
James Bates
09/30/2025

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications. These plans and specifications are prepared solely by, and for the exclusive use of, NVR, Inc. and are solely for a family residence consisting of eight or fewer attached units with grade level exits and which is not part of or physically connected with any other buildings or residential units. NVR, Inc. does not provide any third party the opportunity to customize these plans. The respective drawings contained herein shall be used only as construction assembly drawings by NVR, Inc. and its subcontractors. Any unauthorized use of these plans without the written consent of NVR, Inc. is prohibited.

GRAND CAYMAN

DIV-COMM-LOT-UNIT

RLH-VK-0026

COMM-LOT

KIPLING VILLAGE - 0026

STREET ADDRESS

37 SAINTSBURY DRIVE

APT. NO.

CITY

FUGUAY VARINA

STATE

NC

ZIP

27526

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for -- and should not be placed by NVR on -- these plans and specifications.



NVR, Inc.
5285 Westview Drive,
Suite 100
Frederick, MD 21703

James Bates
09/30/2025

Page	Sheet	Description	Page	Sheet	Description	Page	Sheet	Description
1	CS-1	COVERSHEET		WS-1B	WALL SECTION DETAILS			
1.1	SS-1	SPEC. SHEET						
2	CA-1	ROOF VENT AND VOLUME CALCULATIONS						
4	NC-1	ELEVATIONS						
7	NC-3	FOUNDATION						
8	NC-4	FOUNDATION HOLD DOWN						
9	NC-5	PLUMBING						
11	NC-7	FIRST FLOOR PLAN						
12	NC-8	BUILDING SECTION						
13	NC-9	BUILDING SECTION - GARAGE						
20	S-3	ROOF FRAMING						
21	S-4	TRUSS BRACING DETAILS						
22	S-5	WALL BRACING DETAILS						
	AD-1	HOUSE SPECIFIC DETAILS						
	DR-1	DOOR DETAILS						
	DR-1B	DOOR DETAILS						
	DR-3	DOOR DETAILS						
	ET-1	EXTERIOR TRIM DETAILS						
	ET-1B	EXTERIOR TRIM DETAILS						
	ET-1C	EXTERIOR TRIM DETAILS						
	ET-1D	EXTERIOR TRIM DETAILS						
	ET-1G	EXTERIOR TRIM DETAILS						
	ET-1H	EXTERIOR TRIM DETAILS						
	ET-3	EXTERIOR TRIM DETAILS						
	ET-3B	EXTERIOR TRIM DETAILS						
	ET-3C	EXTERIOR TRIM DETAILS						
	F-1	FLASHING DETAILS						
	F-1B	FLASHING DETAILS						
	F-1D	FLASHING DETAILS						
	F-3	FLASHING DETAILS STONE						
	F-3B	FLASHING DETAILS STONE						
	FA-1B	FIRE ASSEMBLY DETAILS						
	FC-1	FRAMING/FASTENER DETAILS						
	FC-1B	FRAMING/FASTENER DETAILS						
	FC-2	FRAMING/FASTENER DETAILS						
	FC-4	FRAMING/FASTENER DETAILS						
	FC-5	FRAMING/FASTENER DETAILS						
	FD-1	FOUNDATION DETAILS						
	FD-1B	FOUNDATION DETAILS						
	FD-4	FOUNDATION DETAILS						
	IT-1	INTERIOR TRIM DETAILS						
	IT-1B	INTERIOR TRIM DETAILS						
	IT-1C	INTERIOR TRIM DETAILS						
	IT-2	INTERIOR TRIM DETAILS						
	IT-2B	INTERIOR TRIM DETAILS						
	KT-1	KITCHEN TRIM DETAILS						
	KT-1B	KITCHEN TRIM DETAILS						
	RF-1	ROOF FRAMING DETAILS						
	RF-1B	ROOF FRAMING DETAILS						
	RF-1C	ROOF FRAMING DETAILS						
	SEP-1	STANDARD ENERGY PACKAGE DETAILS						
	SEP-2	STANDARD ENERGY PACKAGE DETAILS						
	SEP-3	STANDARD ENERGY PACKAGE DETAILS						
	SEP-4	STANDARD ENERGY PACKAGE DETAILS						
	WB-1	WALL BRACING DETAILS						
	WB-2	WALL BRACING DETAILS						
	WD-1	WINDOW DETAILS						
	WD-3	WINDOW DETAILS						

STRUCTURAL DESIGN CRITERIA	
- ALL LOCAL AND STATE CODES - ROOF LIVE LOAD 20 psf - ULTIMATE WIND SPEED 130 mph - WIND EXPOSURE CATEGORY B - SEISMIC DESIGN CATEGORY A / B	

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR SLAB FOUNDATION (BASE SF)	1533 SF
	1533 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE SLAB FOUNDATION	443 SF
	443 SF

UNFINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FRONT COVERED PORCH (ADD. SF)	25 SF
	25 SF

TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR SLAB FOUNDATION (BASE SF)	1533 SF
	1533 SF

SET NO. - VERSION

SHEET NO.

PAGE NO.

GCM00 - 01

CS-1

1

RELEASE NO. ----

V:\As-Sold\2-Jobs\Mitak Services\Assigned\RLH-VK-0026\ELJ_P_VK_0026\CS-1 COVERSHEET.dwg 09/30/25 - 11:37 am



Version 4.0
(Last Revised 04/26/19)

ROOF VENTILATION CALCULATIONS

HOUSE NAME	GRAND CAYMAN
HOUSE VERSION	1
PRODUCT LINE	RYANHOMES
VENTILATION VALUES	
SOFFIT:	9.9 sq in of vent per lf
RIDGE:	18 sq in of vent per lf
BOX / GABLE VENT:	45 sq in of vent per unit

USER GUIDE	YES	(any)		(any)	VENT OK	No action req'd.
	NO	YES		OK	VENT OK	No action req'd.
	NO	YES		LOW	FAIL	Increase ridge
	NO	YES		HIGH	FAIL	Decrease ridge
	NO	NO		(any)	FAIL	Increase total vent

ELEVATION "J"															Notes
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	
Without Rear Porch	287999	1919.99	960.00	90.125	892.24	22	396.00			1288.24	NO	YES	41.25%	OK	
With Rear Porch	308159	2054.39	1027.20	92.375	914.51	23	414.00			1328.51	NO	YES	40.30%	OK	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

ELEVATION "K" or "L"															Notes
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	
Without Rear Porch	287999	1919.99	960.00	90.125	892.24	22	396.00			1288.24	NO	YES	41.25%	OK	
With Rear Porch	308159	2054.39	1027.20	92.375	914.51	23	414.00			1328.51	NO	YES	40.30%	OK	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

Rear Porch															Notes
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	
	20160	134.40	67.20	18	178.20		0.00			178.20	YES	N/A	N/A	N/A	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

ADDITIONAL AREAS OF ROOF VENTILATION															Notes
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			



Version 3.0
(Last Revised 04/26/19)

HOUSE VOLUME CALCULATIONS

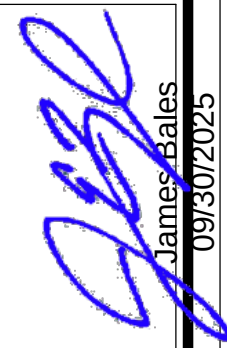
HOUSE NAME	GRAND CAYMAN
HOUSE VERSION	GCM00 / 01
PRODUCT LINE	RYANHOMES

Note: The volume of the structure has been computed in accordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5;23-2.28. Volume computation)

ELEVATION "J", "K", "L"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house	1680.00	13.30	22348
Garage bump out from main house	320.00	11.40	3647
		Total House Volume	25994

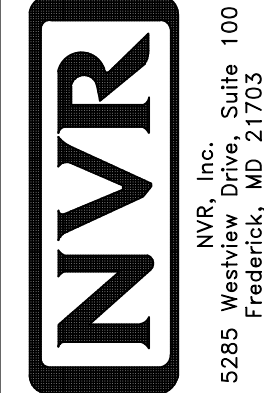
Additional areas of volume to be added to total house volume as needed			
Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Covered Porch "EPE"	140.00	9.44	1321
Full Basement "FBA"	1584.67	8.63	13668
Crawl space "FCA"	1584.67	0.80	1268

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for these plans and specifications.


James Hales
09/30/2025

DIV-COMM-LOT-UNIT				RLH-VK-0026			
COMM-LOT				KIPLING VILLAGE - 0026			
STREET ADDRESS				APT. NO.		ZIP	
CITY				STATE		NC	
FLUGAT VARINA				271526			

The owner, expressly reserves its right to make changes to these plans. These plans are not to be reproduced, changed, or altered in any way without the written consent of NVR, Inc.



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SHEET NO.	MODEL	SET NO. GCM00
CA-1	GRAND CAYMAN	VERSION 01
	DRAWING TITLE	RELEASE NO. ----
	ROOF VENT AND VOLUME CALCULATIONS VOLUME CALCULATIONS	DRAWN BY DATE:
	OPTION DESCRIPTION	OPTION
2		

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

James Bates
09/30/2025

DIV-COMM-LOT-UNIT
RLH-VK-0026

COM-LOT
KIPLING VILLAGE - 0026

STREET ADDRESS
971 SAINTSEBURY DRIVE

CITY
FUGUAY VARINA

STATE
NC

ZIP
27526

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the express written consent of NVR, Inc.

NVR
NVR, Inc., Suite 100
5285 Westwick Lane
Frederick, MD 21703

SET NO. 60000

VERSION 01

RELEASE NO. ----

DRAWN BY BN

DATE: 02/21/20

OPTION

MODEL
GRAND CAYMAN

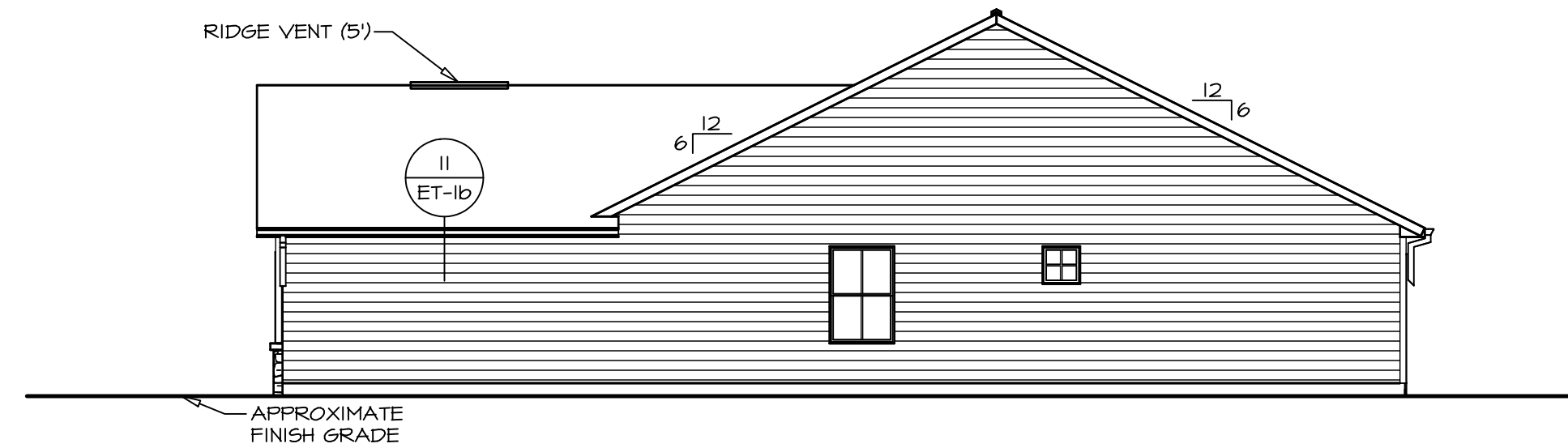
DRAWING TITLE
ELEVATIONS

OPTION DESCRIPTION

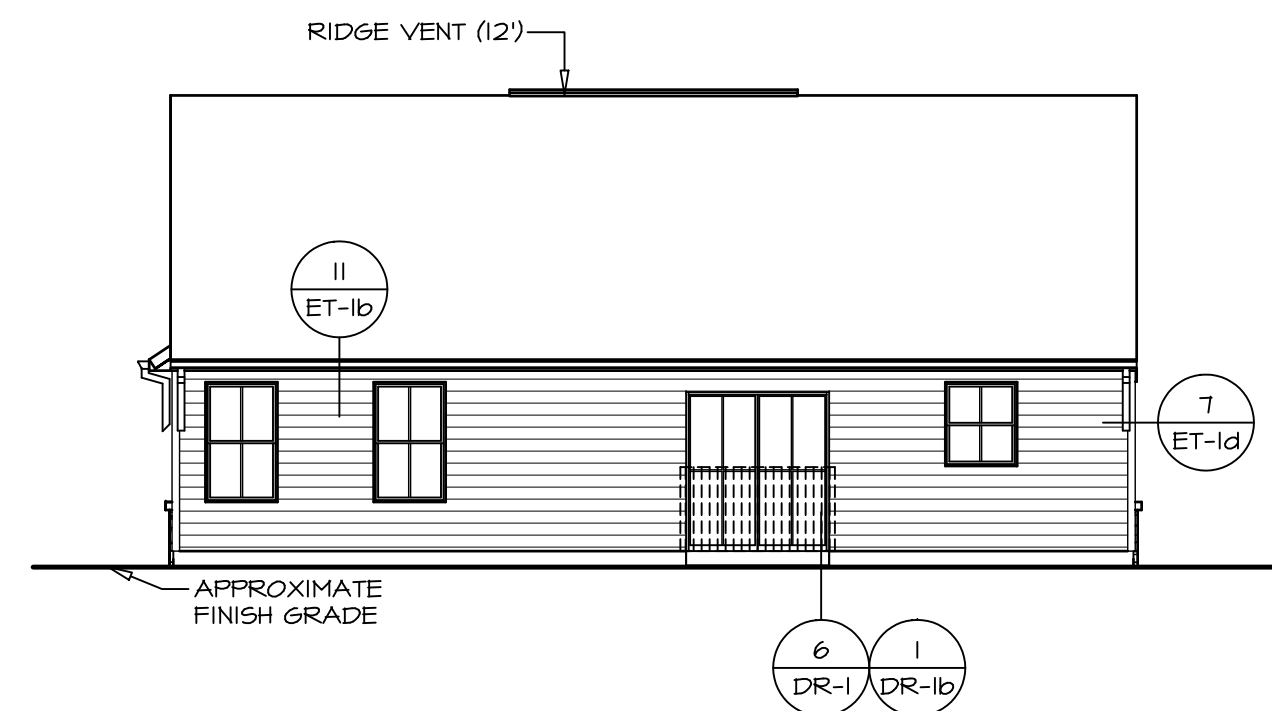
SHEET NO.
NC-1

4

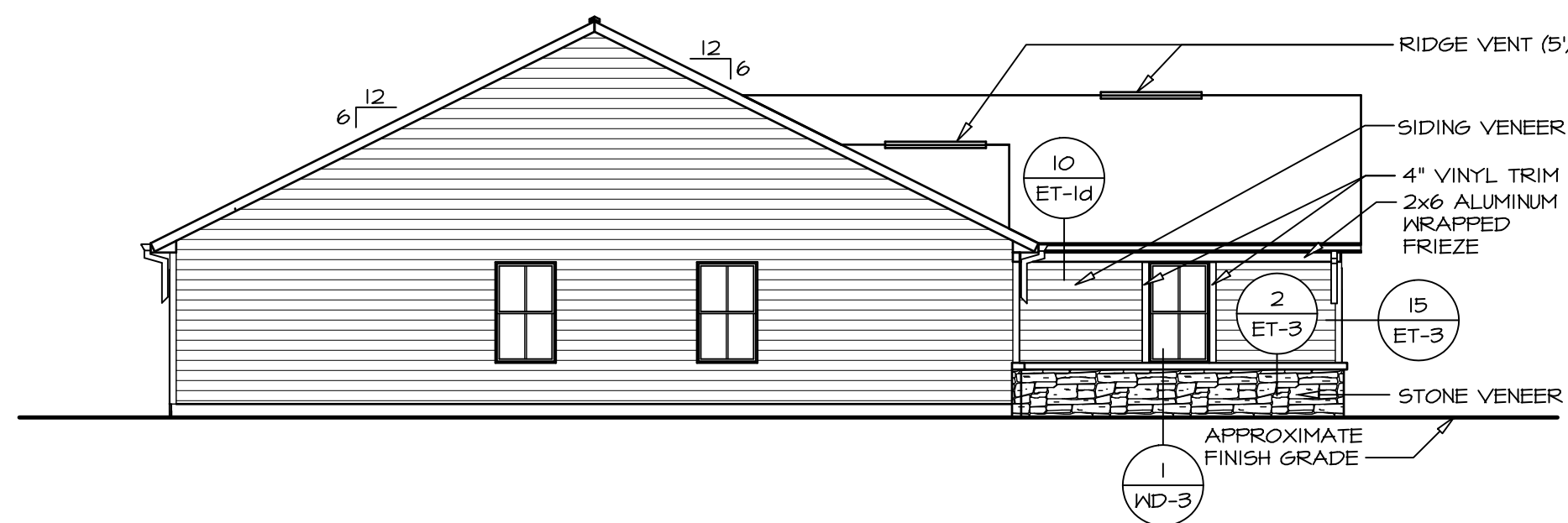
V:\As-Built\2-Jobs\NVR Services\Assigned\RLH-VK-0026\ELI_P_VK-0026\4 NC-1 ELEV LS (FSA).dwg 09/30/25 - 11:37 am



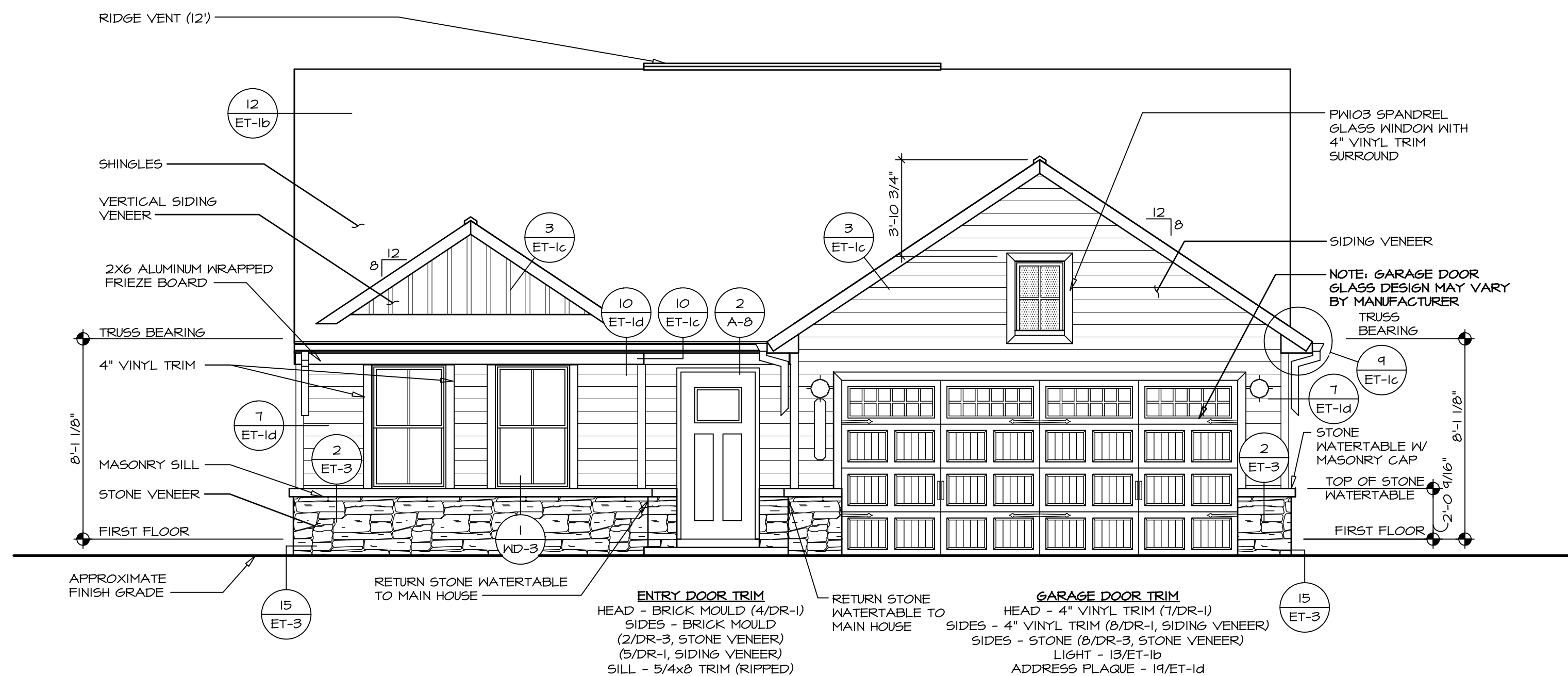
2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION "J"
SCALE: 1/4" = 1'-0"

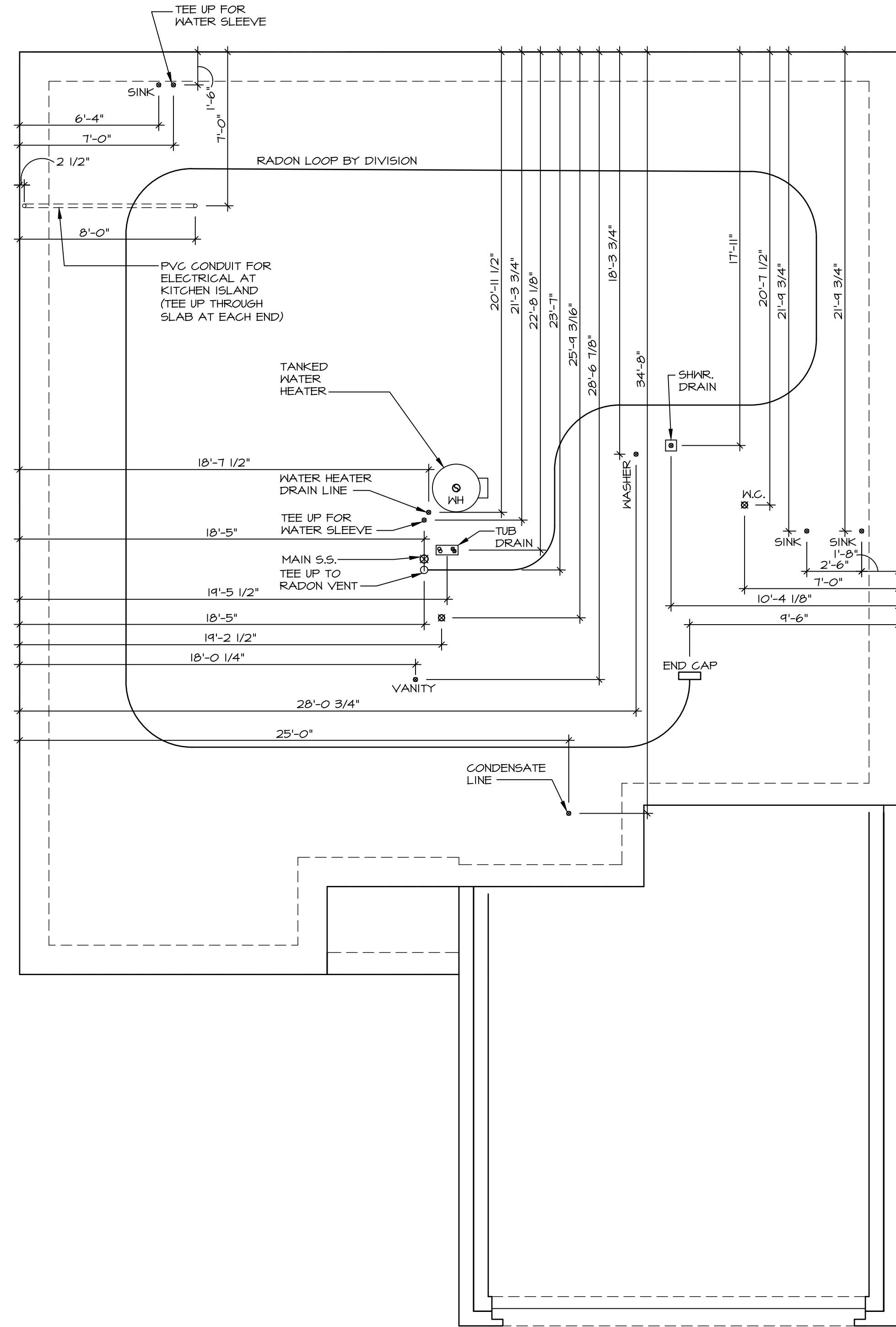


FOUNDATION DIAGONALS

	BEARING WALL
	NON BEARING WALL
	MASONRY WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	FOOTINGS/THICKENED SLAB
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
	WINDOW/DOOR TAG
	PRECAST LINTEL TAG

-SEE FA DETAILS FOR FIRE ASSEMBLIES
 -SEE FC DETAILS FOR FRAMING CONNECTIONS AND MATERIAL USAGE

V:\As-Sold\2-Jobs\MiTek Services\Assigned\RLH-VK-0026\ELJ_P_VK_0026\7 NC-3 FDN_LS (FSA).dwg 09/30/25 - 11:37 am



1
NC-5
PLUMBING PLAN
SCALE: 1/4" = 1'-0"

PLUMBING NOTES:
RADON REMEDIATION
RADON LOOP:
- (4") PERFORATED "LOOP"
- MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
- LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
- TO BE CORRUGATED PIPE
- SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
STACK REQUIREMENTS:
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
- NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
- PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
- ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
- SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

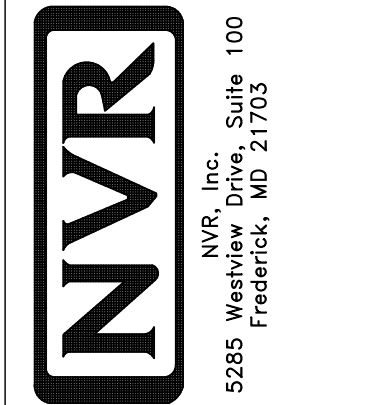
INSTALLATION OF RADON STACK AND
LOOP TO BE DETERMINED BY DIVISION

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

James Bates
James Bates
09/30/2025

DIV-COMM-LOT-UNIT	RLH-VK-0026
COMM-LOT	KIPFLING VILLAGE - 0026
STREET ADDRESS	971 SAINTSEBURY DRIVE
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the expressed written consent of NVR, Inc.

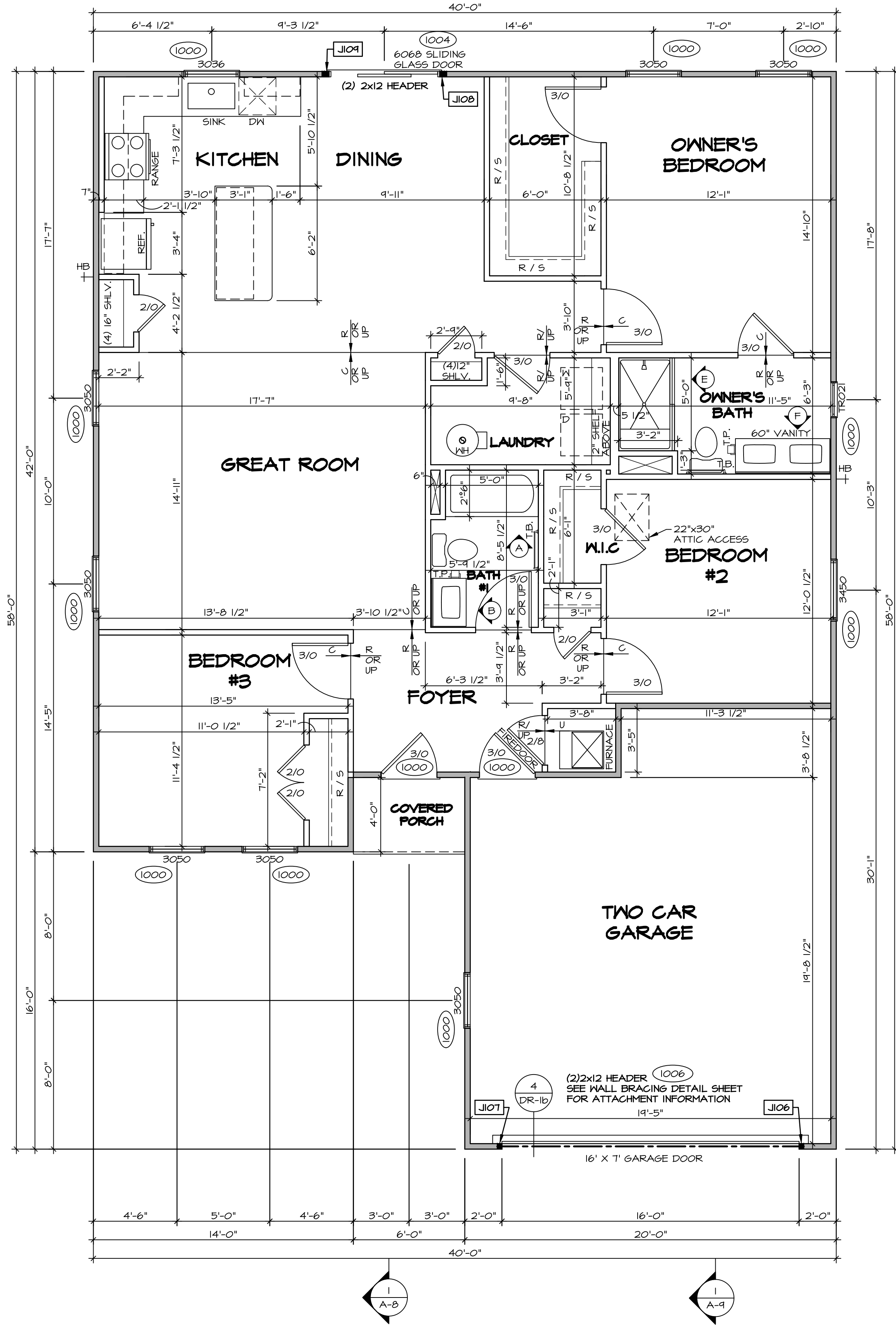


MODEL	GRAND CAYMAN	SET NO. 60000
DRAWING TITLE	PLUMBING	VERSION 01
OPTION DESCRIPTION		RELEASE NO. ----
		DRAWN BY HNP
		DATE: 02/20/20
		OPTION

SHEET NO.
NC-5

9

FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENS. NUM.	REMARKS
J106	JACK - (2) 2X4 SPF STUD GRADE	1006	
J107	JACK - (2) 2X4 SPF STUD GRADE	1006	
J108	JACK - (3) 2X4 SPF STUD GRADE	1004	
J109	JACK - (3) 2X4 SPF STUD GRADE	1004	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARINGS, UNLESS OTHERWISE NOTED. NO ADDITIONAL BEAR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL 8/17-1B FOR 3/4" FIRE STOPPING AT BULKHEAD / CEILING PANELS.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO GRIPPLIES ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.
- INTERIOR HEADER HEIGHT FOR 8' CEILING WILL BE 6'-11", 9' CEILING WILL BE 7'-11", 10' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.
- ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT BLOCKING INSTALLED.
- NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

GYPSUM NOTES:

AT GARAGE:
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

- BEARING WALL
- NON BEARING WALL
- MASONRY WALL
- INDICATES BEARINGS FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTING/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG
- SEE FA DETAILS FOR FIRE ASSEMBLIES
- SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

IV-COMM-LOT-UNIT
RLH-VK-0026

OWN-LT
SPLING VILLAGE - 0026
TREET ADDRESS
31 SANTEBURY DRIVE
IT

09/30/2025
NORTH CAROLINA
PROFESSIONAL
SEAL
44932
EDWARD
NVR, Inc.
Firm license #: D-0477

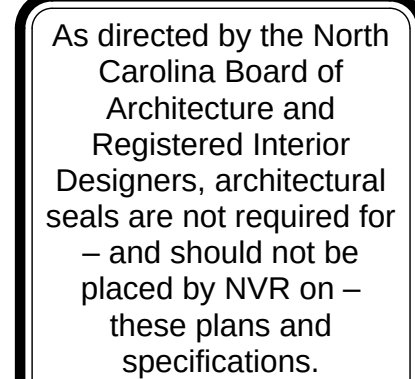
NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of NVR, Inc.

NVR
NVR, Inc., Suite 100
5285 Westwood Lane
Frederick, MD 21703

SET NO. 60000
VERSION 01
RELEASE NO. ----
DRAWN BY HNT
DATE: 02/21/20
OPTION

MODEL
GRAND CAYMAN
DRAWING TITLE
FIRST FLOOR PLAN
OPTION DESCRIPTION
||

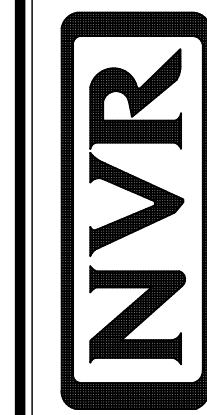
SHEET NO.
NC-7



James Bales
09/30/2025

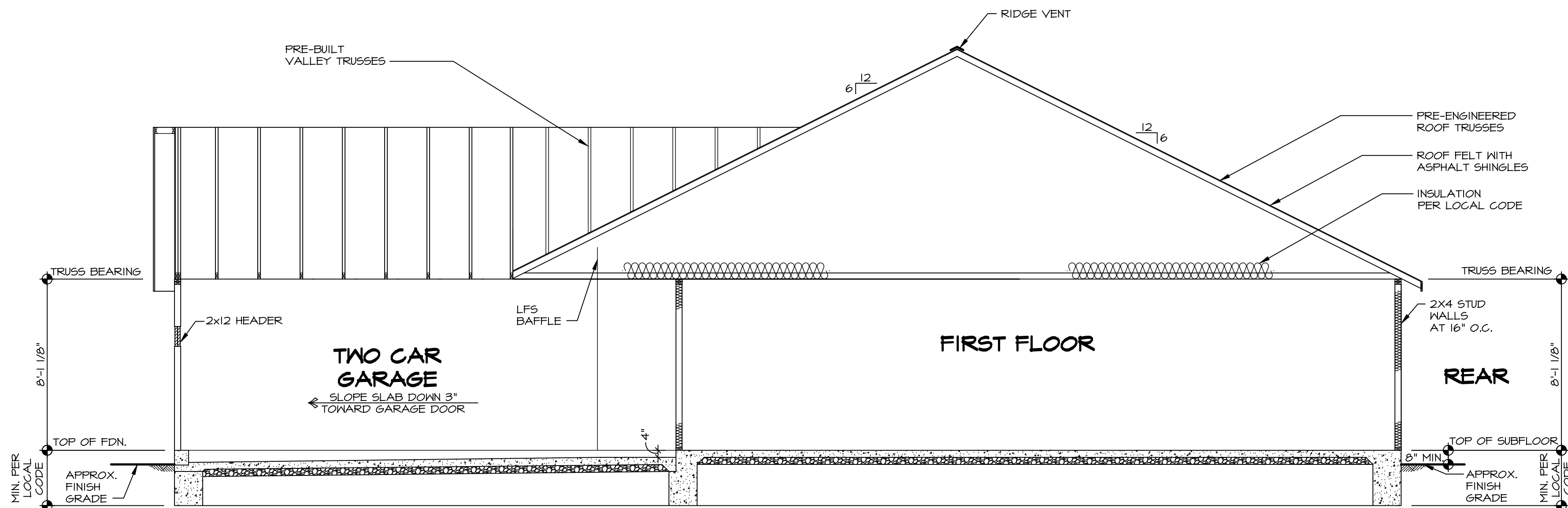
DIV--COMM--LOT--UNIT		COMW--LOT	
RLH-VK-0026		KIPLING VILLAGE - 0026	
STREET ADDRESS		APT. NO.	
371 SAINTSBURY DRIVE		-----	
CITY		ZIP	
FLUQUAY VARIANA		NC	
		271526	

©NVR, Inc., The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

NC-8	MODEL GRAND CAYMAN	SET NO. 60000
		VERSION 01
		RELEASE NO. ----
		DRAWN BY HNP
12	DRAWING TITLE BUILDING SECTION	DATE: 02/20/20
		OPTION



BUILDING SECTION - GARAGE
SCALE: 1/4" = 1'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

James Bates
James Bates
09/30/2025

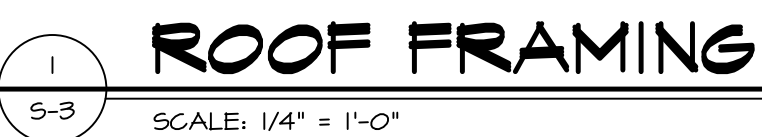
DIV-COMM-LOT-UNIT RLH-VK-0026			
COMM-LOT KIPFLING VILLAGE - 0026	APT. NO. ----	STATE NC	ZIP 27526
STREET ADDRESS 971 SAINTSBURY DRIVE			
CITY FUGUAY VARIANA			

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the expressed written consent of NVR, Inc.

NVR

NVR, Inc., Suite 100
5285 Westview Drive
Frederick, MD 21703

SHEET NO. NC-9	MODEL GRAND CAYMAN	SET NO. 60600	OPTION DESCRIPTION
	DRAWING TITLE BUILDING SECTION - GARAGE	VERSION 01	
		RELEASE NO. ---- DRAWN BY HNP DATE: 02/20/20	
OPTION			
13			



NOTES:
 1. TRUSS HAS INTERIOR BEARING STIFFENERS
 2. ACTUAL WEB CONFIGURATION MAY VARY

LVL FLY PLATE TO FLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

- 1-A - (2) FLY UP TO AND INCLUDING 11' 7/8" TALL: FASTEN FLIES W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (3) ROWS 12D NAILS AT 12" O.C.
- 2 - (2) FLY 14" UP TO AND INCLUDING 16": FASTEN FLIES W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (4) ROWS 12D NAILS AT 12" O.C.
- 3-A - (2) FLY 20" TALL AND OVER: FASTEN FLIES W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (5) ROWS 12D NAILS AT 12" O.C.
- 4 - (3) FLY UP TO AND INCLUDING 11' 7/8" TALL: FASTEN FLIES W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 5-A - (3) FLY 14" UP TO AND INCLUDING 16": FASTEN FLIES W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 6-A - (3) FLY 20" TALL AND OVER: FASTEN FLIES W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 7-A - (4) FLY (ALL SIZES): FASTEN FLIES WITH (3) ROWS OF SDW2634 STRUCTURAL WOOD SCREWS, OR EQUIVALENT, AT 16" O.C. STAGGERED. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

- ## ROOF FRAMING NOTES:
1. REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
 - 1.1. TRUSS TIE-DOWNS (TRF-I)
 - 1.2. PLATFORM TRUSS ATTACHMENT (2/TRF-I)
 - 1.3. VALLEY GABLE TRUSS BRACING (3/TRF-I)
 - 1.4. GABLE BRACING (TRF-I/C)
 - 1.5. TURN GABLE BRACING (TRF-I/C)
 - 1.6. TRUSS LATERAL BRACING (TRF-I/C)
 - 1.7. LIFELINE ATTACHMENT (5/TRF-I)
 - 1.8. FALL PROTECTION ON PLATFORM TRUSS (1/TRF-I)
 2. IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, THE FOLLOWING INFORMATION APPLIES:
 3. ALL FINISHED ROOF OVERHANGS ARE TO BE 12" FROM FRAMED WALL UNLESS OTHERWISE NOTED.

LEGEND

	BEARING WALL
	MASONRY WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	FOOTING/THICKENED SLAB
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
	WINDOW/DOOR TAG
	PRESTRESS LINTEL TAG

--SEE FA DETAILS FOR FIRE ASSEMBLIES
--SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

LOT-UNIT
RLH-YK-0026

IV-COMM-LOT-UNIT
RLH-V
OMM-LOT
SIPLEING VILLAGE - 0026

09/30/2029

NORTH CAROLINA
PROFESSIONAL
SEAL
44932
ENGINEER
JONATHAN EDWARD ABERTS

NVR, Inc.
Firm license #: D-047

© NVR, Inc., The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.

NVR

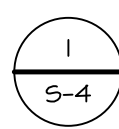
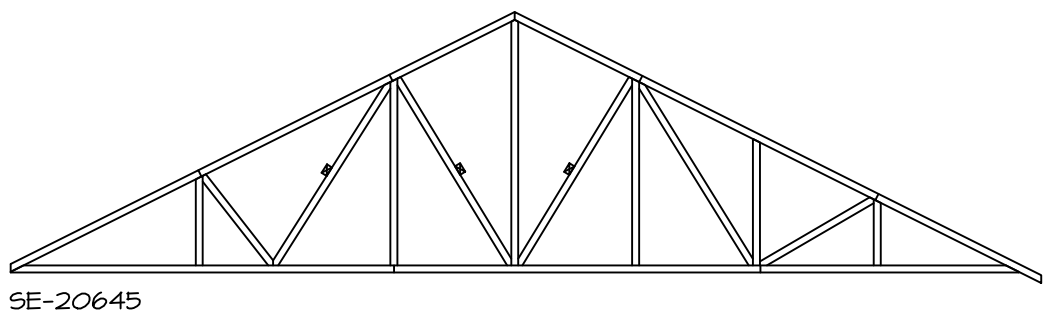
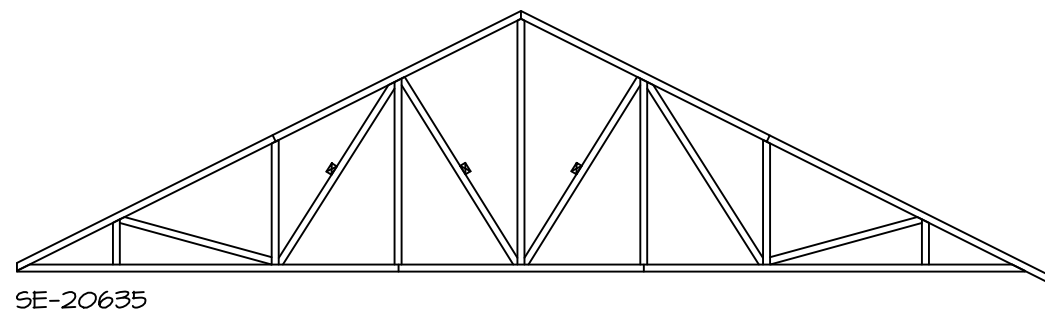
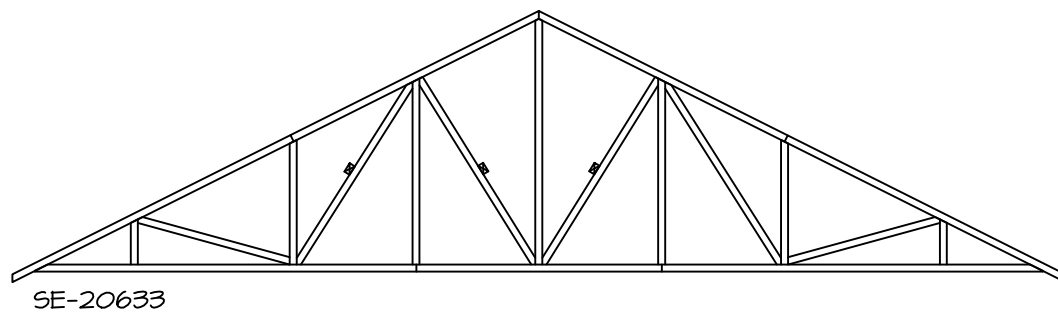
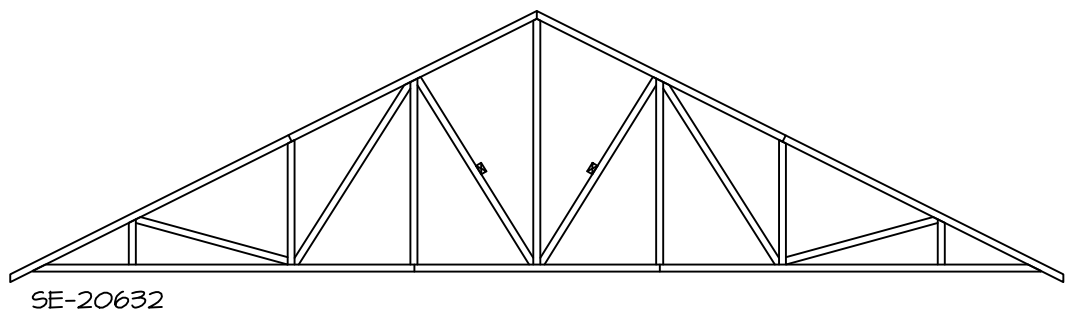
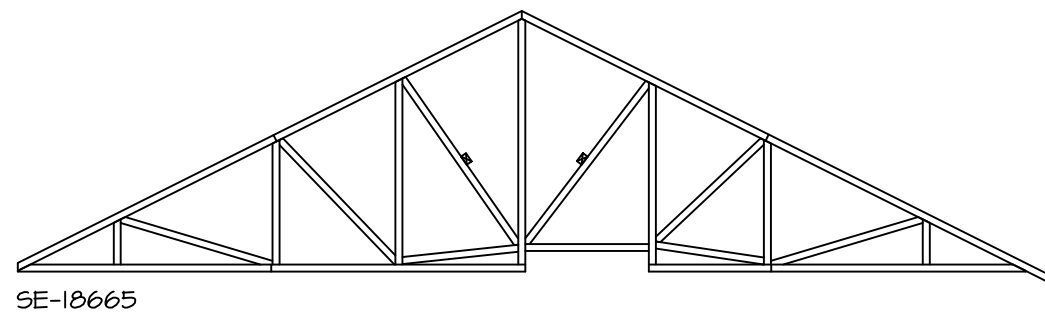
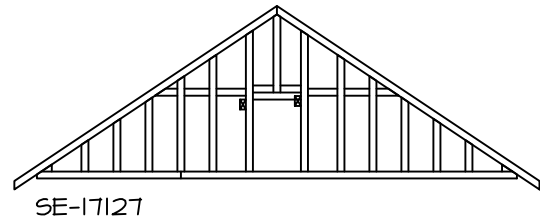
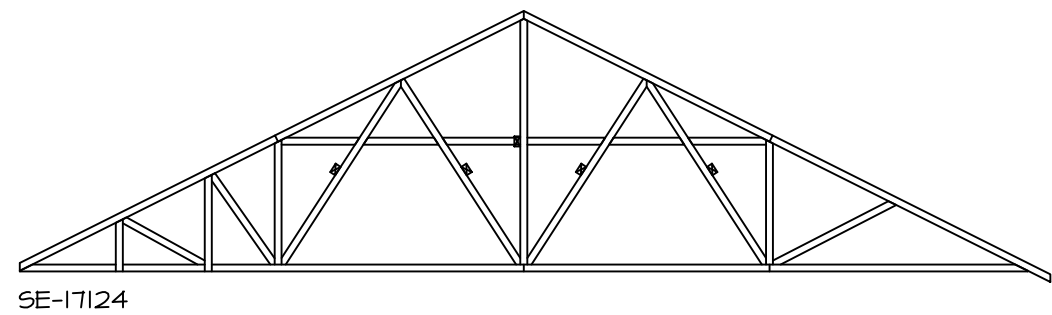
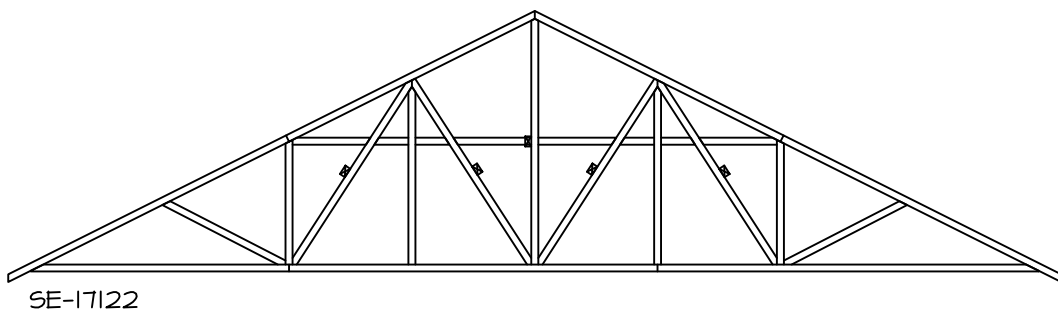
SET NO. 6C000
VERSION 01
RELEASE NO. ---
DRAWN BY BN
DATE: 02/13/71
OPTION

MODEL
GRAND CAYMAN
DRAWING TITLE
ROOF FRAMING

SHEET NO. 5-3

ITY	STATE	ZIP
FLORIDA	NC	27526

[illegible]



TRUSS BRACING DETAILS

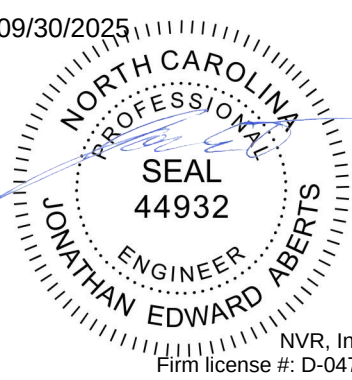
SCALE: 1/8" = 1'-0"

TRUSS BRACING NOTES:

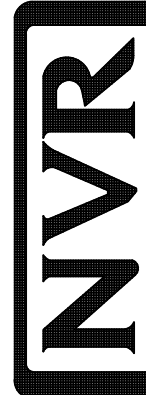
- IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.
- 2X4 SPT#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) 10D NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- WEB "I" BRACE, DETAIL 3/RP-1c, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 2X4 LATERAL BRACING.
- DIAGONAL BRACING REQUIRED WHEN LATERAL BRACING IS REQUIRED (4/RP-1c)
- STUDDED GABLE BRACING DETAIL (1/RP-1c) TO BE UTILIZED FOR TRUSSES 6'-4" IN HEIGHT OR GREATER.
- PARTIALLY SHEATHED GABLES, SEE (5/RP-1c) FOR "L" BRACING WHEN REQUIRED.
- LATERAL BRACING CAN BE APPLIED TO EITHER SIDE OF THE WEB MEMBER IDENTIFIED IN THE DRAWINGS.
- SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

IV-COMM-LOT-UNIT
RLH-VK-0026
0MM-LOT
SIFLING VILLAGE - 0026
TREET ADDRESS
31 SAINTSEBURY DRIVE
APT. NO. ----
ZIP 27526
STATE NC
CITY TOLUAY VARINA



NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than that first obtaining the expressed written consent of NVR, Inc.

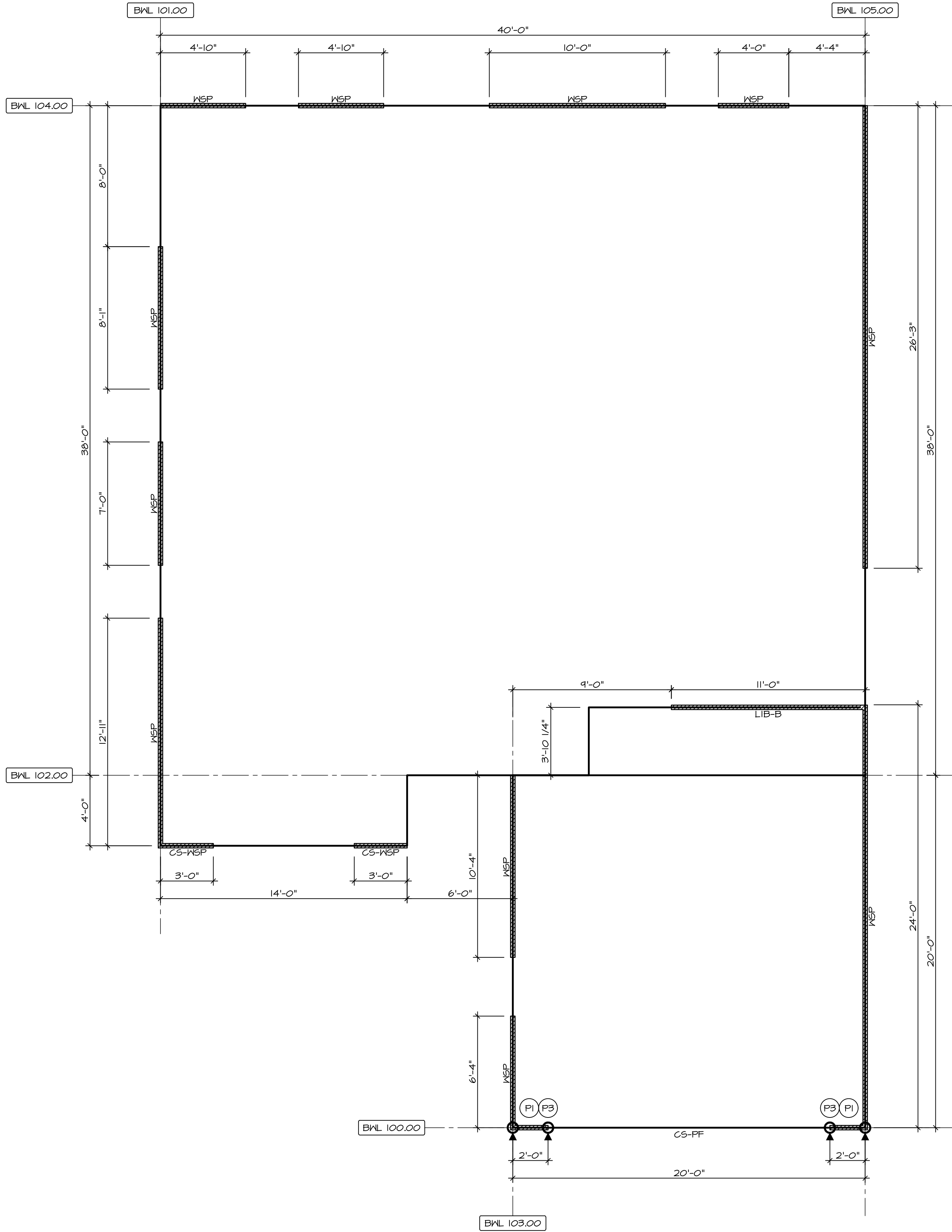


NVR, Inc., Suite 100
5285 Westwood Drive
Frederick, MD 21703

SET NO. 60M00
VERSION 01
RELEASE NO. ----
DRAWN BY BN
DATE: 2/02/20
OPTION
MODEL GRAND CAYMAN
DRAWING TITLE TRUSS BRACING DETAILS
OPTION DESCRIPTION

SHEET NO. S-4
21

BRACED WALL LINE SCHEDULE				
WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	METHOD
130 MPH	BWL 100.00	5.25'	6.00'	CONTINUOUS (WITH GNB)
130 MPH	BWL 101.00	8.63'	21.44'	WSP (WITH GNB)
130 MPH	BWL 102.00	15.84'	17.00'	LIB
130 MPH	BWL 103.00	5.05'	16.66'	WSP (WITH GNB)
130 MPH	BWL 104.00	10.12'	23.66'	WSP (WITH GNB)
130 MPH	BWL 105.00	9.04'	50.25'	WSP (WITH GNB)



FIRST FLOOR BRACED WALL
SCALE: 1/4" = 1'-0"

BRACING LEGEND

BWL XXX.XX

BRACED WALL LINE I.D.

HOUSE WALL

BRACED WALL PANEL

WSP

WOOD STRUCTURAL PANEL

GB

GYPSON BOARD (1) SIDED OR (2) SIDED

GB-BW

GYPSON BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL **GB-BW-2**)

LIB

LET-IN BRACING (SEE STANDARD DETAIL **F / WB-2**)

CS-WSP

CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL

CS-PF

CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL **A, C / WB-2**)

CS-G

CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS

HOLD-DOWN

1. SEE SHEET **NB-2 "P."**

2. ARROW INDICATES LOCATION

NOTES:
HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED.

FASTENING SCHEDULE			
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS	6" O.C.	6" O.C.
	ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
1/2" GYPSUM WALLBOARD (W METHOD GB-1, GB-2)	1-1/4" LONG, 1/4" HEAD, .048" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.
	CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
1/2" GYPSUM WALL BOARD BLOCKED AT THE EDGES (W METHOD GB-BW-1, GB-BW-2, ENG-BW)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USED CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

NOTES:
1. MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.
2. SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
3. USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.
4. WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE WSP METHOD.

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

IV-COMM-LOT-UNIT

RLH-VK-0026

OWN-LOT

SIPLING VILLAGE - 0026

TREET ADDRESS

31 SAINTSEBURY DRIVE

ITY

TOUJAY VARIANA

STATE

NC

ZIP

27526

09/30/2025

NORTH CAROLINA

PROFESSIONAL SEAL

44932

EDWARD

BERBERTS

NVR, Inc.

Firm license #: D-0477

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.

NVR

NVR, Inc., Suite 100

5285 Westwick Drive

Frederick, MD 21703

SET NO. 60000

VERSION 01

RELEASE NO. ----

DRAWN BY CEL

DATE:

OPTION

MODEL

GRAND CAYMAN

DRAWING TITLE

WALL BRACING DETAILS

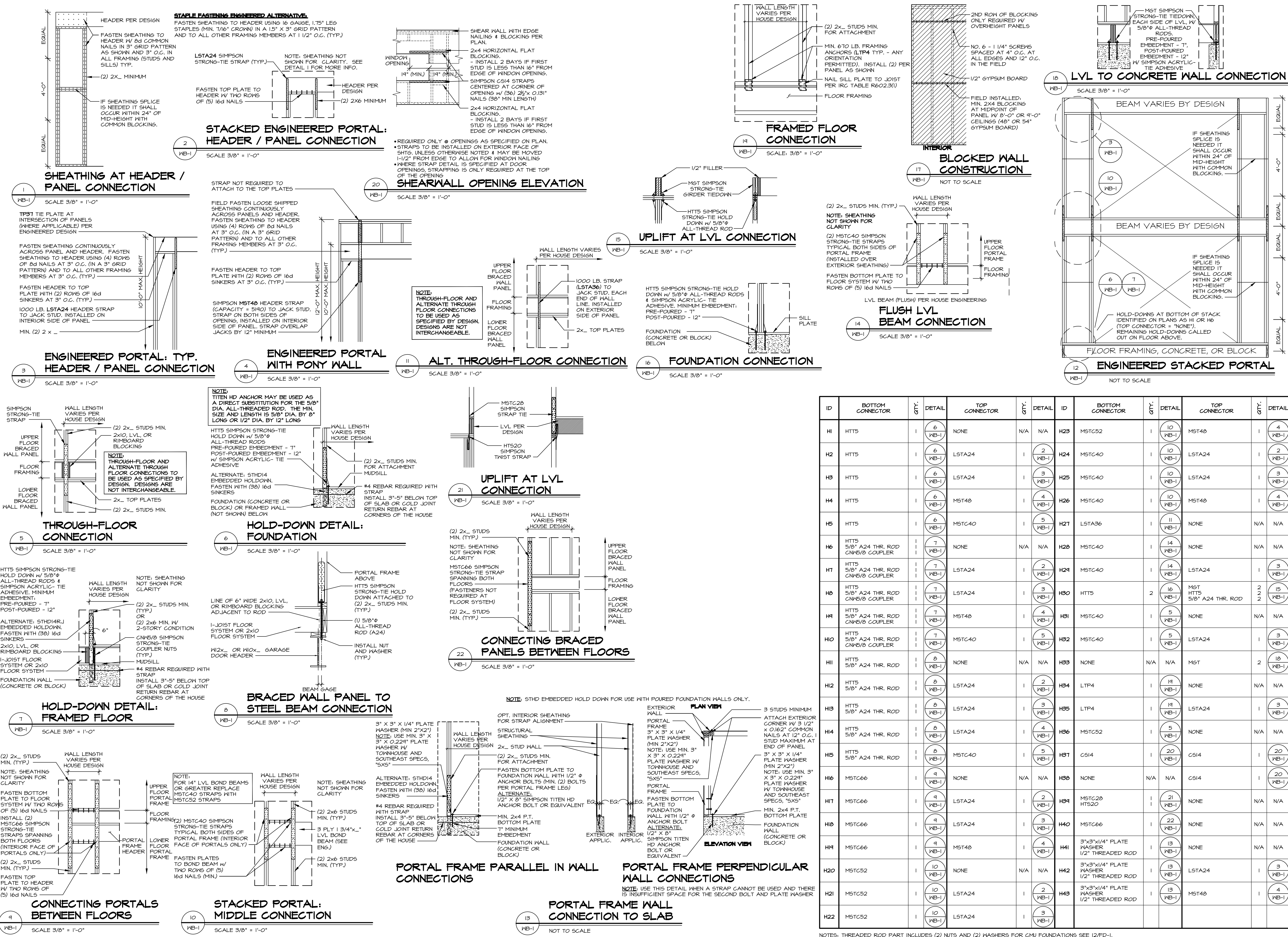
OPTION DESCRIPTION

SHEET NO.

S-5

22

V:\As-Bld\2-Jobs\Mitak_Services\Assigned\RLH-VK-0026\ELI_P_VK-0026\22 S-5 WSHG_LS_SRW_SOK.dwg 09/30/25 - 11:37 am



As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required to be placed by NVR on these plans and specifications.

REV. NO.	DATE	REMARKS
18	2/6/22	NE - REVISED DETAIL 5/WB-1, ADDED H66
19	2/6/22	ADN - (GC) H74G9) REVISED DETAILS UTILIZING STUDS TO INCLUDE REBAR
20	2/6/22	ADN - (GC) H74G9) REVISED DETAILS UTILIZING STUDS TO INCLUDE REBAR
21	4/6/23	CEL - REVISED DETAIL 20, 157, 158
22	4/6/23	LDX - REVISED DETAIL 21, 159
23	4/6/23	DLR - REVISED DETAIL 22, 160
24	11/6/23	DLR - REVISED DETAIL 22, 160
25	11/6/23	ADN - REVISED DETAIL 13 AND HOLD DOWN TAG 141, 142, 143 (ARC-20440 - PH-55446)
26	5/4/25	ADN - REVISED DETAIL 13 AND HOLD DOWN TAG 141, 142, 143 (ARC-20440 - PH-55446)
19	11/6/23	CEL - REVISED DETAIL 13 AND HOLD DOWN TAG 141, 142, 143 (ARC-20440 - PH-55446)

SEAL
44932

ENGINEER
NORTH CAROLINA
EDWARD

NVR, Inc.
Firm license #: D-0477

SET NO.
VERSION
DRAWN BY KFT
DATE: 2/16/12
OPTION

MODEL
WALL BRACING DETAILS
ENGINEERED WALL BRACING DESIGN
OPTION DESCRIPTION

SHEET NO.
WB-1

PROJECTS DETAILS\NVR - Wall Bracing\WB-1 - BRACED WALL - ENG.dwg 08/15/25 - 3:01 PM

