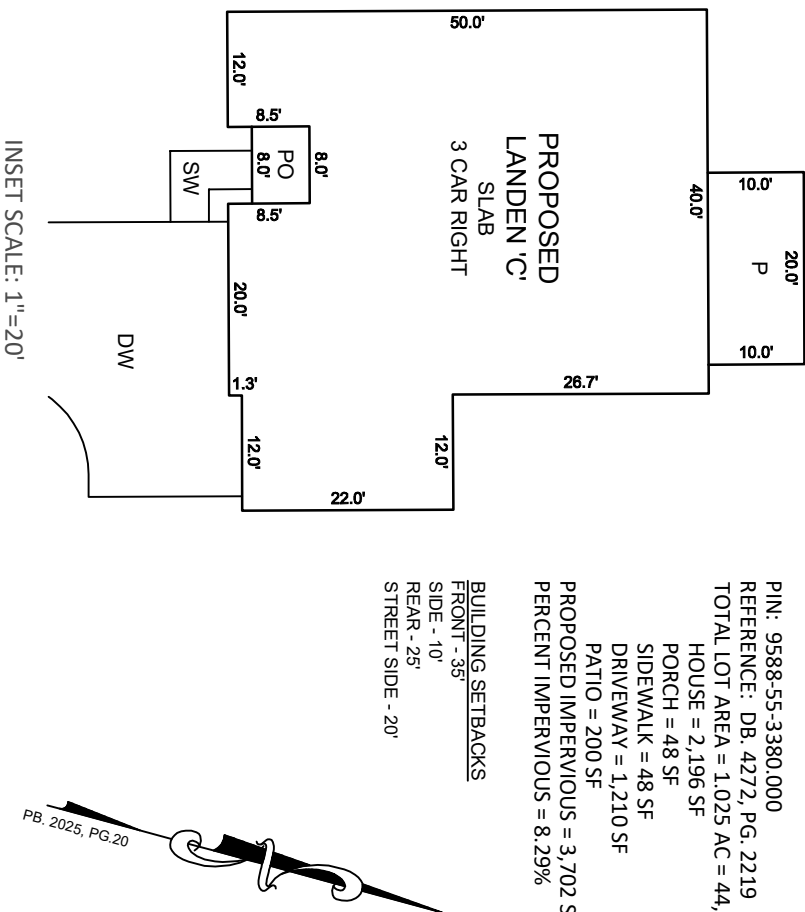


**LOT INFORMATION:**

PIN: 9588-55-3380.000  
REFERENCE: DB, 4272, PG. 2219  
TOTAL LOT AREA = 1.025 AC = 44,668 SF  
HOUSE = 2,196 SF  
PORCH = 48 SF  
SIDEWALK = 48 SF  
DRIVEWAY = 1,210 SF  
PATIO = 200 SF  
PROPOSED IMPERVIOUS = 3,702 SF  
PERCENT IMPERVIOUS = 8.29%

**BUILDING SETBACKS**  
FRONT - 35'  
SIDE - 10'  
REAR - 25'  
STREET SIDE - 20'

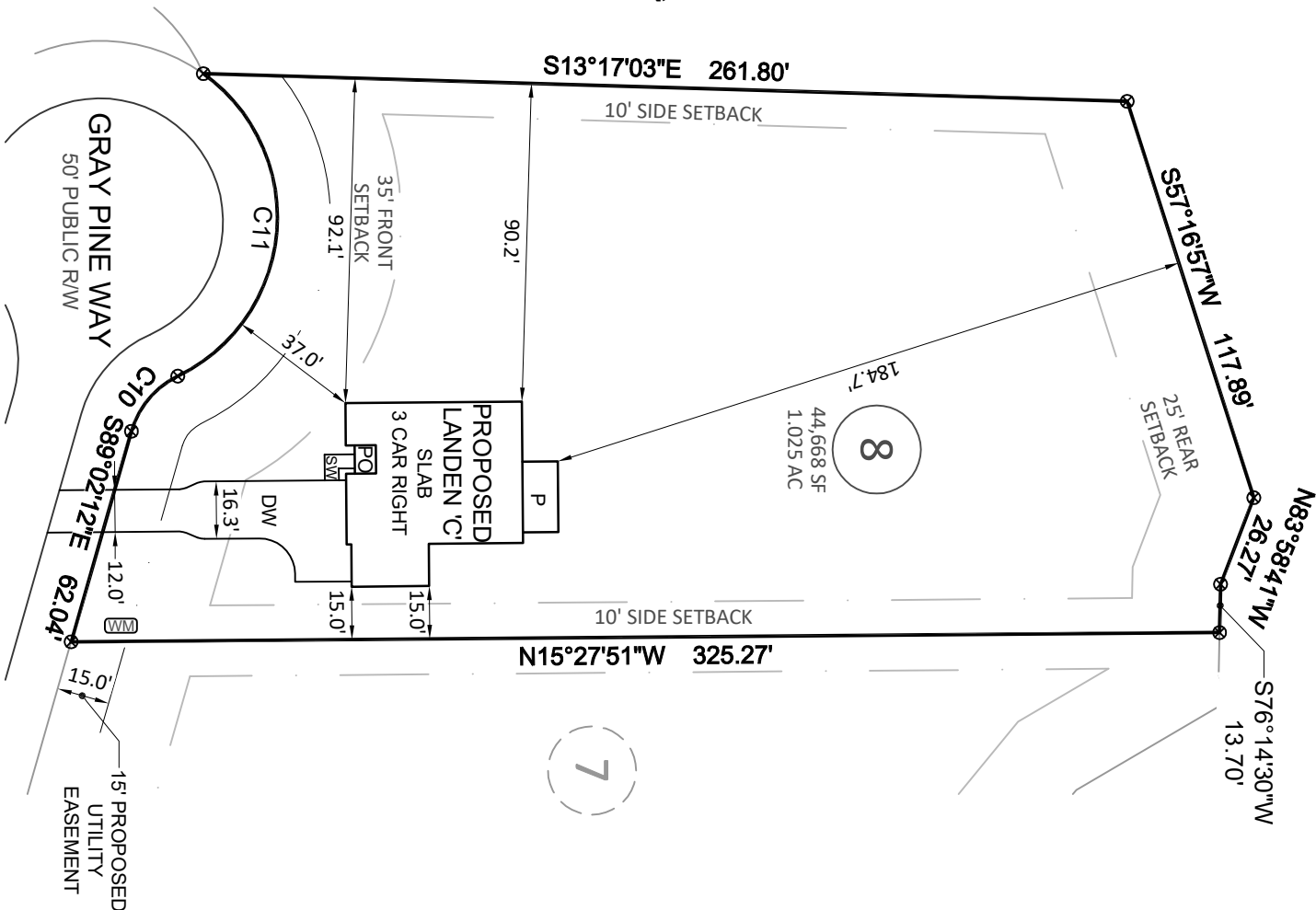


**NOW OR FORMERLY  
JOHN A FEJERANG &  
CHRISTINA G FEJERANG  
PIN: 9588-65-4370.000  
DB.4150 PG.2369**

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF SONYA A. WARD, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC., REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

9. ZONING: RA-20R
10. BUILDER/DEVELOPER: SMITH DOUGLAS HOMES  
3412 APEX PEAKWAY  
APEX, NC 27502

| CURVE TABLE |        |                     |        |
|-------------|--------|---------------------|--------|
| CURVE       | RADIUS | LENGTH CHD BEARING  | CHORD  |
| C10         | 25.00' | 21.03' N69°56.30"W  | 20.41' |
| C11         | 50.00' | 103.56' S79°48.55'W | 86.02' |



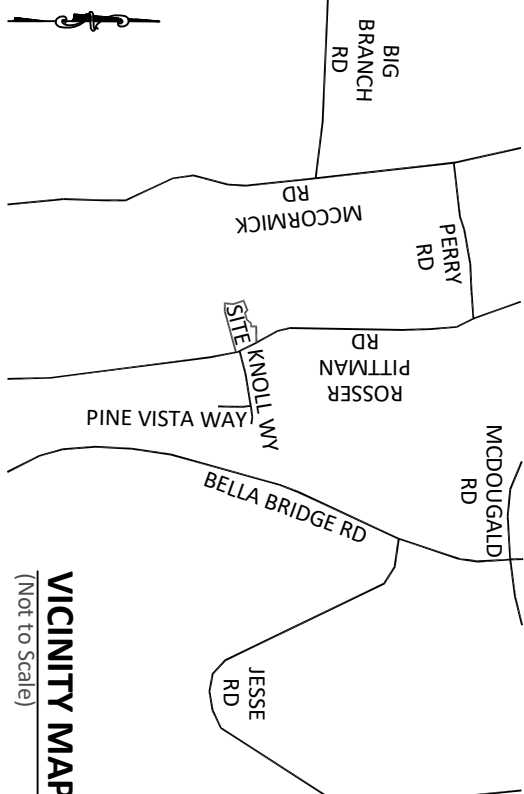
REVISION : TAPER DRIVEWAY TO 12' AT RIGHT OF WAY. AHB 8/4/25

NOW OR FORMERLY  
JOHN A FEJERANG &  
CHRISTINA G FEJERANG  
PIN: 9588-65-4370.000  
DB. 4150 P.G. 2369



# Bateman Civil Survey Company

**Engineers • Surveyors • Planners**  
2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081  
[www.balemancivilsurvey.com](http://www.balemancivilsurvey.com) [info@balemancivilsurvey.com](mailto:info@balemancivilsurvey.com)  
NCBELS Firm No. C-2378



## VICINITY MAP

(Not to Scale)

## LEGEND

PO = COVERED FRONT PORCH  
S = STOOP  
CP = COVERED PORCH/PATIO  
WD = WOOD DECK  
SW = SIDEWALK  
DW = CONC DRIVEWAY  
P = CONC PATIO  
⊗ = COMPUTED POINT  
X = MAG NAIL FOUND  
⊗ = IRON PIPE FOUND (IPF)  
⊗ = IRON PIPE SET (IPS)

DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4017

DATED: 2012

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION  
DIMENSIONS AND REVIEW TOTAL  
IMPERVIOUS NOTED ON THIS PLOT PLAN

# PRELIMINARY PLOT PLAN

FOR

# SMITH DOUGLAS HOMES

**BRIARWOOD PARK - LOT 8**

164 GRAY PINE WAY, SANFORD, NC  
BARBECUE TOWNSHIP, HARNETT COUNTY

DATE: 7/28/25 DRAWN BY: AHB CHECKED BY: SAW

REFERENCE: PB. 2025, PG. 20

BCS# 250487

SCALE: 1" = 50

