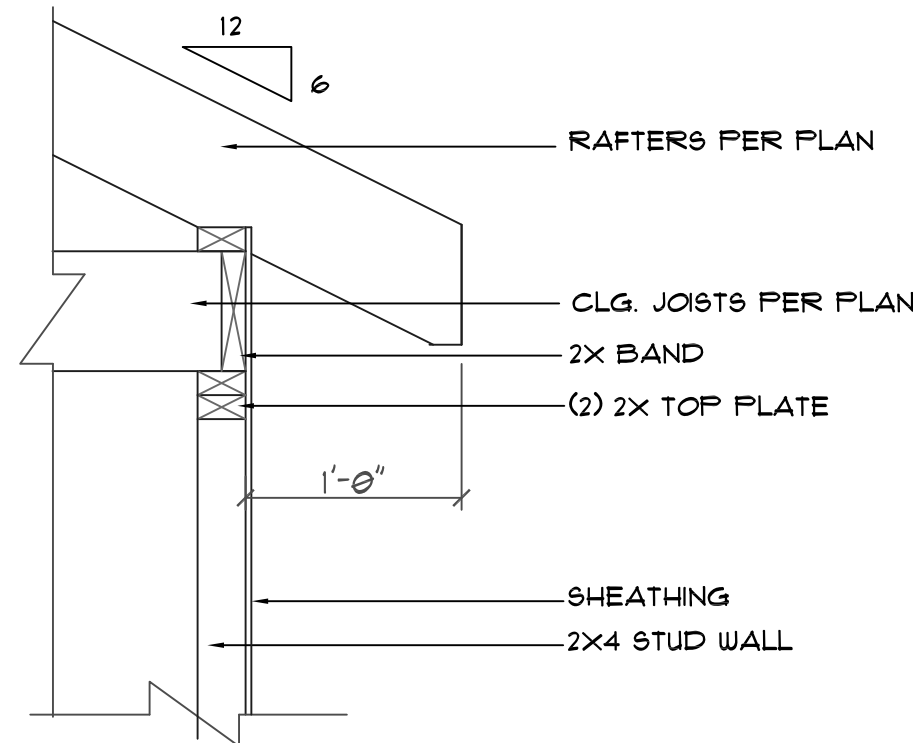


PROJECT ADDRESS:
SOUTH RIVER ROAD
LILLINGTON, NC 27546
HARNETT COUNTY

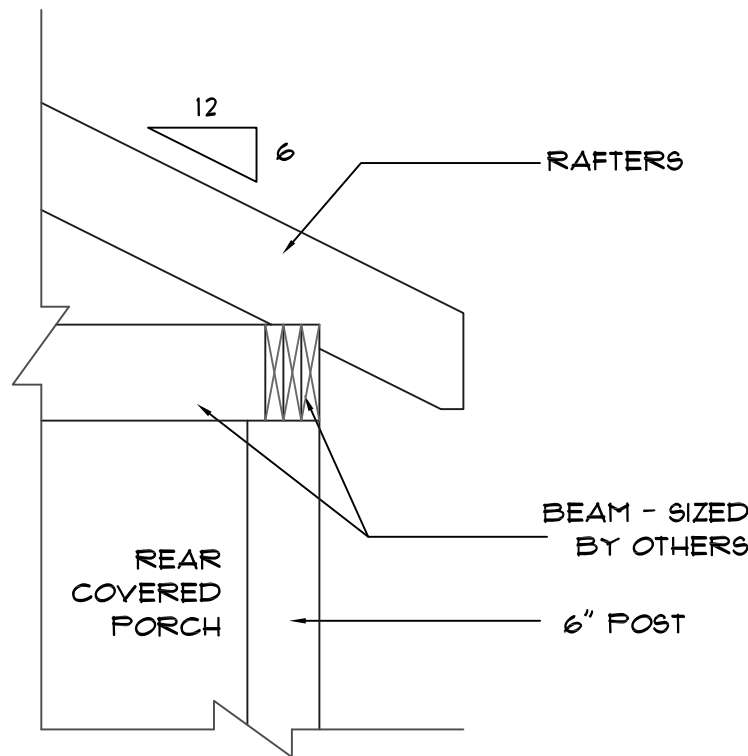
CLIENT:
CHARLES DEZEL
PROJECT:
CUSTOM RESIDENCE

DRAWN BY:
LDB, DEB
DATE:
SEPT. 23, 2025

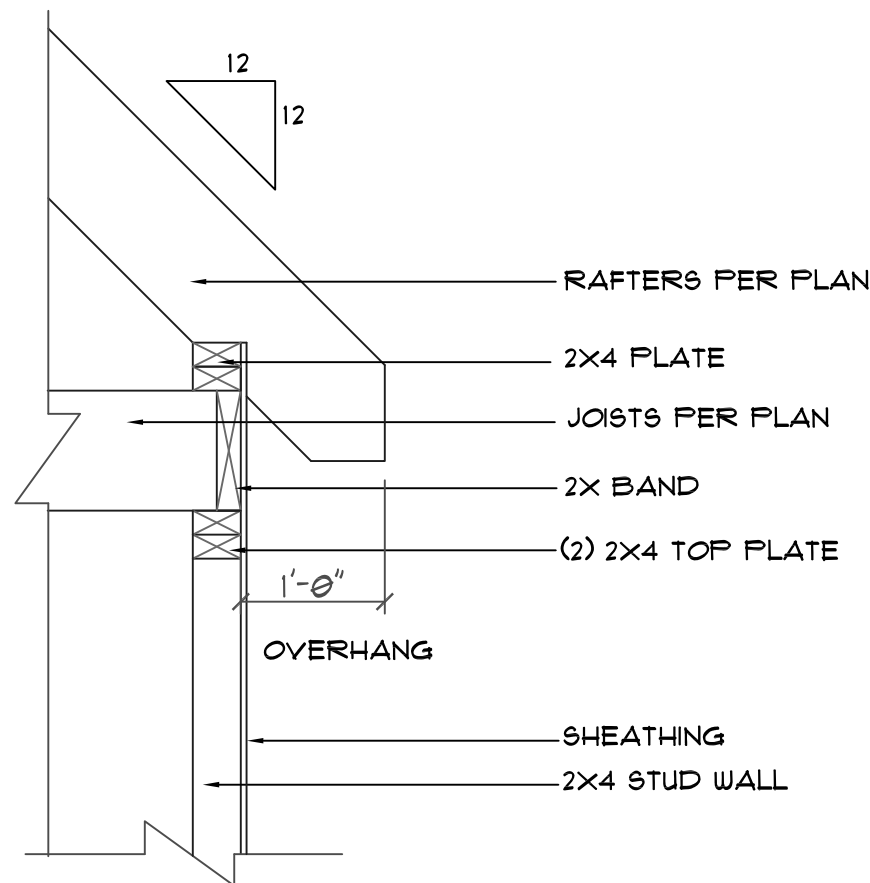
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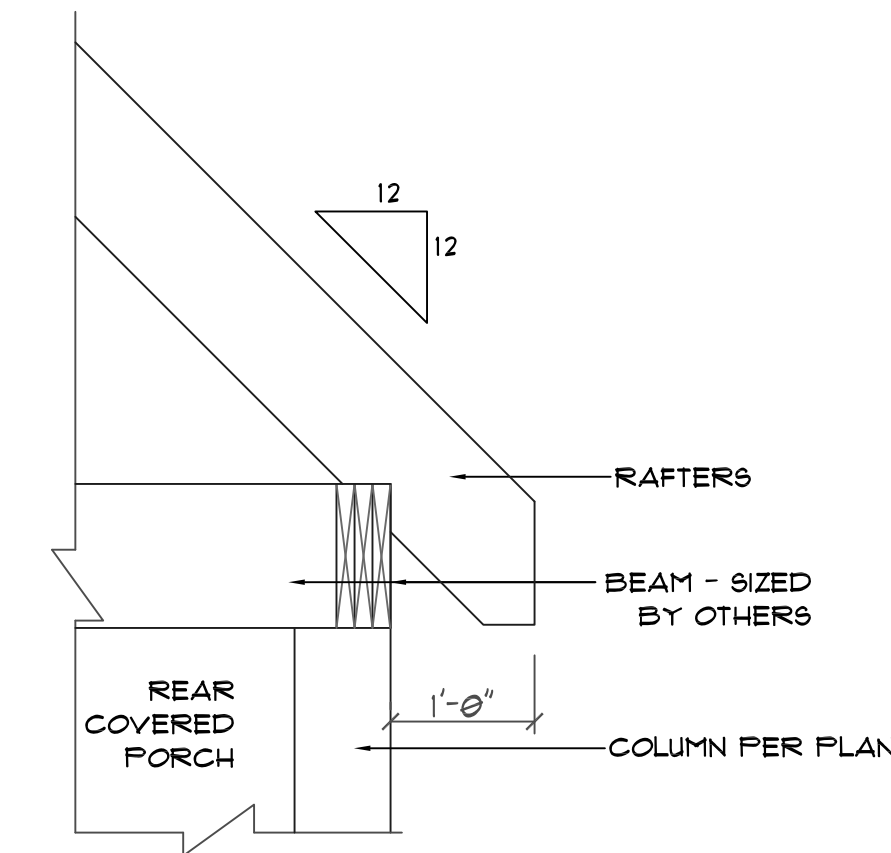
ROOF FRAMING DETAIL "A"
RAFTERS FRAMED ON WALL PLATE
NO SCALE



ROOF FRAMING DETAIL "D"
RAFTERS FRAMED ON PORCH BEAM
NO SCALE



ROOF FRAMING DETAIL "B"
RAFTERS FRAMED ON TOP OF JOISTS
NO SCALE



ROOF FRAMING DETAIL "C"
RAFTERS FRAMED ON PORCH BEAM
NO SCALE

ATTIC VENTILATION
CALCULATION

(AS PER 2018 NORTH CAROLINA RESIDENTIAL
CODE)

2556 SQFT. OF ATTIC/150 REQUIRES = 17 SQFT. OF FREE VENT
= 8.5 SQFT. IN/8.5 SQFT. OUT.

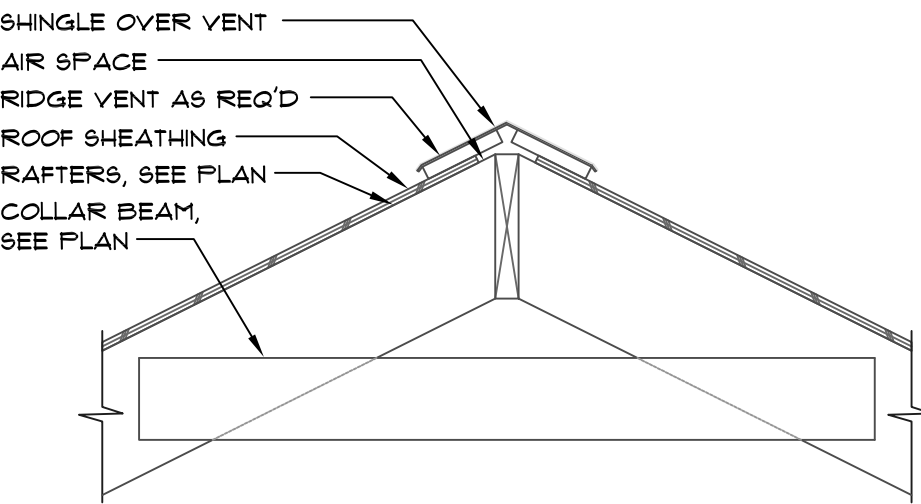
104 LINEAR FT. OF RIDGE VENT AT 18 SQ. IN/FT. DIVIDED BY
144 SQ. IN/SQ. FT. EQUALS 13 SQ. FT. OF FREE AREA.

- EAVES TO HAVE 2" CONTINUOUS EAVE/SOFFIT VENT.
- IF ROOF VENTING IS INADEQUATE, SUPPLEMENT WITH POWER ROOF VENTILATORS.
- VENTILATION REQUIREMENT MAY BE REDUCED TO 1 SF/300 SF PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, ATLEAST THREE (3) FEET ABOVE THE EAVE OR CORNICE VENTS, AND WITH THE BALANCE OF THE VENTILATION TO BE PROVIDED BY THE EAVE AND CORNICE VENTS.

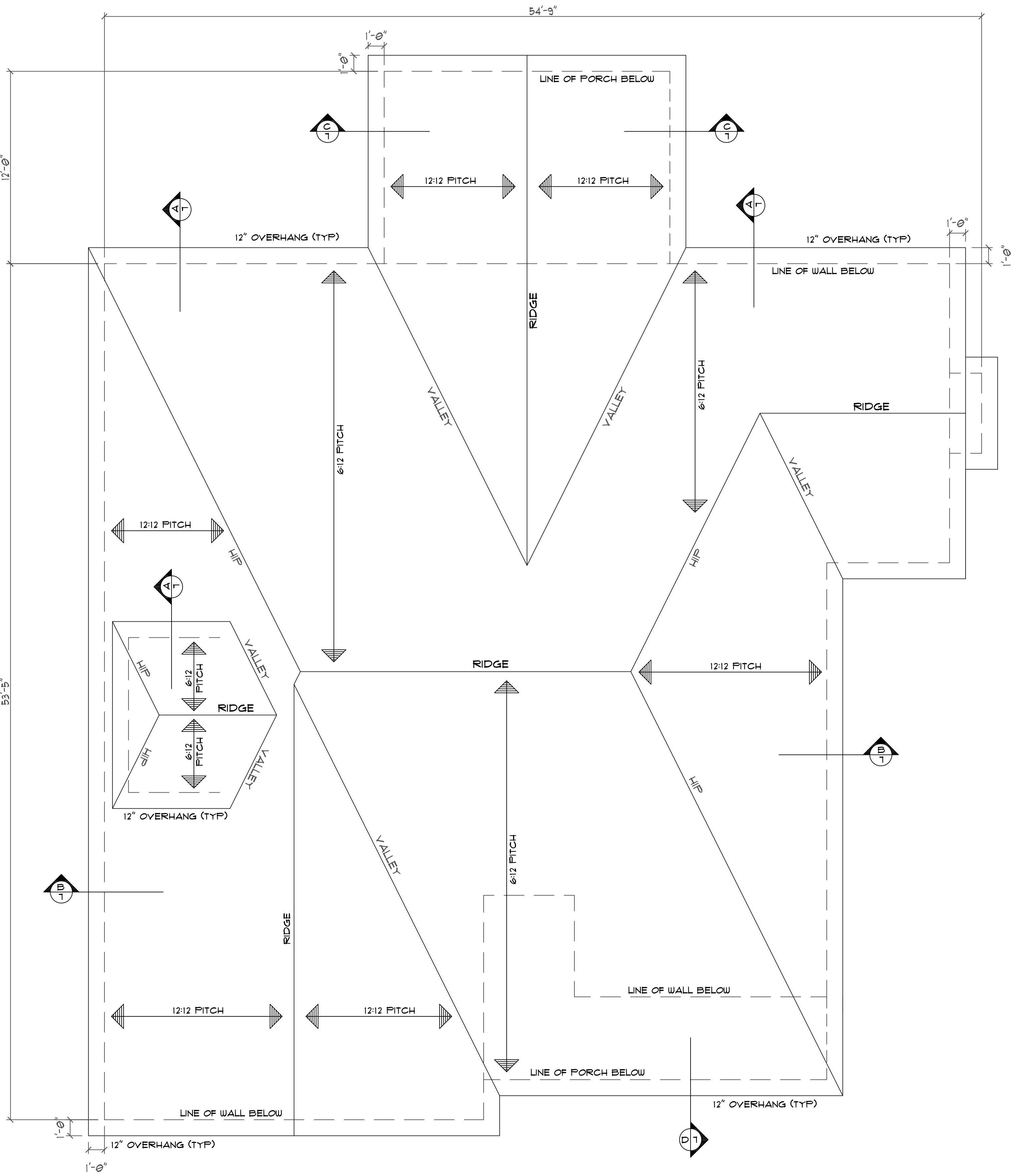
NOTE: REFER TO SECTION 806 (ROOF VENTILATION) OF THE
NC STATE RESIDENTIAL CODE

ROOF NOTES

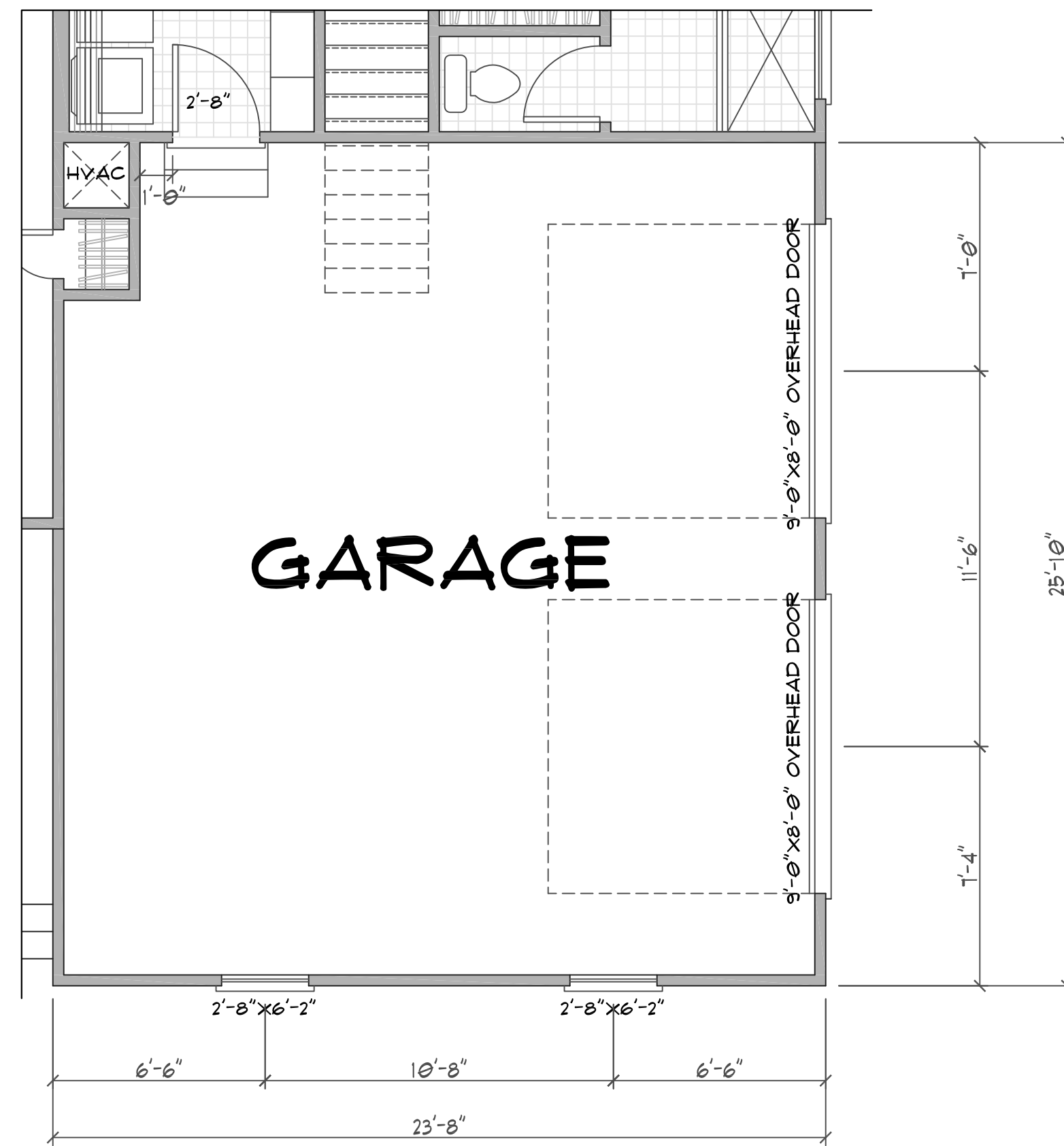
- 1) RAFTER SIZES ARE SHOWN AT MINIMUM STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED TO PROVIDE MINIMUM INSULATION VALUES OR AIR PASSAGES.
- 2) RAFTER SPANS ARE CALCULATED ON #2 GRADE SPRUCE PINE FIR.
- 3) RAFTERS SHALL BE FRAMED TO RIDGE BOARD OR TO EACH OTHER WITH A GUSSET PLATE.
- 4) RIDGE BOARDS SHALL BE AT LEAST 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
- 5) OPPOSING RAFTERS AT THE RIDGE MUST ALIGN WITHIN THE THICKNESS OF THE RIDGE.
- 6) IF CLG JOISTS ARE NOT PARALLEL TO RAFTERS, SUBFLOORING OR METAL TIES SHALL BE ATTACHED TO RAFTERS ENDS TO SUPPLY A CONTINUOUS TIE ACROSS THE BUILDING OR RAFTERS SHALL BE ATTACHED TO 1"x4" CROSSTIES.
- 7) ATTACH 1"x6" OR 2"x4" COLLAR TIES IN THE UPPER THIRD OF THE ROOF TO EVERY THIRD PAIR OF RAFTERS, NOT TO EXCEED 4'-0" O.C.
- 8) ALL DORMERS SHALL HAVE DOUBLE HEADERS AND TRIMMERS.
- 9) TRUSS ROOF DRAWINGS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL.
- 10) SHINGLED ROOFS WITH PITCHES 2/12 TO 4/12 SHALL HAVE DOUBLE UNDERLAYMENT.
- 11) A CRICKET OR SADDLE IS REQUIRED FOR CHIMNEYS OVER 30" WIDE. THE COVERING SHALL BE METAL OR THE SAME MATERIAL AS THE ROOF COVERING.



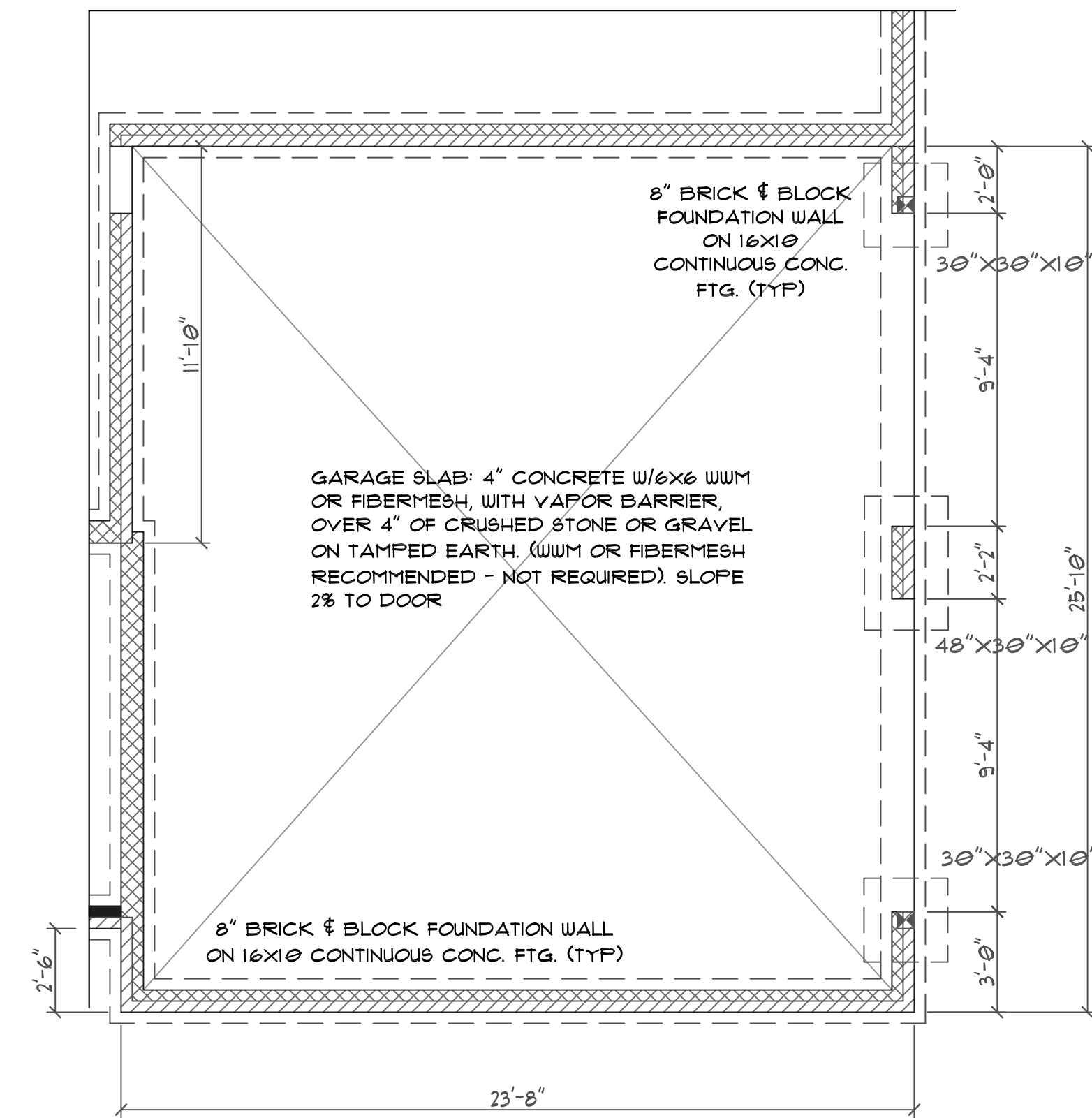
COLLAR BEAM DETAIL



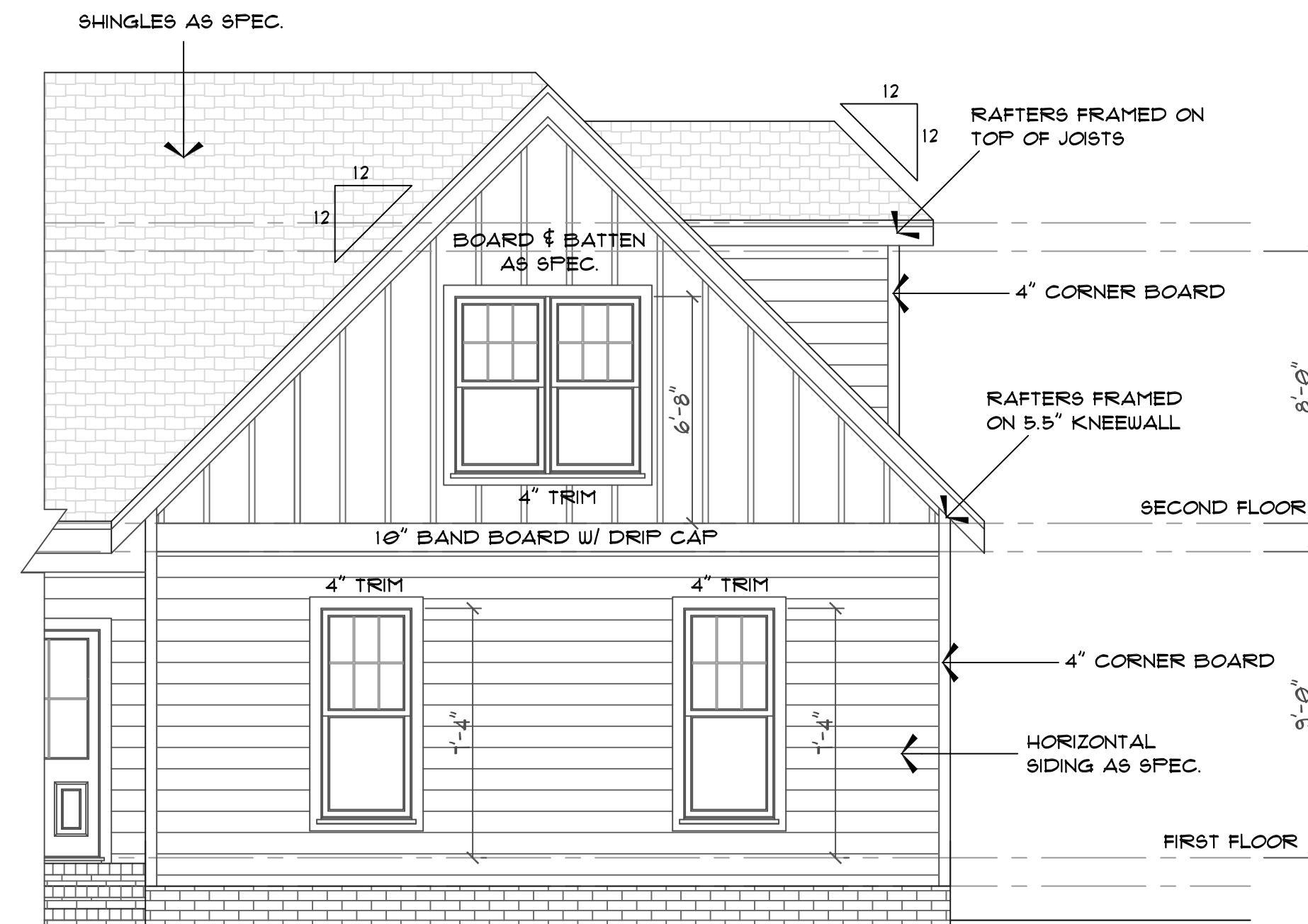
ROOF PLAN
SCALE: 1/4"=1'-0"



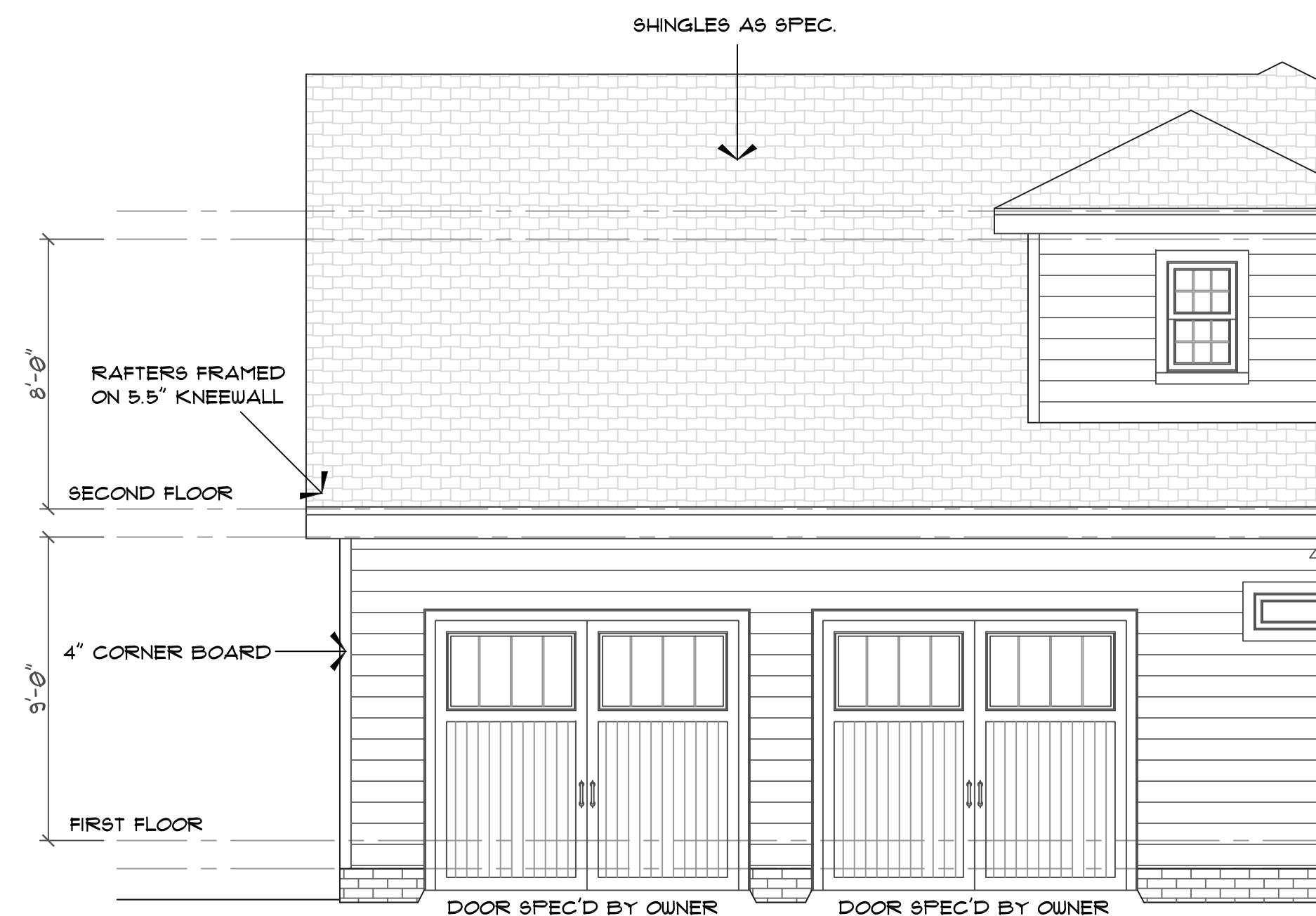
**GARAGE SIDE ENTRY
FLOOR PLAN**
SCALE: 1/4"=1'-0"



**GARAGE SIDE ENTRY
FOUNDATION PLAN**
SCALE: 1/4"=1'-0"



**GARAGE SIDE ENTRY
FRONT ELEVATION**
SCALE: 1/4"=1'-0"



**GARAGE SIDE ENTRY
RIGHT ELEVATION**
SCALE: 1/4"=1'-0"

DESIGN CRITERIA:

• DESIGN LOADS (PSF):

USE:	L.L.	D.L.	USE:	L.L.	D.L.
ATTICS W/O STORAGE	10	10	EXTERIOR DECKS/BALCONIES	40	10
ATTICS W/ STORAGE	20	10	PASS. VEHICLE GARAGES	50	50
ATTICS W/ FIXED STAIRS	30	10	GUARDRAILS/HANDRAILS	200	10
SLEEPING ROOMS	30	10	ROOF (CLG. NOT ATTACHED)	20	10
ALL OTHER ROOMS	40	10	ROOF (CLG. ATTACHED)	20	15
STAIRS	40	5	INTERIOR/EXTERIOR WALLS	-	8/11

- ULTIMATE DESIGN WIND SPEED: 120MPH (EXP. CAT. B)
- DEFLECTION LIMITS:

COMPONENT	DEFLECTION LIMIT
RAFTERS (3:12 SLOPE OR MORE) W/O CLG. ATTACHED	L/180
FLOORS & PLASTERED CEILINGS	L/360
FRAMING SUPPORTING MASONRY	L/600
SPANS GREATER THAN 20-FT	L/480
ALL OTHER STRUCTURAL MEMBERS	L/240

FOUNDATION NOTES:

1. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION WALLS. ROOF DRAINAGE SHALL DISCHARGE AT LEAST 5 FEET AWAY FROM FOUNDATION WALLS.
2. ASSUMED SOIL BEARING CAPACITY IS 2000 PSF. CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL PROPERTIES.
3. CONCRETE MIN. 28-DAY COMPRESSIVE STRENGTH: 3000 PSI
4. STEEL REINFORCEMENT SHALL BE DEFORMED REINFORCEMENT COMPLYING WITH THE REQUIREMENTS OF ASTM A615. MIN. YIELD STRENGTH: 40 KSI (GRADE 40) IN FOOTINGS & 60 KSI (GRADE 60) IN WALLS.
5. MIN. CONCRETE COVER FOR STEEL REINFORCEMENT: 3" WHEN CAST AGAINST EARTH: 1 1/2" (NO. 5 BARS OR SMALLER) OR 2" (NO. 6 BARS OR LARGER) WHEN CAST IN REMOVABLE FORMS THAT WILL BE EXPOSED TO EARTH OR WEATHER: 3/4" WHEN CAST IN REMOVABLE FORMS THAT WILL NOT BE EXPOSED TO EARTH OR WEATHER.
6. FOOTINGS SHALL BEAR A MINIMUM OF 12" BELOW GRADE. SHALL EXTEND BELOW THE FROST LINE AND SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL.
7. MIN. FOOTING THICKNESS: 6" FOR 1-STORY, 8" FOR 1 1/2 - 2 1/2 STORY, 10" FOR 3 STORY. MIN. FOOTING PROJECTION IS 2" AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING IN PLAIN CONCRETE FOOTINGS.
8. FOOTINGS FOR MASONRY FIREPLACES/CHIMNEYS SHALL BE AT LEAST 12" THICK WITH MIN. 12" PROJECTION.
9. MIN. 2 X 4 PRESSURE TREATED SILL PLATE AT EXTERIOR WALLS ANCHORED TO FOUNDATION WITH MIN. 3/4" DIA. ANCHOR BOLTS @ MAX. 6'-0" O.C. AND MAX. 12" FROM CORNERS AND SILL SPLICES. MIN. 7" EMBEDMENT INTO SOLID FILLED MASONRY OR CONCRETE.
10. SLABS ON GRADE SHALL BE MIN. 4" THICK W/ 6 X 6 WWM OR FIBER REINFORCEMENT OVER 6-MIL POLY OVER 4" GRAVEL BASE OVER COMPACTED FILL. REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE SLAB WHEN USED. CONTROL JOINT LOCATIONS PER CONTRACTOR.
11. FOUNDATION WALLS WITH GREATER THAN 4 FEET OF UNBALANCED FILL SHALL HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM PRIOR TO BACKFILLING. LATERAL SUPPORT PROVIDED BY A SLAB ON GRADE SHALL BE DESIGNED BY THE ENGINEER OF RECORD.
12. LOCATE FOUNDATION VENTS WITHIN 3-FT OF EACH CORNER OF THE BUILDING IN VENTED CRAWL SPACES. TOTAL NUMBER OF VENTS REQUIRED PER SECTION R408.1.1 NCRC. DO NOT LOCATE VENTS UNDER POINT LOADS.
13. COVER ALL EXPOSED EARTH IN CRAWL SPACES WITH A MIN. 6-MIL POLYETHYLENE VAPOUR RETARDER OR EQUIVALENT.
14. PROVIDE A MIN. 22" X 30" ACCESS TO CRAWL SPACE, OR LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE LOCATED IN THE CRAWL SPACE. DO NOT LOCATE ACCESS UNDER POINT LOADS.
15. FOUNDATION WALLS SHALL HAVE A SOLID 8" CAP.
16. MASONRY SHALL BE LAID IN RUNNING BOND AND SHALL USE TYPE M OR S MORTAR W/ 3/4" HEAD AND BED JOINTS. BED JOINTS FOR STARTING COURSES PLACED OVER FOUNDATION SHALL BE MIN. 1/4" AND MAX. 1 1/2".
17. WALL HEIGHT, THICKNESS, BACKFILL, AND REINFORCEMENT PER TABLES R404.1.1 (1-4) NCRC.
18. CORBELED MASONRY SHALL MEET THE REQUIREMENTS OF SECTION R606.5.

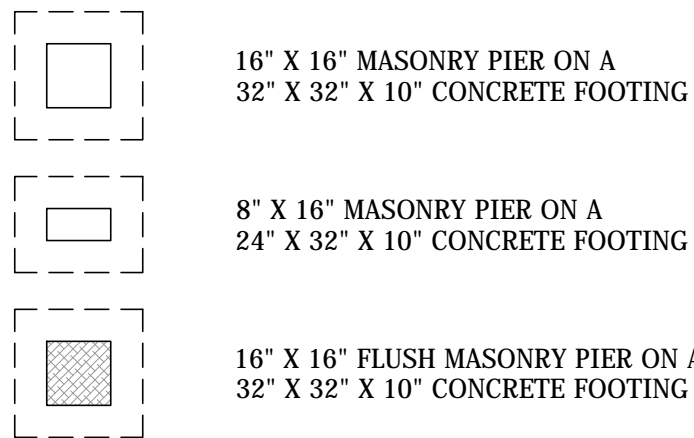
DECK NOTES:

1. WHERE A DECK IS ATTACHED TO A STRUCTURE (EXCEPT WITH BRICK VENEER), THE STRUCTURE SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION-RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING INTO CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE.
2. GIRDER ATTACHMENT SHALL CONFORM TO ONE OF THE FOLLOWING:
 - a. GIRDER TOP-MOUNTED ON POST W/ (2) SIMPSON A23Z (OR EQUIV.) CONNECTING GIRDER & POST. CONNECTORS MAY BE OMITTED AND GIRDER MAY BE ATTACHED W/ (3) 16d TOE NAILS WHERE DECK IS LESS THAN 48" ABOVE GRADE.
 - b. 2-PLY GIRDERS MAY BE SIDE MOUNTED ON ONE OR BOTH SIDES OF POST, OR NOTCHED INTO 6 X 6 OR LARGER POSTS AND ATTACHED WITH (2) 5/8" DIA. HDG BOLTS.
3. DECKING SHALL BE SYP #2 GRADE TREATED OR EQUIVALENT WITH A MINIMUM THICKNESS PER NCR TABLE AM107.1.
4. MAXIMUM HEIGHT OF POSTS IS 8'-0" FOR 4 X 4 POSTS AND 20'-0" FOR 6 X 6 POSTS.
5. LATERAL BRACING IS NOT REQUIRED FOR FREESTANDING DECKS LESS THAN 30" ABOVE GRADE OR FOR ATTACHED DECKS LESS THAN 48" ABOVE GRADE.
6. WHERE LATERAL BRACING IS REQUIRED, BRACING SHALL BE PROVIDED IN TWO DIRECTIONS FOR FREESTANDING DECKS OR ON THE OUTSIDE POSTS PARALLEL TO THE STRUCTURE FOR ATTACHED DECKS USING ONE OF THE FOLLOWING:
 - a. POST EMBEDMENT
 - i. 4 X 4 POSTS: 1'-0" DIA. X 2'-6" DEEP FOOTING (MAX. 4'-0" POST HEIGHT & MAX. 48 SQ. FT. TRIB. AREA).
 - ii. 6 X 6 POSTS: 1'-8" DIA. X 3'-6" DEEP FOOTING (MAX. 6'-0" POST HEIGHT & MAX. 120 SQ. FT. TRIB. AREA).
 - b. KNEE BRACING - MIN. 4 X 4 PT BRACES ATTACHED NOT LESS THAN 1/3 OF THE POST HEIGHT FROM TOP AT AN ANGLE BETWEEN 45 AND 60 DEGREES W/ (1) 5/8" DIA. HDG BOLT EACH END.
 - c. CROSS BRACING - MIN. 2 X 6 PT DIAGONALS ATTACHED EACH END W/ 1/2" DIA. HDG THROUGH BOLT.
7. STAIR STRINGERS SHALL HAVE MINIMUM 3-1/2" DEPTH BETWEEN STEP CUT AND BACK OF STRINGER AND SHALL SPAN A MAXIMUM OF 7'-0" BETWEEN SUPPORTS.
8. GUARDS SHALL BE PROVIDED FOR DECKS EXCEEDING 30" ABOVE GRADE AT ANY POINT WITHIN 36" OF DECK.

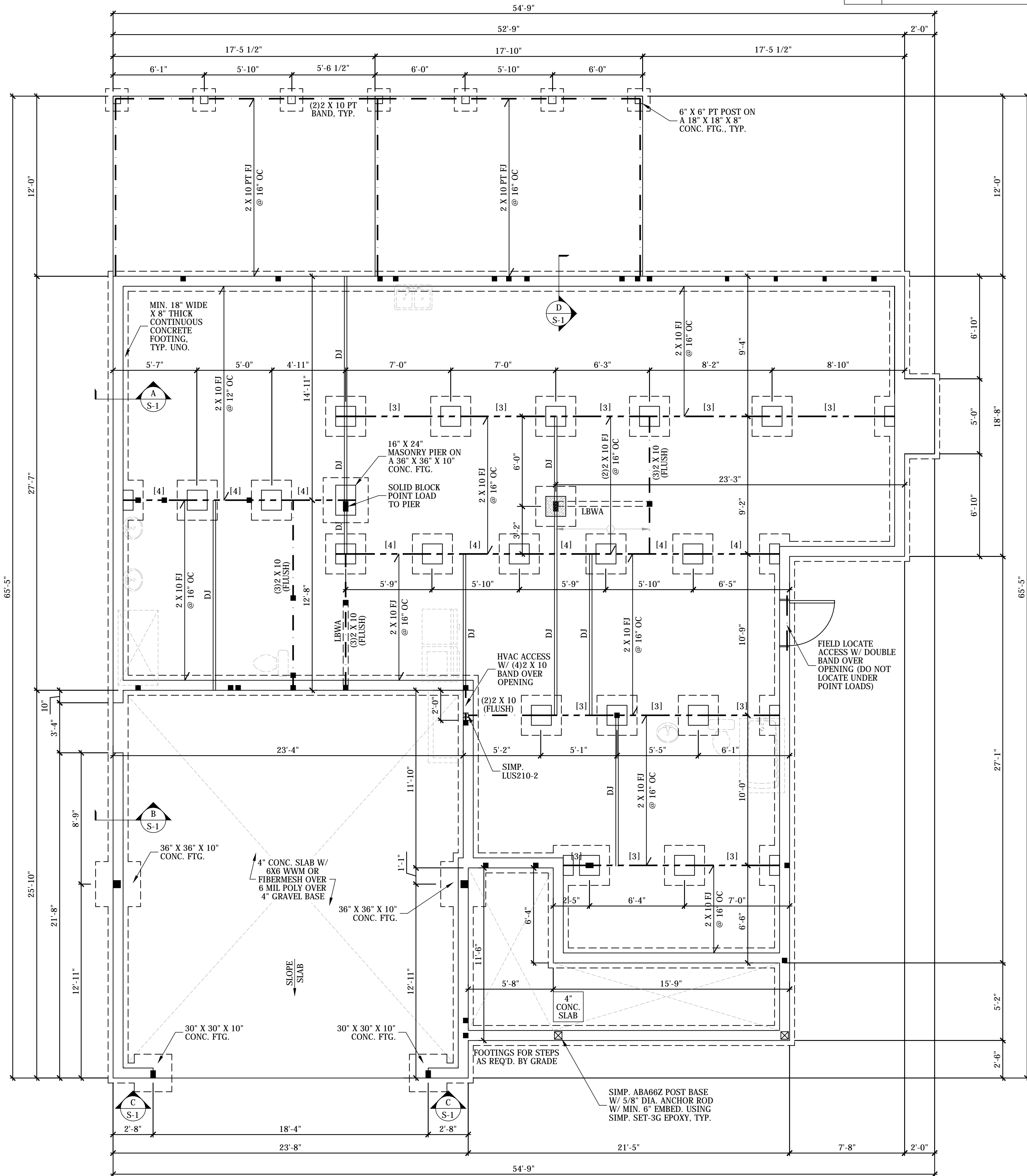
GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO LATEST REQUIREMENTS OF THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE (NCR) AND ANY ADDITIONAL LOCAL REGULATIONS.
2. THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (EOR) FOR THIS PROJECT. THE ENGINEERS SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL COMPONENTS PRIOR TO FRAMING. NO OTHER PARTY SHALL MODIFY OR REUSE THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE EOR.
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4. DO NOT SCALE DRAWINGS OR DETAILS. CONTACT ENGINEER OR DESIGNER FOR ANY DIMENSIONS NOT SHOWN ON PLANS. WRITTEN DIMENSIONS OVERRULE SCALED/PICTURED DIMS.
5. THE ENGINEER ASSUMES NO LIABILITY FOR CONSTRUCTION METHODS OR QUALITY, DEVIATIONS OR OMISSIONS FROM PLANS, OR FAILURE TO MEET THE REQUIREMENTS OF THE NCR OR THE PROVIDED STRUCTURAL PLANS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY STRUCTURAL DISCREPANCIES THAT ARE IDENTIFIED.

PIER KEY



- HOLLOW MASONRY PIERS SHALL HAVE A SOLID MASONRY OR CONCRETE CAP 4" THICK WHEN SUPPORTING ONE STORY AND 8" THICK SUPPORTING MORE THAN ONE STORY.
- MAXIMUM HEIGHT OF HOLLOW MASONRY PIERS SHALL BE FOUR TIMES THE LEAST DIMENSION OF THE PIER. MAXIMUM HEIGHT OF SOLID MASONRY PIERS SHALL BE TEN TIMES THE LEAST DIMENSION OF THE PIER.
- CENTERS OF PIERS SHALL BEAR IN THE MIDDLE THIRD OF THE FOOTINGS. GIRDERS MUST HAVE FULL BEARING ON PIERS. TIE ALL PLASTERERS INTO FOUNDATION WALLS.

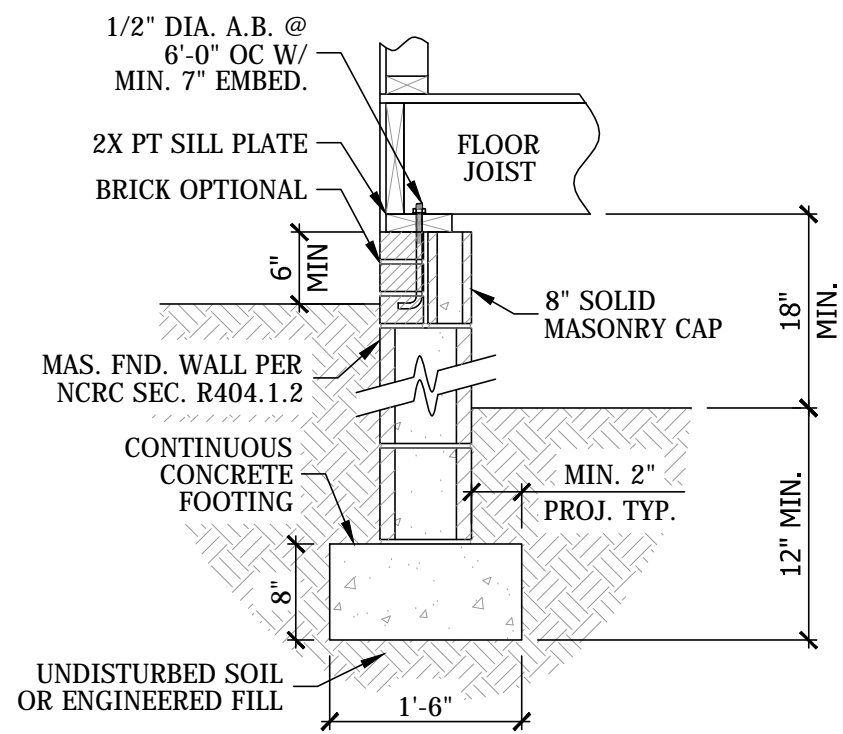
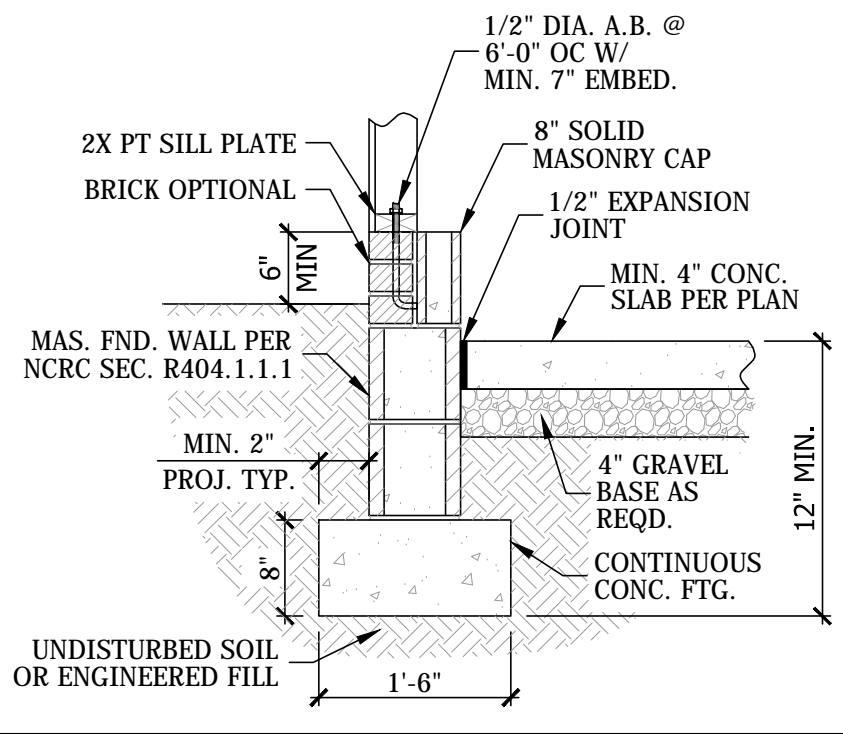


FOUNDATION PLAN

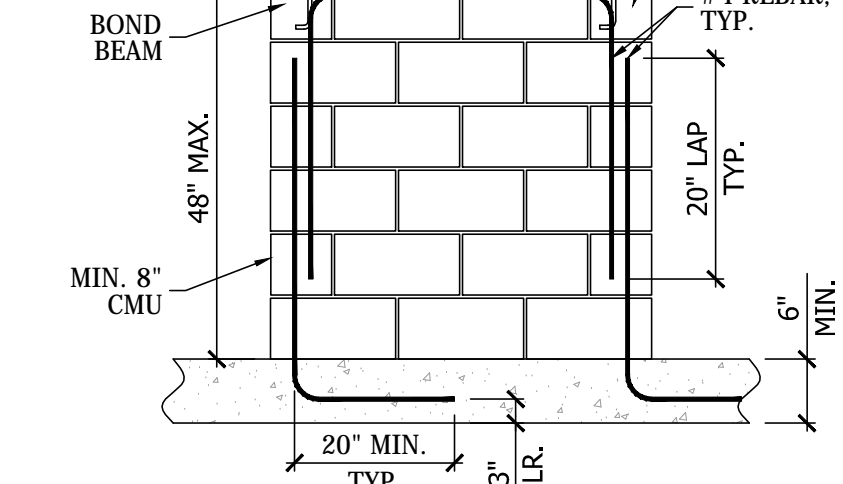
SCALE: 1/4" = 1'-0"

LEGEND

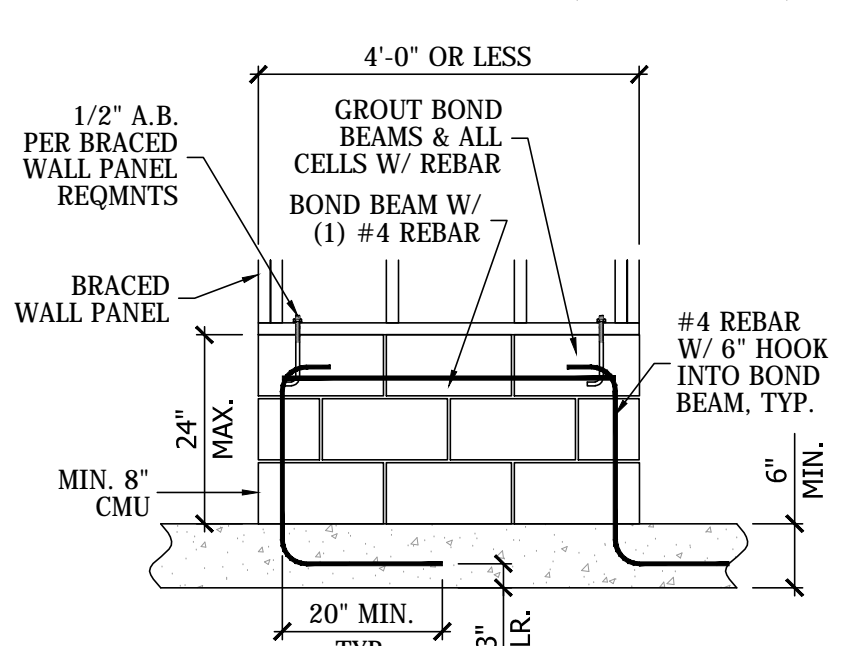
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
[#]	NUMBER OF 2 X 10 GIRDER PLIES (DROPPED)

A TYP. CRAWL FND. SCALE: 3/8" = 1'-0"
CRAWL SPACE W/ MAS. FND. WALL (SIDING)B TYP. GARAGE FND. SCALE: 3/8" = 1'-0"
GARAGE FND. W/ CONC. SLAB AT EXTERIOR WALL

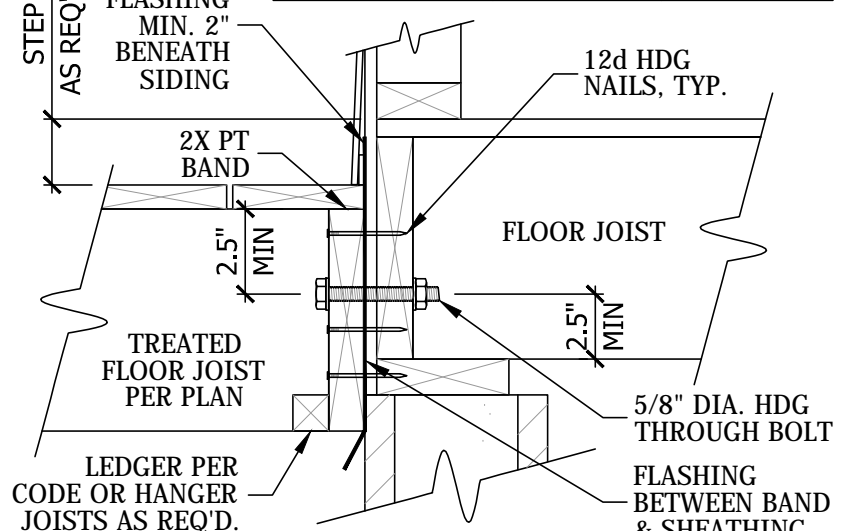
NOTE: 5/8" DIA. THREADED RODS W/ 2" SQ. CUT WASHERS MAY BE SUBSTITUTED FOR ANCHOR BOLTS & REBAR (MIN. 8" TH. FTG.)

C MAS. STEM WALL SCALE: 1/2" = 1'-0"
TALL STEM WALL REINF. FOR BRACED WALL SUPPORT

NOTE: 5/8" DIA. THREADED RODS W/ 2" SQ. CUT WASHERS MAY BE SUBSTITUTED FOR ANCHOR BOLTS & REBAR (MIN. 8" TH. FTG.)

C MAS. STEM WALL SCALE: 1/2" = 1'-0"
SHORT STEM WALL REINF. FOR BRACED WALL SUPPORT

FASTENERS	DECK JOIST SPAN	
	8'-0" MAX.	16'-0" MAX.
5/8" DIA. HDG THROUGH BOLT	42" OC	20" OC
12d HDG NAILS	(2) @ 8" OC	(3) @ 6" OC

D DECK ATTACHMENT SCALE: 1 1/2" = 1'-0"
BAND ATTACHMENT TO STRUCTURE

SEAL DATE: 10/30/2025

REVISIONS	
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DEZIEL RESIDENCE
SOUTH RIVER RD.
LILLINGTON, NC 27546

ARCHITECT/DESIGNER:
TRIANGLE RES. DESIGNS
PLAN NAME:
DEZIEL RESIDENCE
BUILDER:
MAVEN HOME SOLUTIONS

JOB #: 25114
DATE: 10/30/2025
DRAWN BY: PSE

FOUNDATION PLAN
FIRST FLOOR FRAMING

SHEET:
S-1
1 OF: 5

FRAMING NOTES:

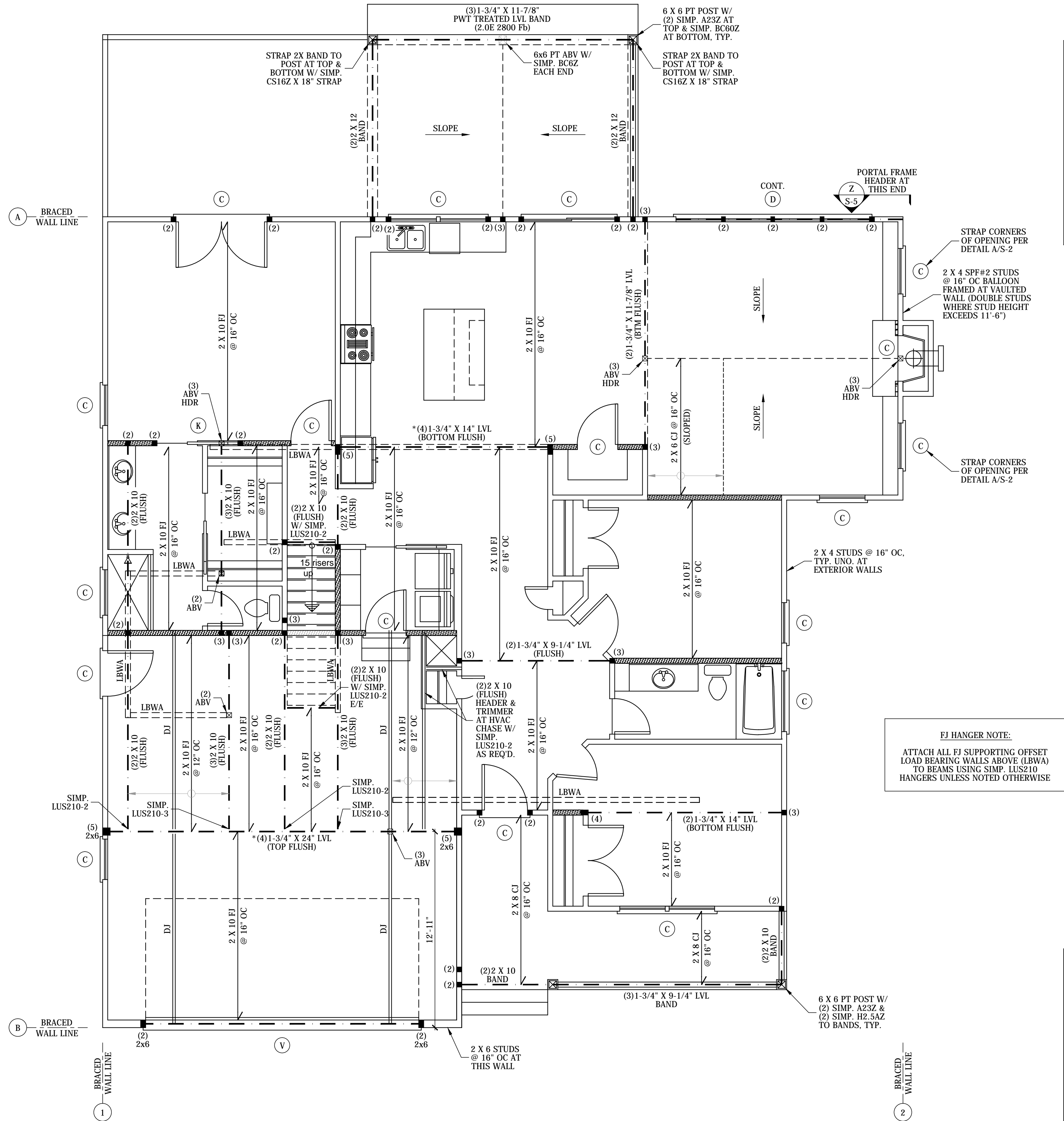
- ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI, Fv = 135 PSI, E = 1,400,000 PSI), EXCEPT THAT NON-LOAD BEARING STUDS MAY BE STUD GRADE.
- TREATED LUMBER SHALL BE SYP #2 (MIN. Fb = 750 PSI, Fv = 175 PSI, E = 1,400,000 PSI).
- TREATED LUMBER SHALL BE USED IN ALL AREAS SUBJECT TO WEATHER EXPOSURE. MOISTURE CONTENT EXCEEDING 19%, OR DECAY AS DEFINED BY SECTION R317.1 NCR. LUMBER IN CONTACT WITH GROUND OR EMBEDDED IN CONCRETE SHALL BE RATED FOR GROUND CONTACT USE WITH AN APPROPRIATE USE CATEGORY DESIGNATION FOR THE ANTICIPATED END USE AND SERVICE CONDITIONS.
- FASTENERS FOR TREATED LUMBER SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- LAMINATED VENEER LUMBER (LVL) SHALL MEET THE MINIMUM SPECIFICATIONS: Fb = 2,600 PSI, Fv = 285 PSI, E = 2,000,000 PSI. MULTIPLE LVL PLIES SHALL BE CONNECTED TOGETHER PER MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.
- FASTEN STRUCTURAL MEMBERS PER TABLE 602.3(1) NCR.
- JOISTS AND RAFTERS SHALL HAVE A MINIMUM BEARING LENGTH OF 1½" ON WOOD AND 3" ON CONCRETE OR MASONRY. BEAMS AND GIRDERS SHALL HAVE FULL BEARING FOR THE FULL WIDTH OF THE SUPPORT U.N.O. ALL MEMBER SPLICES SHALL OCCUR OVER A SUPPORT.
- STRUCTURAL MEMBER CUT, BORE, & NOTCH LIMITATIONS:
 - JOISTS: SECTION R502.8 NCR
 - STUDS & TOP PLATES: SECTION R602.6 NCR
 - BEAMS: CONTACT STRUCTURAL E.O.R. FOR APPROVAL
- DOUBLE JOISTS UNDER PARALLEL WALLS.
- PROVIDE LATERAL SUPPORT AT ENDS OF FLOOR JOISTS AND BEAMS BY FULL DEPTH SOLID 2X BLOCKING OR ATTACHMENT TO A HEADER, BAND, OR ADJOINING STUD.
- LAP JOISTS OVER SUPPORTS MIN. 3" & ATTACH W/ (3) 10d NAILS. LAPPED JOISTS PROVIDING RAFTER THRUST RESISTANCE SHALL BE NAILED PER TABLE R802.5.1(9) NCR.
- SHEATHING SHALL BE WOOD STRUCTURAL PANEL MEETING THE FOLLOWING REQUIREMENTS:
 - ROOF & SUBFLOOR: TABLE R503.2.1.1(1) NCR
 - EXTERIOR WALLS: TABLE R602.3(3) NCR
- GYPSUM SHALL MEET THE REQUIREMENTS OF TABLE R702.3.5 NCR.
- ALL STUD WALLS SHALL BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. U.N.O. BEARING FULLY ON 2X BOTTOM PLATE & CAPPED WITH DOUBLE 2X TOP PLATE. END JOINTS SHALL BE OFFSET AT LEAST 24" & NEED NOT OCCUR OVER STUD U.N.O.
- ATTACH DECK BANDS TO THE STRUCTURE PER SEC. AM104 NCR WHEN DECK IS SUPPORTED AT THE STRUCTURE. PROVIDE BRACING PER SEC. AM109 NCR. MAXIMUM POST HEIGHT SHALL NOT EXCEED LIMITS OF SEC. AM108 NCR.
- PROVIDE DRAFTSTOPPING PER SECTION R302.12 AND FIREBLOCKING PER SECTION R302.11 NCR.
- PROVIDE TERMITE PROTECTION PER SEC. R318.1 NCR.

WALL BRACING NOTES:

- EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH MINIMUM 7/16" TH WOOD STRUCTURAL PANEL. SHEATHING ATTACHED TO FRAMING WITH 8d NAILS @ 6" OC EDGES & 12" OC FIELD WITH ALL SHEATHING EDGES SOLID BLOCKED UNLESS NOTED OTHERWISE.
- WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS1, DOC PS2, OR ANSI/APA PRP 210.
- INTERIOR SIDE OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED CONTINUOUSLY WITH MIN. 1/2" TH GYPSUM WALL BOARD FASTENED PER NCR TABLE R702.3.5.
- WALL CORNERS SHALL BE FRAMED PER NCR FIGURE R602.10.3(5).
- A MIN. 24" LONG SHEATHING RETURN PANEL SHALL BE PROVIDED ON THE INTERSECTING WALL AT ENDS OF BRACED WALL LINES. WHERE THIS RETURN IS NOT PROVIDED, THE BRACED WALL LINE SHALL HAVE A MIN. 48" LONG PANEL AT THE CORNER, OR A HOLD-DOWN DEVICE RATED FOR MIN. 800 LB. SHALL ATTACH THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER TO THE FOUNDATION OR FLOOR FRAMING BELOW.
- BRACED WALL PANELS SHALL BE CONNECTED TO FLOOR AND CEILING FRAMING PER NCR FIGURES R602.10.4.4(1) & (2).
- BRACED WALL PANELS SHALL BE CONNECTED TO ROOF FRAMING PER NCR SECTION R602.10.4.5.

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FIRST FLOOR PLAN

CEILING HEIGHT: 9'-0" UNO

SCALE: ¼" = 1'-0"

LEGEND

■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 4 UNO)
=====	LOAD BEARING WALL
*	ATTACH PLIES OF LVL WITH (2) SIMP. SDS25600 SCREWS @ 24" OC EACH SIDE OF BEAM (STAGGER SCREWS FROM EACH SIDE)

HEADER SCHEDULE

TAG	HEADER	TAG	HEADER
A	(2)2 X 6	K	(2)1.75 X 9.25 LVL
B	(2)2 X 8	L	(2)1.75 X 11.875 LVL
C	(2)2 X 10	M	(2)1.75 X 14 LVL
D	(2)2 X 12	N	(2)1.75 X 16 LVL
E	(3)2 X 4	P	(2)1.75 X 18 LVL
F	(3)2 X 6	R	(2)1.75 X 9.25 LVL & 2 X 10
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H	(3)2 X 10	T	(3)1.75 X 11.875 LVL
J	(3)2 X 12	V	(3)1.75 X 14 LVL

- HEADERS SHALL BE SUPPORTED ON SINGLE JACK STUDS UNLESS NOTED OTHERWISE.
- PROVIDE REQUIRED NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADER PER NCR TABLE R602.7.5

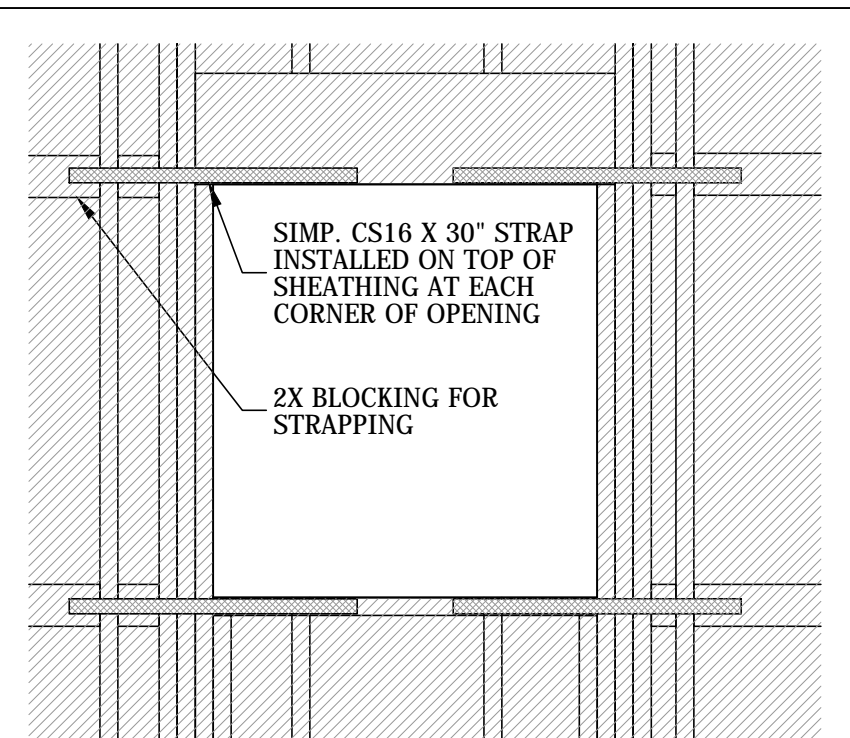
WALL BRACING

BWL	REQ'D.	PROV'D.	METHOD
A	9.1'	22.7'	CS-WSP / PORTAL FRAME
B	9.1'	14.8'	CS-WSP
1	9.0'	39.8'	CS-WSP
2	9.0'	26.2'	CS-WSP

HOUSE: 1-STORY (6:12 PITCH)
14'-0" EAVE TO RIDGE

FJ HANGER NOTE:

ATTACH ALL FJ SUPPORTING OFFSET LOAD BEARING WALLS ABOVE (LBWA) TO BEAMS USING SIMP. LUS210 HANGERS UNLESS NOTED OTHERWISE



A WALL STRAPPING
TYPICAL STRAPPING AROUND OPENINGS IN SHEAR WALL

SCALE: ¾" = 1'-0"

SEAL DATE: 10/30/2025

REVISIONS

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LILLINGTON, NC 27546

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TRIANGLE RES. DESIGNS
PLAN NAME:
DEZIEL RESIDENCE
BUILDER:
MAVEN HOME SOLUTIONS

JOB #:
DATE:
DRAWN BY:

FIRST FLOOR WALLS

2ND FLOOR FRAMING

SHEET:

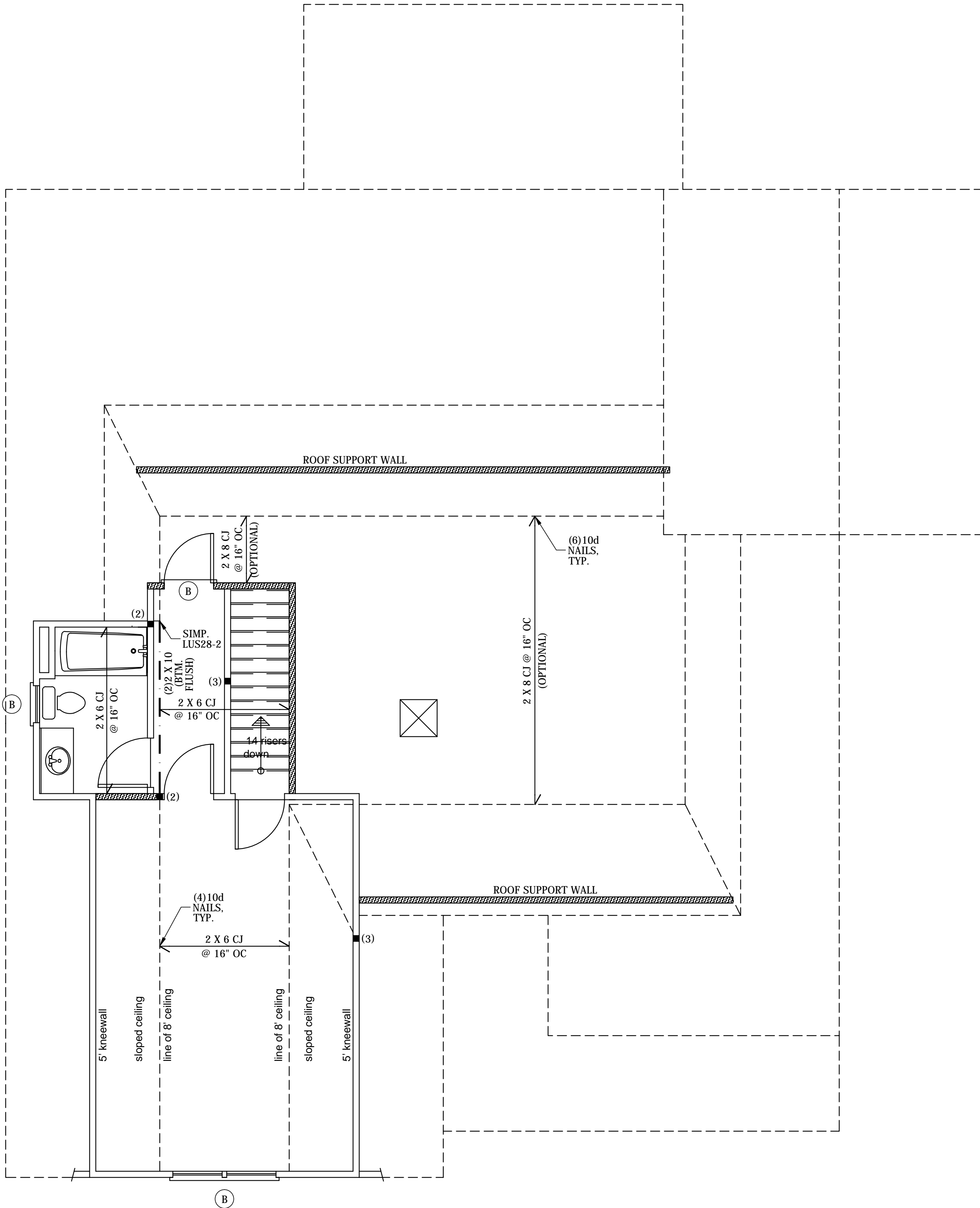
S-2

2 OF: 5

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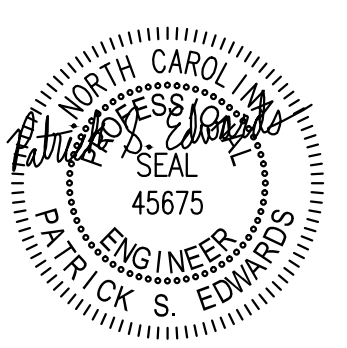
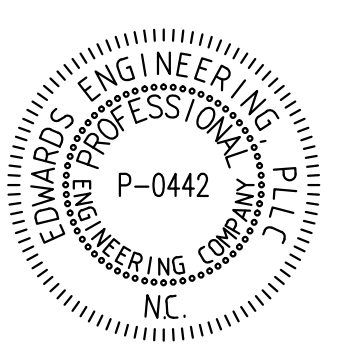
SECOND FLOOR PLAN

CEILING HEIGHT: 8'-0" UNO

SCALE: ¼" = 1'-0"

LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 4 UNO)
	LOAD BEARING WALL

HEADER SCHEDULE			
TAG	HEADER	TAG	HEADER
A	(2)2 X 6	K	(2)1.75 X 9.25 LVL
B	(2)2 X 8	L	(2)1.75 X 11.875 LVL
C	(2)2 X 10	M	(2)1.75 X 14 LVL
D	(2)2 X 12	N	(2)1.75 X 16 LVL
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SEAL DATE: 10/30/2025

REVISIONS	
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SOUTH RIVER RD.
LILLINGTON, NC 27546

ARCHITECT/DESIGNER:
TRIANGLE RES. DESIGNS
PLAN NAME:
DEZIEL RESIDENCE
BUILDER:
MAVEN HOME SOLUTIONS

JOB #:	25114
DATE:	10/30/2025
DRAWN BY:	PSE

2ND FLOOR WALLS

2ND FLOOR CEILING

SHEET:

S-3

3 OF 5

ABBREVIATIONS

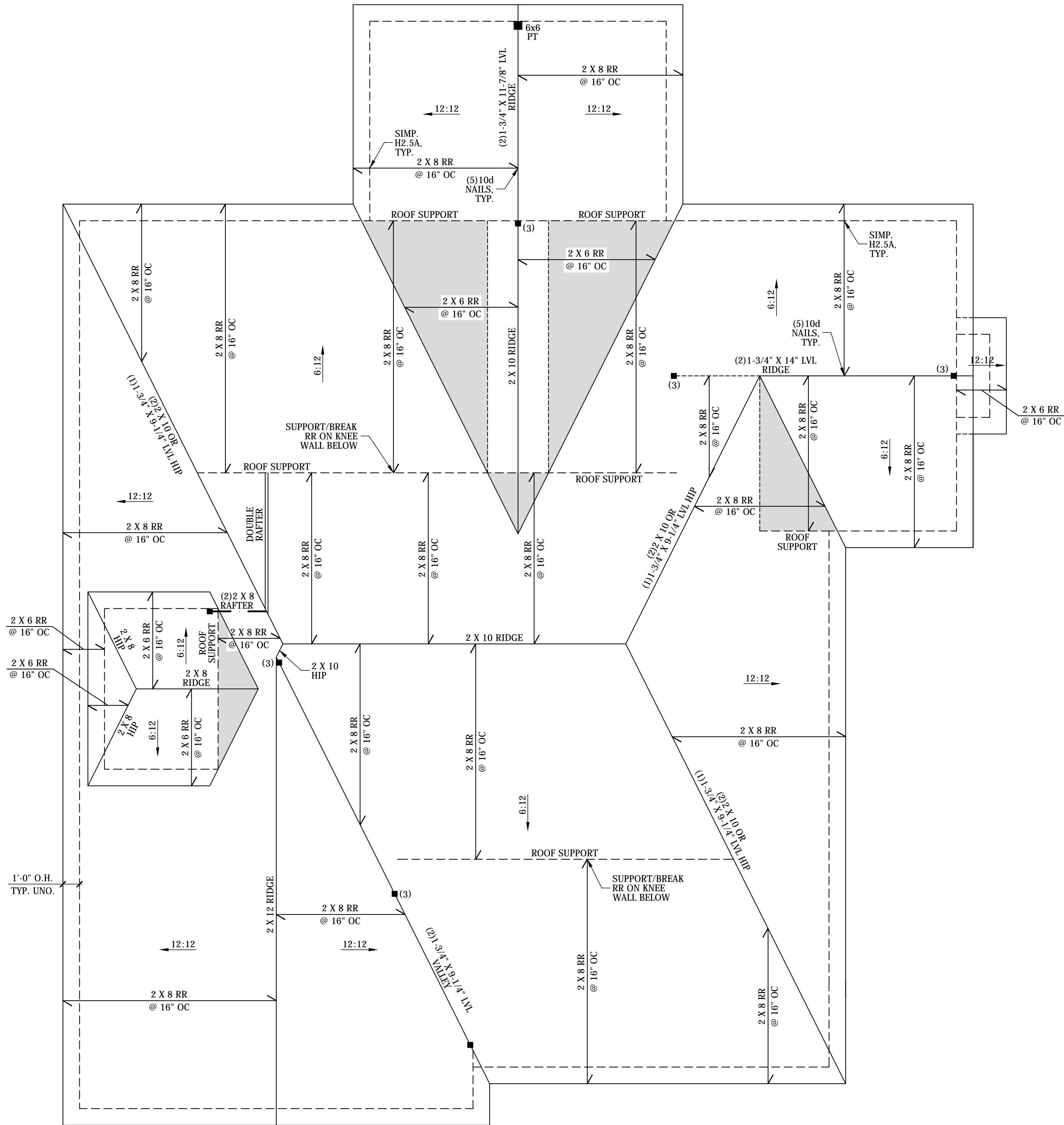
A.B.	ANCHOR BOLT	MATL.	MATERIAL
ABV.	ABOVE	MAX.	MAXIMUM
ADDL.	ADDITIONAL	MIN.	MINIMUM
BLDR.	BUILDER	MISC.	MISCELLANEOUS
B/T	BETWEEN	M.O.	MASONRY OPENING
BTM.	BOTTOM	MONO.	MONOLITHIC
CANT.	CANTILEVER	NO.	NUMBER
CJ	CEILING JOIST	N.T.S.	NOT TO SCALE
CLG.	CEILING	OC	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	O.H.	OVERHANG
COL.	COLUMN	OPP.	OPPOSING
CONC.	CONCRETE	OPT.	OPTION(AL)
CONT.	CONTINUOUS	OSB	ORIENTED STRAND BOARD
DIA.	DIAMETER	PDS	PULL DOWN STAIRS
DIM.	DIMENSION	PL.	PLATE
DIST.	DISTANCE	PRELIM.	PRELIMINARY
DJ	DOUBLE JOIST	PROJ.	PROJECTION
DN.	DOWN	PSI	POUNDS PER SQUARE INCH
DR	DOUBLE RAFTER	PSF	POUNDS PER SQUARE FOOT
DTL.	DETAIL	PT	PRESSURE TREATED
EA.	EACH	QTY.	QUANTITY
E/E	EACH END	RAD.	RADIUS
EQ.	EQUAL	REIN.	REINFORCE(-ING)
EXST.	EXISTING	REQD.	REQUIRED
FJ	FLOOR JOIST	RET.	RETAINING
FND.	FOUNDATION	REV.	REVISION OR REVERSE
FLR.	FLOOR	R.O.	ROUGH OPENING
FRMG.	FRAMING	RR	ROOF RAFTER
FT.	FEET/FOOT	RS	ROOF SUPPORT
FTG.	FOOTING	SCHED.	SCHEDULE
F.V.	FIELD VERIFY	SEC.	SECTION
GA.	GAUGE	SIM.	SIMILAR
GALV.	GALVANIZED	SLBB	SHORT LEG BACK
GYP.	GYPSTUM	SLBB	TO BACK
HDG.	HOT DIPPED GALVANIZED	SPEC.	SPECIFICATION(S)
HDR.	HEADER	SPF	SPRUCE PINE FIR
HORIZ.	HORIZONTAL	SQ.	SQUARE
HT.	HEIGHT	STD.	STANDARD
I.D.	INSIDE DIAMETER	STL.	STEEL
IN.	INCH	STRUCT.	STRUCTURAL
INT.	INTERIOR	SYP	SOUTHERN YELLOW PINE
JST.	JOIST	TH.	THICK(NESS)
LB.	POUND	TR	TRIPLE RAFTER
LBWA	LOAD BEARING WALL ABOVE	TYP.	TYPICAL
LLBB	LONG LEG BACK TO BACK	UNO.	UNLESS NOTED OTHERWISE
LLH	LONG LEG HORIZONTAL	VERT.	VERTICAL
LLV	LONG LEG VERTICAL	W/	WITH
LVL	LAMINATED VENEER LUMBER	W/O	WITHOUT
MFR.	MANUFACTURER	WT.	WEIGHT
MAS.	MASONRY	WWF	WELDED WIRE FABRIC

ROOF NOTES:

- RAFTERS SHALL BE FRAMED TO A RIDGE BOARD MIN. 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. OPPOSING RAFTERS AT THE RIDGE MUST ALIGN WITHIN THE RIDGE MEMBER THICKNESS.
- HIP RAFTERS SHALL BE MIN. 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. REGULARLY SPACED HIP AND VALLEY RAFTERS NEED NOT ALIGN. DO NOT SPLICE VALLEY BEAMS.
- ROOF SPECS APPLY TO ROOFS WITH MIN. 3:12 PITCH.
- COLLAR TIES SHALL BE MIN. 1" X 4" (NOMINAL), SPACED MAX. 4-FT O.C., LOCATED IN THE UPPER 1/2 OF ATTIC SPACE.
- STRUCTURAL ROOF MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R802.7 NCRC.
- PROVIDE VENTILATION FOR ENCLOSED ATTICS/ RAFTER SPACES FOR EACH ENCLOSED SPACE. MIN. REQUIRED VENTILATION AREA SHALL BE DETERMINED PER SEC. R806.2 NCRC. PROVIDE MIN. 1" AIR SPACE BETWEEN INSULATION & ROOF SHEATHING AT ROOF VENT LOCATIONS.
- ATTICS EXCEEDING 400 SQ. FT. SHALL HAVE A MIN. 20" X 30" ACCESS OR LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE LOCATED IN THE ATTIC.
- A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY PENETRATION MORE THAN 30" WIDE AS MEASURED PERPENDICULAR TO THE SLOPE. CRICKETS SHALL BE CONSTRUCTED IN COMPLIANCE WITH FIGURE R1003.20 AND TABLE R1003.20 NCRC.
- PROVIDE RAFTER TIES PER SEC. R802.3.1 WHERE CEILING JOISTS ARE NOT CONNECTED TO RAFTERS AT TOP PLATE.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO LATEST REQUIREMENTS OF THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE (NCRC) AND ANY ADDITIONAL LOCAL REGULATIONS.
- THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (EOR) FOR THIS PROJECT. THE ENGINEERS SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL COMPONENTS PRIOR TO FRAMING. NO OTHER PARTY SHALL MODIFY OR REUSE THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE EOR.
- ONLY SEALED DRAWINGS WITH THE LATEST REVISION DATE ARE APPLICABLE FOR CONSTRUCTION.
- DO NOT SCALE DRAWINGS OR DETAILS. CONTACT ENGINEER OR DESIGNER FOR ANY DIMENSIONS NOT SHOWN ON PLANS. WRITTEN DIMENSIONS OVERRULE SCALED/DEPICTED DIMS.
- THE ENGINEER ASSUMES NO LIABILITY FOR CONSTRUCTION METHODS OR QUALITY, DEVIATIONS OR OMISSIONS FROM PLANS, OR FAILURE TO MEET THE REQUIREMENTS OF THE NCRC OR THE PROVIDED STRUCTURAL PLANS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY STRUCTURAL DISCREPANCIES THAT ARE IDENTIFIED.



RAFTER TIES

RAFTER FRAMING WITH KNEE WALL

SCALE: 1" = 1'-0"

NOTE: RAFTER TIES MAY BE SPACED 48" OC WHERE KNEEWALL IS NOT INSTALLED

2 X 4 RAFTER TIES @ 16" OC W/ (4) 10d NAILS E/E

RAFTER PER PLAN

KNEEWALL AS REQ'D.

CEILING/FLOOR JOIST PER PLAN

RAFTER TIES

RAFTER FRAMING WITH KNEE WALL

SCALE: 1" = 1'-0"

NOTE: RAFTER TIES MAY BE SPACED 48" OC WHERE KNEEWALL IS NOT INSTALLED

2 X 4 RAFTER TIES @ 16" OC W/ (4) 10d NAILS E/E

RAFTER PER PLAN

KNEEWALL AS REQ'D.

CEILING/FLOOR JOIST PER PLAN, TYP.

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SEAL DATE: 10/30/2025

REVISIONS

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DEZIEL RESIDENCE

SOUTH RIVER RD.

LILLINGTON, NC 27546

ARCHITECT/DESIGNER: TRIANGLE RES. DESIGNS

PLAN NAME: DEZIEL RESIDENCE

BUILDER: MAVEN HOME SOLUTIONS

JOB #: 25114

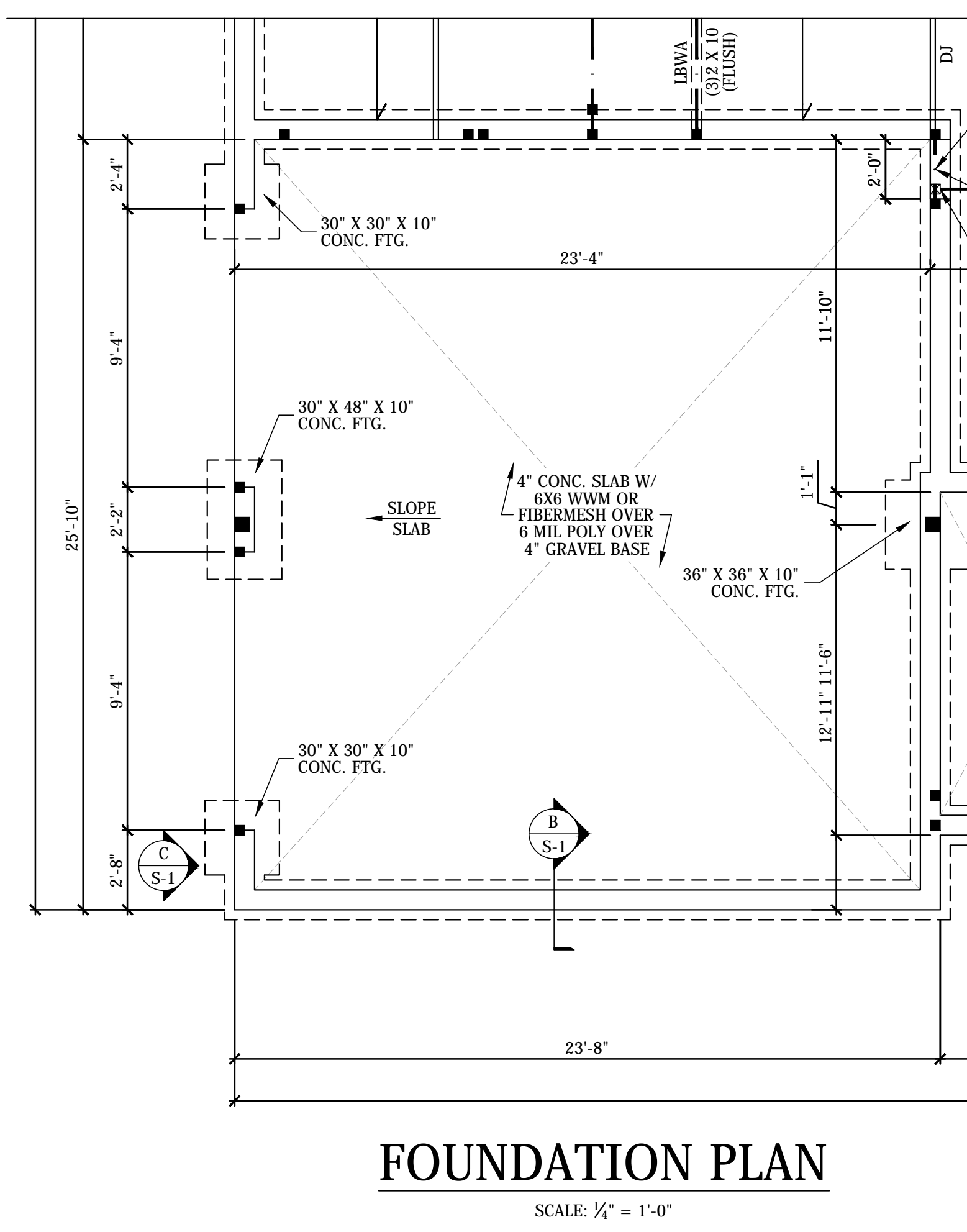
DATE: 10/30/2025

DRAWN BY: PSE

ROOF FRAMING PLAN

SHEET: S-4

4 OF: 5



WALL BRACING			
BWL	REQ'D.	PROV'D.	METHOD
A	9.1'	22.7'	CS-WSP / PORTAL FRAME
B	9.1'	27.8'	CS-WSP
1	9.0'	27.4'	CS-WSP
2	9.0'	26.2'	CS-WSP
HOUSE: 1-STORY (6:12 PITCH) 14'-0" EAVE TO RIDGE			

- WALL BRACING NOTES:**
1. EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH MINIMUM 7/16" TH WOOD STRUCTURAL PANEL BRACING ATTACHED TO FRAMING WITH #8 NAILS @ 6" O/C SHEATH @ 12" O/C. MEET ALL SHEATHING EDGES SOLD BLOCKED UNLESS NOTED OTHERWISE.
 2. WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC P51, DOC P52, OR ANSI/APA PRP 210.
 3. INTERIOR SIDE OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED CONTINUOUSLY WITH MIN. 1/2" TH TYPSPUM WALL BOARD FASTENED PER NCRF T202.3.5.
 4. WALL CORNERS SHALL BE FRAMED PER NCRF FIGURE R602.10.3(5).
 5. A MIN. 24" LONG SHEATHING RETURN PANEL SHALL BE PROVIDED ON THE INTERSECTING WALL AT ENDS OF BRACED WALL LINES. WHERE THIS RETURN IS NOT PROVIDED, THE BRACED WALL LINE SHALL HAVE A MIN. 48" LONG PANEL AT CORNER. THE SHEATHING PANEL SHALL BE RATED FOR MIN. 80 LB. SHALL ATTACH THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER TO THE FOUNDATION OR FLOOR FRAMING BELOW.
 6. BRACED WALL PANELS SHALL BE CONNECTED TO FLOOR AND CEILING FRAMING PER NCRF FIGURES R602.10.4.1(1) & (2).
 7. BRACED WALL PANELS SHALL BE CONNECTED TO ROOF FRAMING PER NCRF SECTION R602.10.4.5.
- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO LATEST REQUIREMENTS OF THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE (NCRC) AND ANY ADDITIONAL LOCAL REGULATIONS.
 2. THE ENGINEER WHOSE SEAL APPLIES ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (EOR) FOR THIS PROJECT. THE ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL COMPONENTS PRIOR TO FRAMING. NO OTHER PARTY SHALL MODIFY OR REUSE THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE EOR.
 3. UNLESS OTHERWISE DRAWN WITH THE LATEST REVISION DATE, THEY ARE APPLICABLE FOR CONSTRUCTION.
 4. DO NOT SCALE DRAWINGS OR DETAILS. CONTACT ENGINEER OR DESIGNER FOR ANY DIMENSIONS NOT SHOWN ON PANS. WRITTEN DIMENSIONS OVERRULE SCALED/DEPICTED DIMS.
 5. THE ENGINEER ASSUMES NO LIABILITY FOR CONSTRUCTION METHOD OR QUALITY. DEVIATIONS OR OMISSIONS FROM PERMITS OR OR FAILURE TO MEET THE REQUIREMENTS OF THE NCRC OR THE PROVIDED STRUCTURAL PLANS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY STRUCTURAL DISCREPANCIES THAT ARE IDENTIFIED.

LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 4 UNO)
<u>WALL</u>	LOAD BEARING WALL
*	ATTACH PLIES OF LVL WITH (2) SIMP. SDS25600 SCREWS @ 24" OC EACH SIDE OF BEAM (STAGGER SCREWS FROM EACH SIDE)

FRAMING NOTES:

1. ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI, Fv = 135 PSI, E = 1,400,000 PSI), EXCEPT THAT NON-LOAD BEARING STUDS MAY BE STUD GRADE.
2. TREATED LUMBER SHALL BE SPF #2 (MIN. Fb = 750 PSI, Fv = 175 PSI, E = 1,400,000 PSI).
3. TREATED LUMBER SHALL BE USED IN ALL AREAS SUBJECT TO WEATHER EXPOSURE, MOISTURE CONTENT EXCEEDING 19%, OR DECAY AS DEFINED BY SECTION R317.1 NCCRC. LUMBER IN CONTACT WITH GROUND OR CONCRETE SHALL BE TREATED FOR GROUND CONTACT USE WITH AN APPROPRIATE USE CATEGORY DESIGNATION FOR THE ANTICIPATED END USE AND SERVICE CONDITIONS.
4. FASTENERS FOR TREATED LUMBER SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
5. LAMINATED MEMBER (LVL) SHALL MEET THE MINIMUM SPECIFICATIONS: Fb = 2,800 PSI, Fv = 285 PSI, E = 2,000,000 PSI. MULTIPLE LVL PLIES SHALL BE CONNECTED TOGETHER PER MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.
6. FASTEN STRUCTURAL MEMBERS PER TABLE 602.3(1) NCCRC.
7. JOISTS AND RAFTERS SHALL HAVE A MINIMUM BEARING LENGTH OF 1½" ON WOOD AND 3" ON CONCRETE OR MASONRY. BEAMS SHALL HAVE A MINIMUM BEARING FOR THE FULL WIDTH OF THE SUPPORT U.O. ALL MEMBER SPLICES SHALL OCCUR OVER A SUPPORT.
8. STRUCTURAL MEMBER CUT, BORE, & NOTCH LIMITATIONS:
 - JOISTS: SECTION R502.8 NCCRC
 - STUDS & TOP PLATES: SECTION R602.8 NCCRC
 - BEAMS: CONTACT STRUCTURAL E.O. FOR APPROVAL
9. DOUBLE JOISTS: DOUBLE NAILS TO STUDS
10. PROVIDE LATERAL SUPPORT AT ENDS OF FLOOR JOISTS AND BEAMS BY FULL DEPTH SOLID 2X BLOCKING OR ATTACHMENT TO A HEADER, BAND, OR ADJOINING STUD.
11. LAP JOISTS OVER SUPPORTS MIN. 3" & ATTACH W/ (3) 10d NAILS. LAPPED JOISTS PROVIDING RAFTER TRUSS RESISTANCE SHALL BE NAILED PER TABLE R802.5.1(9) NCCRC.
12. STUDS SHALL MEET THE STRUCTURAL PANEL MEETING THE FOLLOWING REQUIREMENTS:
 - ROOF & SUBFLOOR: TABLE R503.2.1.1(1) NCCRC
 - EXTERIOR WALLS: TABLE R602.3(3) NCCRC
13. GYPSUM SHALL MEET THE REQUIREMENTS OF TABLE R702.3 NCCRC.
14. ALL STUD WALLS SHALL BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. WITH BEARING FULLY ON 2X BOTTOM PLATE, AND CAPPED WITH DOUBLE 2X TOP PLATE. END JOINTS SHALL BE OFFSET AT LEAST 24" & NEED NOT OCCUR OVER STUD UNO.
15. ATTACH DECK BANDS TO THE STRUCTURE PER SEC. AM104 NCCRC WHEN DECK IS SUPPORTED AT THE STRUCTURE.
16. PROVIDE BRACING PER SEC. AM109 NCCRC. MAXIMUM POST HEIGHT SHALL NOT EXCEED LIMITS OF SEC. AM108 NCCRC.
17. PROVIDE BRACING PER SECTION R302.11 NCCRC.
18. PROVIDE FIRESTOPPING PER SECTION R302.11 NCCRC.
19. PROVIDE TERMITE PROTECTION PER SEC. R318.1 NCCRC.

1. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION WALLS. ROOF DRAINAGE SHALL DISCHARGE AT LEAST 5 FEET AWAY FROM FOUNDATION WALLS.
2. ASSUMED SOIL BEARING CAPACITY IS 2000 PSF. CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL PROPERTIES.
3. CONCRETE MIN. 28-DAY COMPRESSIVE STRENGTH: 3000 PSI
4. STEEL REINFORCEMENT SHALL BE DEFORMED REINFORCEMENT COMING WITH THE REQUIREMENTS OF ASTM A615. MIN. YIELD STRENGTH: 40 KSI (GRADE 40) IN FOOTINGS & 60 KSI (GRADE 60) IN WALLS.
5. MIN. CONCRETE COVER FOR STEEL REINFORCEMENT: 3" WHEN CAST AGAINST EARTH: 1½" (NO. 5 BARS OR SMALLER) OR 2" (NO. 6 BARS OR LARGER) WHEN CAST IN REMOVABLE FORMS THAT WILL BE EXPOSED TO EARTH OR WEATHER: ¾" WHEN THE REINFORCING FORMS THAT WILL NOT BE EXPOSED TO EARTH OR WEATHER.
6. FOOTINGS SHALL BEAR A MINIMUM OF 12" BELOW GRADE. SHALL EXTEND BELOW THE FROST LINE AND SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL.
7. MIN. FOOTING THICKNESS: 6" FOR 1-STORY, 8" FOR 1½ - 2½ STORY, 10" FOR 3-STORY MIN. FOOTING PROJECTION IS 2" AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING IN PLAIN CONCRETE FOOTINGS.
8. FOOTINGS FOR MASONRY FIREPLACES/CHIMNEYS SHALL BE AT LEAST 12" THICK WITH MIN. 12" PROJECTION.
9. REINFORCEMENT SHALL BE PLACED PRIOR TO BACKFILLING WALLS ANCHORED TO FOUNDATION WITH MIN. ¾" DIA. ANCHOR BOLTS @ MAX. 6'-0" O.C. AND MAX. 12" FROM CORNERS AND SILL SPLICES. MIN. 7" EMBEDMENT INTO FULL FILLED MASONRY OR CONCRETE.
10. SLABS ON GRADE SHALL BE MIN. 4" THICK W/ 6 X 6 WWM OR FIBER REINFORCED POLYMER CONCRETE MIN. POLY OVER 4" GRAVEL BASE OVER COMPACTED FILL. REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE SLAB WHEN USED. CONTROL JOINT LOCATIONS PER CONTRACTOR.
11. FOUNDATION WALLS WITH GREATER THAN 4 FEET OF UNBALANCED FILL SHALL HAVE PERMANENT LATERAL SUPPORT. THE WALLS WITHIN POINT LOADS, TO BACKFILLING. LATERAL SUPPORT PROVIDED BY A SLAB ON GRADE SHALL BE DESIGNED BY THE ENGINEER OF RECORD.
12. LOCATE FOUNDATION WALLS WITHIN 3-FT OF EACH CORNER OF THE BUILDING IN VENTED CRAWL SPACES. TOTAL NUMBER OF VENTS REQUIRED PER SECTION R408.1.1 NRC.
13. NO 2" OR SMALLER VENTS IN POINT LOADS.
13. COVER ALL EXPOSED EARTH IN CRAWL SPACES WITH A MIN. 6-MIL POLYETHYLENE VAPOR RETARDER OR EQUIVALENT.
14. PROVIDE A MIN. 22" X 30" ACCESS TO CRAWL SPACE, OR LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE LOCATED IN THE CRAWL SPACE. DO NOT LOCATE ACCESS AT CORNER POINT.
15. FOUNDATION WALLS SHALL HAVE A SOLID 8" CAP.
16. MASONRY SHALL BE LAID IN RUNNING BOND AND SHALL USE TYPE M OR S MORTAR W/ ¾" LEAD AND BED JOINTS. BED JOINTS FOR STARTING COURSES HEAD OVER FOUNDATION SHALL BE MIN ¾" AND MAX 1½".
17. WALL HEIGHT, THICKNESS, BACKFILL, AND REINFORCEMENT PER TABLE 10.1.1-4.
18. CORBELED MASONRY SHALL MEET THE REQUIREMENTS OF SECTION R606.5.