

RESIDENTIAL LAND USE APPLICATION

SITE ADDRESS: Lot 27 Legacy at Rawls **PIN:** 0664-49-7930.000

LANDOWNER: FOUR W'S INC **Mailing Address:** PO Box 1254
City: Dunn State: NC Zip: 28335 Phone: 910-892-3123 Email: ttart@wellonsrealty.com

**Please fill out applicant information if different than landowner.*

APPLICANT: Freedom Constructors Inc of Dunn **Mailing Address:** PO BOX 608
City: Dunn State: NC Zip: 28335 Phone: 910-892-1231 Email: ttart.freedom@outlook.com

PROPOSED USE:

☒ **Single Family Dwelling:** (Size 75 x 48) # Bedrooms: 3 # Baths: 2-1/2 **Garage:** Attached (Circle One) Detached **Accessory:** Deck, Patio, Porch (Circle One)

TOTAL HTD SQ FT: 1855 **GARAGE SQ FT:** 576 **Foundation Type:** Crawl Space: ☐ Stem Wall: ☒ Mono Slab: ☐ Basement: ☐

☐ **Modular:** (Size ____ x ____) # Bedrooms: ____ # Baths: ____ **Garage:** Attached, Detached (Circle One) **Accessory:** Deck, Patio, Porch (Circle One)

TOTAL HTD SQ FT: _____

☐ **Manufactured Home:** SW ☐ DW ☐ TW ☐ (Size ____ x ____) # Bedrooms: ____ **Garage:** Attached, Detached (Circle One) **Accessory:** Deck, Patio (Circle One)

ZONING: _____

☐ **Duplex:** (Size ____ x ____) # Buildings: _____ # Bedrooms Per Unit: _____ **TOTAL HTD SQ FT:** _____

☐ **Addition/Accessory/Other:** (Size ____ x ____) Use: _____

UTILITIES:

Water Supply: County ☒ Existing Well ☐ New Well (# of dwellings using well _____) ☐

Sewage Supply: New Septic Tank ☐ Expansion ☐ Relocation ☐ Existing Septic Tank ☐ County Sewer ☒

(Complete Environmental Health Checklist on other side of application if Septic is selected)

GENERAL PROPERTY INFORMATION:

Does the landowner own another tract that contains a manufactured home within 500 feet? YES ☐ NO ☒

Does the property contain any easements, whether underground or overhead? YES ☐ NO ☒

Structures (existing or proposed): Single Family Dwellings: X Manufactured Homes: _____ Other (specify): _____

If permits are granted, I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that the foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Timothy Tart
Signature of Owner or Owner's Agent

10/1/2025
Date

Permits are valid for 6 months from the issue date, or 12 months from last inspection once inspections have been initiated. It is the owner/applicant's responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.

APPLICATION CONTINUES ON BACK

Environmental Health Department Application for Improvement Permit and/or Authorization to Construct

If the information in this application is falsified, changed, or the site is altered, then the permit shall become invalid. This permit will be valid for 60 months.

☐ NEW SEPTIC SYSTEM INSPECTION

- **All property irons must be made visible.** Place **pink flags** on each corner of lot & approximately every 50 feet between corners.
- Place **orange flags** at the corners of each proposed structure per site plan submitted to Central Permitting.
- Post **orange** Environmental Health sign in location that is visible from road to assist in locating property.
- If property is thickly wooded, you will be required to clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **DO NOT GRADE PROPERTY.**

☐ EXISTING TANK INSPECTION

- Follow above instructions for placing flags and sign on property.
- Prepare for inspection by removing soil over **outlet end** of tank, lift lid straight up (*if possible*), and then **put lid back in place.**
Does not apply to septic tank in a mobile home park
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

SEPTIC CHECK LIST

If applying for Authorization to Construct, please indicate desired system type(s): Can be ranked in order of preference, must choose one.

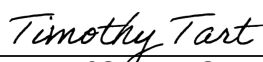
Accepted Innovative Conventional Any Alternative
Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes," applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

YES	NO	Does the site contain any jurisdictional wetlands?
YES	NO	Do you plan to have an irrigation system now or in the future?
YES	NO	Does or will the building contain any drains? Please explain: _____
YES	NO	Are there any existing wells, springs, waterlines, or wastewater systems on this property?
YES	NO	Is any wastewater going to be generated on the site other than domestic sewage?
YES	NO	Is the site subject to approval by any other Public Agency?
YES	NO	Are there any easements or rights-of-way on this property?
YES	NO	Does the site contain any existing water, cable, phone, or underground electric lines?

If yes, please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I have read this application and certify that the information provided herein is true, complete, and correct. Authorized County and State Officials are granted right of entry to conduct necessary inspections to determine compliance with applicable laws and rules. I understand that I am solely responsible for the proper identification and labeling of all property lines and corners and making the site accessible so that a complete site evaluation can be performed. I understand that a \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot is confirmed to be ready.



Signature of Owner or Owner's Agent

10/1/2025

Date

RESIDENTIAL BUILDING APPLICATION

Site Address: Lot 27 Legacy at Rawls PIN: 0664-49-7930.000

Owner: FOUR W'S INC Phone: 910-892-3123 Email: ttart@wellonsrealty.com

Description of Proposed Work: New SFD Total Job Cost: 352,000

GENERAL CONTRACTOR INFORMATION

* Must be owner or licensed contractor. Address, company name & phone must match information on license.

<u>Freedom Constructors Inc of Dunn</u>	<u>910-892-1231</u>
General Contractor's Company Name	Phone
<u>PO BOX 608, Dunn, NC 28334</u>	<u>ttart.freedom@outlook.com</u>
Address	Email
<u>11590 UL</u>	
License #	

ELECTRICAL CONTRACTOR INFORMATION

Description of Work: <u>Wire New house</u>	Service Size: <u>200</u> Amps	T-Pole: YES ☒ NO ☐
<u>Price Electrical Construction</u>	<u>919-902-3178</u>	
Electrical Contractor's Company Name	Phone	
<u>3997 Godwin Lake Rd. Benson, NC</u>	<u>william@trustpeci.com</u>	
Address	Email	
<u>U-32613</u>		
License #		

MECHANICAL/HVAC CONTRACTOR INFORMATION

Description of Work: <u>New SFD Mechanical</u>	
<u>J & M Heating and Air Conditioning</u>	<u>910-897-5501</u>
Mechanical Contractor's Company Name	Phone
<u>724 Turlington Rd. Dunn, NC 28334</u>	<u>jandmhvac@earthlink.net</u>
Address	Email
<u>17164</u>	
License #	

PLUMBING CONTRACTOR INFORMATION

Description of Work: <u>Plumb new SFD</u>	# of Fixtures: <u>12</u>
<u>Derek Joseph Brewington</u>	<u>9196345464</u>
Plumbing Contractor's Company Name	Phone
<u>1637 Lees Union Church Rd, Four Oaks NC</u>	
Address	Email
<u>36036</u>	
License #	

INSULATION CONTRACTOR INFORMATION

<u>Parker Brothers Insulation, Clinton NC</u>	<u>910-564-4132</u>
Insulation Contractor's Company Name	Phone



I hereby certify that I have the authority to complete this application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes and in the Harnett County Zoning Ordinance. I state the information on the aforementioned contractors is correct as it is known to me and that **by signing below I have obtained all subcontractors permission to obtain these permits** and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of all changes.

EXPIRED PERMIT FEES - 6 months to 2 years re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule.

Timothy Tart

Signature of Owner/Contractor/Officer of Corporation

10/1/2025

Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

_____ General Contractor _____ Owner ☒ Officer/Agent of the Contractor or Owner

Does hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

☒ Has 3 or more employees and has obtained workers' compensation insurance to cover them,

_____ Has 1 or more subcontractors and has obtained workers' compensation insurance to cover them,

☒ Has 1 or more subcontractors who has their own policy of workers' compensation insurance covering themselves,

_____ Has no more than 2 employees and no subcontractors,

While working on the project for which this permit is sought and it is understood that the Central Permitting Department issuing the permit may require certificates of workers' compensation insurance coverage from any person, firm, or corporation carrying out the work prior to issuance of the permit or at any time during the permitted work.

Timothy Tart

Signature of Owner/Contractor/Officer of Corporation

10/1/2025

Date