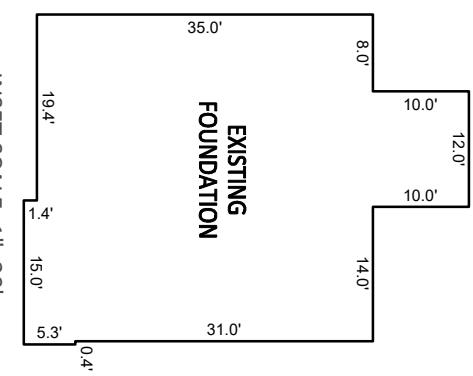


LOT INFORMATION:

PIN: 0528-11-6923.000
 REFERENCE: DB 4298 PG 439
 TOTAL LOT AREA = 0.574 AC = 25,042 SF
 FOUNDATION = 1,332 SF
 EXISTING IMPERVIOUS = 1,332 SF
 PERCENT IMPERVIOUS = 5.32%

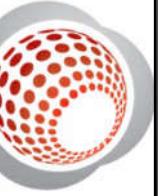


INSET SCALE: 1"=20'

NOW OR FORMERLY
 THOMAS KENDALL SPENCE JR.
 D.B. 927, PG. 512
 PIN 0528-12-8348

2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081
www.batemancivilsurvey.com info@batemancivilsurvey.com

NCBELS Firm No. C-2378



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081
www.batemancivilsurvey.com info@batemancivilsurvey.com
 NCBELS Firm No. C-2378

REFERENCE: BK 2025 PG 445-446

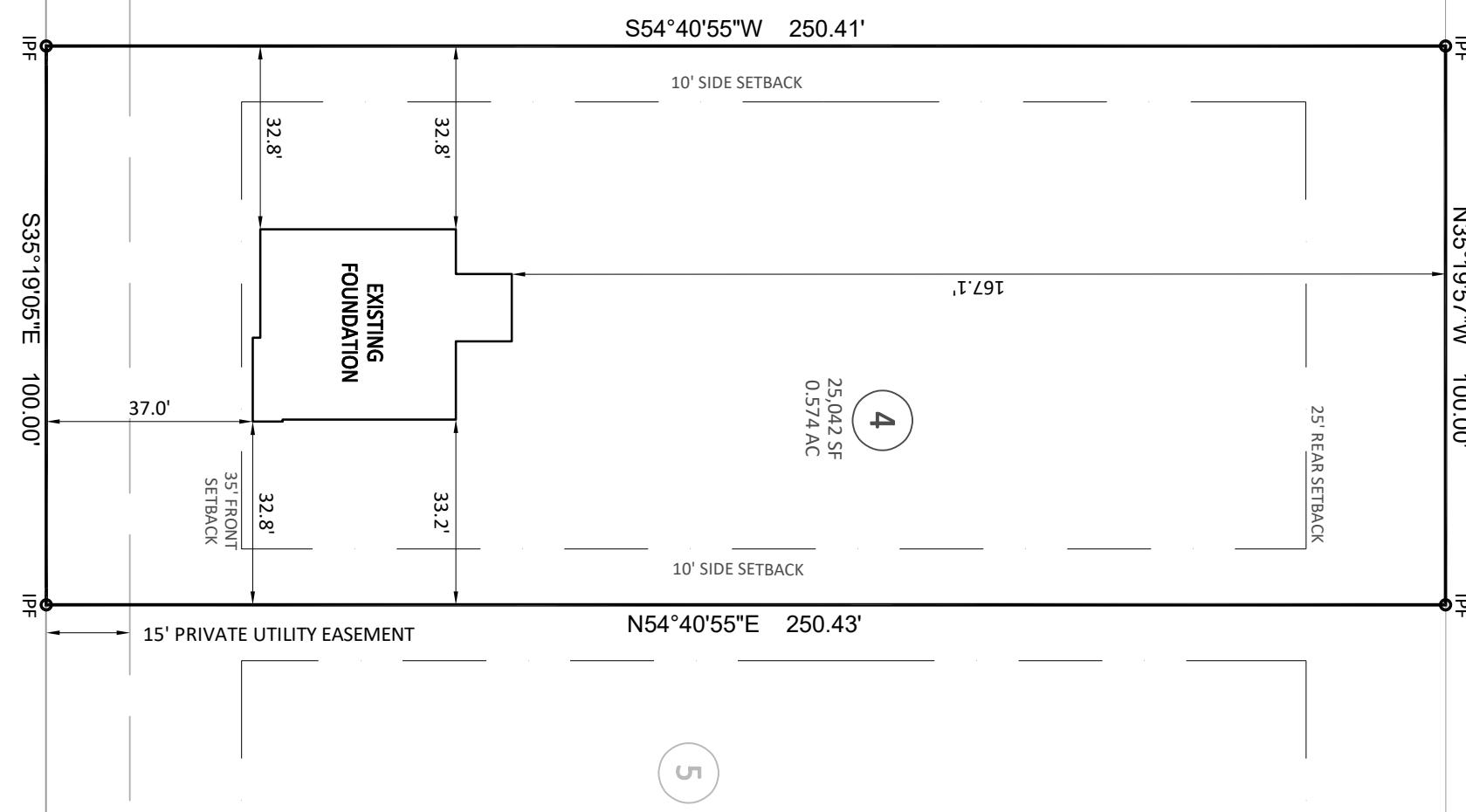
BCSS# 250484

SCALE: 1" = 30 ft.

NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF SONYA A. WARD, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. THIS PROPERTY IS LOCATED IN FEMA FLOOD ZONE "X" MAP # 37200528001 & 37200526001 EFFECTIVE DATE 10-03-2006.
10. ZONING: RA-30

11. BUILDER/DEVELOPER: SMITH DOUGLAS HOMES
 3412 APEX PEAKWAY
 APEX, NC 27502

**SMITH FARMS DRIVE**

60' PUBLIC RW

0
 15
 30
 SCALE:
 1" = 30 ft.

FOUNDATION SURVEY
 FOR
 REEDY BRANCH - PHASE 1 - LOT 4

 SMITH DOUGLAS HOMES

81 SMITH FARMS DRIVE, LILLINGTON, NC
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 11/7/25 DRAWN BY: JSD CHECKED BY: SAW

REFERENCE: BK 2025 PG 445-446

BCSS# 250484

SCALE: 1" = 30'

REFERENCE: BK 2025 PG 445-446

BCSS# 250484

SCALE: 1" = 30'

REFERENCE: BK 2025 PG 445-446

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