

CHARLES DEZIEL/MAVEN HOMES

SOUTH RIVER ROAD, LILLINGTON, NC, 27546

N C B D C
GENERAL CONTRACTOR
DAVID D. BENNETT
CERTIFIED CONTRACTOR #1118

A I
B D
AMERICAN INSTITUTE
OF BUILDING DESIGN

Triangle Residential
Designs Inc

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PROJECT ADDRESS:
SOUTH RIVER ROAD
LILLINGTON, NC 27546
HARNETT COUNTY

CLIENT:
CHARLES DEZIEL
PROJECT:
CUSTOM RESIDENCE

DRAWN BY:
LDB, DEB
DATE:
SEPT. 23, 2025
REVISED:

SHEET
1
OF
8

ABBREVIATIONS

A/C	AIR CONDITIONING	INSUL.	INSULATION
ABV.	ABOVE	INT.	INTERIOR
AFF.	ABOVE FINISHED FLOOR	JST.	JOIST
ALT.	ALTERNATE	KIT.	KITCHEN
APPROX.	APPROXIMATE	LTL.	LINTEL
ASF	ABOVE SUB-FLOOR	MECH.	MECHANICAL
B&B	BOARD & BATTEN	MFR.	MANUFACTURER
BLDG.	BUILDING	NTS.	NOT TO SCALE
BLK	BLOCK	OC.	ON CENTER
BM.	BEAM	OFs.	OUTSIDE FACE OF STUD
BSMTN.	BASEMENT	OH.	OVERHEAD
CO.	CASED OPENING	OPNG.	OPENING
CAB.	CABINET	PT.	PRESSURE TREATED
CJ.	CEILING JOIST	RAFG.	RETURN AIR FILTER GRILL
CLG.	CEILING	RAD.	RADIUS
CMU.	CONCRETE MASONRY UNIT	REC.	RECREATION
COL.	COLUMN	REG.	REGISTER
CONC.	CONCRETE	REG'D.	REQUIRED
CONT.	CONTINUOUS	REV.	REVISION
CSMTN.	CASEMENT	RFG.	ROOFING
DH.	DOUBLE HUNG	RM.	ROOM
DIAG.	DIAGONAL	RO.	ROUGH OPENING
DIM.	DIMENSION	SCRN.	SCREEN
DIN.	DINING	SQFT.	SQUARE FOOT
DN.	DOWN	SHVS.	SHELVES
DW.	DISHWASHER	SHT.	SHEET
DWR.	DRAWER	SPEC'D.	SPECIFIED
ELEV.	ELEVATOR	STD.	STANDARD
EXT.	EXTERIOR	STOR.	STORAGE
FFE.	FINISHED FLOOR ELEVATION	T&G.	TONGUE IN GROOVE
FLR.	FLOOR	TB.	TOEEL BAR
FND.	FOUNDATION	TPL.	TOP OF PLATE
FRPL.	FIREPLACE	TYP.	Typical
FTG.	FOOTING	UNF.	UNFINISHED
H/C	HANDICAP	VERT.	VERTICAL
HB.	HOSE BIB	WD.	WOOD
HDR.	HEADER	WH.	WATER HEATER
HORIZ.	HORIZONTAL	WC.	WALK-IN CLOSET
HT.	HEIGHT	WP.	WATERPROOFING
HYAC	HEATING, VENTILATION & A/C	WWM.	WELDED WIRE MESH

AREA CALCULATION

LIVING SPACE		
	WITHOUT BRICK	WITH BRICK
FIRST FLOOR:	3088 SQFT	3164 SQFT
SECOND FLOOR:	1664 SQFT	1560 SQFT
TOTAL LIVING:	4743 SQFT	4724 SQFT
NON-LIVING SPACE		
GARAGE:	1251 SQFT	1298 SQFT
SECOND FLOOR (UNFIN)	165 SQFT	110 SQFT
FRONT PORCH:	80 SQFT	80 SQFT
COV. REAR PORCH:	342 SQFT	342 SQFT
TOTAL NON-LIVING:	2059 SQFT	2105 SQFT

SQUARE FOOTAGE IS CALCULATED FROM EXTERIOR
CORNER TO EXTERIOR CORNER, INCLUDING WALLS.
BRICK VENEER IS INCLUDED IN ALL FINAL SQUARE FOOTAGE
CALCULATIONS. STAIRWAYS ARE COUNTED ON EACH FLOOR.

THESE PLANS, NOTES AND DETAILS ARE
DESIGNED TO MEET THE REQUIREMENTS OF THE
2024 NC RESIDENTIAL BUILDING CODE.

DESIGN LOADS

FLOOR LIVE LOAD (SLEEPING) 30 PSF
FLOOR LIVE LOAD (ALL OTHERS) 40 PSF
DECKS: 40 PSF
BALCONIES: 60 PSF
ATTIC DEAD LOAD (NO STOR): 10 PSF
ATTIC LIVE LOAD (STORAGE): 20 PSF
ATTIC W/STAIRS (DEVELOPABLE) 40 PSF

MINIMUM VALUES FOR ENERGY COMPLIANCE

CEILINGS: R-38
WALLS: R-15
FLOORS: R-19
BASEMENT WALLS: R-7
CRAWL SPACE WALLS: R-8
SLAB PERIMETER @ 24" DEEP: R-4
MAX GLAZING U-FACTOR = 0.35
DESIGNED FOR WIND ZONE OF 120 MPH

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT				
	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -21.0

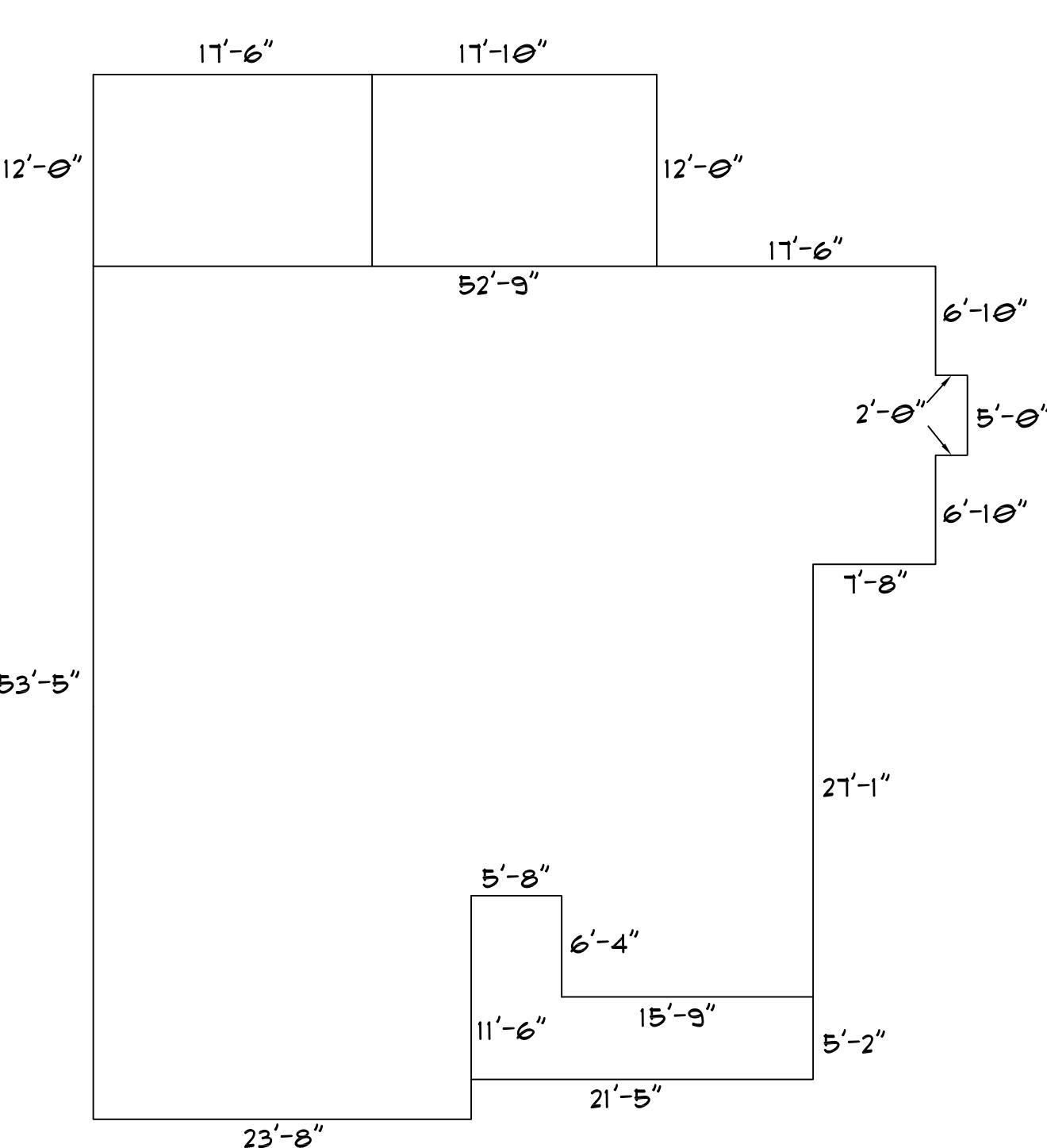
SEE NC BUILDING CODE FOR LOCATION OF ZONES

PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING
TOWARDS AND AWAY FROM THE BUILDING SURFACES



FRONT ELEVATION

NOT TO SCALE



BUILDING FOOTPRINT

GENERAL NOTES:
1) ALL NOTES ARE APPLICABLE UNLESS NOTED OTHERWISE (UNO).
2) THESE PLANS ARE DESIGNED TO BE USED BY A LICENSED GENERAL CONTRACTOR.
3) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRIORITY OVER SCALED DIMENSIONS.
4) ALL PLANS ARE TO BE HANDLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
5) ENGINEER'S INFORMATION AND NOTES TAKE PRIORITY OVER TRD'S PLANS AND NOTES.

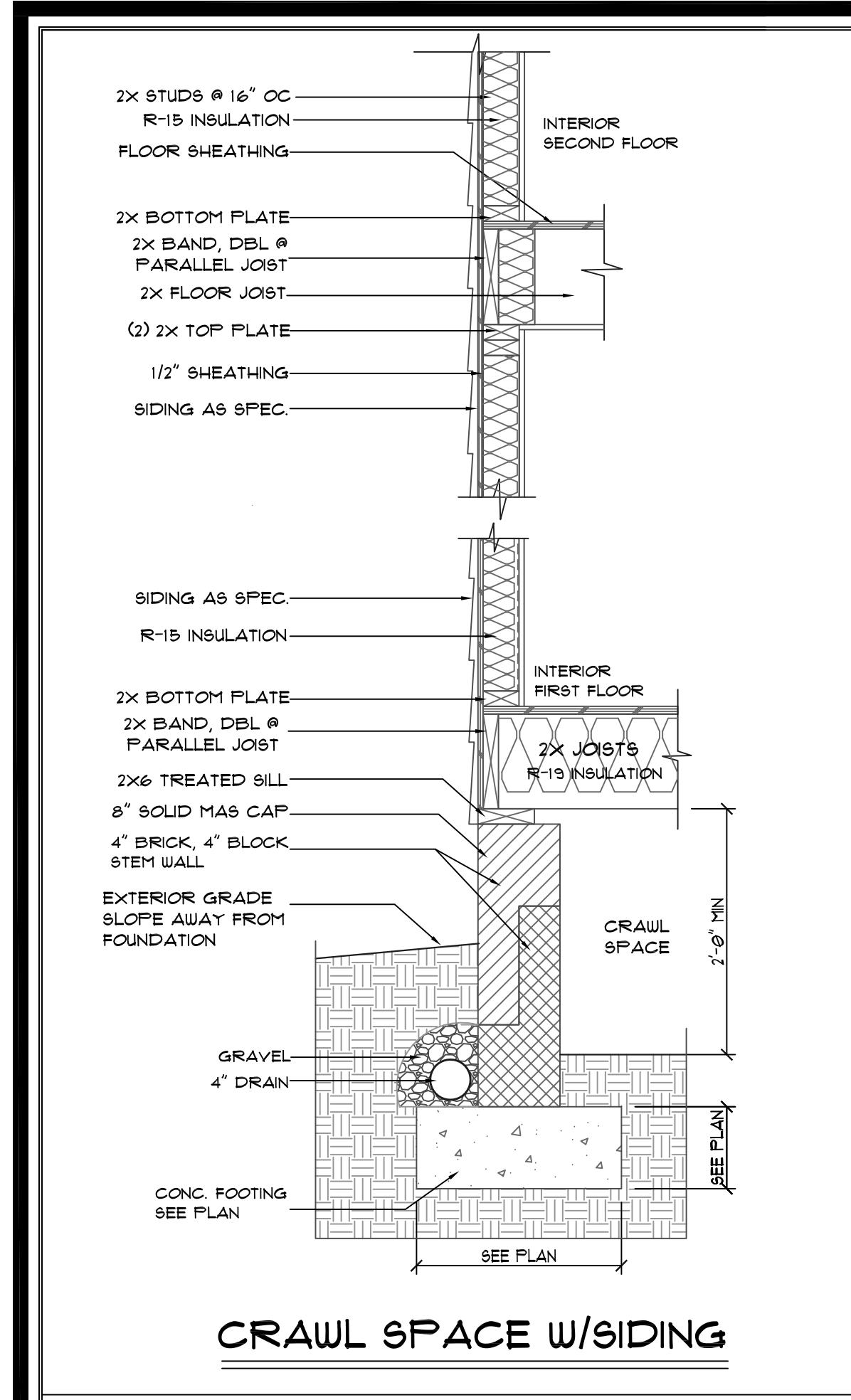
GENERAL CONTRACTOR:
1) PRIOR TO CONSTRUCTION, REVIEW ALL PLANS VERIFYING DIMENSIONS AND CONDITIONS, LOCAL CODES, ENERGY TYPES AND SITE CONDITIONS.
2) PRIOR TO CONSTRUCTION, REVIEW ALL LISTED WINDOW SIZES AND COMPARE WITH ELEVATION DRAWINGS TO INSURE ACCURACY. REVIEW ALL WINDOWS AND DOOR OPENINGS FOR CLEARANCE AND ACCURACY.
3) INSURE ALL PHASES OF CONSTRUCTION COMPLY WITH BUILDING CODES IN THE AREA THE HOME IS TO BE BUILT.
4) CONSULT WITH LOCAL ENGINEER FOR STRUCTURAL DESIGN.
5) ANY DISCREPANCY IN THE PLANS IS TO BE BROUGHT TO THE ATTENTION OF TRD FOR CORRECTION PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY.
6) IF AN UNSPECIFIED PRODUCT CAUSES AN ERROR IN THE PLAN OR DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ADJUSTMENTS AS REQUIRED.

NON-EXCLUSIVE LICENSING & LIABILITY:
1) THE PURCHASER OF THIS PLAN HAS BEEN GRANTED A NON-EXCLUSIVE, NON-TRANSFERABLE LICENSE TO USE THIS COPYRIGHTED PLAN TO BUILD ONE HOME.
2) THE PLANS ARE NOT TO BE REPRODUCED, WHOLE OR IN PART, OR RESOLD, WITHOUT WRITTEN CONSENT FROM TRD.
3) THE LIABILITY OF TRD IN CONNECTION WITH THIS PLAN AND THE HOME BUILT THEREFROM IS LIMITED TO THE TOTAL FEES PAID BY THE PURCHASER OF THE PLAN.
4) TRD ASSUMES NO LIABILITY FOR ALTERATIONS TO THE PLANS, FIELD MODIFICATIONS OF THE PLANS OR STRUCTURAL COMPONENTS. THEY ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

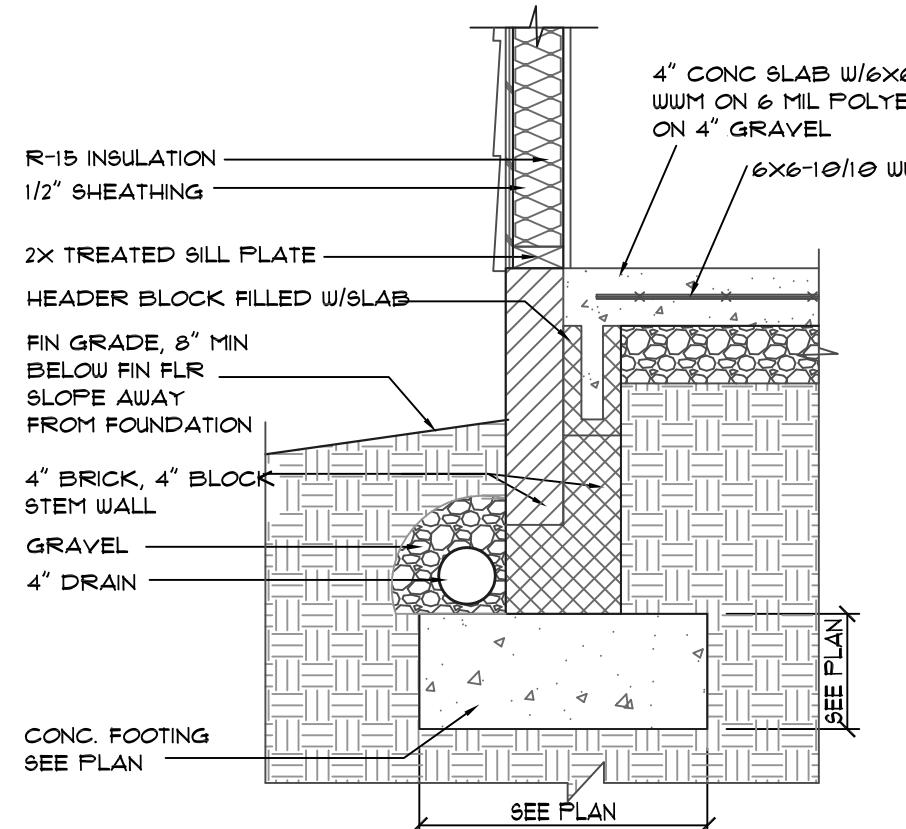
INDEX TO SHEETS

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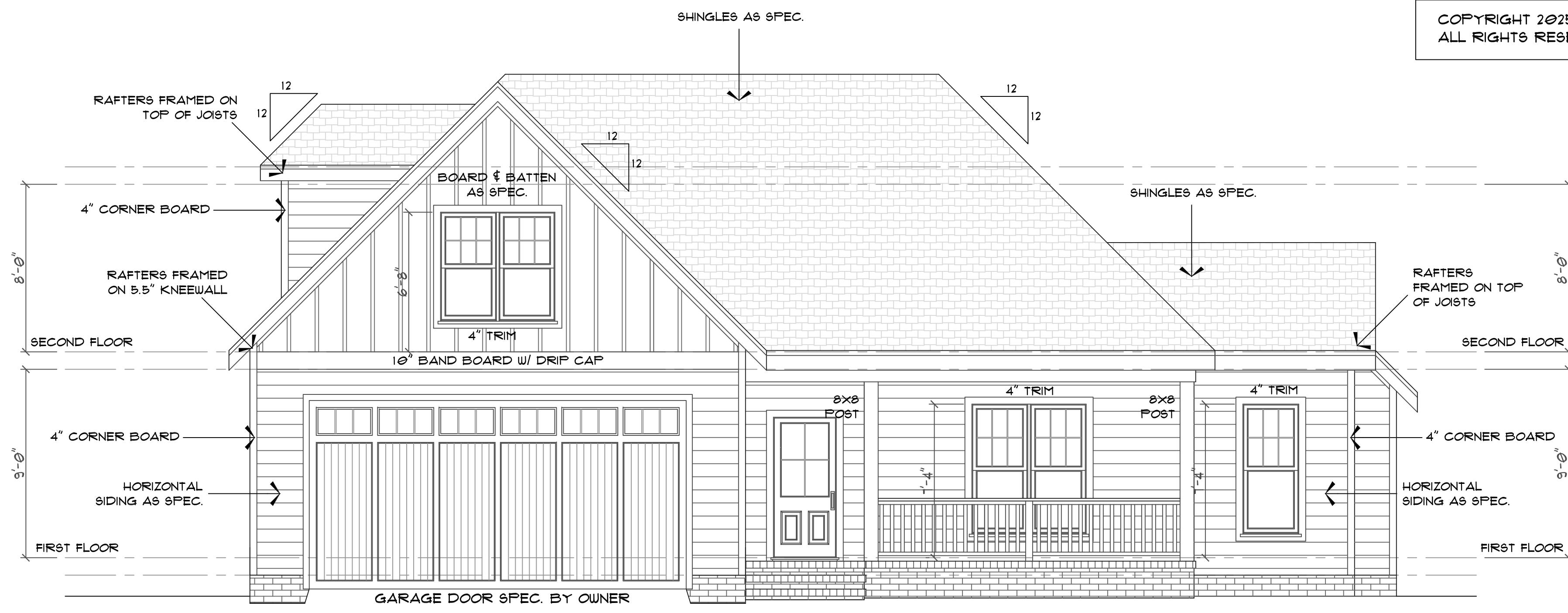
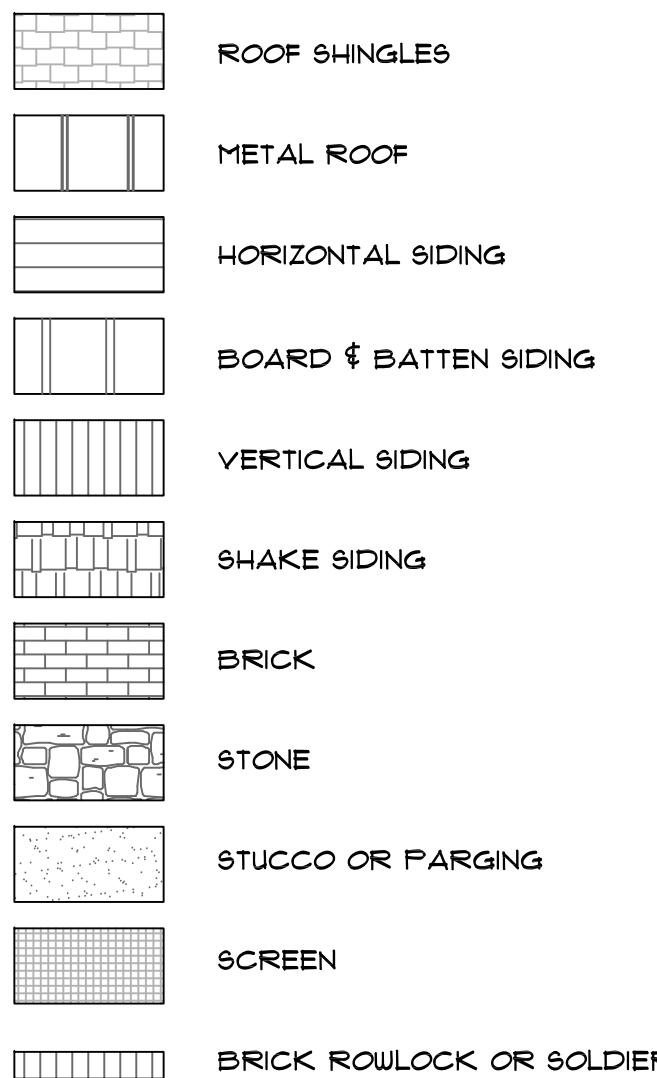


CRAWL SPACE W/SIDING



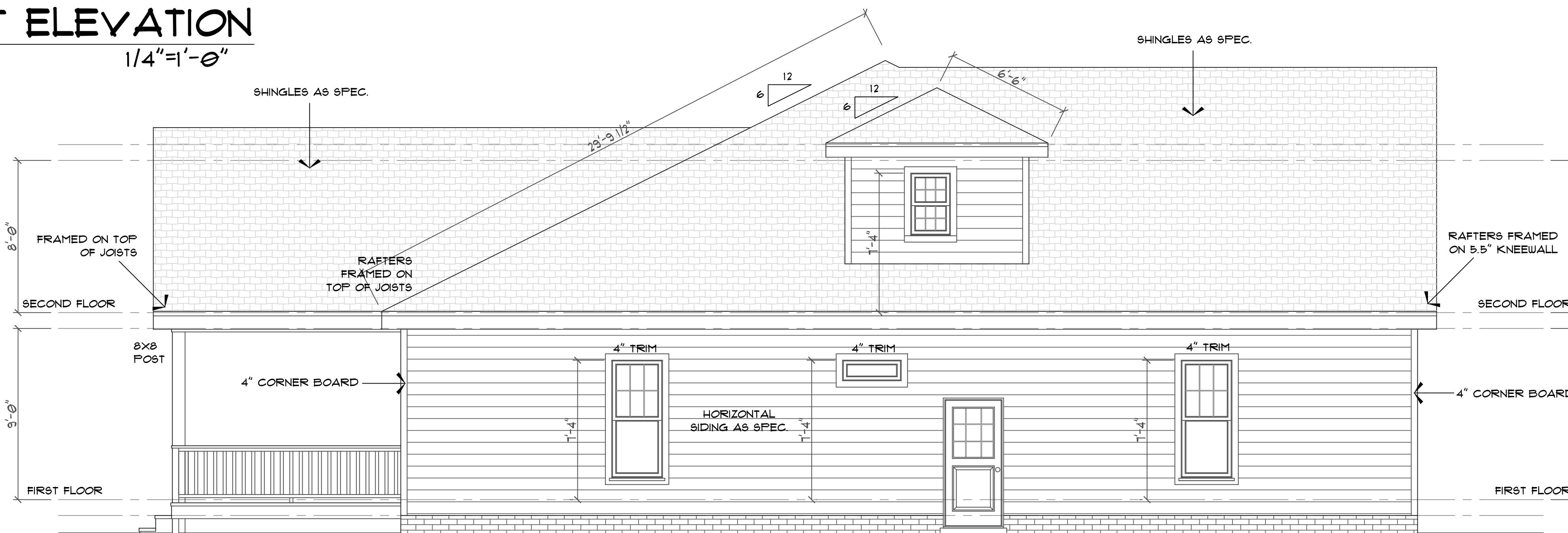
GARAGE SLAB W/SIDING

EXTERIOR MATERIALS



FRONT ELEVATION

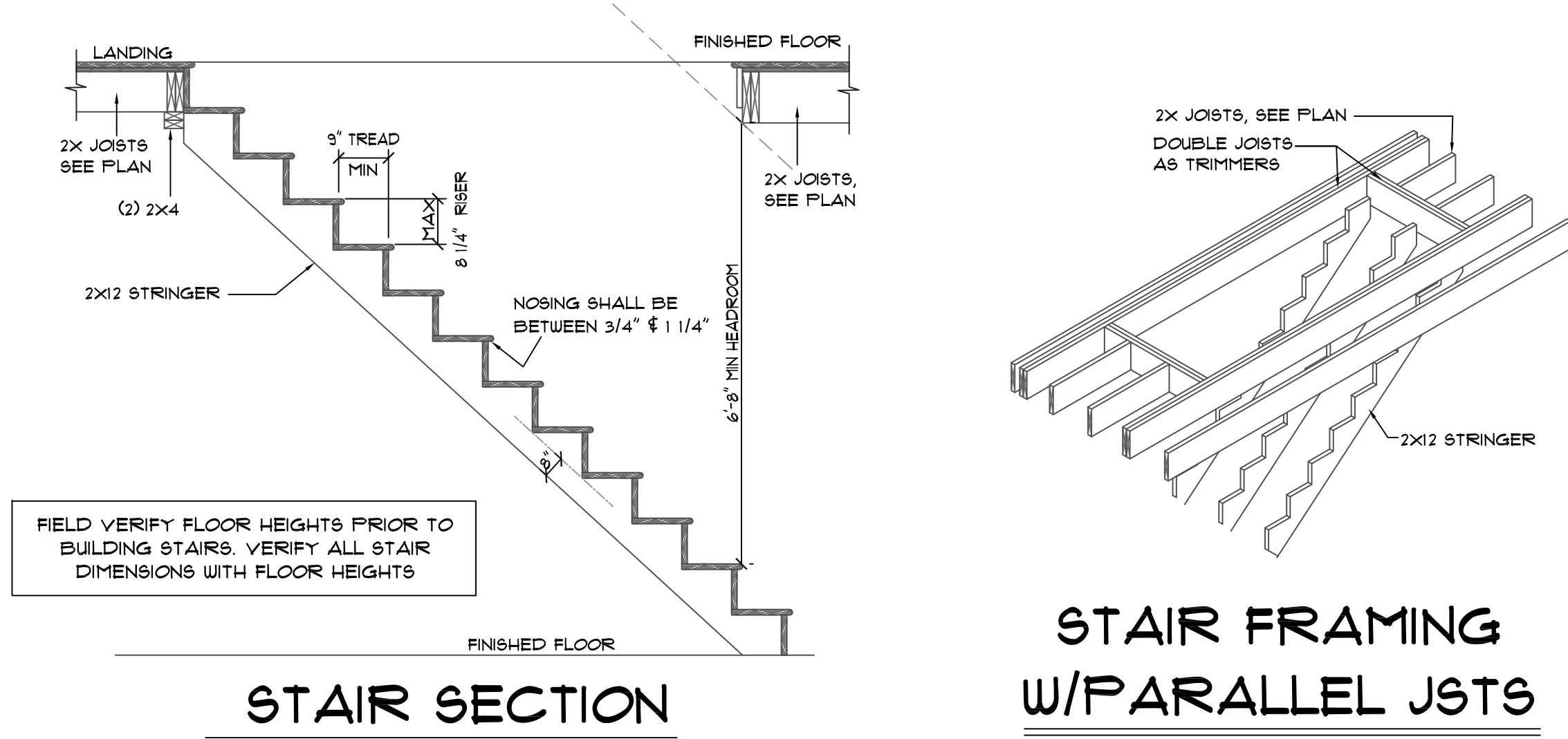
SCALE: 1/4"=1'-0"



LEFT ELEVATION

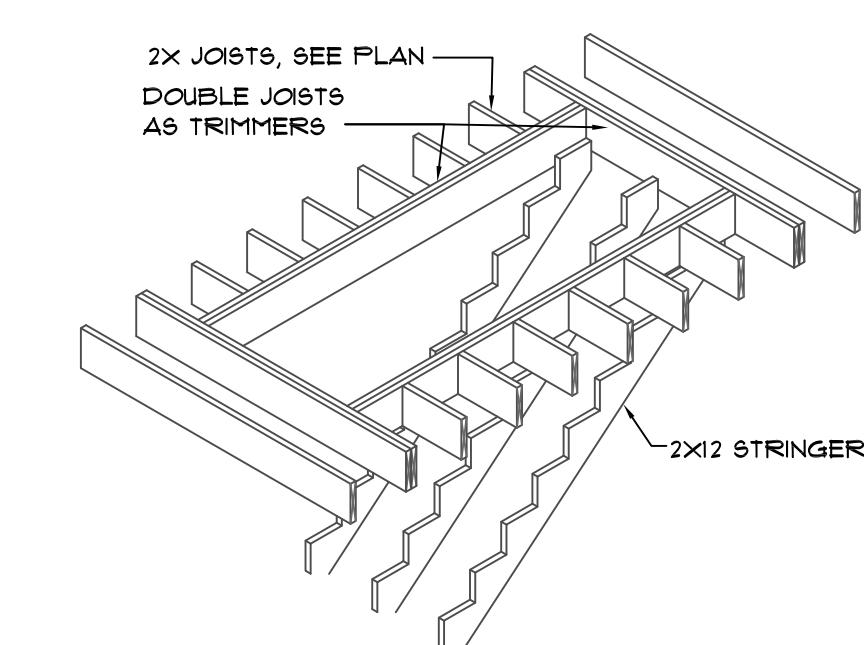
SCALE: 1/4"=1'-0"

STANDARD STAIR FRAMING DETAILS



STAIR SECTION

**STAIR FRAMING
W/PARALLEL JSTS**



**STAIR FRAMING
W/PERPENDICULAR JSTS**

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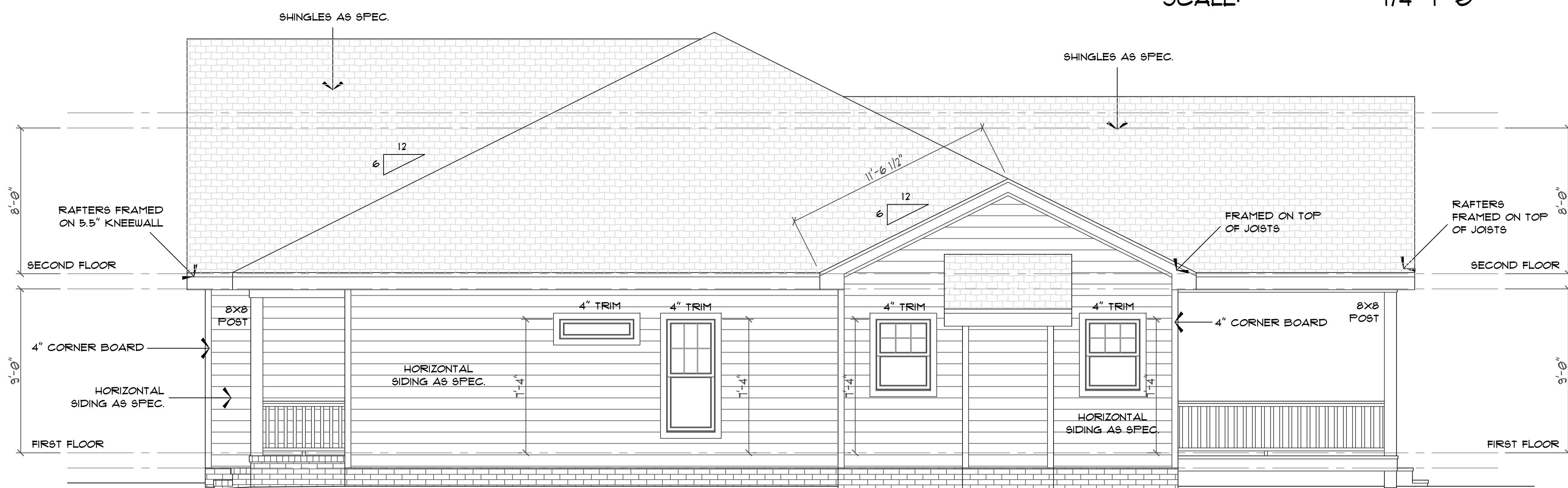
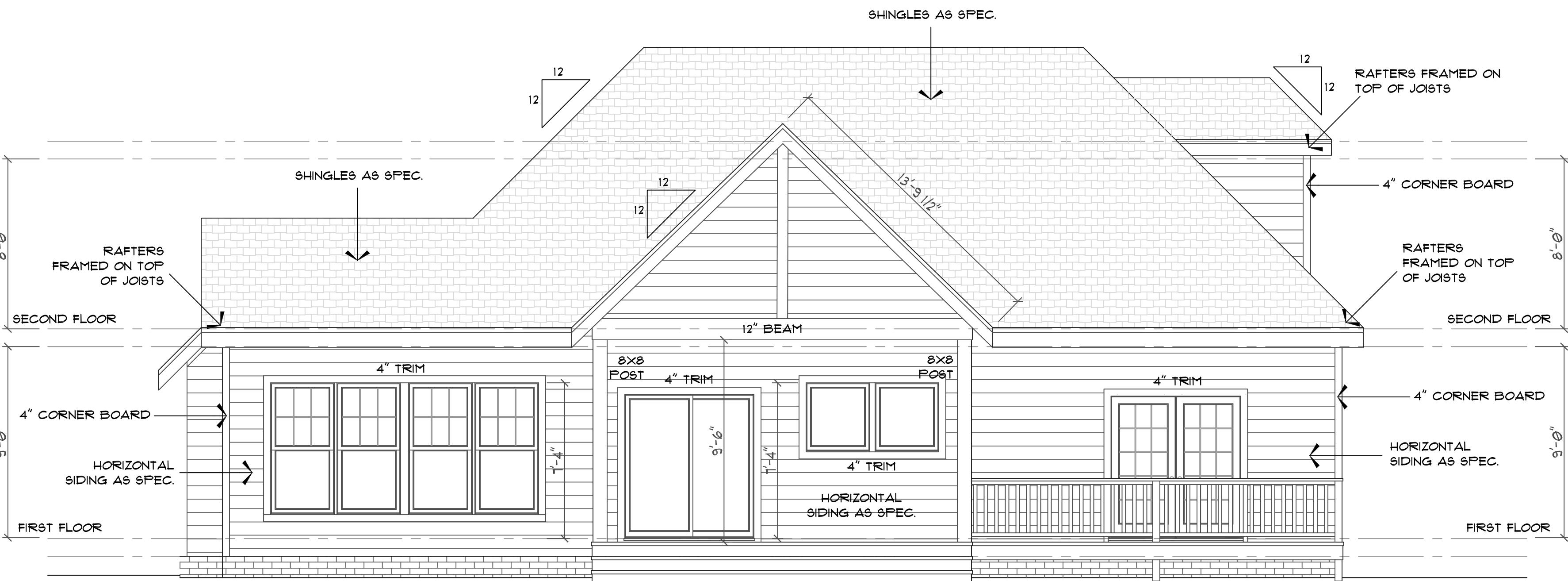
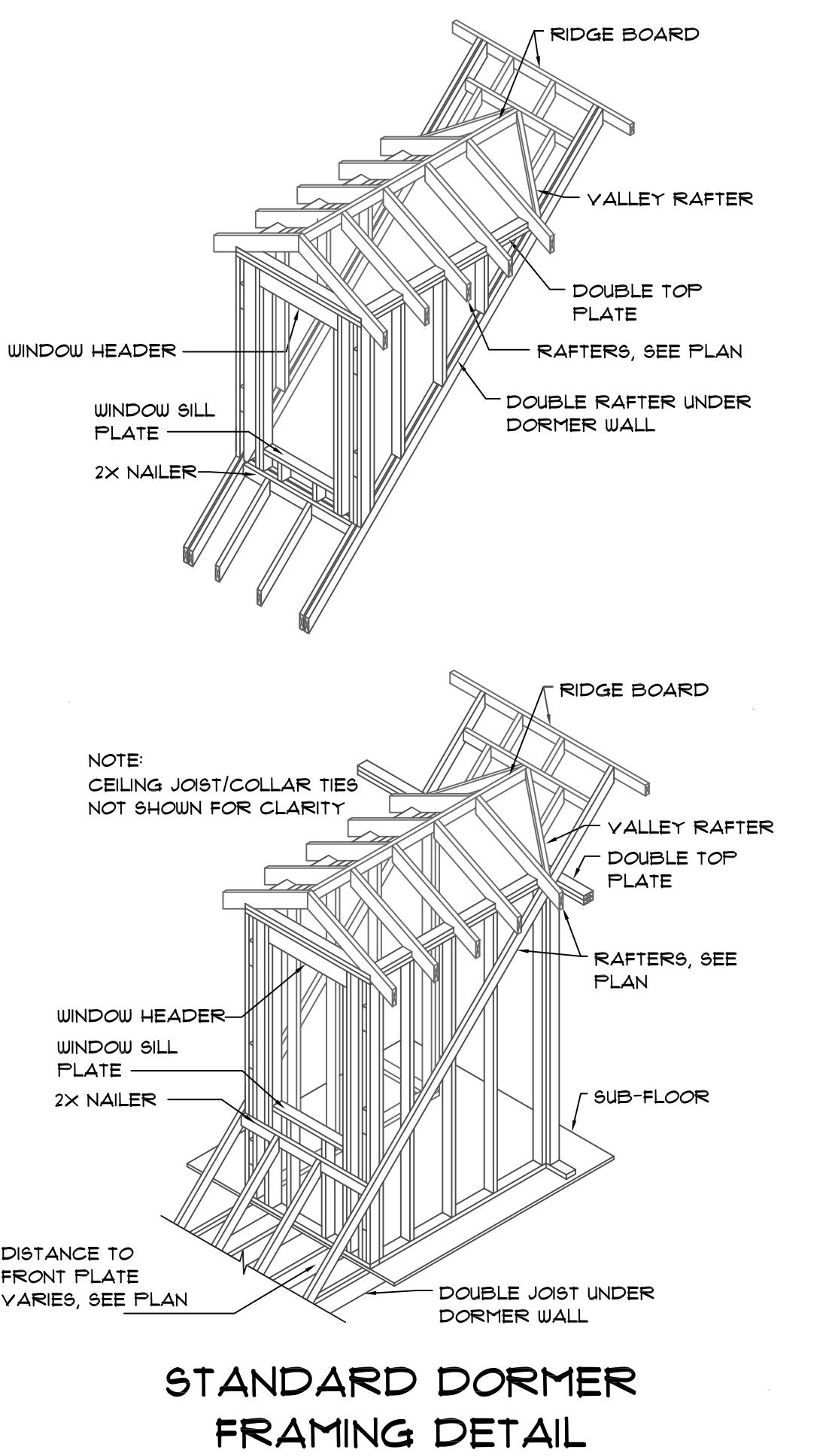
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SHEET 2 OF 8



FOUNDATION NOTES

- 1) CRAWL SPACE IS TO BE LEVEL & CLEAN OF CONSTRUCTION DEBRIS, VEGETATION AND ANY ORGANIC MATERIAL.
- 2) ONE VENT MUST BE WITHIN 3' OF EACH CORNER OF THE BUILDING.
- 3) VENT LOCATIONS TO BE DETERMINED ON SITE WITH REGARD TO GRADE AND FLOOR FRAMING.
- 4) APPROVED VAPOR RETARDER TO COVER 100% OF THE CRAWL SPACE.

FOOTINGS

- 1) FOOTING PROJECTIONS SHALL BE AT LEAST 2" AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING.
- 2) THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL W/MASONRY UNITS WITH FULL MORTAR JOINTS. BOTTOM SURFACE OF FOOTINGS MAY SLOPE NO MORE THAN 10%. FOOTINGS SHALL BE STEPPED TO CHANGE THE ELEVATION OF THE TOP SURFACE OR WHERE THE SLOPE OF THE BOTTOM OF THE FOOTING WILL EXCEED 10%.
- 3) FINISHED GRADE OF THE UNDER FLOOR SURFACE MAY BE LOCATED AT THE BOTTOM OF THE FOOTINGS.
- 4) MINIMUM 8" WALL FOOTING TO BE NO LESS THAN 16" x 8"
- 5) MINIMUM CONCRETE FOOTING STRENGTH = 3000 FSI.

DRAINAGE

- 1) INSTALL AROUND FOUNDATION, DRAIN TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPES OR OTHER APPROVED SYSTEM AS REQUIRED BY GRADE.
- 2) FOUNDATION DRAINAGE MAY BE OMITTED WHEN THE INTERIOR GRADE IS LESS THAN 12" BELOW THE EXTERIOR GRADE.
- 3) GRADE LOT SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS AT A MINIMUM OF 6" WITHIN THE FIRST 10'.

WATERPROOFING:

- 1) FOUNDATION WALLS, WHERE THE OUTSIDE GRADE IS HIGHER THAN THE INSIDE GRADE, SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE. USE CODE APPROVED METHOD.

ANCHORAGE

- 1) THE WOOD SOLE PLATE AT EXTERIOR WALLS ON MONOLITHIC SLABS AND WOOD SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION W/ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" ON CENTER AND LOCATED WITHIN 12' FROM THE ENDS OF EACH PLATE SECTION. BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE.
- 2) BOLTS MAY BE REPLACED BY ANCHOR STRAPS, 3FACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE.
- 3) INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLABS SHALL BE ANCHORED W/APPROVED FASTENERS.

FOUNDATION WALLS

- 1) VERTICAL REINFORCEMENT OF MASONRY WALLS SHALL BE TIED TO THE HORIZONTAL REINFORCEMENT OF THE FOOTINGS.
- 2) FOUNDATION WALL IS TO BE 8" CONC. BLOCK OR 8" BRICK & BLOCK ON CONTINUOUS CONCRETE FOOTING.
- 3) FOUNDATION WALL IS TO HAVE A SOLID 8" MASONRY CAP.
- 4) WALL HEIGHT ABOVE FINISHED SHALL BE 4" WHERE MASONRY VENEER IS USED AND 6" ELSEWHERE.
- 5) WALL SUPPORTING OVER 4' OF UNBALANCED BACKFILL MUST BE BRACED TO PREVENT DAMAGE BY THE BACKFILL.
- 6) CAVITY WALL OR MASONRY VENEER CONSTRUCTION MAY BE SUPPORTED ON AN 8" FOUNDATION WALL, PROVIDED THE WALL IS CORBELED WITH SOLID MASONRY TO THE WIDTH OF THE WALL SYSTEM ABOVE. THE TOTAL HORIZONTAL PROJECTION OF THE CORBEL SHALL NOT EXCEED 2" WITH INDIVIDUAL CORBELS PROJECTION NOT MORE THAN 1/3 THE THICKNESS OF THE UNIT OR 1/2 THE HEIGHT OF THE UNIT. THE TOP COURSE OF ALL CORBELS SHALL BE A HEADER COURSE.
- 7) VENTS ARE INTENDED TO BE 16" x 8" ALUMINUM.

PIERS

- 1) MASONRY PIERS HEIGHT SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION.
- 2) WHEN STRUCTURAL CLAY OR HOLLOW CONCRETE MASONRY UNITS ARE USED TO SUPPORT BEAMS & GIRDERS, THE CELLULAR SPACES MUST BE FILLED SOLIDLY WITH CONCRETE OR TYPE "M" OR "S" MORTAR.
- 3) UNFILLED UNITS MAY BE USED IF THE HEIGHT IS NOT MORE THAN 4 TIMES THE LEAST DIMENSION.
- 4) HOLLOW PIERS SHALL BE CAPPED WITH 4" OF SOLID MASONRY OR CONCRETE, OR SHALL HAVE CAVITIES IN THE TOP COURSE FILLED WITH CONCRETE.
- 5) PIERS INDICATED ON PLAN ARE TYPICALLY 16"x16" ON 24"x24"x8" FOOTINGS.
- 6) TIE ALL HALF PIERS INTO WALLS.

ANCHOR BOLTS

- 1/2" DIA X 16" ANCHOR BOLTS W/ 1" MIN EMBEDMENT @ 6'-0" OC AND 12' FROM EACH PLATE SPLICE AND CORNER.

CAVITY ACCESS

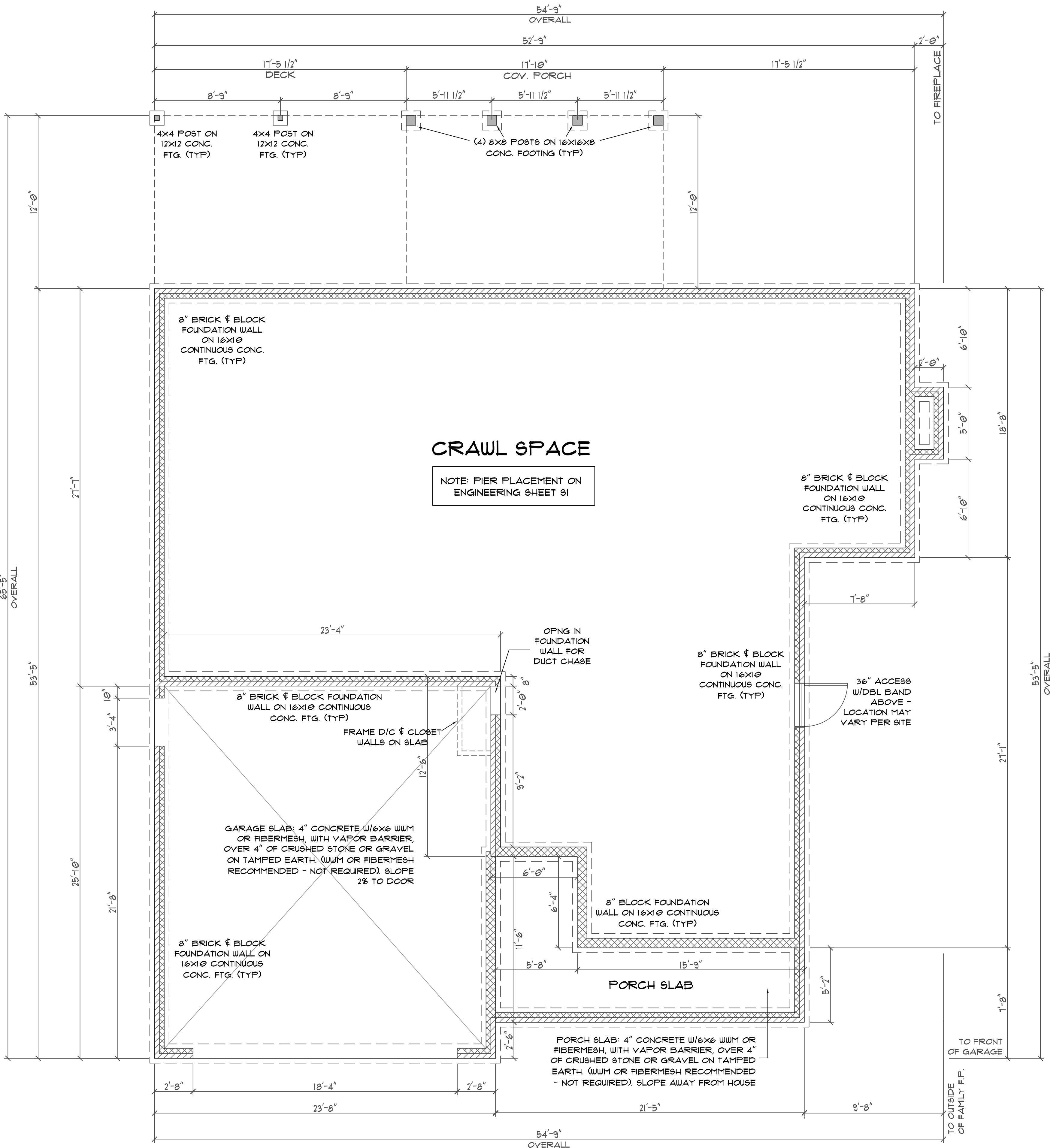
- 1) MIN. CRAWL SPACE ACCESS IS 18"(W) x 24"(H) W/DBL BAND ABOVE. PLACE AT BEST LOCATION WITH REFERENCE TO GRADE.
- 2) ACCESS MAY BE INCREASED IF MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS. SEE NC MECHANICAL CODE FOR REQUIREMENTS.
- 3) ATTIC ACCESS SHALL BE 22"x30" MINIMUM.

FOUNDATION VENT CALCULATION
(AS PER 2024 NORTH CAROLINA RESIDENTIAL CODE)

MINIMUM REQUIRED:
1143 SQFT OF CRAWL SPACE DIVIDED BY 300 EQUALS 5.8 SQFT OF AREA

NOTES:

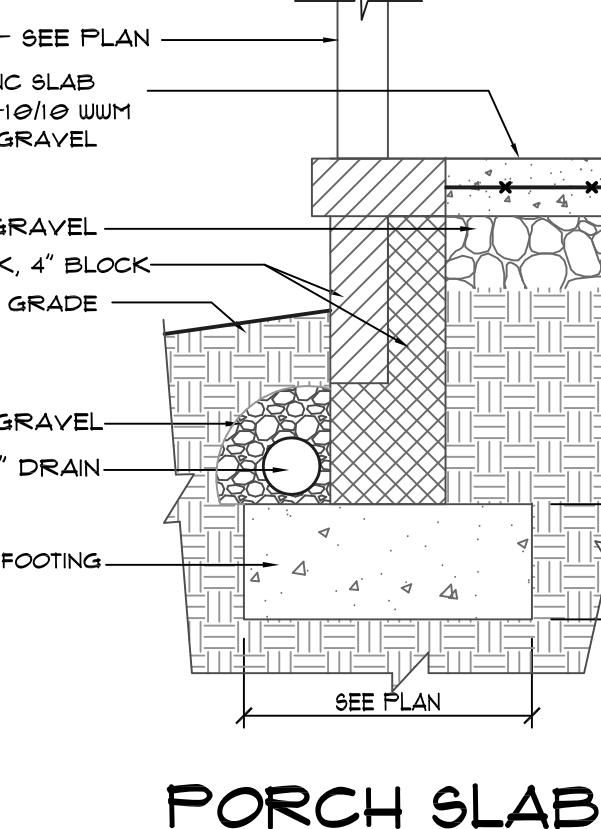
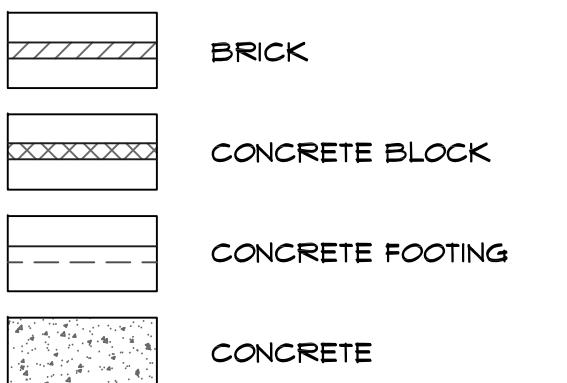
- ONE VENT MUST BE WITHIN 3' OF EACH CORNER OF THE BUILDING
- POSSIBLE VENT LOCATIONS INDICATED ON THE FOUNDATION PLAN.
- ACCESS DOORS MAY BE VENTED FOR ADDITIONAL REQUIRED VENTILATION.
- CRAWL SPACE MUST BE CROSS-VENTILATED AND AN APPROVED VAPOR RETARDER COVERS 100% OF THE CRAWL SPACE.



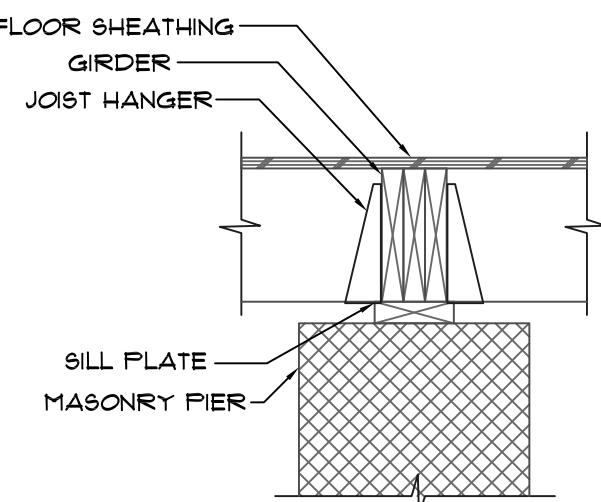
FOUNDATION PLAN

SCALE: 1/4"=1'-0"

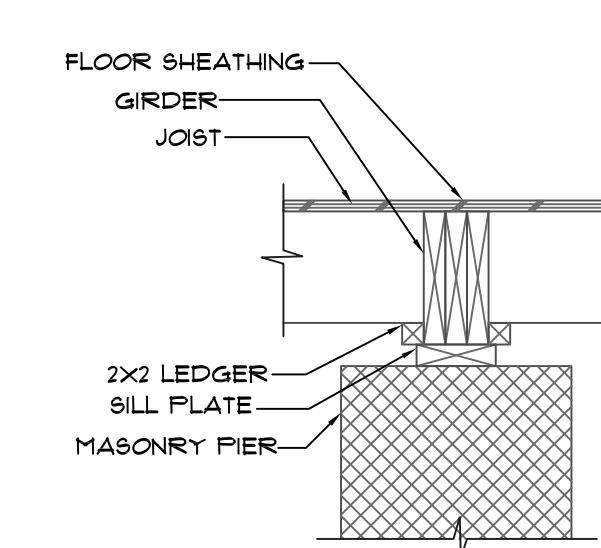
FOUNDATION MATERIALS
LEGEND



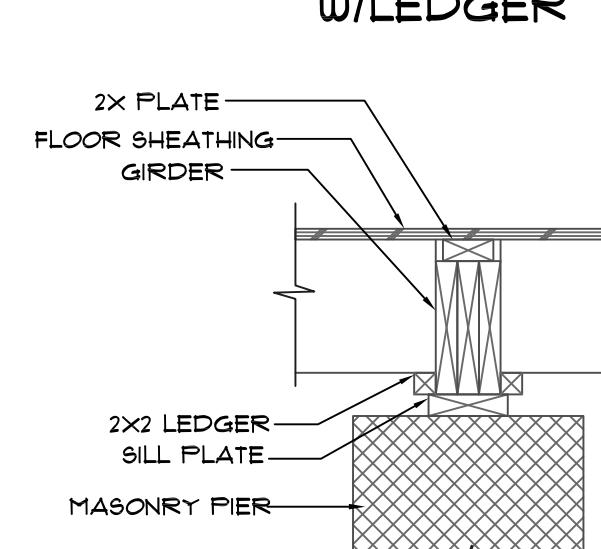
PORCH SLAB



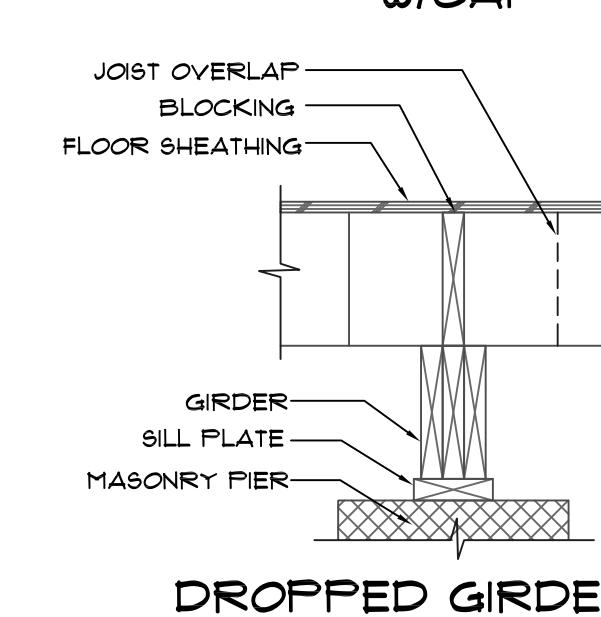
FLUSH BEARING W/HANGER



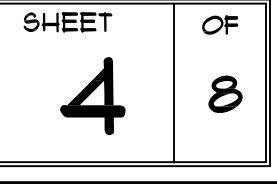
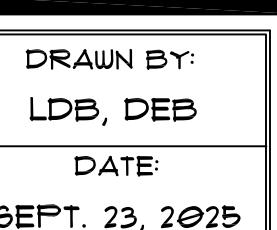
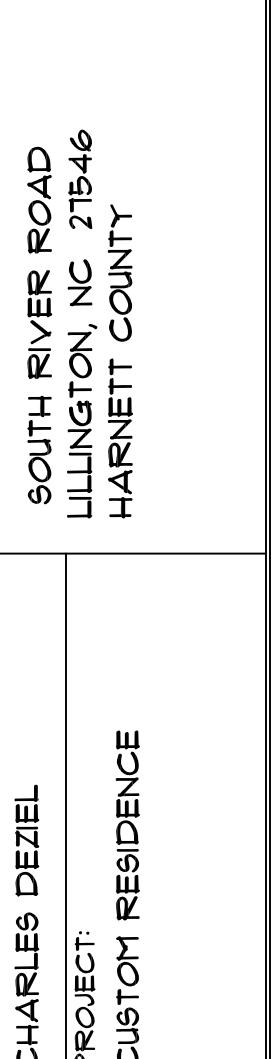
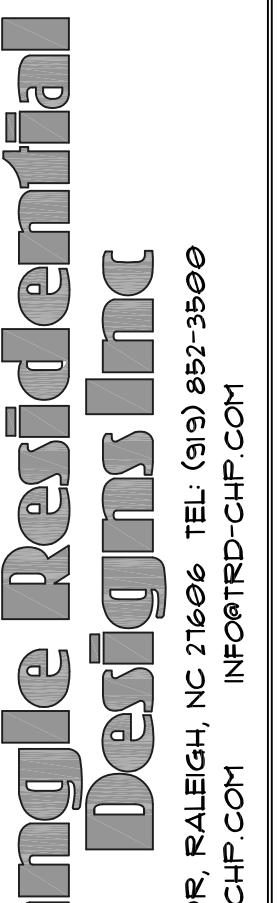
FLUSH BEARING W/LEDGER



FLUSH BEARING W/CAP



DROPPED GIRDER



FLOOR PLAN NOTES

- 1) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FIR.
- 2) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED TO PROVIDE MINIMUM INSULATION VALUES OR AIR PASSAGES.
- 3) PROVIDE DOUBLE FLOOR JOISTS AT ALL NON LOAD BEARING PARTITION WALLS RUNNING PARALLEL TO FLOOR JOISTS ALSO UNDER ALL BOOKCASES, CABINETS, TUBS AND WASHING MACHINES (RECOMMENDED - NOT REQUIRED)
- 4) FLOOR JOISTS MUST BEAR 1.5" MIN. ON WOOD OR METAL AND 3" MIN. ON MASONRY OR CONCRETE
- 5) PROVIDE 1"X4" CROSS-BRACING OR SOLID BLOCKING BETWEEN FLOOR JOISTS AT 6'-0" O.C. MAX. (RECOMMENDED BUT NOT REQUIRED)
- 6) ALL EXTERIOR AND LOAD BEARING HEADERS ARE TO BE 2"X10.
- 7) MINIMUM LVL DESIGN STRENGTH: E=2.0 X 2 MILLION Psi, FB=2000 Psi, FX=255 Psi
- 8) ALL LVL BEAMS TO HAVE 3 STUDS EACH END.
- 9) LOAD BEARING HEADER JACKS MUST REST ON DOUBLE JOISTS - SUPPLY EXTRA JOISTS AS REQUIRED
- 10) DRAFTSTOPPING AND FIREBLOCKING AS REQUIRED PER CODE.
- 11) DESIGNS FOR WOOD FLOOR TRUSSES MUST BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL

GENERAL NOTES:

- 9'-0" CEILING ON THIS FLOOR UNLESS NOTED OTHERWISE (UNO)
- STAIRS ARE DESIGNED TO COVER A 120° MAX. RISE:
 - 15 RISERS @ 1.00" +/- EACH OR
 - 16 RISERS @ 1.25" +/- EACH
 - 14 OR 15 TREADS @ 9" EACH (ROUGH CUT)
 - (FIELD VERIFY ALL STAIRS DIMENSIONS)
- ALL ANGLES 45 UNLESS OTHERWISE NOTED
- ALL DOOR HEIGHTS 8'-0" UNLESS OTHERWISE NOTED
- ALL DOOR JAMBS ARE 4" UNLESS OTHERWISE NOTED
- SEE CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR WALL CONSTRUCTION
- GARAGE WALLS ADJACENT TO HEATED SPACE SHALL BE COVERED WITH FIRE RATED SHEETROCK PER CODE
- ALL HABITABLE ROOMS SHALL MEET LIGHT, VENTILATION & EGRESS CODES AS REQUIRED
- ALL WINDOW SIZES & DETAILS TO BE VERIFIED WITH CHOSEN MANUFACTURER
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE

WOOD WALL CONSTRUCTION

- 1) ALL STUDS ARE TO BE #3 GRADE STANDARD OR STUD GRADE LUMBER. - #2 GRADE RECOMMENDED BUT NOT REQUIRED.
- 2) ALL INTERIOR LOAD-BEARING WALLS SHALL BE CONSTRUCTED, FRAMED & FIREBLOCKED AS SPECIFIED FOR EXTERIOR WALLS.
- 3) WALLS ARE 2X4 STUDS @ 16" O.C.
- 4) ALL OPEN AREA, TWO STORY WALLS ARE TO BE BALLOON FRAMED, 2"X6" STUDS AT 12" O.C.
- 5) DRAFTSTOPPING AND FIREBLOCKING REQUIRED AS PER CODE
- 6) ALL OPEN AREA, TWO STORY WALLS ARE TO BE BALLOON FRAMED, 2"X6" STUDS AT 12" O.C.
- 7) WINDOWS SHOULD BE RATED FOR 25PSI.

GARAGE DOOR WALL CONSTRUCTION

ONLY FOR GARAGE DOOR WALLS THAT DO NOT MEET BRACING REQUIREMENTS OF THE NC 2020 RESIDENTIAL BUILDING CODE

- 1) PLACE (2)-1/2" DIAM. ANCHOR BOLTS AT OUTSIDE QUARTER OF THESE PANELS. EXTEND #4 STEEL REINFORCING VERTICALLY, LAPPING THE ANCHOR BOLTS A MIN. OF 6" AND ENDING IN THE FOOTING WITH A 4" MINIMUM HORIZONTAL LEG INTO THE FOOTING. THE FOOTING MUST BE REINFORCED WITH (4) #4 BAR TOP AND BOTTOM IN THIS AREA. SECURE WAY TO ANCHOR BOLTS WITH 3/8"X3" LONG NC LT110, HT110, HT122, HT128 OR TENSION TIE WITH 100# MINIMUM CAPACITY.
- 2) FULLY FACE GARAGE WALL WITH 1/16" OSB OR 1/2" CDX, NAILED PER TABLE R602.30 AND BLOCKED AT ALL WOOD STRUCTURAL PANEL SHEATHING EDGES.

GARAGE

- 1) DOOR FROM GARAGE TO HOUSE MUST BE 1-3/8" THICK SOLID WOOD OR SOLID OR HONEYCOMBED CORE STEEL DOORS OR 20 MIN. FIRE RATED.
- 2) GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE.

DECK NOTES

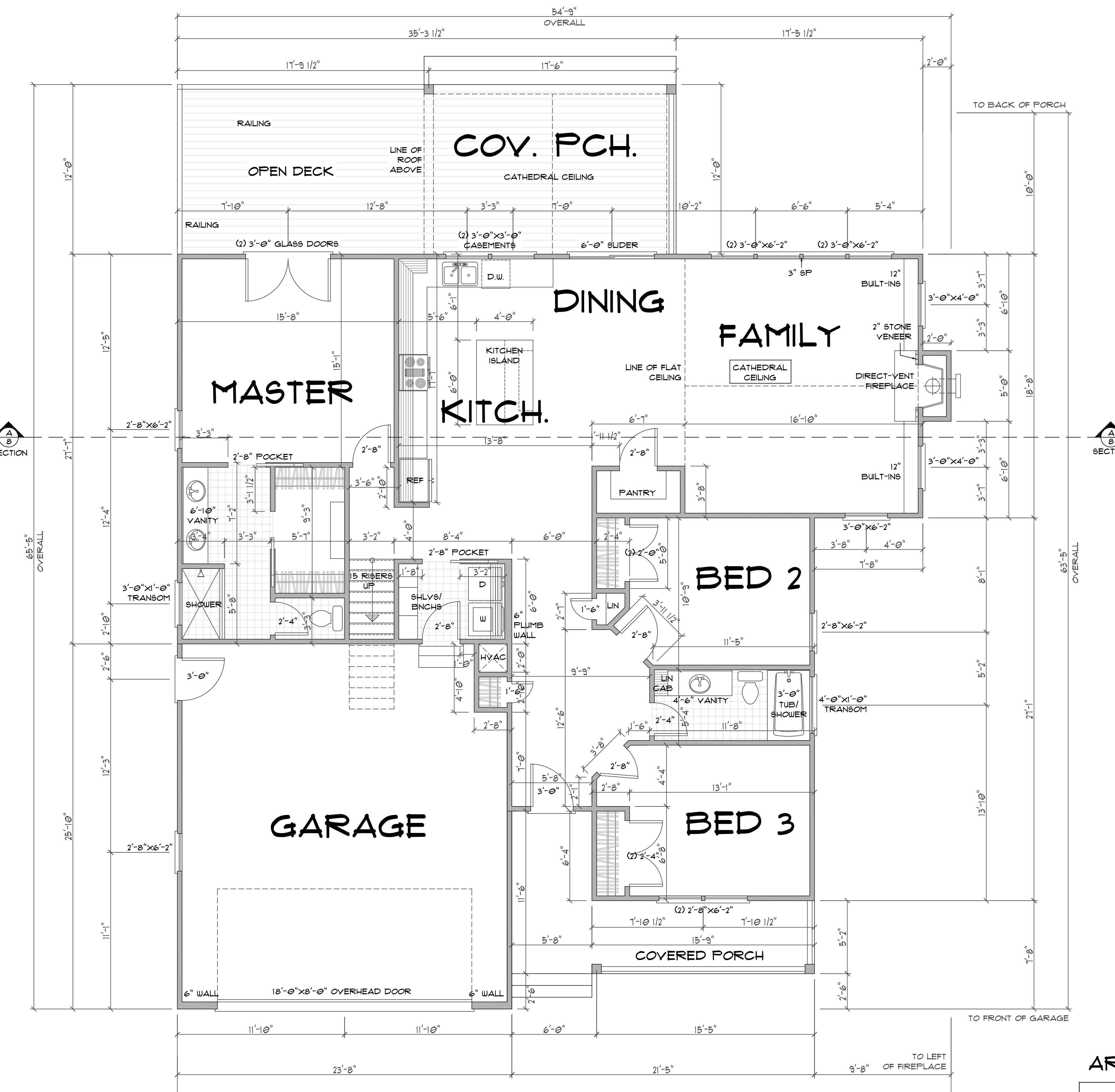
- 1) WHEN THE DECK IS ATTACHED TO THE STRUCTURE, THE STRUCTURE SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING TO THE STRUCTURE.
- 2) THE DECK AND STRUCTURE BANDS SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER, EXCEPT ON BRICK VENEER STRUCTURES AND WHERE FLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED.
- 3) SIDING SHALL NOT BE INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND.
- 4) IF ATTACHED TO A BRICK STRUCTURE, NEITHER THE FLASHING NOR A TREATED BAND FOR THE STRUCTURE IS REQUIRED. THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK VENEER.
- 5) GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF THE POSTS WITH 2-5/8" HOT DIPPED GALVANIZED BOLTS.
- 6) FLOOR DECKING SHALL BE #2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. MINIMUM FLOOR DECKING THICKNESS FOR JOISTS AT 16" O.C. IS 1" TIG.
- 7) DECKS MAY NOT BE ATTACHED TO CANTILEVERED FLOOR SYSTEMS.
- 8) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FIR.
- 9) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED.
- 10) DECKS OVER 4'-0" ABOVE GRADE SHALL BE BRACED AS PER CODE APPENDIX M.

RAILINGS AND GUARDS

- 1) HANDRAILS & GUARD RAILS SHALL HAVE A MINIMUM HEIGHT OF 34" AND A MAXIMUM HEIGHT OF 38".
- 2) PORCHES, BALCONIES OR RAISED FLOORS OVER 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARD RAILS NO LESS THAN 36" HIGH.
- 3) GUARDS RAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOORS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES OF LESS THAN 4" TO REJECT A 4" SPHERE.

GLAZING

- 1) ALL HABITABLE ROOMS SHALL HAVE A GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA.
- 2) WINDOWS SHALL HAVE A MINIMUM DESIGN REQUIREMENT OF 25#DPI AND U=0.40
- 3) VERIFY WINDOW EGRESS WITH WINDOW MANUFACTURER.

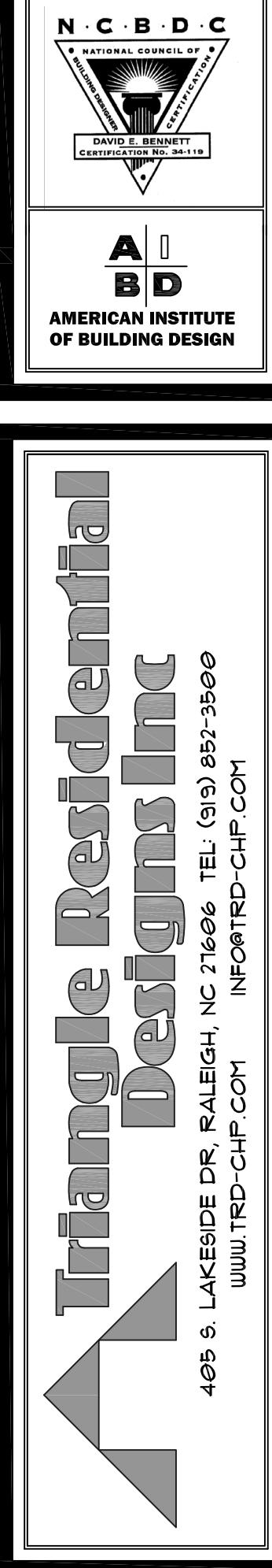


FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

9'-0" CEILING ON THIS FLOOR

FIRST FLOOR:	1765 SQFT
REC ROOM:	262 SQFT
TOTAL LIVING:	2027 SQFT
GARAGE:	596 SQFT
FRONT PORCH:	146 SQFT
REAR PORCH:	178 SQFT
TOTAL NON-LIVING:	920 SQFT



PROJECT ADDRESS:	SOUTH RIVER ROAD LILINGTON, NC 27546 HARNETT COUNTY
CLIENT:	CHARLES DEZEL
PROJECT:	CUSTOM RESIDENCE

DRAWN BY:
LDB, DEB
DATE:
SEPT. 23, 2025
REVISED:

FLOOR PLAN NOTES

- 1) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FIR.
- 2) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS. SIZES MAY BE INCREASED TO PROVIDE MINIMUM INSULATION VALUES OR AIR PASSAGES.
- 3) PROVIDE DOUBLE FLOOR JOISTS AT ALL NON LOAD BEARING PARTITION WALLS RUNNING PARALLEL TO FLOOR JOISTS ALSO UNDER ALL BOOKCASES, CABINETS, TUBS AND WASHING MACHINES (RECOMMENDED - NOT REQUIRED)
- 4) FLOOR JOISTS MUST BEAR 1.5" MIN. ON WOOD OR METAL AND 3" MIN. ON MASONRY OR CONCRETE
- 5) PROVIDE 1"x4" CROSS-BRACING OR SOLID BLOCKING BETWEEN FLOOR JOISTS AT 6'-0" O.C. MAX. (RECOMMENDED BUT NOT REQUIRED)
- 6) ALL EXTERIOR AND LOAD BEARING HEADERS ARE TO BE 2"x2"x10.
- 7) MINIMUM LVL DESIGN STRENGTH: E=2.0 X 2 MILLION Psi, FB=2000 Psi, FX=285 Psi
- 8) ALL LVL BEAMS TO HAVE 3 STUDS EACH END.
- 9) LOAD BEARING HEADER JACKS MUST REST ON DOUBLE JOISTS - SUPPLY EXTRA JOISTS AS REQUIRED
- 10) DRAFTSTOPPING AND FIREBLOCKING AS REQUIRED PER CODE.
- 11) DESIGNS FOR WOOD FLOOR TRUSSES MUST BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL

GENERAL NOTES:

- 9'-0" CEILING ON THIS FLOOR UNLESS NOTED OTHERWISE (UNO)
- STAIRS ARE DESIGNED TO COVER A 120° MAX. RISE:
 - 15 RISERS @ 1.00" +/- EACH OR
 - 16 RISERS @ 1.25" +/- EACH
 - 14 OR 15 TREADS @ 9" EACH (ROUGH CUT)
 - (FIELD VERIFY ALL STAIRS DIMENSIONS)
- ALL ANGLES 45 UNLESS OTHERWISE NOTED
- ALL DOOR HEIGHTS 6'-8" UNLESS OTHERWISE NOTED
- ALL DOOR JAMBS ARE 4" UNLESS OTHERWISE NOTED
- SEE CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR WALL CONSTRUCTION
- GARAGE WALLS ADJACENT TO HEATED SPACE SHALL BE COVERED WITH FIRE RATED SHEETROCK PER CODE
- ALL HABITABLE ROOMS SHALL MEET LIGHT, VENTILATION & EGRESS CODES AS REQUIRED
- ALL WINDOW SIZES & DETAILS TO BE VERIFIED WITH CHOSEN MANUFACTURER
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE

EMERGENCY ESCAPE

- 1) OPENINGS PROVIDED AS MEANS OF ESCAPE CANNOT HAVE A SILL HEIGHT OF MORE THAN 44" ABOVE THE FLOOR.
- 2) ESCAPE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT. THE MINIMUM CLEAR OPENING HEIGHT IS 22" AND THE WIDTH IS 20".
- 3) ESCAPE OPENING SHALL HAVE A TOTAL GLASS AREA OF NOT LESS THAN 5 SQ. FT. FOR A GROUND WINDOW AND 5.1 SQ. FT. FOR AN UPPER STORY WINDOW.
- 4) REQUIRED EXIT DOORS SHALL BE NO LESS THAN 3"-0" X 6'-8".

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT

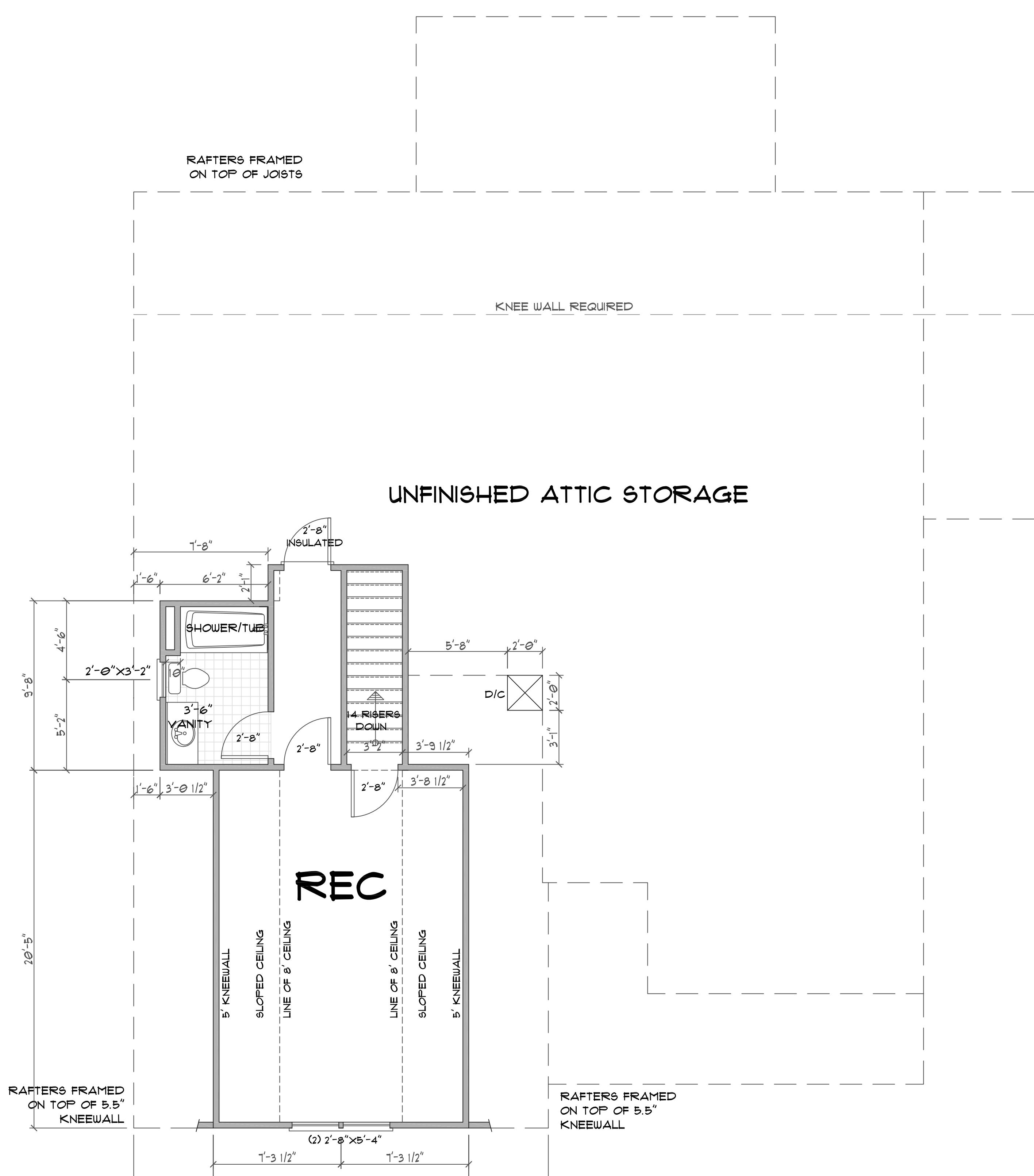
	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

SEE NC BUILDING CODE FOR LOCATION OF ZONES

PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARDS AND AWAY FROM THE BUILDING SURFACES

NOTES:

- THESE PLANS, NOTES AND DETAILS ARE DESIGNED TO MEET THE REQUIREMENTS OF THE 2018 NC RESIDENTIAL BUILDING CODE.
- ALL NOTES ARE APPLICABLE UNLESS NOTED OTHERWISE (UNO)
- THIS DETAIL SHEET IS TO BE USED ONLY IN CONJUNCTION WITH PLANS CREATED BY TRIANGLE RESIDENTIAL DESIGNS
- SEALED ENGINEER'S DRAWINGS TAKE PRIORITY OVER TRD'S STANDARD DETAILS NOTES



SECOND FLOOR PLAN

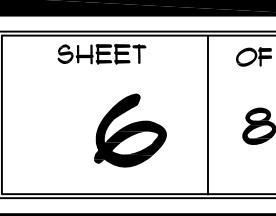
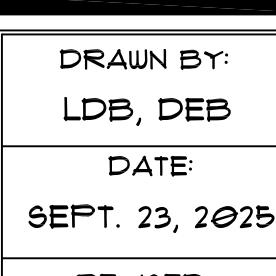
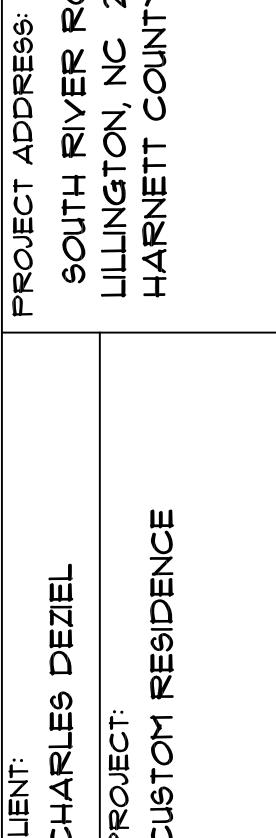
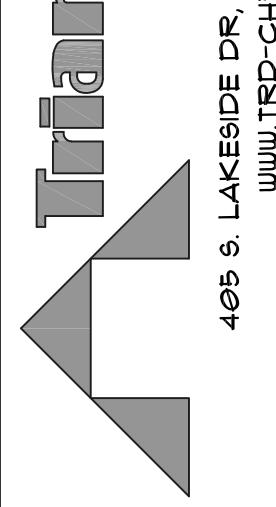
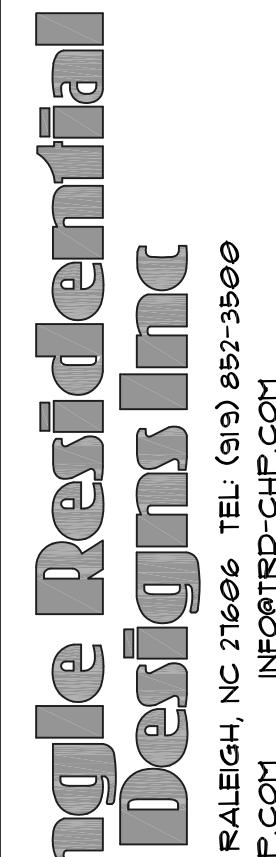
SCALE:

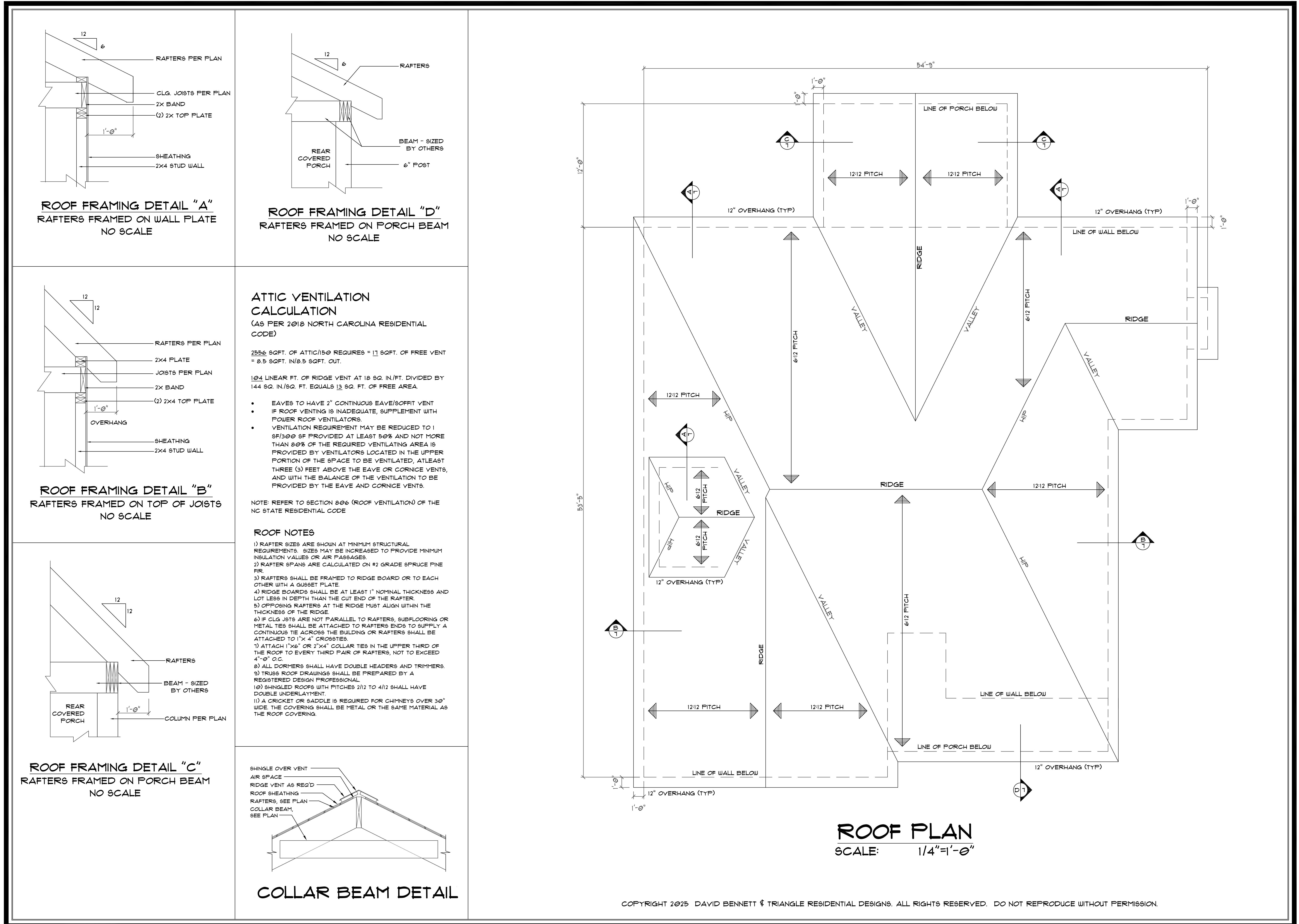
1/4"=1'-0"

8'-0" CEILING ON THIS FLOOR

AREA CALCULATION

FIRST FLOOR:	1765 SQFT
REC ROOM:	262 SQFT
TOTAL LIVING:	2021 SQFT
GARAGE:	596 SQFT
FRONT PORCH:	146 SQFT
REAR PORCH:	118 SQFT
TOTAL NON-LIVING:	920 SQFT







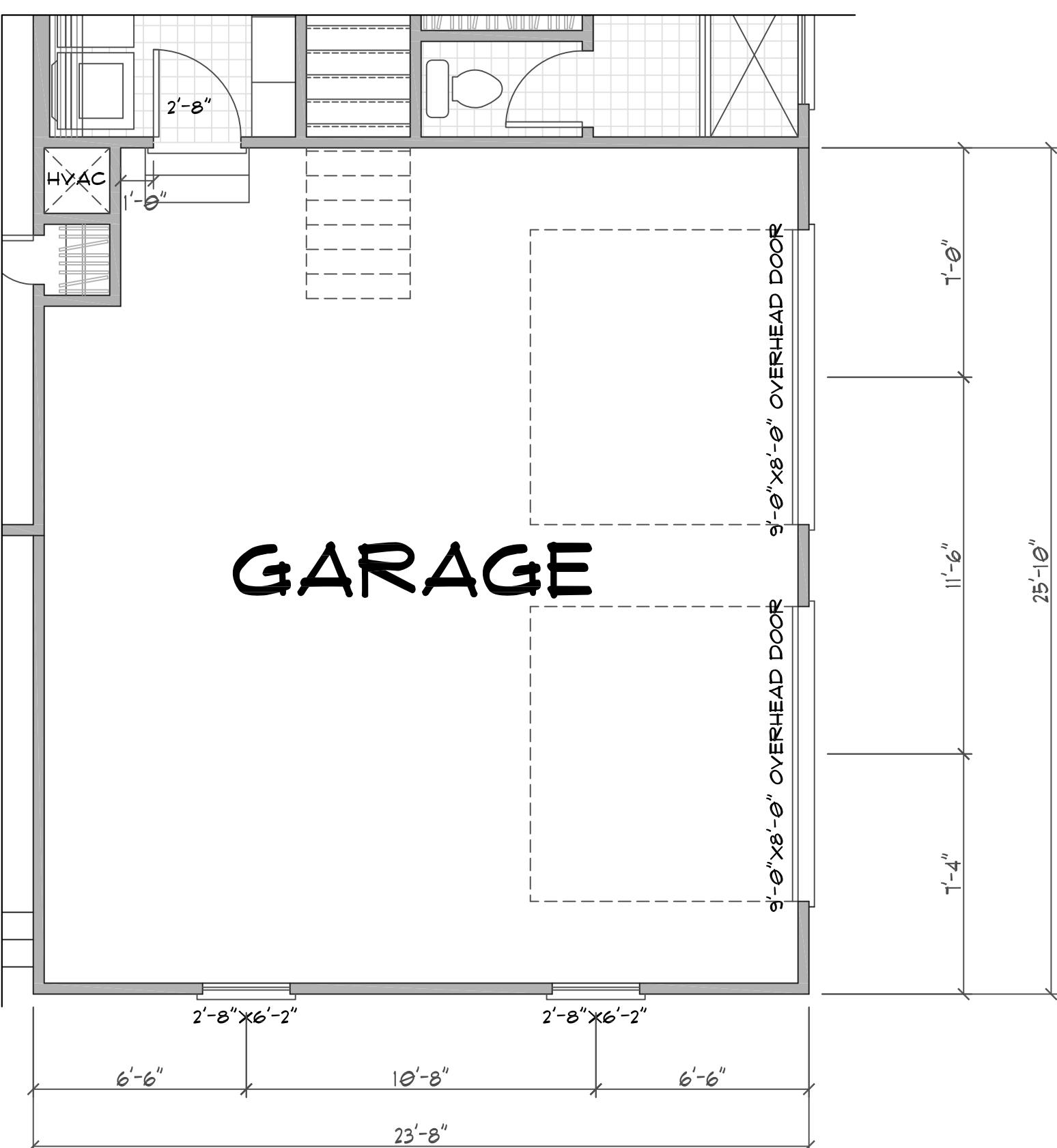
The logo for the American Institute of Building Design (AIBD) is located in the top right corner. It features the letters 'AIBD' in a bold, sans-serif font. The 'A' and 'B' are stacked vertically, and the 'I' and 'D' are positioned to the right of the 'B'. Below the letters, the words 'AMERICAN INSTITUTE' are written in a smaller, bold, sans-serif font, followed by 'BUILDING DESIGN' in a slightly larger, bold, sans-serif font.

Design and Implementation of a High-Performance, Low-Cost, and Low-Power Microcontroller-based System for the Internet of Things

**Tridge Lakeside
Designs Inc**

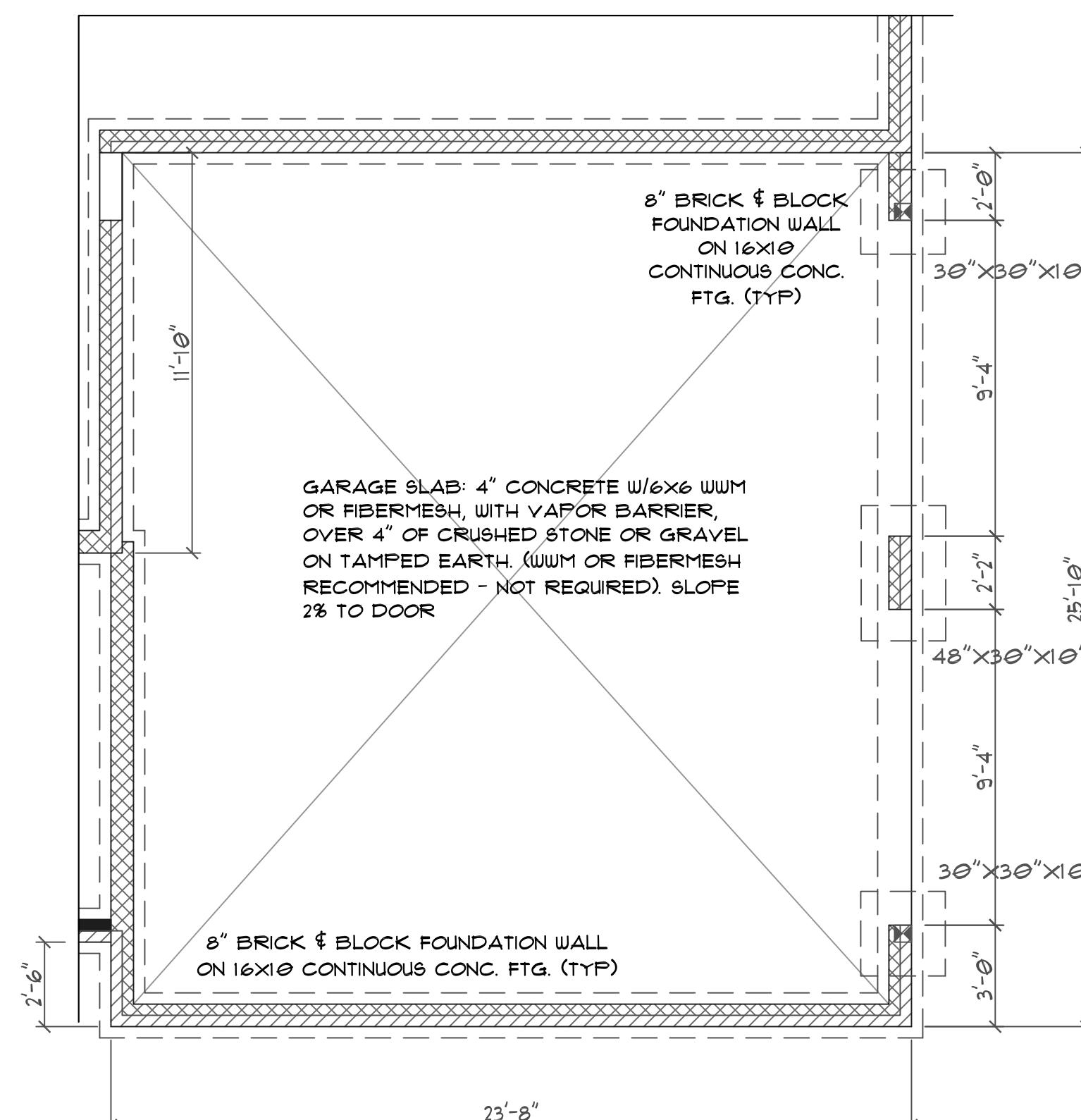
SOUTH RIVER ROAD
LILLINGTON, NC 27546
HARNETT COUNTY

DRAWN BY:
LDB, DEB
DATE:
SEPT. 23, 2025



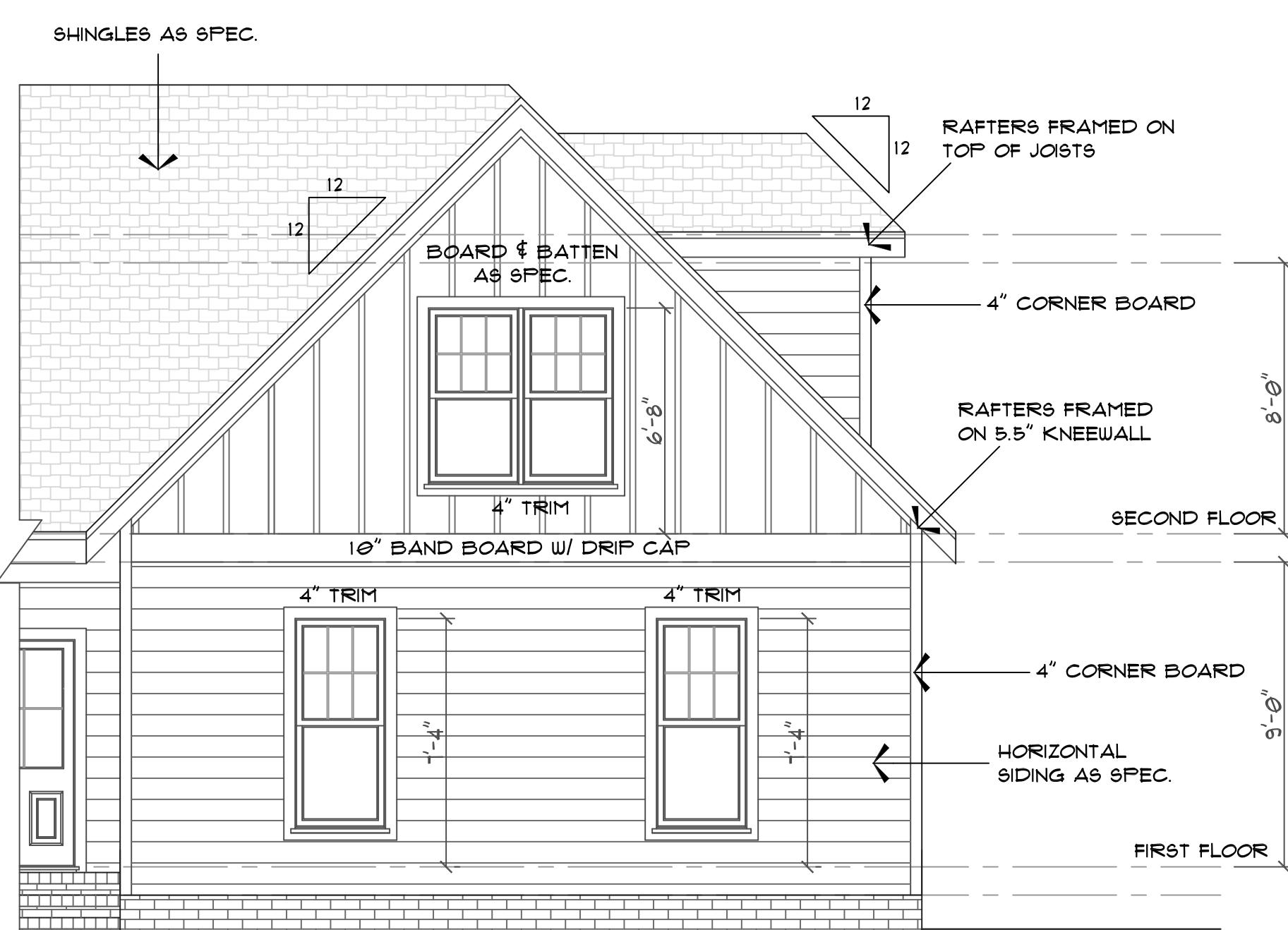
GARAGE SIDE ENTRY FLOOR PLAN

SCALE: 1/4"=1'-0"



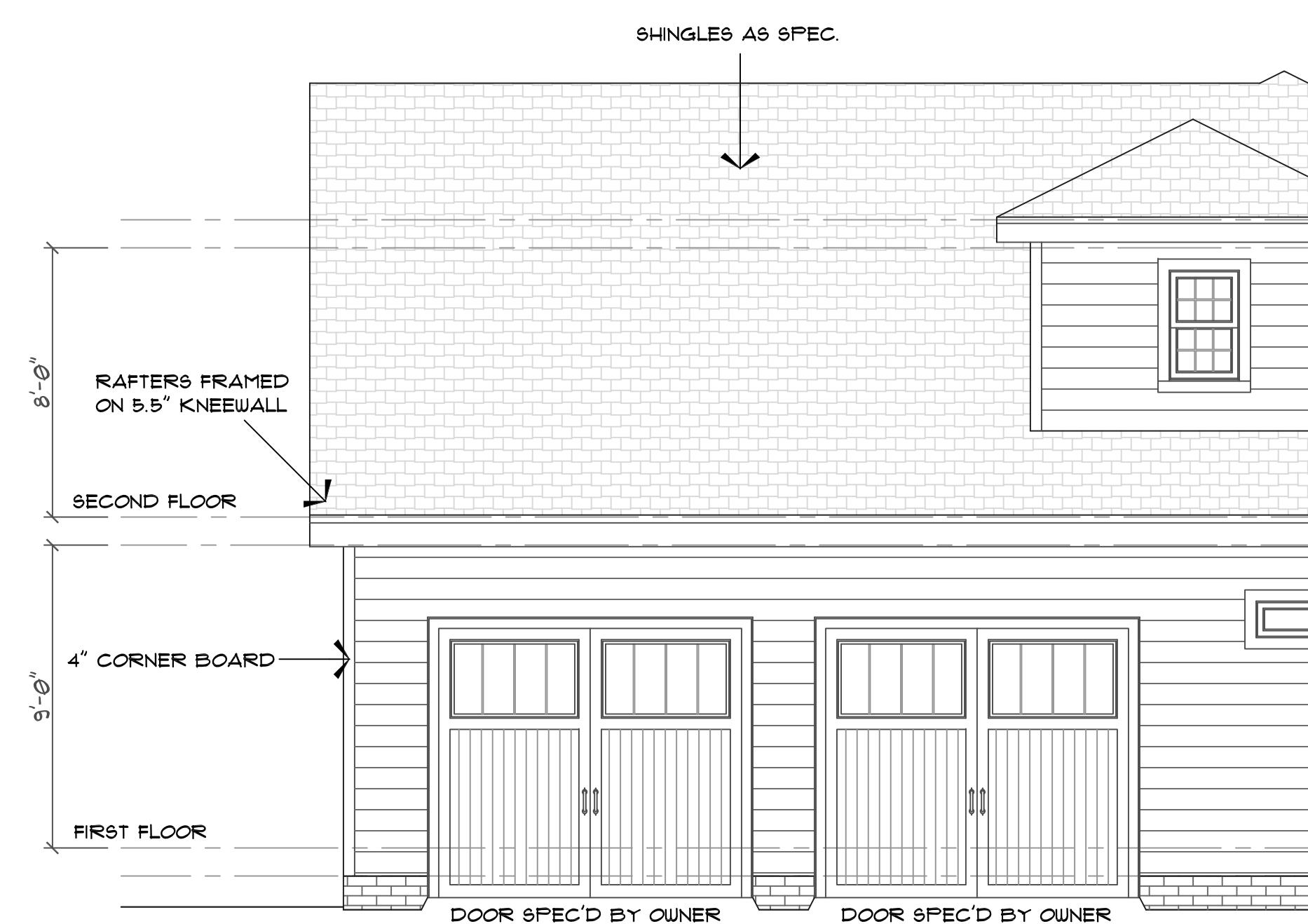
GARAGE SIDE ENTRY FOUNDATION PLAN

SCALE: 1/4"=1'-0"



GARAGE SIDE ENTRY FRONT ELEVATION

SCALE: 1/4"=1'-0"



GARAGE SIDE ENTRY RIGHT ELEVATION

SCALE: $1/4"=1'-0"$



SEAL DATE: 10/30/2025

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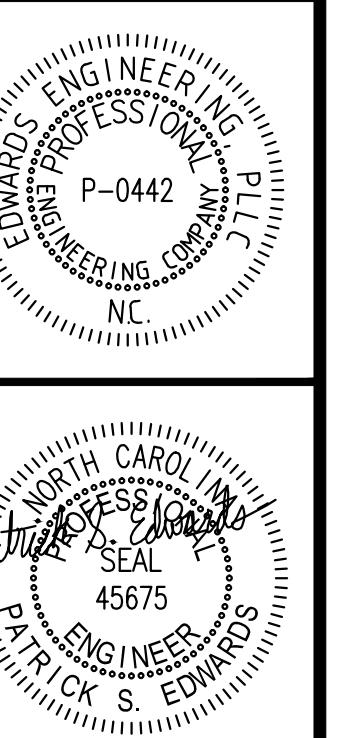
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SEAL DATE: 10/30/2025

REVISIONS

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DEZIEL RESIDENCE

SOUTH RIVER RD.
LILLINGTON, NC 27546

THESE PLANS AND THE INFORMATION CONTAINED WITHIN THEM ARE THE PROPERTY OF EDWARDS ENGINEERING, PLLC AND HAVE BEEN ISSUED EXCLUSIVELY FOR THE PROJECT SHOWN. THESE PLANS SHALL NOT BE REPRODUCED OR MODIFIED WITHOUT THE WRITTEN CONSENT OF EDWARDS ENGINEERING, PLLC.

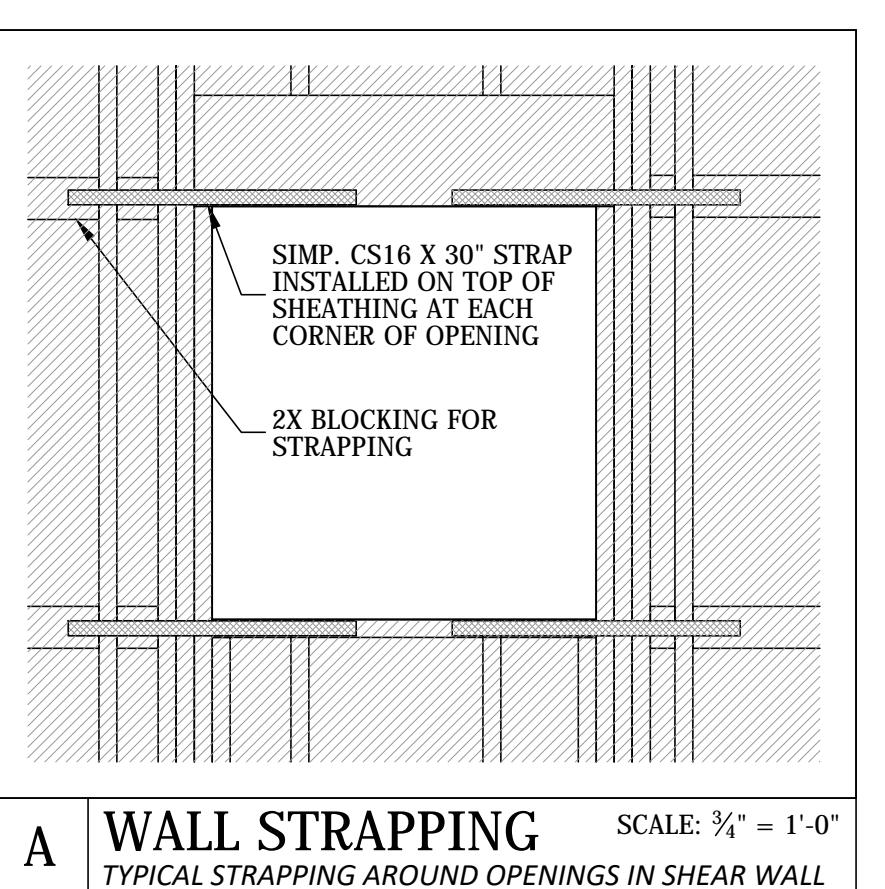
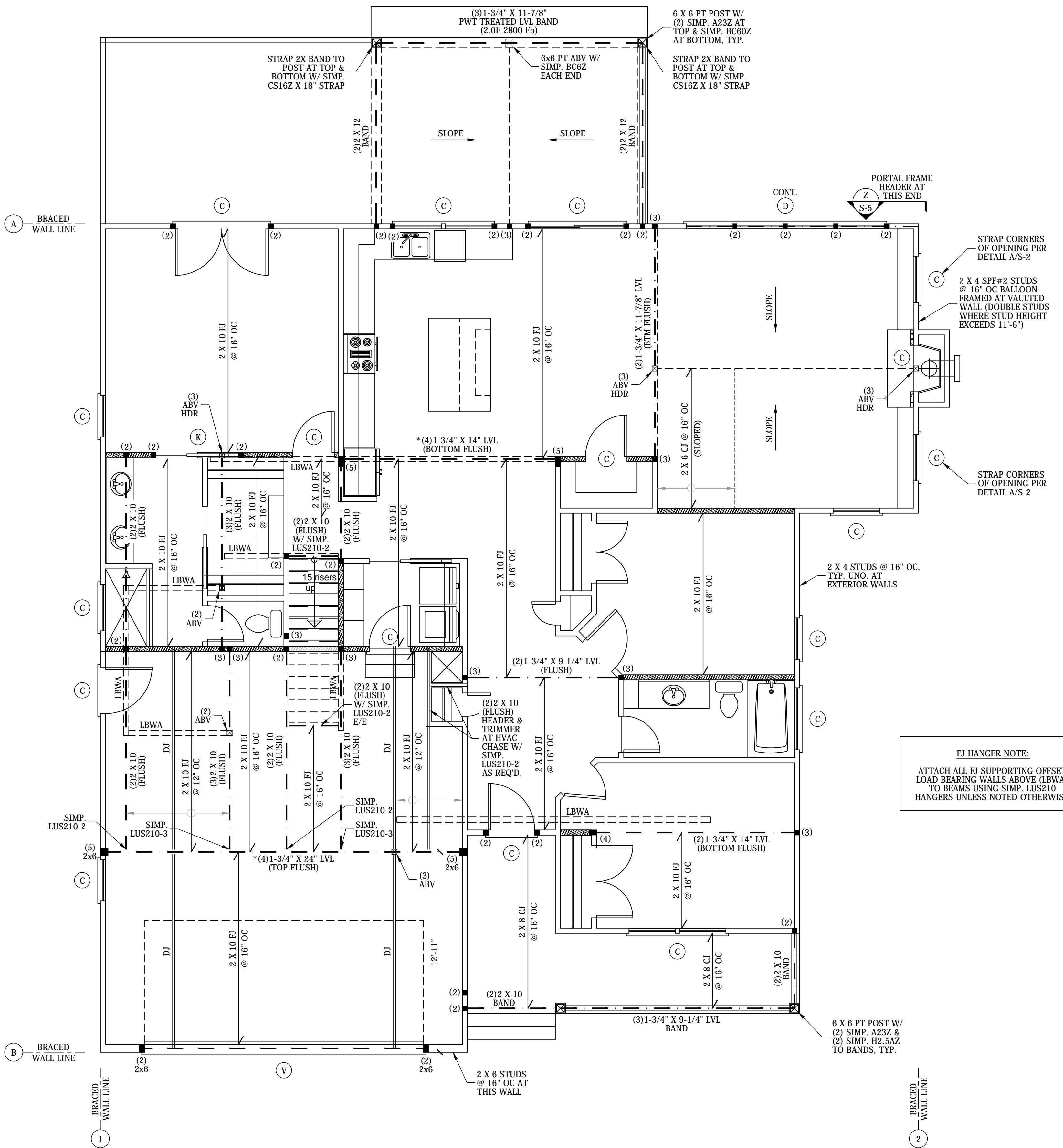
LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 4 UNO)
	LOAD BEARING WALL
*	ATTACH PLIES OF LVL WITH (2) SIMP. SDS25600 SCREWS @ 24° OC EACH SIDE OF BEAM (STAGGER SCREWS FROM EACH SIDE)

HEADER SCHEDULE			
TAG	HEADER	TAG	
A	(2) 12 X 6	K	(2) 1.75 X 9.25 LVL
B	(2) 12 X 8	L	(2) 1.75 X 11.875 LVL
C	(2) 12 X 10	M	(2) 1.75 X 14 LVL
D	(2) 12 X 12	N	(2) 1.75 X 16 LVL
E	(3) 12 X 4	P	(2) 1.75 X 18 LVL
F	(3) 12 X 6	R	(2) 1.75 X 25 LVL & 2 X 10
G	(3) 12 X 8	S	(3) 1.75 X 9.25 LVL
H	(3) 12 X 10	T	(3) 1.75 X 11.875 LVL
J	(3) 12 X 12	V	(3) 1.75 X 14 LVL

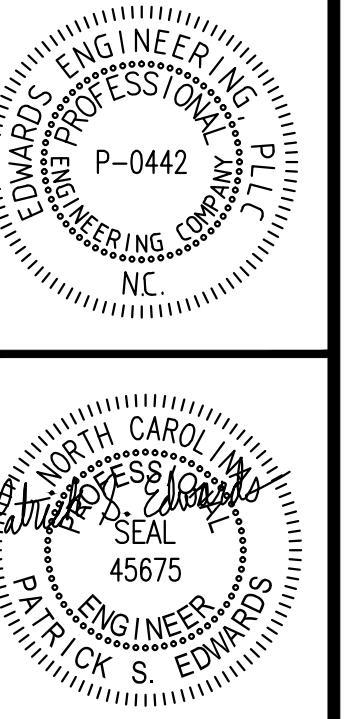
• HEADERS SHALL BE SUPPORTED ON SINGLE JACK STUDS UNLESS NOTED OTHERWISE.
• PROVIDE REQUIRED NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADER PER NCRC TABLE R602.7.5

WALL BRACING			
BWL	REQ'D.	PROV'D.	METHOD
A	9.1'	22.7'	CS-WSP / PORTAL FRAME
B	9.1'	14.8'	CS-WSP
1	9.0'	39.8'	CS-WSP
2	9.0'	26.2'	CS-WSP

HOUSE: 1-STORY (6:12 PITCH)
14'-0" EAVE TO RIDGE



A | WALL STRAPPING SCALE: $\frac{1}{4}$ " = 1'-0"
TYPICAL STRAPPING AROUND OPENINGS IN SHEAR WALL



SEAL DATE: 10/30/2025

REVISIONS

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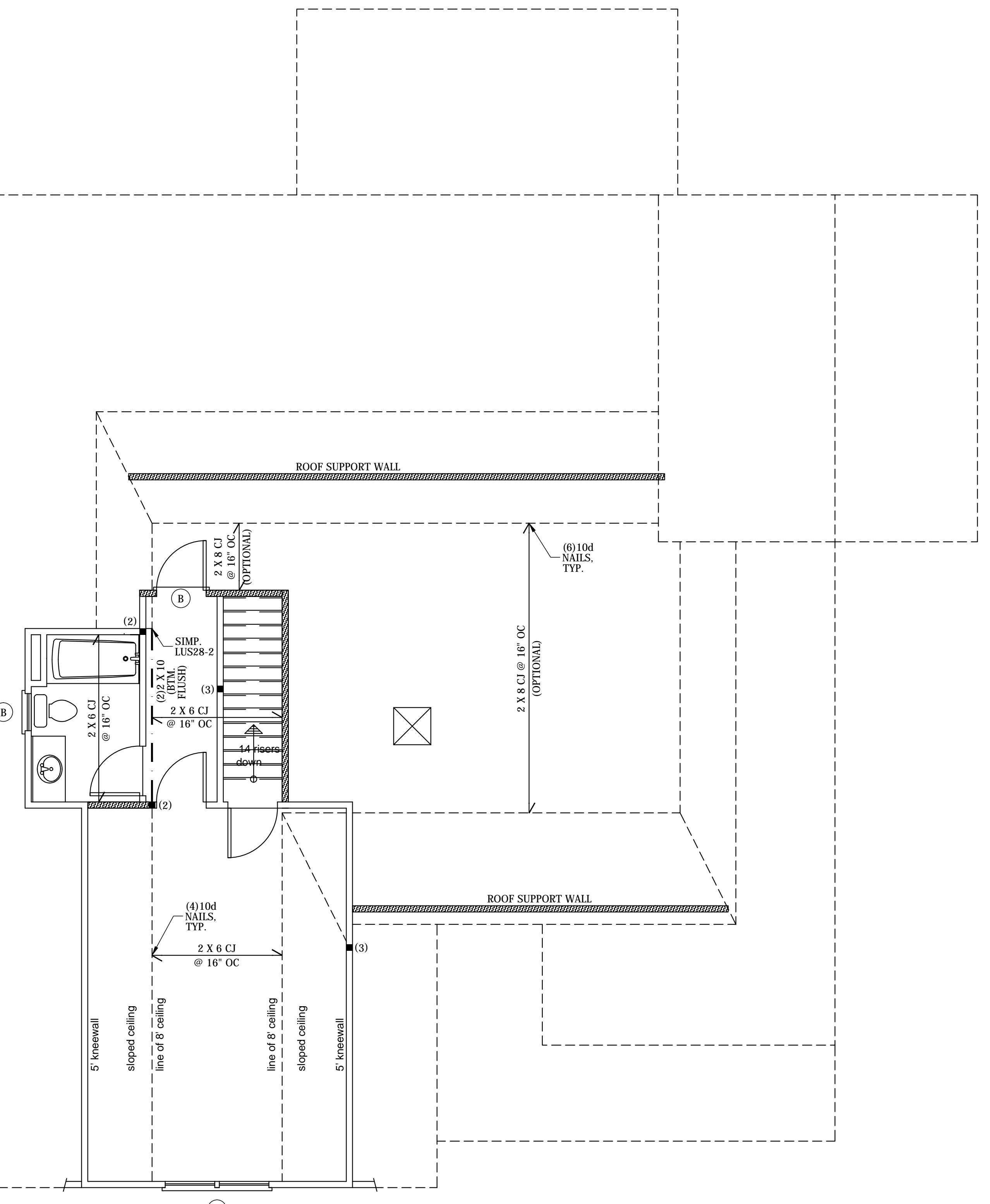
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LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 4 UNO)
	LOAD BEARING WALL

HEADER SCHEDULE	
TAG	HEADER
A	(2) 2 X 6
B	(2) 2 X 8
C	(2) 2 X 10
D	(2) 2 X 12
E	(3) 2 X 4
F	(3) 2 X 6
G	(3) 2 X 8
H	(3) 2 X 10
J	(3) 2 X 12
K	(2) 1.75 X 9.25 LVL
L	(2) 1.75 X 11.875 LVL
M	(2) 1.75 X 14 LVL
N	(2) 1.75 X 16 LVL
P	(2) 1.75 X 18 LVL
R	(2) 1.75 X 9.25 LVL & 2 X 10
S	(3) 1.75 X 9.25 LVL
T	(3) 1.75 X 11.875 LVL
V	(3) 1.75 X 14 LVL

- HEADERS SHALL BE SUPPORTED ON SINGLE JACK STUDS UNLESS NOTED OTHERWISE.
- PROVIDE REQUIRED NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADER PER NCRC TABLE R602.7.5



SECOND FLOOR PLAN

CEILING HEIGHT: 8'-0" UNO
SCALE: 1/4" = 1'-0"

FRAMING NOTES:

- ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI, Fv = 135 PSI, E = 1,400,000 PSI), EXCEPT THAT NON-LOAD BEARING STUDS MAY BE STUD GRADE.
- TREATED LUMBER SHALL BE SYP #2 (MIN. Fb = 750 PSI, Fv = 175 PSI, E = 1,400,000 PSI).
- TREATED LUMBER SHALL BE USED IN ALL AREAS SUBJECT TO WEATHER EXPOSURE, MOISTURE CONTENT EXCEEDING 19%, OR EXPOSURE AS NOTED IN SECTION R317. NCRC LUMBER IN CONTACT WITH GROUND OR IMBEDDED IN CONCRETE SHALL BE RATED FOR GROUND CONTACT USE WITH AN APPROPRIATE USE CATEGORY DESIGNATION FOR THE ANTICIPATED END USE AND SERVICE CONDITIONS.
- FASTENERS FOR TREATED LUMBER SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- LAMINATED VENEER LUMBER (LVL) SHALL MEET THE MINIMUM SPECIFICATIONS: Fb = 2,600 PSI, Fv = 285 PSI, E = 2,000,000 PSI. MULTIPLE LVL PLIES SHALL BE CONNECTED TOGETHER PER MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.
- FASTEN STRUCTURAL MEMBERS PER TABLE 602.3(1) NCRC.
- JOISTS AND RAFTERS SHALL HAVE A MINIMUM BEARING LENGTH OF 1 1/2" ON WOOD AND 3" ON CONCRETE OR MASONRY. BEAMS AND GIRDERS SHALL HAVE FULL BEARING FOR THE FULL WIDTH OF THE SUPPORT U.N.O. ALL MEMBER SPLICES SHALL OCCUR OVER A SUPPORT.
- STRUCTURAL MEMBER CUT, BORE, & NOTCH LIMITATIONS:
 - JOISTS: SECTION R502.8 NCRC
 - STUDS & TOP PLATES: SECTION R602.6 NCRC
 - BEAMS: CONTACT STRUCTURAL E.O.R. FOR APPROVAL
- DOUBLE JOISTS UNDER PARALLEL WALLS.
- PROVIDE LATERAL SUPPORT AT ENDS OF FLOOR JOISTS AND BEAMS BY FULL DEPTH SOLID 2X BLOCKING OR ATTACHMENT TO A HEADER BAND, OR ADJOINING STUD.
- LAP JOISTS OVER SUPPORTS MIN. 3" & ATTACH W/ (3) 10d NAILS. LAPPED JOISTS PROVIDING RAFTER THRUST RESTRAINT SHALL BE NAMED PER TABLE R802.5.1(9) NCRC.
- SHEATHING SHALL BE WOOD STRUCTURAL PANEL MEETING THE FOLLOWING REQUIREMENTS:
 - ROOF & SURFLOOR: TABLE R503.2.1.1(1) NCRC
 - EXTERIOR WALLS: TABLE R602.3(3) NCRC
- GYPSUM SHALL MEET THE REQUIREMENTS OF TABLE R702.3.5 NCRC.
- ALL STUD WALLS SHALL BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. U.N.O. BEARING FULLY ON 2X BOTTOM PLATE & CAPPED WITH DOUBLE 2X TOP PLATE. END JOINTS SHALL BE OFFSET AT LEAST 24" & NEED NOT OCCUR OVER STUD UNO.
- ATTACH DECK BANDS TO THE STRUCTURE PER SEC. AM104 NCRC WHEN DECK IS SUPPORTED AT THE STRUCTURE. PROVIDE BRACING PER SEC. AM109 NCRC. MAXIMUM POST HEIGHT SHALL NOT EXCEED LIMITS OF SEC. AM108 NCRC.
- PROVIDE DRAFTSTOPPING PER SECTION R302.12 AND FIREBLOCKING PER SECTION R302.11 NCRC.
- PROVIDE TERMITE PROTECTION PER SEC. R318.1 NCRC.

WALL BRACING NOTES:

- EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH MINIMUM 7/16" THICK WOOD STRUCTURAL PANEL SHEATHING ATTACHED TO FRAMING WITH 8d NAILS @ 6" OC EDGES & 12" OC FIELD WITH ALL SHEATHING EDGES SOLID BLOCKED UNLESS NOTED OTHERWISE.
- WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS1, DOC PS2, OR ANSI/APA PRP 210.
- INTERIOR SIDE OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED CONTINUOUSLY WITH MIN. 1/2" THICK GYPSUM WALL BOARD FASTENED PER NCRC TABLE R702.3.5.
- WALL CORNERS SHALL BE FRAMED PER NCRC FIGURE R602.10.3(6).
- A MIN. 2X LONG SHEATHING RETURN PANEL SHALL BE PROVIDED ON THE INTERSECTING WALL AT ENDS OF BRACED WALL LINES. WHERE THIS RETURN IS NOT PROVIDED, THE BRACED WALL LINE SHALL HAVE A MIN. 48" LONG PANEL AT THE CORNER. ONE HOLD-DOWN DEVICE RATED FOR MIN. 800 LB. SHALL ATTACH THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER TO THE FOUNDATION OR FLOOR FRAMING BELOW.
- BRACED WALL PANELS SHALL BE CONNECTED TO FLOOR AND CEILING FRAMING PER NCRC FIGURES R602.10.4.4(1) & (2).
- BRACED WALL PANELS SHALL BE CONNECTED TO ROOF FRAMING PER NCRC SECTION R602.10.4.5.

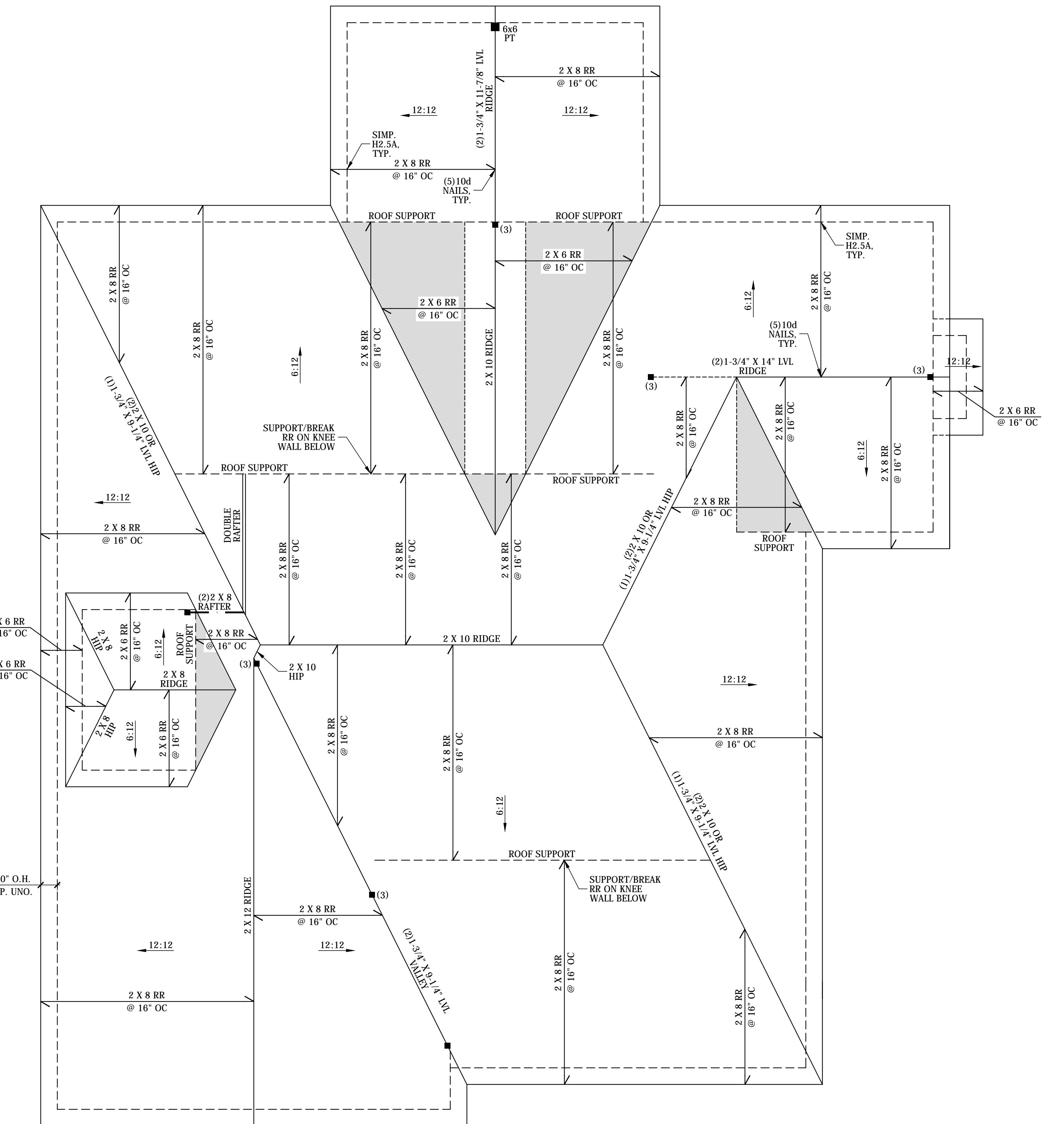
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ARCHITECT/DESIGNER:
TRIANGLE RES. DESIGNS
PLAN NAME:
DEZIEL RESIDENCE
BUILDER:
MAVEN HOME SOLUTIONS
JOB #: 25114
DATE: 10/30/2025
DRAWN BY: PSE
2ND FLOOR WALLS
2ND FLOOR CEILING
SHEET:
S-3
3 OF: 5

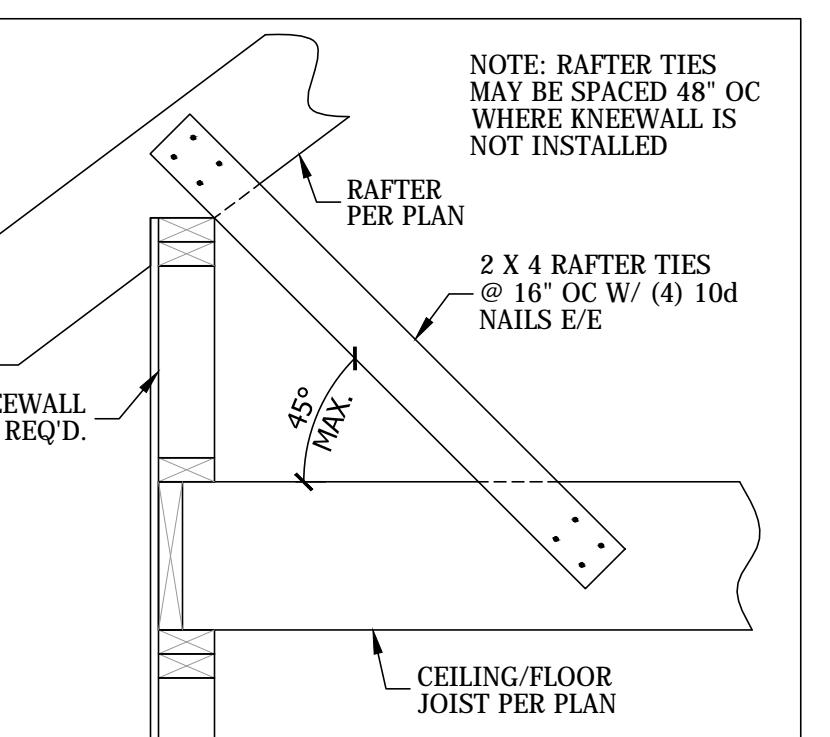
LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 4 UNO)
■	OVERFRAMED ROOF WITH RAFTERS BEARING ON A 2X FLAT PLATE ON LOW RAFTERS

ABBREVIATIONS	
A.B.	ANCHOR BOLT
ABV.	ABOVE
ADDL.	ADDITIONAL
BLDR.	BUILDER
B/T	BETWEEN
BTM.	BOTTOM
CANT.	CANTILEVER
CJ	CEILING JOIST
CLG.	CEILING
CLR.	CLEAR
CMU	CONCRETE MASONRY
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DIST.	DISTANCE
DJ	DOUBLE JOIST
DN.	DOWN
DR	DOUBLE RAFTER
DTL.	DETAIL
EA.	EACH
E/E	EACH END
EQ.	EQUAL
EXT.	EXISTING
FJ	FLOOR JOIST
FND.	FOUNDATION
FLR.	FLOOR
FRMG.	FRAMING
FT.	FEET/FOOT
FTG.	FOOTING
F.V.	FIELD VERIFY
GA.	GAUGE
GALV.	GALVANIZED
GYP.	GYPSUM
HDG	HOT DIPPED
HDR.	GALVANIZED
HDR.	HEADER
HORIZ.	HORIZONTAL
HT.	HEIGHT
IN.	INSIDE DIAMETER
IN.	INCH
INT.	INTERIOR
JST.	JOIST
LB.	POUND
LBWA	LOAD BEARING
WALL ABOVE	TH. THICKNESS
LLB	LONG LEG BACK
TYP.	TRIPLE RAFTER
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LVL	LAMINATED VENEER
LUMBER	W/ WITH
MFR.	MANUFACTURER
MAS.	MASONRY
WWF	W/ WITHOUT
WWF	WEIGHT
	WELDED WIRE FABRIC
ROOF NOTES:	
1. RAFTERS SHALL BE FRAMED TO A RIDGE BOARD MIN. 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER, OPPONING RAFTERS AT THE RIDGE MUST ALIGN WITHIN THE RIDGE MEMBER THICKNESS.	
2. HIP RAFTERS SHALL BE MIN. 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER, REGULARLY SPACED HIP AND VALLEY RAFTERS NEED NOT ALIGN, DO NOT SPLICE VALLEY BEAMS.	
3. ROOF SPECS APPLY TO ROOFS WITH MIN. 3:12 PITCH.	
4. COLLAR TIES SHALL BE MIN. 1" X 4" (NOMINAL) SPACED MAX. 4-FT O.C., LOCATED IN THE UPPER 1/3 OF ATTIC SPACE.	
5. STRUCTURAL ROOF MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R802.7 NCRC.	
6. PROVIDE VENTILATION FOR ENCLOSED ATTICS/ RAFTER SPACES FOR EACH ENCLOSED SPACE MIN. REQUIRED VENTILATION AREA SHALL BE DETERMINED PER SEC. R806.2 NCRC. PROVIDE MIN. 1" AIR SPACE BETWEEN INSULATION & ROOF SHEATHING AT ROOF VENT LOCATIONS.	
7. ATTICS EXCEEDING 400 SQ. FT. SHALL HAVE A MIN. 20" X 30" ACCESS OR LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE LOCATED IN THE ATTIC.	
8. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY PENETRATION MORE THAN 30" WIDE AS MEASURED PERPENDICULAR TO THE SLOPE. CRICKETS SHALL BE CONSTRUCTED IN COMPLIANCE WITH FIGURE R1003.20 AND TABLE R1003.20 NCRC.	
9. PROVIDE RAFTER TIES PER SEC. R802.3.1 WHERE CEILING JOISTS ARE NOT CONNECTED TO RAFTERS AT TOP PLATE.	
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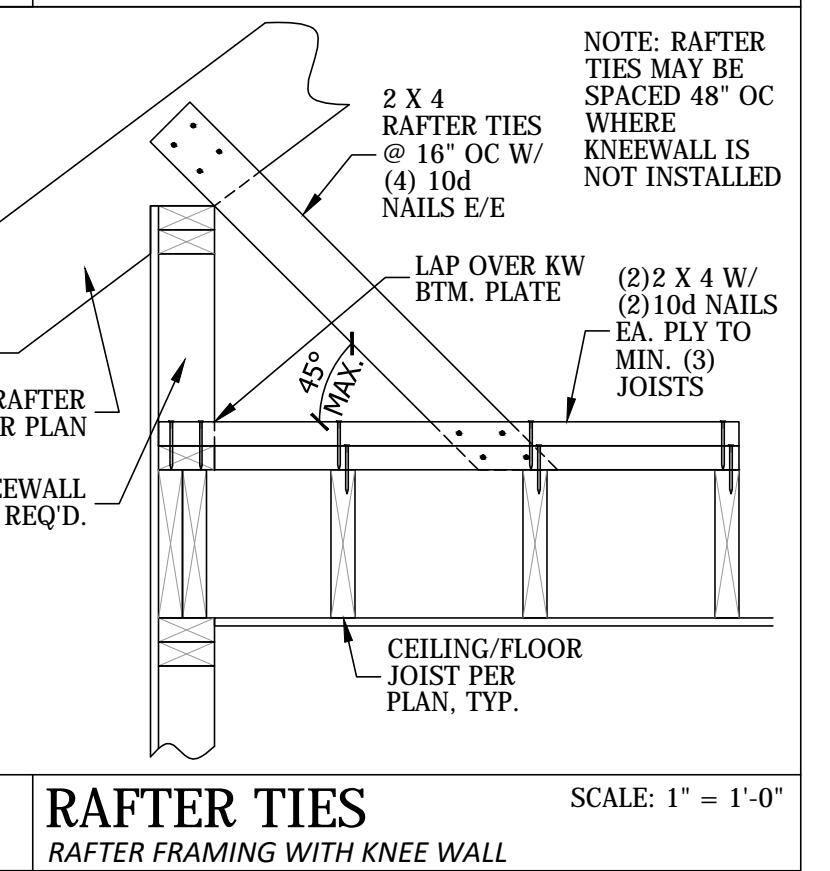


ROOF PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"



RAFTER TIES
RAFTER FRAMING WITH KNEE WALL



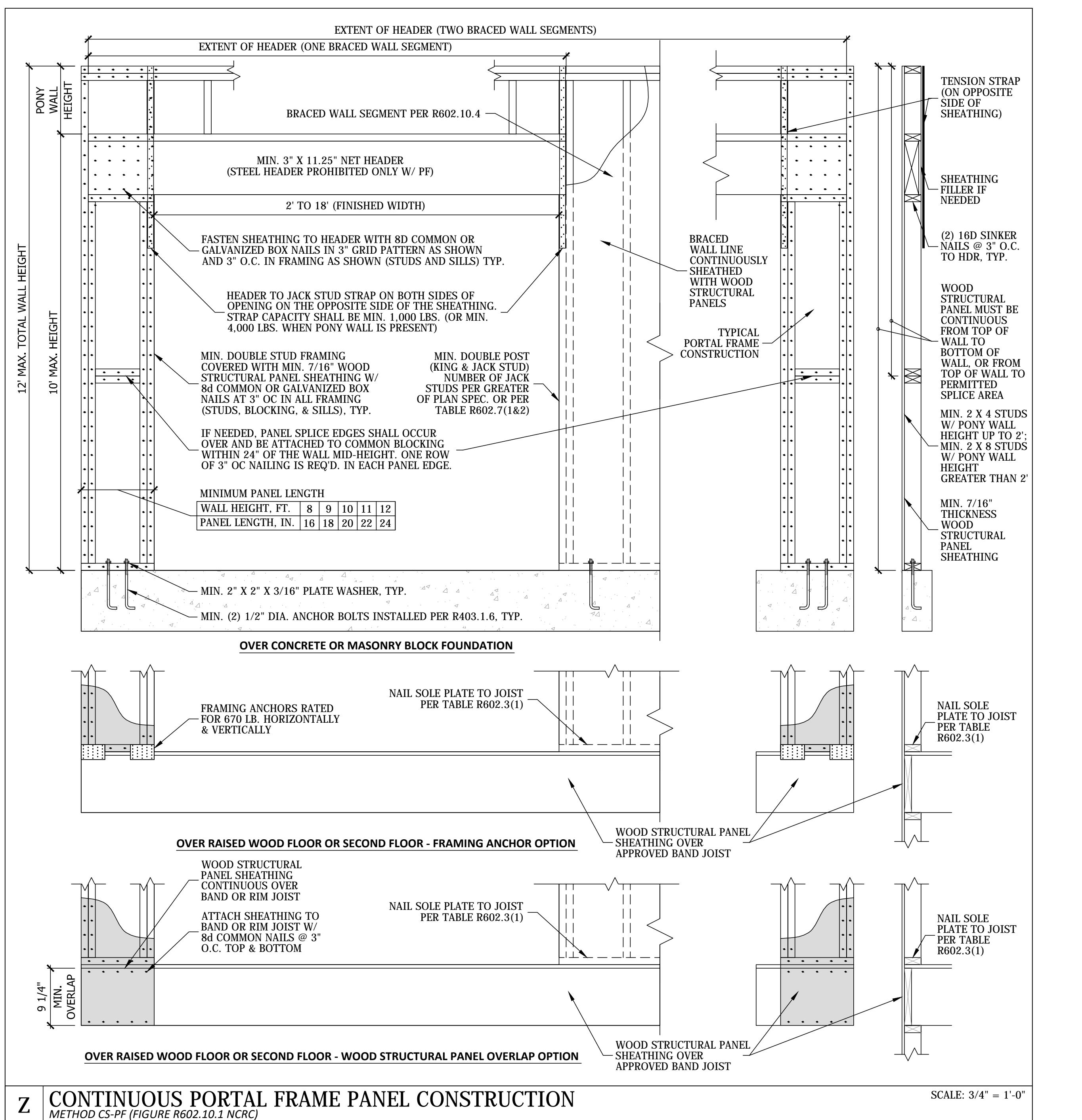
RAFTER TIES
RAFTER FRAMING WITH KNEE WALL

DEZIEL RESIDENCE
SOUTH RIVER RD.
LILLINGTON, NC 27546

THESE PLANS AND THE INFORMATION CONTAINED WITHIN THEM ARE THE PROPERTY OF EDWARDS ENGINEERING, PLLC AND HAVE BEEN ISSUED EXCLUSIVELY FOR THE PROJECT SHOWN. THESE PLANS SHALL NOT BE REPRODUCED OR MODIFIED WITHOUT THE WRITTEN CONSENT OF EDWARDS ENGINEERING, PLLC.

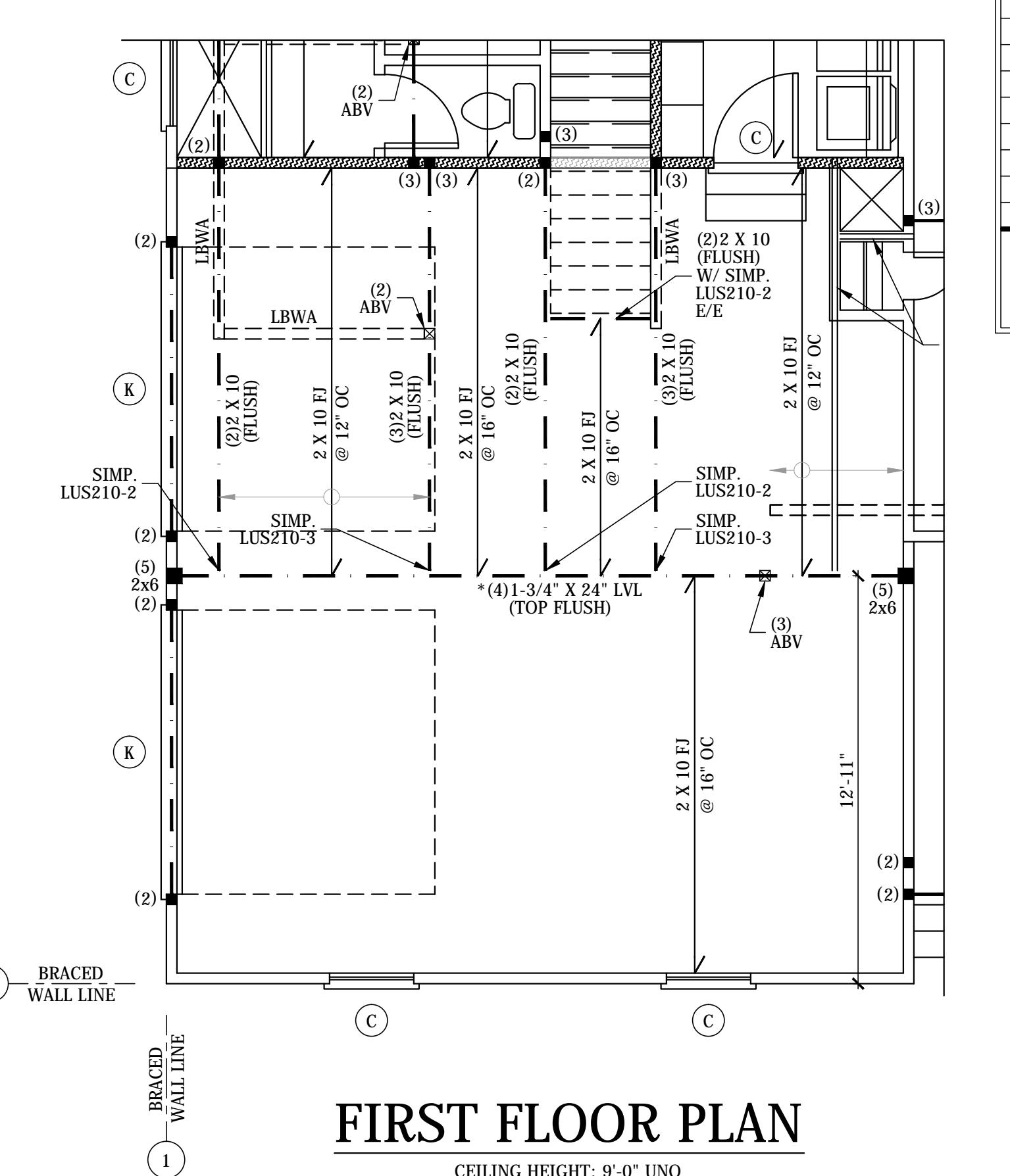


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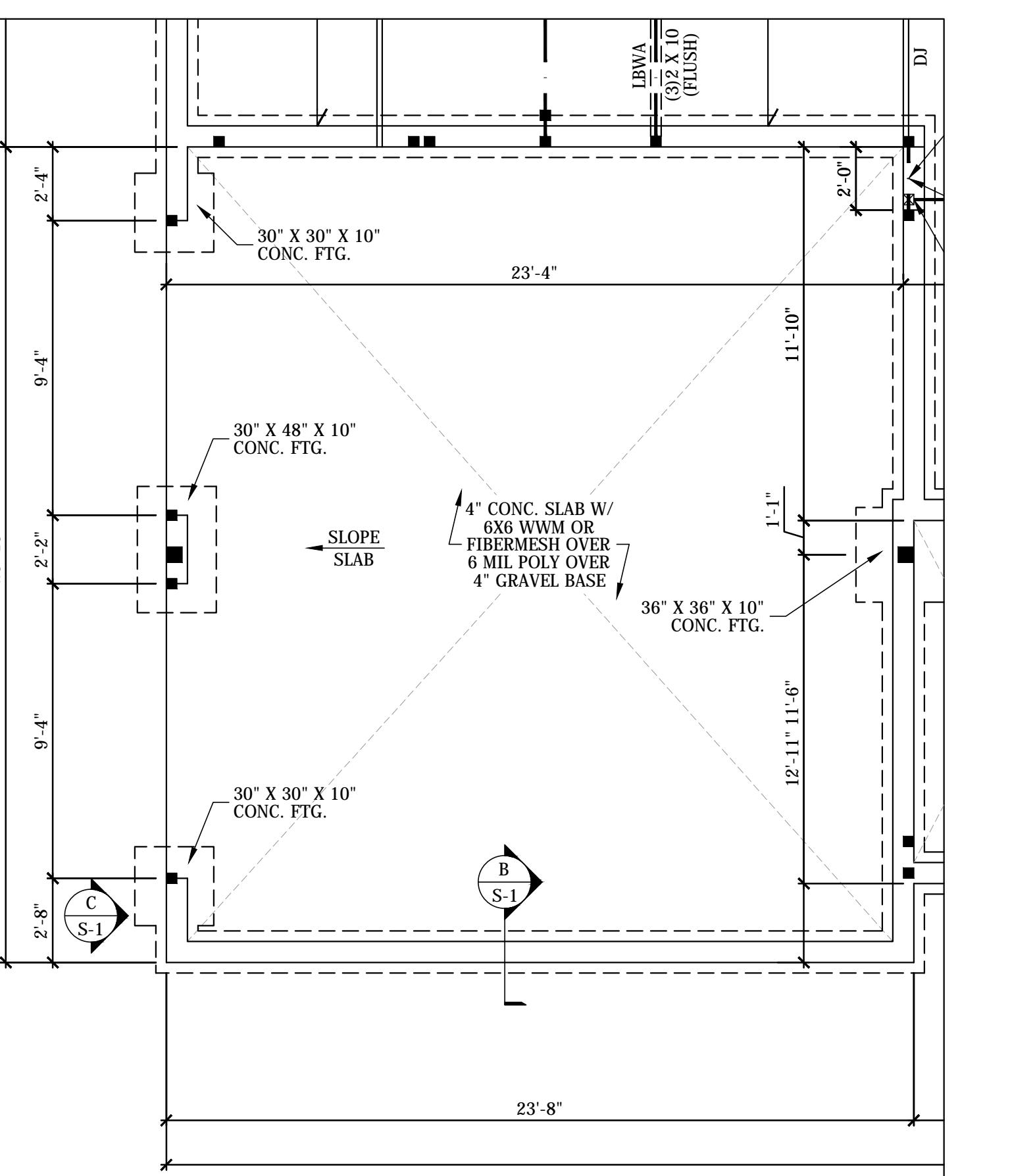
Z CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION

METHOD CS-PF (FIGURE R602.10.1 NCRC)



EST FLOOR PLAN

STORY HEIGHT: 9'-0" UNO
SCALE: $\frac{1}{4}$ " = 1'-0"



FUNDATION PLAN

ALE: $\frac{1}{4}$ " = 1'-0"

?

HEADER SCHEDULE

TAG	HEADER	TAG	HEADER
A	(2)2 X 6	K	(2)1.75 X 9.25 LVL
B	(2)2 X 8	L	(2)1.75 X 11.875 LVL
C	(2)2 X 10	M	(2)1.75 X 14 LVL
D	(2)2 X 12	N	(2)1.75 X 16 LVL
E	(3)2 X 4	P	(2)1.75 X 18 LVL
F	(3)2 X 6	R	(2)1.75 X 9.25 LVL & 2 X 10
G	(3)2 X 8	S	(3)1.75 X 9.25 LVL
H	(3)2 X 10	T	(3)1.75 X 11.875 LVL
J	(3)2 X 12	V	(3)1.75 X 14 LVL

- HEADERS SHALL BE SUPPORTED ON SINGLE JACK STUDS UNLESS NOTED OTHERWISE.
- PROVIDE REQUIRED NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADER PER NCRC TABLE R602.7.5

WALL BRACING			
BWL	REQ'D.	PROV'D.	METHOD
A	9.1'	22.7'	CS-WSP / PORTAL FRAME
B	9.1'	27.8'	CS-WSP
1	9.0'	27.4'	CS-WSP
2	9.0'	26.2'	CS-WSP
HOUSE:	1-STORY (6:12 PITCH) 14'-0" EAVE TO RIDGE		

FRAMING NOTES:

ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI, Fv - 135 PSI, E = 1,400,000 PSI), EXCEPT THAT NON-LOAD BEARING STUDS MAY BE STUD GRADE.

TREATED LUMBER SHALL BE SYP #2 (MIN. Fb = 750 PSI, Fv = 175 PSI, E = 1,400,000 PSI).

TREATED LUMBER SHALL BE USED IN ALL AREAS SUBJECT TO WEATHER EXPOSURE, MOISTURE CONTENT EXCEEDING 19%, OR DECAY AS DEFINED BY SECTION R317.1 NCRC. LUMBER IN CONTACT WITH GROUND OR EMBEDDED IN CONCRETE SHALL BE RATED FOR GROUND CONTACT USE WITH AN APPROPRIATE USE CATEGORY DESIGNATION FOR THE ANTICIPATED END USE AND SERVICE CONDITIONS.

FASTENERS FOR TREATED LUMBER SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

LAMINATED VENEER LUMBER (LVL) SHALL MEET THE MINIMUM SPECIFICATIONS: Fb = 2,600 PSI, Fv = 285 PSI, E = 2,000,000 PSI. MULTIPLE LVL PLIES SHALL BE CONNECTED TOGETHER PER MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.

FASTEN STRUCTURAL MEMBERS PER TABLE 602.3(1) NCRC. JOISTS AND RAFTERS SHALL HAVE A MINIMUM BEARING LENGTH OF 1½" ON WOOD AND 3" ON CONCRETE OR MASONRY. BEAMS AND GIRDERS SHALL HAVE FULL BEARING FOR THE FULL WIDTH OF THE SUPPORT U.N.O. ALL MEMBER SPLICES SHALL OCCUR OVER A SUPPORT.

STRUCTURAL MEMBER CUT, BORE, & NOTCH LIMITATIONS:

- JOISTS: SECTION R502.8 NCRC
- STUDS & TOP PLATES: SECTION R602.6 NCRC
- BEAMS: CONTACT STRUCTURAL E.O.R. FOR APPROVAL

DOUBLE JOISTS UNDER PARALLEL WALLS.

1. PROVIDE LATERAL SUPPORT AT ENDS OF FLOOR JOISTS AND BEAMS BY FULL DEPTH SOLID 2X BLOCKING OR ATTACHMENT TO A HEADER, BAND, OR ADJOINING STUD.

1. LAP JOISTS OVER SUPPORTS MIN. 3" & ATTACH W/ (3) 10d NAILS. LAPPED JOISTS PROVIDING RAFTER THRUST RESISTANCE SHALL BE NAILED PER TABLE R802.5.1(9) NCRC.

2. SHEATHING SHALL BE WOOD STRUCTURAL PANEL MEETING THE FOLLOWING REQUIREMENTS:

- ROOF & SUBFLOOR: TABLE R503.2.1.1(1) NCRC
- EXTERIOR WALLS: TABLE R602.3(3) NCRC

3. GYPSUM SHALL MEET THE REQUIREMENTS OF TABLE R702.3.5 NCRC.

4. ALL STUD WALLS SHALL BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. U.N.O. BEARING FULLY ON 2X BOTTOM PLATE & CAPPED WITH DOUBLE 2X TOP PLATE. END JOINTS SHALL BE OFFSET AT LEAST 24" & NEED NOT OCCUR OVER STUD UNO.

5. ATTACH DECK BANDS TO THE STRUCTURE PER SEC. AM104 NCRC WHEN DECK IS SUPPORTED AT THE STRUCTURE. PROVIDE BRACING PER SEC. AM109 NCRC. MAXIMUM POST HEIGHT SHALL NOT EXCEED LIMITS OF SEC. AM108 NCRC.

6. PROVIDE DRAFTSTOPPING PER SECTION R302.12 AND FIREBLOCKING PER SECTION R302.11 NCRC.

7. PROVIDE TERMITE PROTECTION PER SEC. R318.1 NCRC.

FOUNDATION NOTES:

PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION WALLS. ROOF DRAINAGE SHALL DISCHARGE AT LEAST 5 FEET AWAY FROM FOUNDATION WALLS.

ASSUMED SOIL BEARING CAPACITY IS 2000 PSF.

CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL PROPERTIES.

CONCRETE MIN. 28-DAY COMPRESSIVE STRENGTH: 3000 PSI

STEEL REINFORCEMENT SHALL BE DEFORMED

REINFORCEMENT COMPLYING WITH THE REQUIREMENTS OF

ASTM A615. MIN. YIELD STRENGTH: 40 KSI (GRADE 40) IN

FOOTINGS & 60 KSI (GRADE 60) IN WALLS.

MIN. CONCRETE COVER FOR STEEL REINFORCEMENT: 3"

WHEN CAST AGAINST EARTH; 1 1/2" (NO. 5 BARS OR SMALLER) OR 2" (NO. 6 BARS OR LARGER) WHEN CAST IN REMOVABLE FORMS THAT WILL BE EXPOSED TO EARTH OR WEATHER; 3/4" WHEN CAST IN REMOVABLE FORMS THAT WILL NOT BE EXPOSED TO EARTH OR WEATHER.

FOOTINGS SHALL BEAR A MINIMUM OF 12" BELOW GRADE, SHALL EXTEND BELOW THE FROST LINE AND SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL.

MIN. FOOTING THICKNESS: 6" FOR 1-STORY, 8" FOR 1 1/2 - 2 1/2 STORY, 10" FOR 3 STORY. MIN. FOOTING PROJECTION IS 2" AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING IN PLAIN CONCRETE FOOTINGS.

FOOTINGS FOR MASONRY FIREPLACES/CHIMNEYS SHALL BE AT LEAST 12" THICK WITH MIN. 12" PROJECTION.

MIN. 2 X 4 PRESSURE TREATED SILL PLATE AT EXTERIOR WALLS ANCHORED TO FOUNDATION WITH MIN. 1/2" DIA. ANCHOR BOLTS @ MAX. 6'-0" O.C. AND MAX. 12" FROM CORNERS AND SILL SPLICES. MIN. 7" EMBEDMENT INTO SOLID FILLED MASONRY OR CONCRETE.

0. SLABS ON GRADE SHALL BE MIN. 4" THICK W/ 6 X 6 WWM OR FIBER REINFORCEMENT OVER 6-MIL POLY OVER 4" GRAVEL BASE OVER COMPACTED FILL. REINFORCEMENT

WALL BRACING NOTES:

1. EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH MINIMUM 7/16" TH WOOD STRUCTURAL PANEL SHEATHING ATTACHED TO FRAMING WITH 8d NAILS @ 6" OC EDGES & 12" OC FIELD WITH ALL SHEATHING EDGES SOLID BLOCKED UNLESS NOTED OTHERWISE.
2. WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS1, DOC PS2, OR ANSI/APA PRP 210.
3. INTERIOR SIDE OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED CONTINUOUSLY WITH MIN. 1/2" TH GYPSUM WALL BOARD FASTENED PER NCRC TABLE R702.3.5.
4. WALL CORNERS SHALL BE FRAMED PER NCRC FIGURE R602.10.3(5).
5. A MIN. 24" LONG SHEATHING RETURN PANEL SHALL BE PROVIDED ON THE INTERSECTING WALL AT ENDS OF BRACED WALL LINES. WHERE THIS RETURN IS NOT PROVIDED, THE BRACED WALL LINE SHALL HAVE A MIN. 48" LONG PANEL AT THE CORNER, OR A HOLD-DOWN DEVICE RATED FOR MIN. 800 LB. SHALL ATTACH THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER TO THE FOUNDATION OR FLOOR FRAMING BELOW.
6. BRACED WALL PANELS SHALL BE CONNECTED TO FLOOR AND CEILING FRAMING PER NCRC FIGURES R602.10.4.4(1) & (2).
7. BRACED WALL PANELS SHALL BE CONNECTED TO ROOF FRAMING PER NCRC SECTION R602.10.4.5.

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6. FOUNDATION WALLS WITH GREATER THAN 4 FEET OF UNBALANCED FILL SHALL HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM PRIOR TO BACKFILLING. LATERAL SUPPORT PROVIDED BY A SLAB ON GRADE SHALL BE DESIGNED BY THE ENGINEER OF RECORD.
7. LOCATE FOUNDATION VENTS WITHIN 3-FT OF EACH CORNER OF THE BUILDING IN VENTED CRAWL SPACES. TOTAL NUMBER OF VENTS REQUIRED PER SECTION R408.1.1 NCRC. DO NOT LOCATE VENTS UNDER POINT LOADS.
8. COVER ALL EXPOSED EARTH IN CRAWL SPACES WITH A MIN. 6-MIL POLYETHYLENE VAPOR RETARDER OR EQUIVALENT.
9. PROVIDE A MIN. 22" X 30" ACCESS TO CRAWL SPACE, OR LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE LOCATED IN THE CRAWL SPACE. DO NOT LOCATE ACCESS UNDER POINT LOADS.
10. FOUNDATION WALLS SHALL HAVE A SOLID 8" CAP.
11. MASONRY SHALL BE LAID IN RUNNING BOND AND SHALL USE TYPE M OR S MORTAR W/ $\frac{3}{8}$ " HEAD AND BED JOINTS. BED JOINTS FOR STARTING COURSES PLACED OVER FOUNDATION SHALL BE MIN. $\frac{1}{4}$ " AND MAX. $1\frac{1}{2}$ ".
12. WALL HEIGHT, THICKNESS, BACKFILL, AND REINFORCEMENT PER TABLES R404.1.1 (1-4) NCRC.
13. CORBELED MASONRY SHALL MEET THE REQUIREMENTS OF SECTION R606.5.

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ARCHITECT/DESIGNER:
TRIANGLE RES. DESIGNS
PLAN NAME:
DEZIEL RESIDENCE
BUILDER:
HAVEN HOME SOLUTIONS

JOB #:	25114
DATE:	10/30/2025
DRAWN BY:	PSE

SIDE ENTRY GARAGE

OPTION

SHEET:
S-5