Tobacco Road Lot 97

CRAWFORD

SIDE LOAD WITH 3RD CAR FRONT LOAD OPTION

ELEVATION B

DOOR STYLE PER PURCHASE ORDER SIZE 3/0 x 8/0

GENERAL NOTES

- NATIONAL, STATE AND LOCAL CODES AND REGULATIONS SHALL BE APPLIED TO ALL WORK BEING PERFORMED
- BUILDER TO VERIFY ALL SITE CONDITIONS, STRUCTURAL OPTIONS AND DIMENSIONS BEFORE START OF CONSTRUCTION DISCREPANCIES SHALL BE REPORTED TO PLAN DESIGNER FOR CORRECTION OR CLARIFICATION BEFORE CONTINUING WORK
- DIMENSIONS ONLY BE READ OR CALCULATED, NOT SCALED

GOVERNING CODES & STANDARDS

- 2018 RESIDENTIAL BUILDING CODE WITH GEORGIA 2020 AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH GEORGIA 2020 AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH NO AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE WITH GEORGIA 2020AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE WITH GEORGIA 2020 AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE WITH GEORGIA 2020 AMENDMENTS
- 2020 NATIONAL ELECTRICAL CODE WITH NO GEORGIA AMENDMENTS

DESIGN CRITERIA

ROOF LIVE LOAD: 20PSF.
FLOOR LIVE LOAD: 40PSF. (INCLUDES DECKS, PATIOS AND PORCHES)
BASIC WIND VELOCITY: 90MPH
SEISMIC DESIGN CATEGORY: B

INCLUDED OPTIONS:

1st FLOOR

SUNROOM/SCREENED PORCH/DECK
GOURMET KITCHEN
FIREPLACE W/ BUILT-INS
TRAY CEILING @ FAMILY ROOM
BOX OAK STAIRS
FRENCH DOORS @ STUDY
TRAY CEILING @ DINING
GUEST SHOWER ILO TUB
BENCH @ MUD ROOM
SIDE LOAD W/ 3RD CAR GARAGE

2nd FLOOR

TRAY CEILING @ OWNERS
OWNERS DELUXE BATH
SHARED BATH 2
2ND SINK @ BATH 2
LAUNDRY SINK
POCKET OFFICE

SQUARE FOOTAGE

FIRST FLOOR	1661 SQ. FT.
SECOND FLOOR	1767 SQ. FT.
TOTAL CONDITIONED	**3428 SQ. FT.**
FRONT PORCH	102 SQ. FT.
GARAGE	453 SQ. FT.
OPTIONS	
SUNROOM	192 SQ. FT.
SCREENED PORCH	120 SQ. FT.
ADDITIONAL PORCH (UNCOVERED)	80 SQ. FT.
THIRD CAR GARAGE	210 SQ. FT.

THE FINISHED SQUARE FOOTAGE OF A PLAN IS TO BE REPORTED TO THE NEAREST WHOLE FOOT. THE FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS PLAN WERE MADE BASED ON PLAN DIMENSIONS OR DIGITAL DRAWINGS FILES ONLY, AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE PLAN AS BUILT.

DAVIDSON HOMES.

DAVIDSON HOMES, LLC
3460 PRESTON RIDGE ROAD, SUITE 525
ALPHARETTA, GEORGIA 30005

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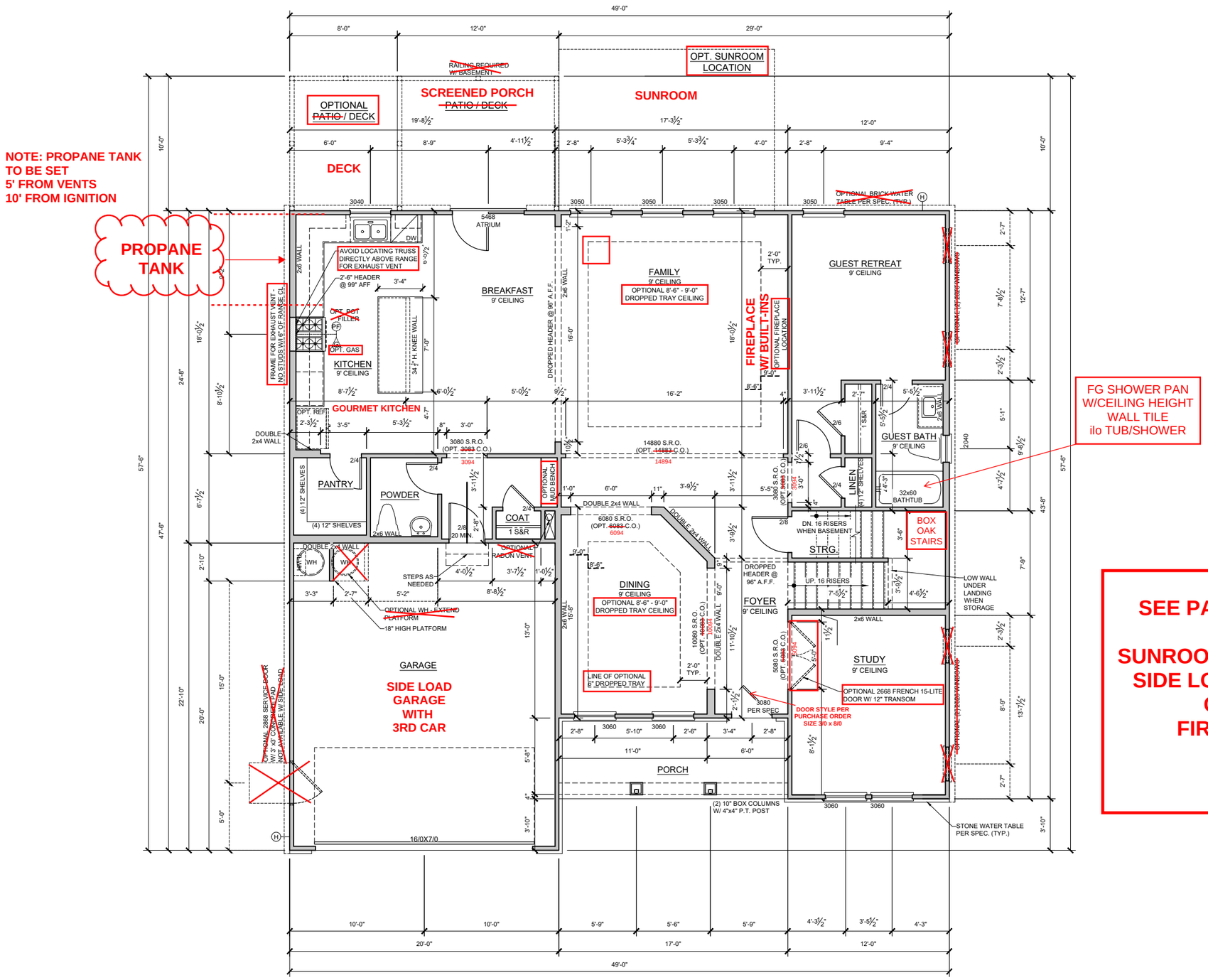
PLAN NAME: CRAWFORD A-D
SUBDIVISION: ----
LOT#: ----

REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

COVER SHEET

SHEET NO. A-CS.2



GENERAL FRAMING NOTES

- TYPICAL EXTERIOR HEADER HEIGHT SHALL BE 8'-3" AFF AT FIRST FLOOR AND 6'-11" AFF AT SECOND FLOOR UNLESS OTHERWISE NOTED
- DOOR FRAMES NEAR CORNERS SHALL BE A MINIMUM 4 1/2" FROM CORNER. WHEN TWO DOORS ARE AT SAME CORNER, MINIMUM OF 6" FROM CORNER. DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
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- INTERIOR HANDRAILS SHALL NOT BE LESS THAN 34", AND NOT MORE THAN 38", AND COMPLY WITH IRC SECTION R311.7.8
- EXTERIOR GUARD RAILS SHALL BE NOT LESS THAN 36", AND COMPLY WITH IRC SECTION R312.1
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SEE PAGE A-1.1B FOR OPTIONS:

SUNROOM/SCREENED PORCH/DECK
SIDE LOAD W/ 3RD CAR GARAGE
GOURMET KITCHEN
FIREPLACE W/ BUILT-INS
&
BENCH DETAIL

FIRST FLOOR PLAN B
SCALE: 1/8" = 1'-0"

Tobacco Road Lot 97

DAVIDSON HOMES

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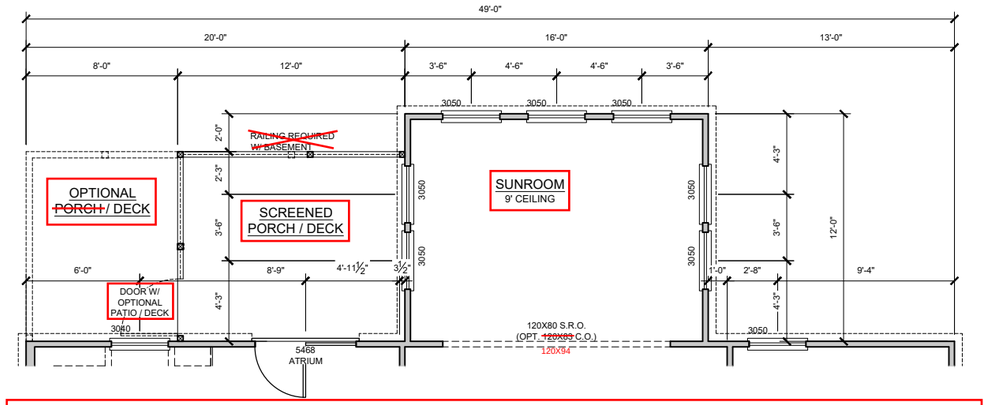
REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

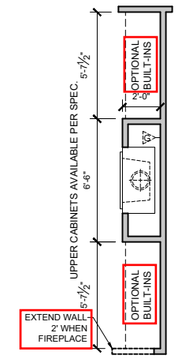
FIRST FLOOR PLAN B
SHEET NO. A-1.0B

Tobacco Road Lot 97



OPTIONAL SUNROOM W/ SCREENED PORCH

SCALE: 1/8" = 1'-0"



OPT. FIREPLACE

GENERAL FRAMING NOTES

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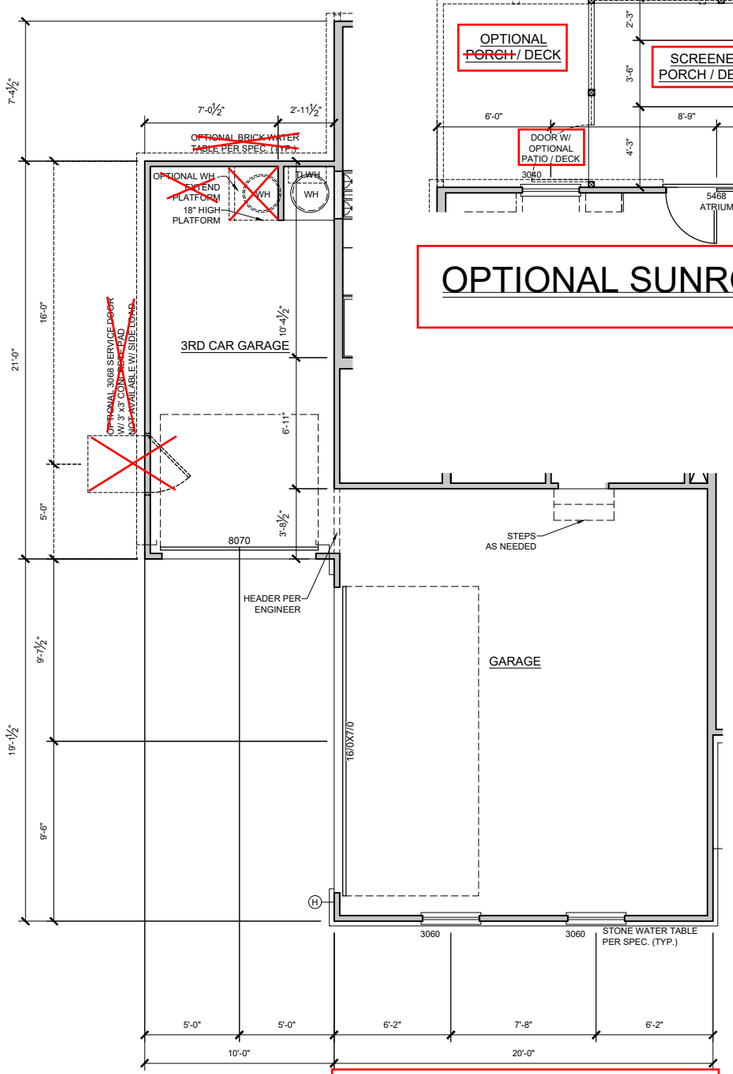
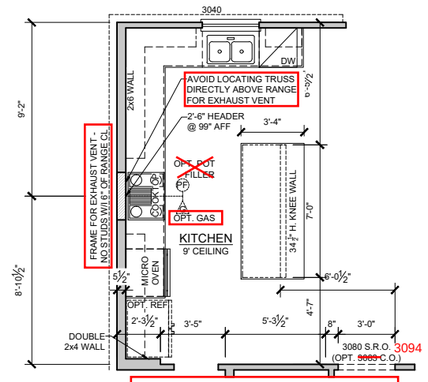
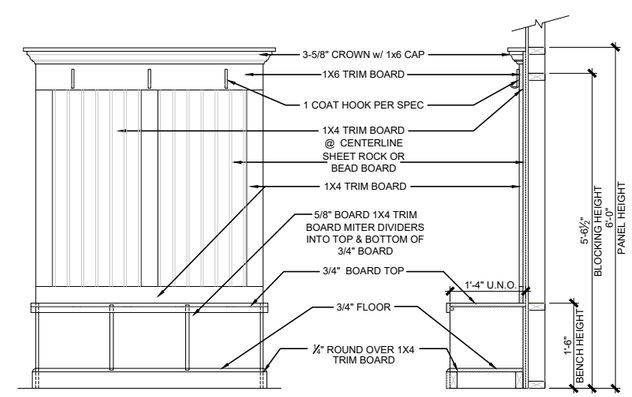


OPT. SIDE ENTRY + 3RD CAR GARAGE



OPT. GOURMET KITCHEN



OPTIONAL MUD BENCH

SCALE: 3/8" = 1'-0"

FIRST FLOOR PLAN OPTIONS

SCALE: 1/8" = 1'-0"

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SUBDIVISION: ----

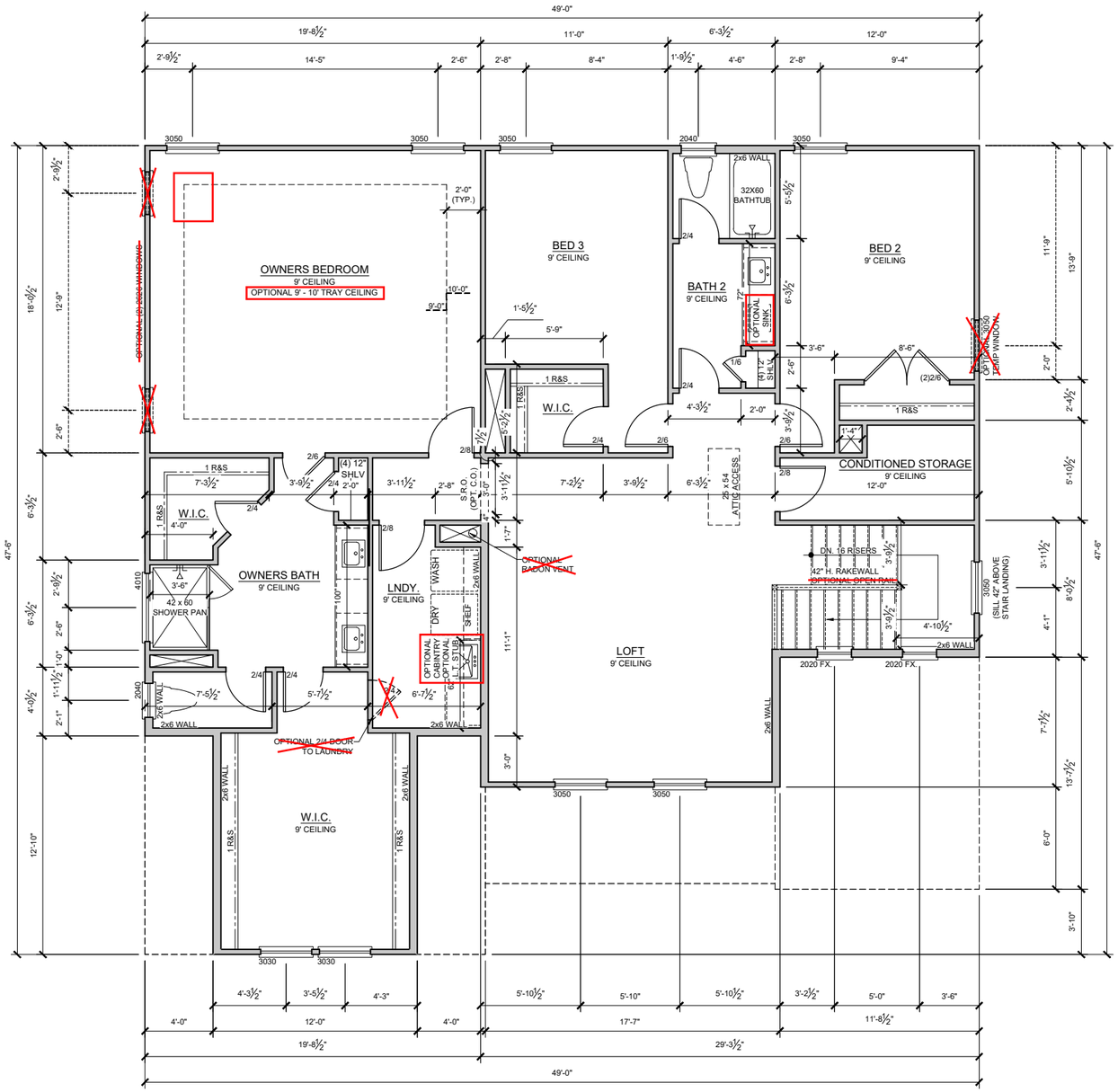
LOT#: ----

REVISION NO.	10
BY	ZACHARY.MYRICK
REVISION DATE	2024-09-20

FIRST FLOOR OPTIONS - GARAGE

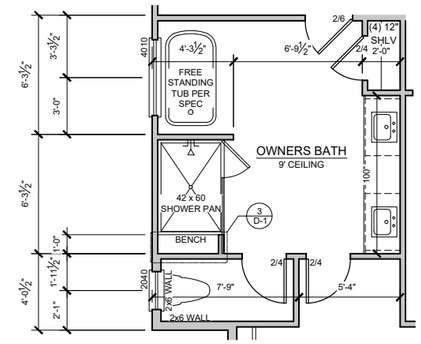
SHEET NO. A-1.1B

Tobacco Road Lot 97

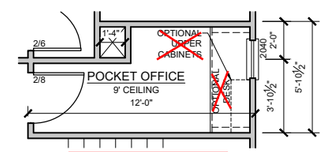


SECOND FLOOR PLAN B

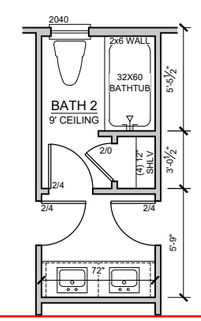
SCALE: 1/8" = 1'-0"



OPT. OWNERS DELUXE BATH



OPT. OFFICE



OPTIONAL SHARED BATH

GENERAL FRAMING NOTES

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LOT#: ----

REVISION NO. 10

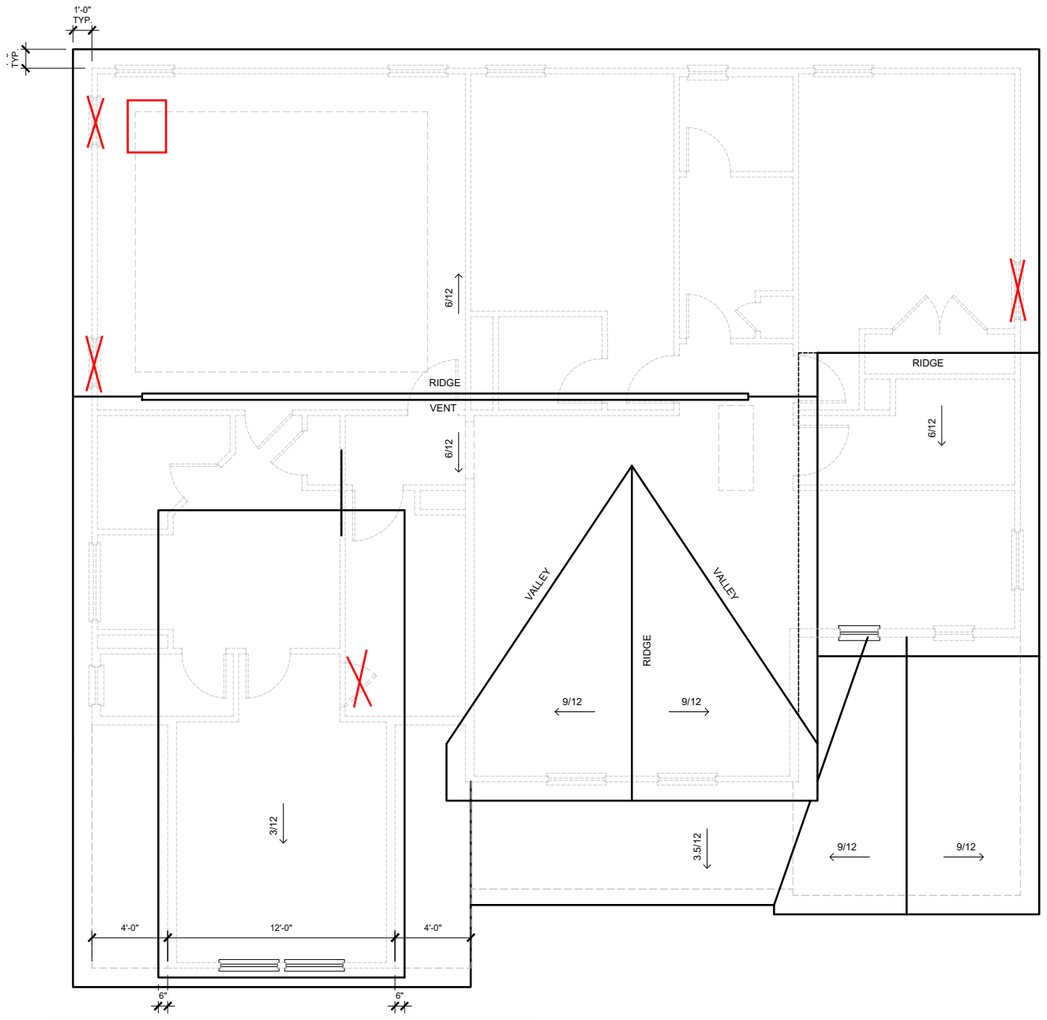
BY ZACHARY.MYRICK

REVISION DATE 2024-09-20

OPTIONAL SECOND FLOOR PLAN 9' PLT HT

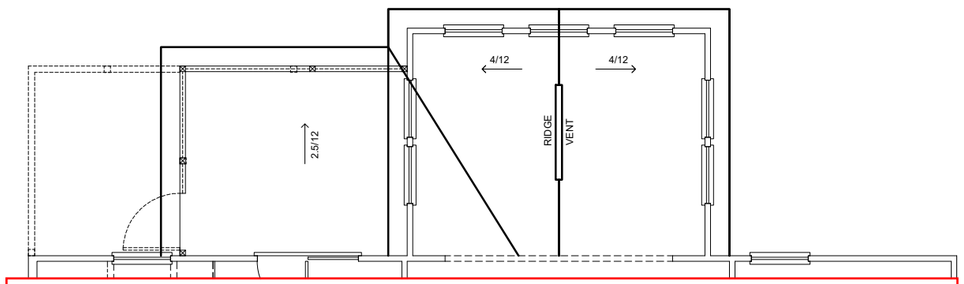
SHEET NO. A-2.1B

Tobacco Road Lot 97



ROOF PLAN B

SCALE: 1/8" = 1'-0"



OPTIONAL SUNROOM W/ SCREENED PORCH ROOF

SCALE: 1/8" = 1'-0"

MAIN ROOF

2415 SQ FT UNDER ROOF ATTIC
300 SQ FT / 1 SQ FT = 8.05 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = (.125 SQ FT)
VENTED SOFFIT 9 SQ IN = (.0625 SQ FT)
BOX VENTS 50 SQ IN = (.347 SQ FT)
INTAKE VENTS 36 SQ IN = (.25 SQ FT)

8.05 SQ FT x 50% 4.025 SQ FT OF RIDGE
8.05 SQ FT x 50% 4.025 SQ FT OF SOFFIT

RIDGE VENT
4.025 SQ FT / 0.125 SQ FT = 32.2 FEET OF RIDGE VENT
SOFFIT VENT
4.025 SQ FT / 0.0625 SQ FT = 64.4 FEET OF VENTED SOFFIT

RIDGE VENT PROVIDED	60 FEET
VENTED SOFFIT PROVIDED	64 FEET
# BOX VENTS @ RIDGE	-9.6 COUNT
# INTAKE VENTS @ SOFFIT	0.1 COUNT (NEGATIVE = 0)

SUNROOM w/ SCREENED PORCH ROOF

366 SQ FT UNDER ROOF ATTIC
300 SQ FT / 1 SQ FT = 1.22 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = (.125 SQ FT)
VENTED SOFFIT 9 SQ IN = (.0625 SQ FT)
BOX VENTS 50 SQ IN = (.347 SQ FT)
INTAKE VENTS 36 SQ IN = (.25 SQ FT)

1.22 SQ FT x 50% 0.610 SQ FT OF RIDGE
1.22 SQ FT x 50% 0.610 SQ FT OF SOFFIT

RIDGE VENT
0.610 SQ FT / 0.125 SQ FT = 4.9 FEET OF RIDGE VENT
SOFFIT VENT
0.610 SQ FT / 0.0625 SQ FT = 9.8 FEET OF VENTED SOFFIT

RIDGE VENT PROVIDED	60 FEET
VENTED SOFFIT PROVIDED	64 FEET
# BOX VENTS @ RIDGE	-19.1 COUNT
# INTAKE VENTS @ SOFFIT	-13.6 COUNT (NEGATIVE = 0)

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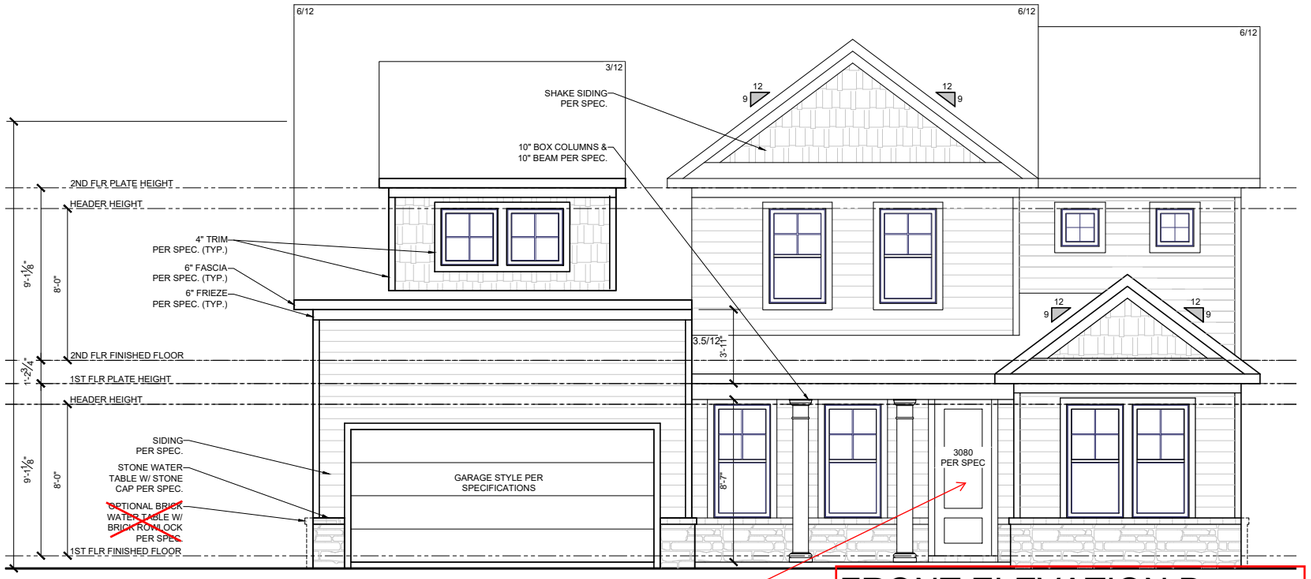
REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

ROOF PLAN B

SHEET NO. A-4.0B

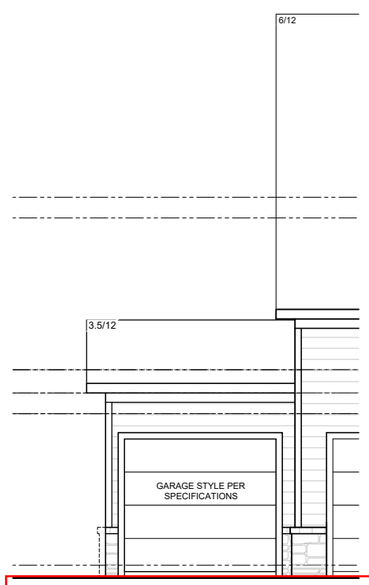
Tobacco Road Lot 97



DOOR STYLE PER PURCHASE ORDER SIZE 3/0 x 8/0

FRONT ELEVATION B

SCALE: 1/8" = 1'-0"



FRONT ELEVATION B

THIRD CAR GARAGE — SCALE: 1/8" = 1'-0"

FRONT ELEVATION B

SIDE LOAD GARAGE — SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT BOARDS TO BE 1X UNLESS OTHERWISE NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER SPEC., UNLESS OTHERWISE NOTED

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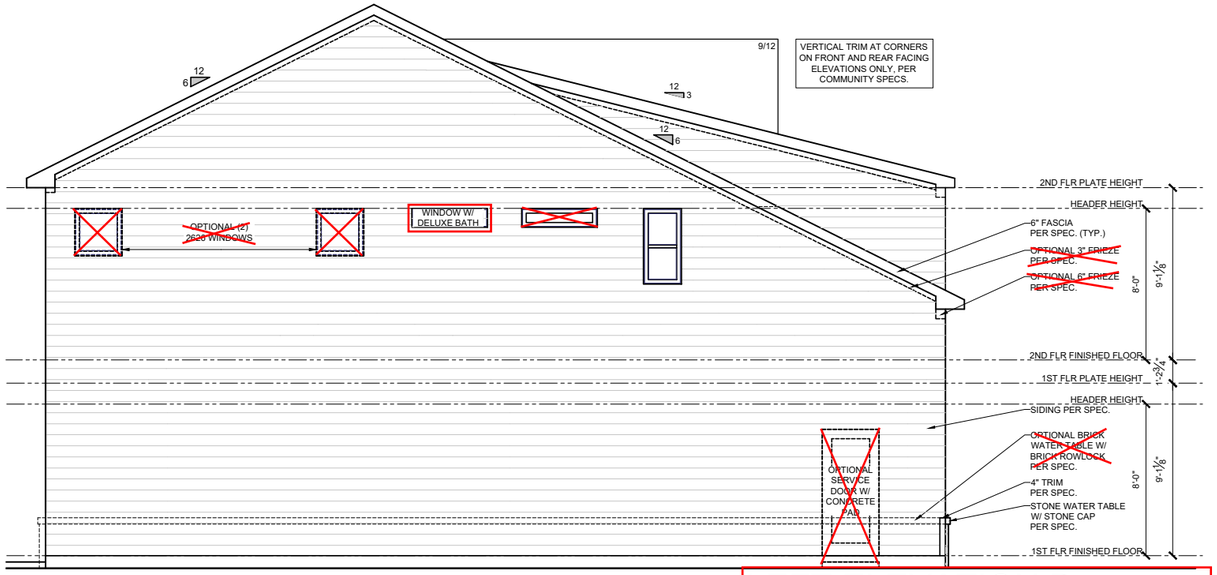
REVISION DATE 2024-09-20

FRONT ELEVATION B
OPT. 9' 2ND FLOOR

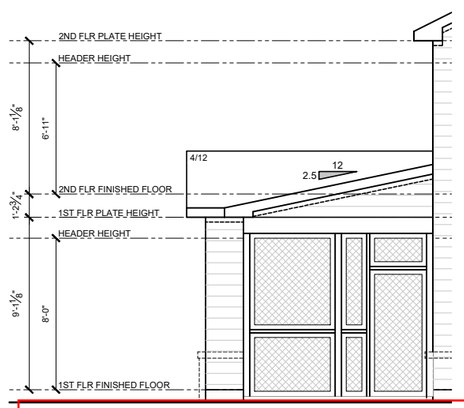
SHEET NO.
A-5.4B

Tobacco Road Lot 97



LEFT ELEVATION B

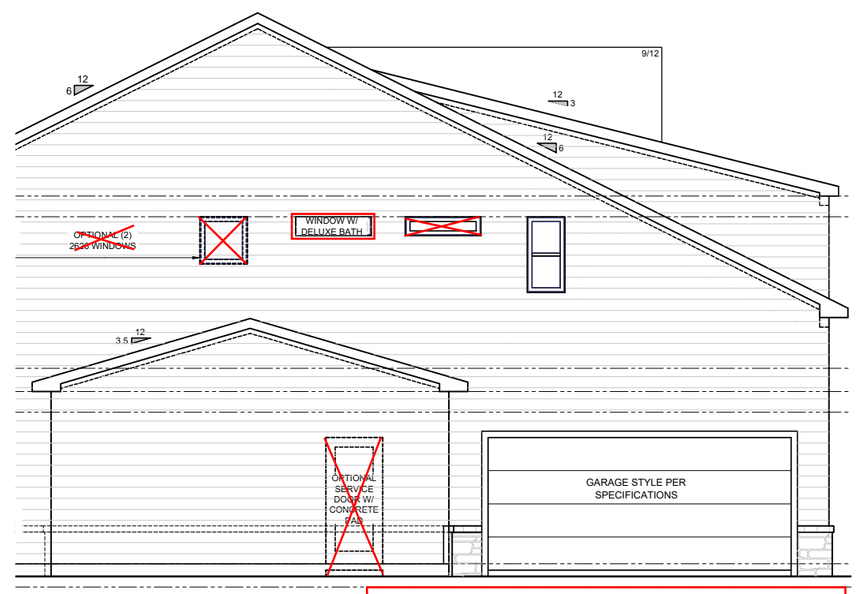
SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SUNROOM / SCREENED PORCH

SCALE: 1/8" = 1'-0"



LEFT ELEVATION B

SIDE LOAD & THIRD CAR GARAGE

SCALE: 1/8" = 1'-0"

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REVISION NO. 10

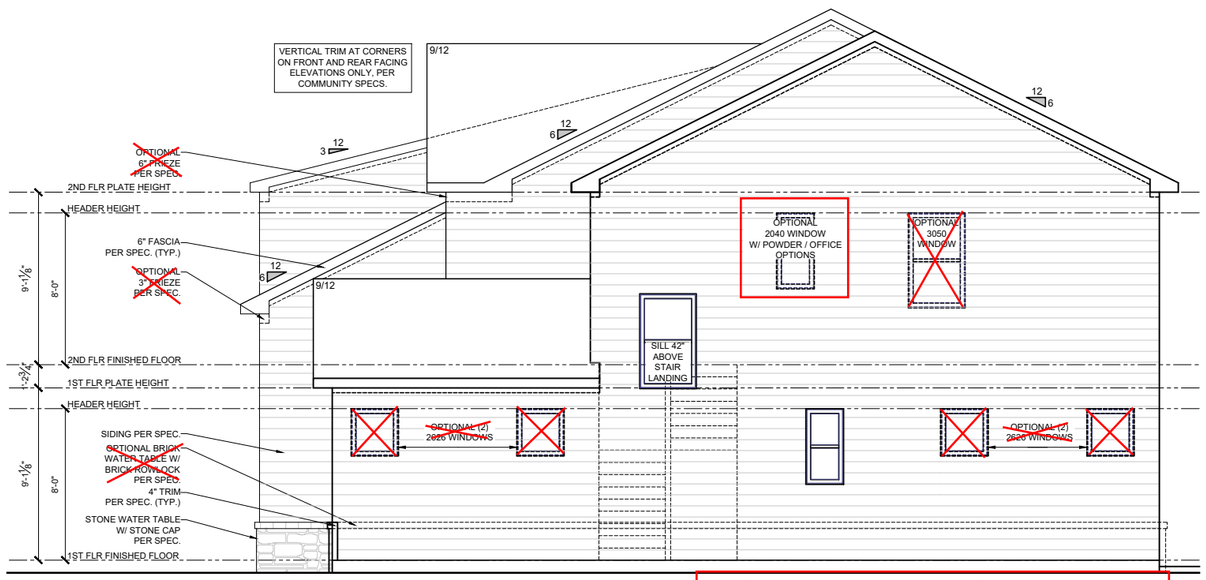
BY ZACHARY.MYRICK

REVISION DATE 2024-09-20

LEFT ELEVATION B
OPT. 9' 2ND FLOOR

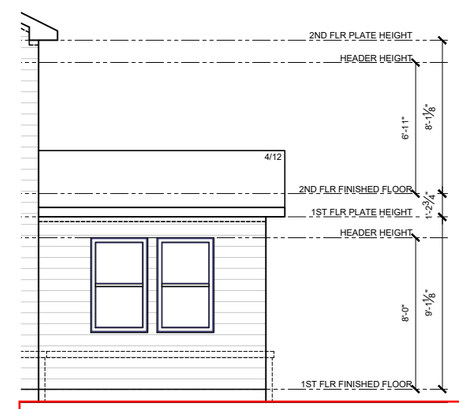
SHEET NO.
A-5.5B

Tobacco Road Lot 97



RIGHT ELEVATION B

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SUNROOM / SCREENED PORCH SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

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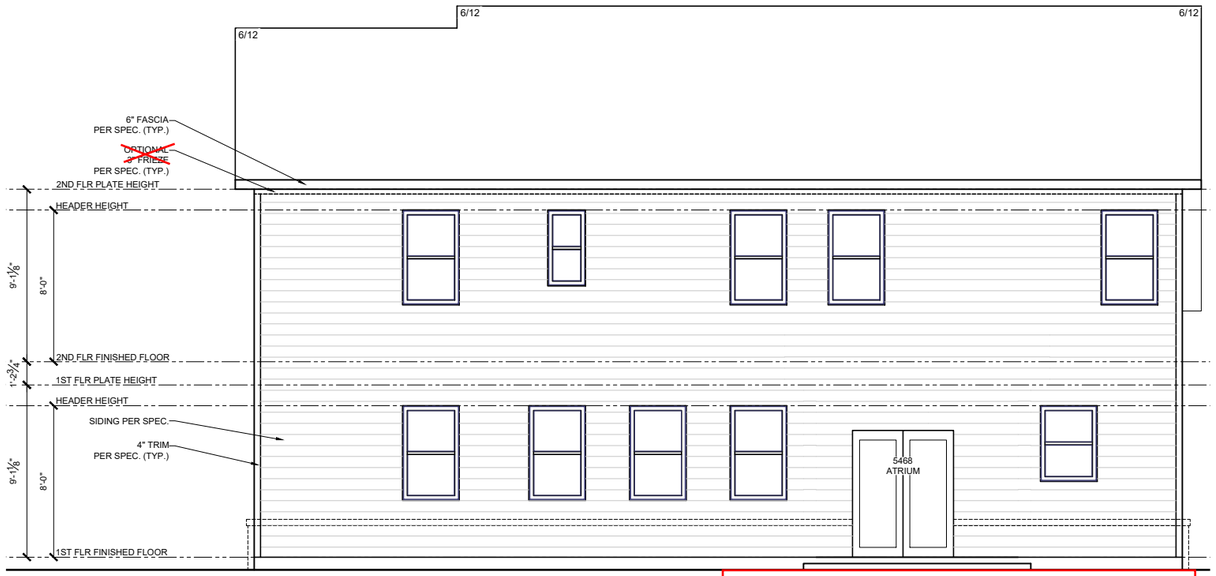
REVISION DATE 2024-09-20

RIGHT ELEVATION B
OPT. 9' 2ND FLOOR

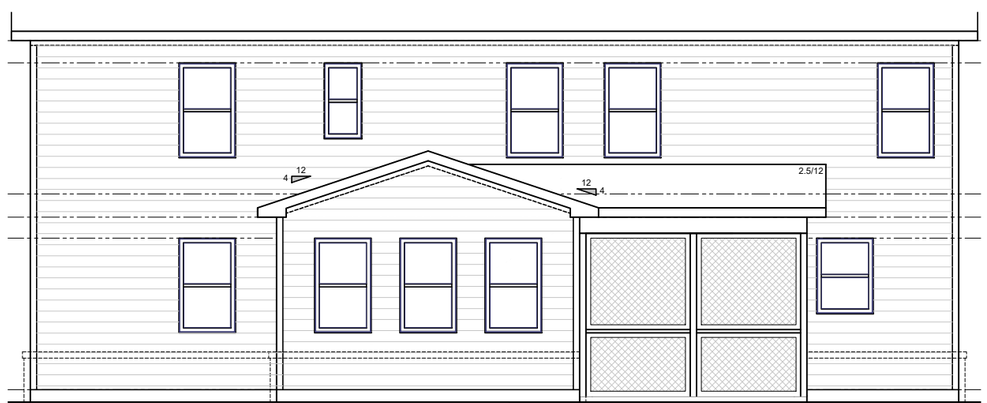
SHEET NO.
A-5.6B

Tobacco Road Lot 97



REAR ELEVATION B

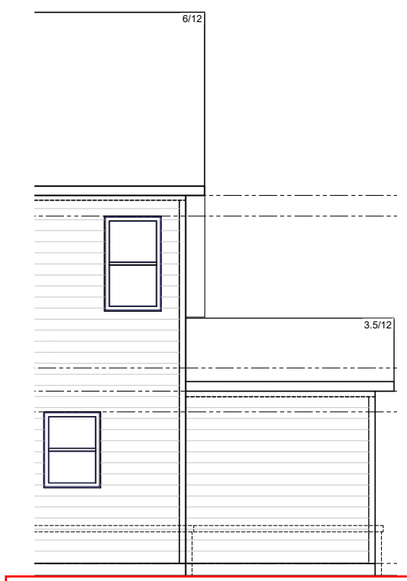
SCALE: 1/8" = 1'-0"



REAR ELEVATION

SUNROOM / SCREENED PORCH SCALE: 1/8" = 1'-0"

Deck



REAR ELEVATION B

THIRD CAR GARAGE SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT BOARDS TO BE 1X UNLESS OTHERWISE NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER SPEC., UNLESS OTHERWISE NOTED

DAVIDSON HOMES

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3460 PRESTON RIDGE ROAD, SUITE 525
ALPHARETTA, GEORGIA 30005

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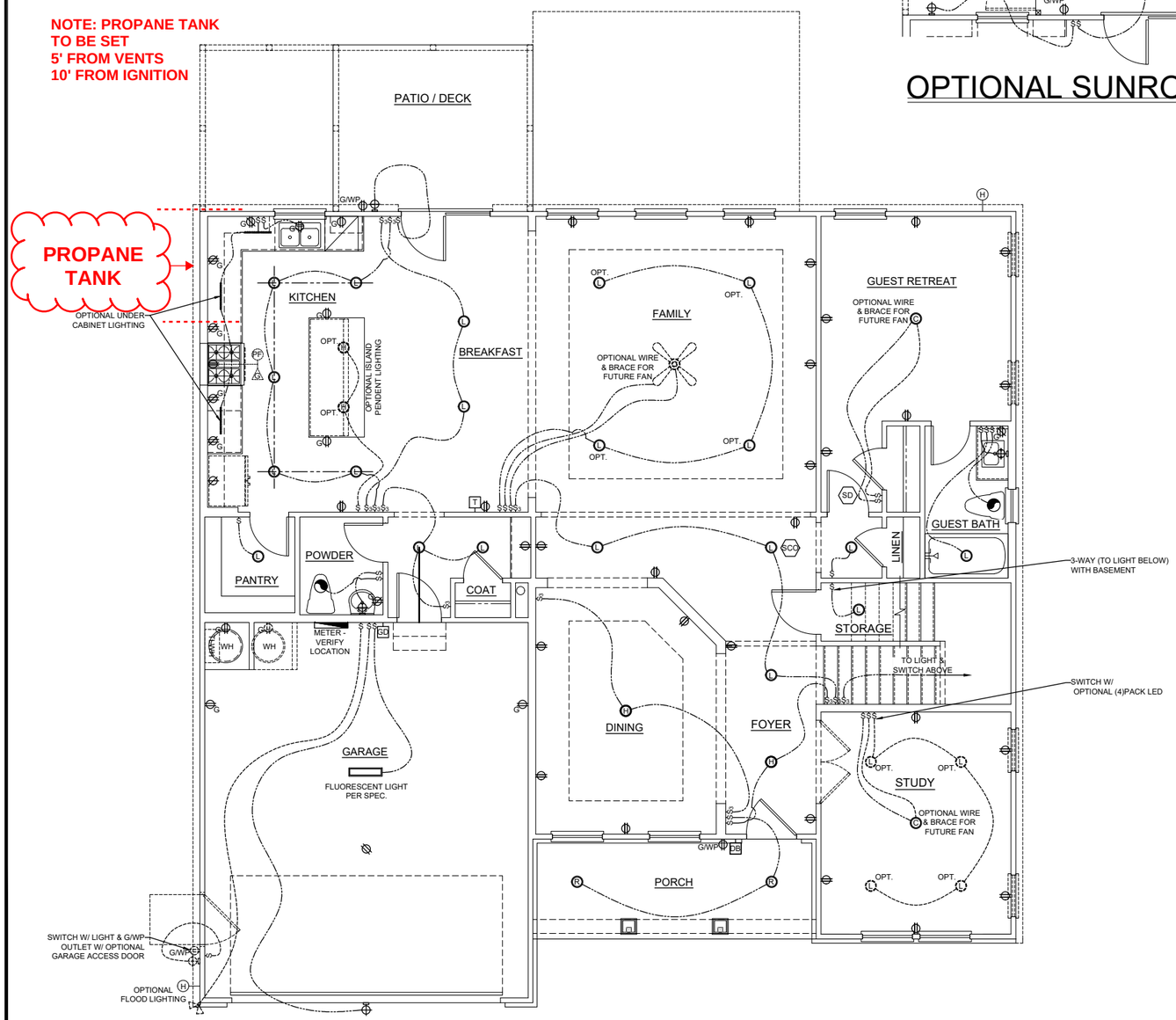
PLAN NAME: CRAWFORD A-D
SUBDIVISION: ----
LOT#: ----

REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

REAR ELEVATION B
OPT. 9' 2ND FLOOR

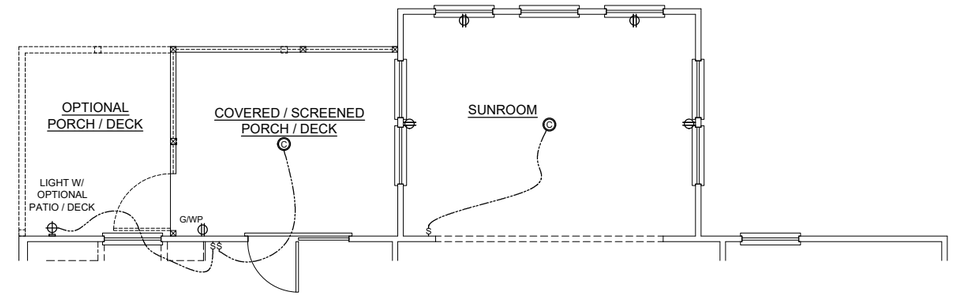
SHEET NO.
A-5.7B

Tobacco Road Lot 97



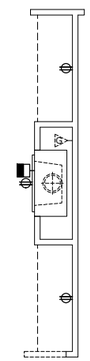
1ST FLR. ELEC. PLAN B

SCALE: 1/8" = 1'-0"

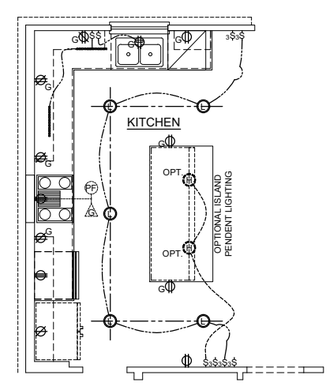


OPTIONAL SUNROOM W/ SCREENED PORCH ELEC

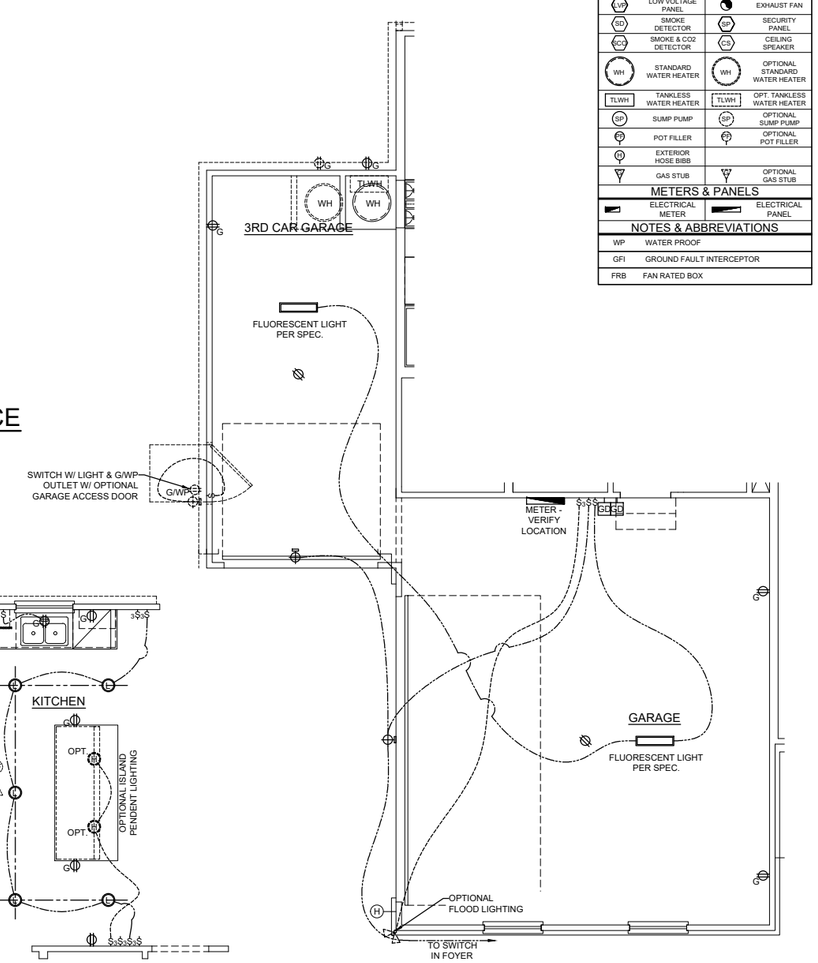
SCALE: 1/8" = 1'-0"



OPT. FIREPLACE



OPT. GOURMET KITCHEN



OPT. SIDE ENTRY + 3RD CAR GARAGE

ELECTRICAL SCHEDULE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES			
	SWITCH		SWITCH - 3 WAY
	SWITCH - 4 WAY		
OUTLETS			
	DEDICATED		COUNTER
	COUNTER USB		COUNTER U / GFI
	COUNTER GFI		220 V
	110 V		110 V USB
	110 V GFI		110 V GFI / WP
	CEILING		FLOOR
LIGHTING			
	LED		CEILING MOUNT
	HANGING		RECESSED CAN
	FLOOD LIGHT		OPT. FLOOD LIGHT
	WALL MOUNT		
	FLUORESCENT		OPT. FLUORESCENT
	CEILING FAN W/ LIGHT		UNDER CABINET
			OPT. UNDER CABINET
UTILITIES			
	GARAGE DOOR OPENER		DOOR BELL
	THERMOSTAT		MEDIA
	DOOR BELL CHIME		OPTIONAL MEDIA
	LOW VOLTAGE PANEL		EXHAUST FAN
	SMOKE DETECTOR		SECURITY PANEL
	SMOKE & CO2 DETECTOR		CEILING SPEAKER
	STANDARD WATER HEATER		OPTIONAL STANDARD WATER HEATER
	TANKLESS WATER HEATER		OPT. TANKLESS WATER HEATER
	SUMP PUMP		OPTIONAL SUMP PUMP
	POT FILLER		OPTIONAL POT FILLER
	EXTERIOR HOSE BIBB		
	GAS STUB		OPTIONAL GAS STUB
METERS & PANELS			
	ELECTRICAL METER		ELECTRICAL PANEL

NOTES & ABBREVIATIONS	
WP	WATER PROOF
GFI	GROUND FAULT INTERCEPTOR
FRB	FAN RATED BOX

DAVIDSON HOMES

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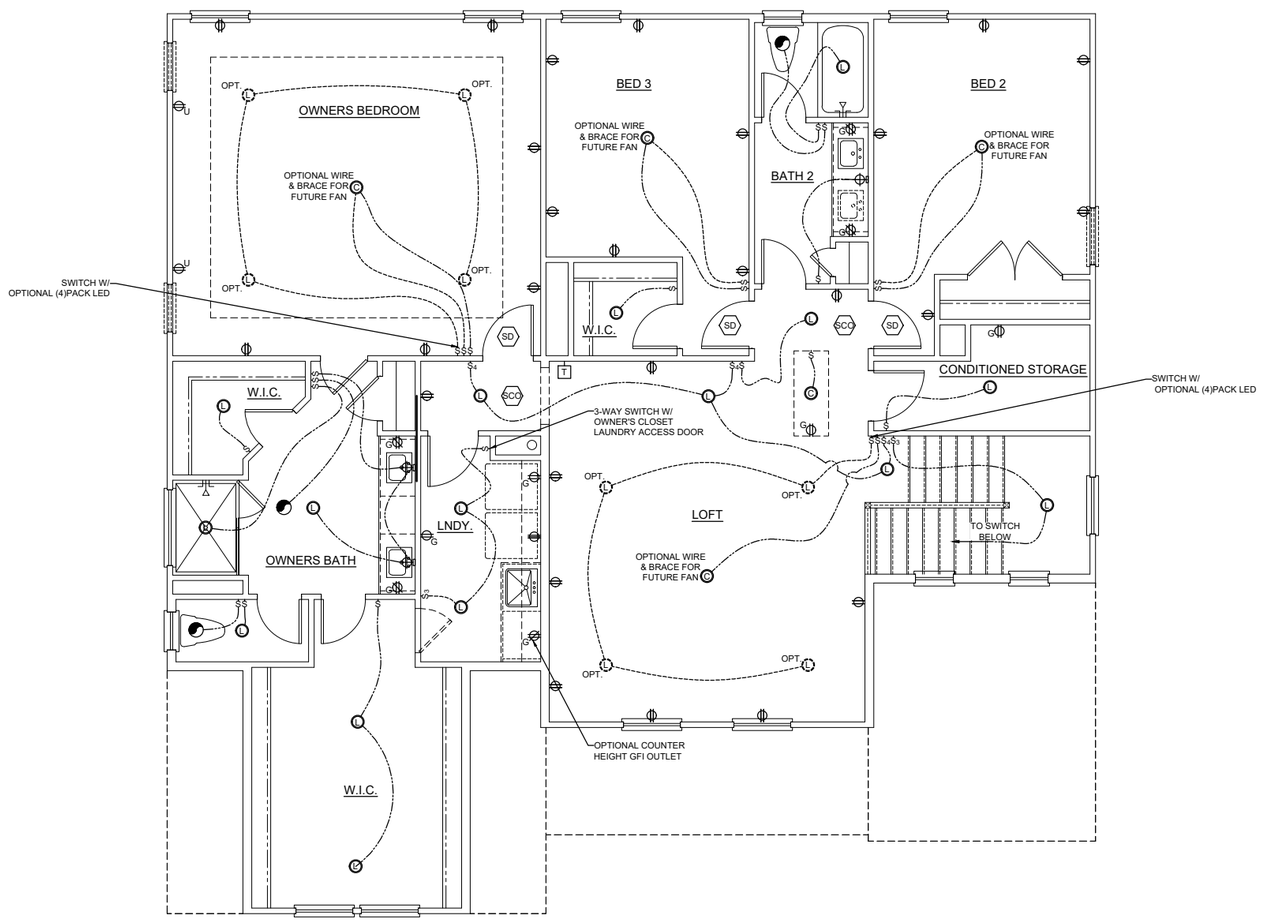
PLAN NAME: CRAWFORD A-D
SUBDIVISION: ----
LOT#: ----

REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

FIRST FLOOR ELECTRICAL PLAN B

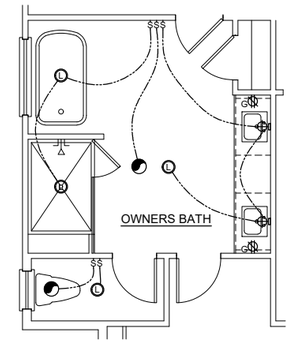
SHEET NO. E-1.0B

Tobacco Road Lot 97

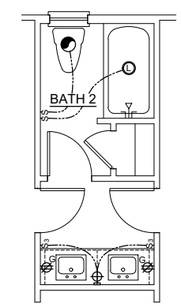


2ND FLR. ELEC. PLAN B

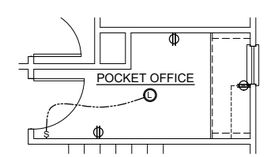
SCALE: 1/8" = 1'-0"



OPT. OWNERS DELUXE BATH



OPTIONAL SHARED BATH



OPT. OFFICE

ELECTRICAL SCHEDULE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES			
S	SWITCH	S3	SWITCH - 3 WAY
S4	SWITCH - 4 WAY		
OUTLETS			
	DEDICATED		COUNTER
U	COUNTER USB	UG	COUNTER U / GFI
G	COUNTER GFI		220 V
	110 V	U	110 V USB
G	110 V GFI	G/WP	110 V GFI / WP
	CEILING		FLOOR
LIGHTING			
	LED		CEILING MOUNT
	HANGING		RECESSED CAN
	FLOOD LIGHT		OPT. FLOOD LIGHT
	WALL MOUNT		
	FLUORESCENT		OPT. FLUORESCENT
	CEILING FAN W/ LIGHT		UNDER CABINET
			OPT. UNDER CABINET
UTILITIES			
	GARAGE DOOR OPENER		DOOR BELL
T	THERMOSTAT		MEDIA
	DOOR BELL CHIME		OPTIONAL MEDIA
LVP	LOW VOLTAGE PANEL		EXHAUST FAN
SD	SMOKE DETECTOR	SP	SECURITY PANEL
SCO	SMOKE & CO2 DETECTOR	CS	CEILING SPEAKER
WH	STANDARD WATER HEATER	WH	OPTIONAL STANDARD WATER HEATER
TLWH	TANKLESS WATER HEATER	TLWH	OPT. TANKLESS WATER HEATER
SP	SUMP PUMP	SP	OPTIONAL SUMP PUMP
PF	POT FILLER	PF	OPTIONAL POT FILLER
H	EXTERIOR HOSE BIBB		
	GAS STUB		OPTIONAL GAS STUB
METERS & PANELS			
	ELECTRICAL METER		ELECTRICAL PANEL

NOTES & ABBREVIATIONS	
WP	WATER PROOF
GFI	GROUND FAULT INTERCEPTOR
FRB	FAN RATED BOX

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PLAN NAME: CRAWFORD A-D
SUBDIVISION: ---
LOT#: ---

REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

SECOND FLOOR ELECTRICAL PLAN B

SHEET NO. E-2.0B

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
SOLE PLATE TO LADDER TRUSS OR CONT. RIBBON	NAILS @ 6" o.c.	NAILS @ 4" o.c.
LADDER TRUSS BOTTOM CHORD TO TOP PLATE OR SILL PLATE (PARALLEL)	NAILS @ 6" o.c.	NAILS @ 4" o.c.
BOTTOM CHORD OF EA. TRUSS TO TOP PLATE OR SILL PLATE (PERPENDICULAR)	(3) TOENAILS	(3) TOENAILS*
RAFTER/TRUSS TO TOP PLATE	(3) TOENAILS + (1) SIMPSON H2.5T	(3) TOENAILS + (1) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

* 2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:

A. ROOF TRUSSES:
1/4" DEAD LOAD

B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFECTION OF FLOOR TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x1/4"
6'-0"	3 FT. MAX	L3"x3"x1/4"
	12 FT. MAX	L4"x3"x1/4"
	20 FT. MAX	L5"x3½"x5/16"
8'-0"	3 FT. MAX	L4"x4"x1/4" *
	12 FT. MAX	L5"x3½"x5/16"
	16 FT. MAX	L6"x3½"x3/8"
9'-6"	12 FT. MAX	L6"x3½"x5/16"
16'-0"	2 FT. MAX	L7"x4"x½" **
	3 FT. MAX	L8"x4"x½" **

ALL LINTELS:
- SHALL SUPPORT 2 5/8" - 3 ½" VENEER w/ 40 psf MAXIMUM WEIGHT.
< 16' SHALL HAVE 4" MIN. BEARING
>= 16' SHALL HAVE 8" MIN. BEARING
< 16' SHALL NOT BE FASTENED BACK TO HEADER.
>= 16' SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @48"o.c. w/ ½" DIA. x 3 ½" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.
- MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING.
- ALL LINTELS SHALL BE LONG LEG VERTICAL.
- WHEN SUPPORTING VENEER < 3" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 ¼" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT FINISHING.
- SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS.
* FOR QUEEN VENEER USE L4x3x1/4".
** FOR 3½" VENEER ONLY. SEE PLAN FOR VENEER SUPPORT IF VENEER < 3½" THICK.

M&K STND. - MAY 2016

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

120 MPH WIND IN 2018 NCSBC

(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1)
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5& R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
  FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN PANEL FIELD. (TYP, U.N.O.)
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

— — — INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES, AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

M&K STND. - MAR 2016

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE
- FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C,7" MIN. EMBEDMENT
  - 1/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C.
  - SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT w/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
  f'c = 4,000 psi: .... FOUNDATION WALLS
  3,000 psi: .... FOOTINGS & INTERIOR SLABS ON GRADE
  3,500 psi: .... GARAGE & EXTERIOR SLABS ON GRADE
  fy = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
  - 8' OR 9' HEIGHT (AS NOTED ON PLANS)
    - TALLER WALLS MUST BE ENGINEERED.
  - DESIGNS ARE BASED ON ACTUAL WALL WIDTHS. NOMINAL WIDTH (7 ½" FOR 8" WALL, 9 ½" FOR 10" WALL) MAY NOT BE USED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
  30 PCF TYPE (GW, GP, SW, SP)
  45 PCF TYPE (GM, GC, SM, SM-SC, ML)
  - IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
  - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
  - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
  - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
- TYPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

M&K STND. - MAY 2012

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS") .
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TCNA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- AT I-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
  - 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
  - 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
  - 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
  - w/ 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD.
  - w/ 2 3/8" x 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD.
  - w/ 2 3/8" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI 1 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

M&K STND. - MAR 2016

LEGEND

- R.T. — INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. — INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. — INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- F.T. — INDICATES 16" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
- F.S. — INDICATES 14" DEEP FLOOR JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER -OR- 14" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
- D.J. — INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

GENERAL STRUCTURAL NOTES

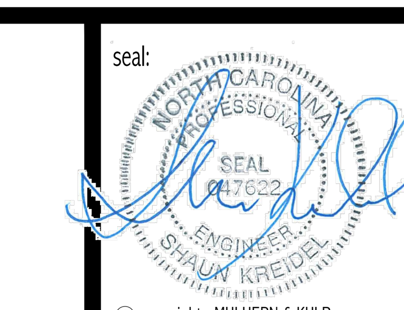
- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:
  ROOF — LIVE = 20 PSF; DEAD = 7 PSF T.C., 10 PSF B.C.; LOAD DURATION FACTOR = 1.25
  FLOOR — LIVE = 40 PSF (30 PSF @ SLEEPING AREAS); DEAD = 10 PSF (I-JOISTS & SOLID SAWN); 10 PSF T.C., 5 PSF B.C. (TRUSSES); ADD'L 10 PSF @ CERAMIC TILE IN BATHS AND LAUNDRY
  SOIL — 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O..
  - WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED w/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
  - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
  - HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
  - 'LSL' - Fb=1700 psi; Fv=425 psi; E=1.3x10^6 psi
  - 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
  - 'LVL' - Fb=2400 psi; Fc‖=2500 psi; E=1.8x10^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1¾" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS ¼"x3½" SIMPSON SDS SCREWS (OR 3½" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 ½" OR 5 ¼" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1¾" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF ¼"x6" SIMPSON SDS SCREWS (OR 6 ¾" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABW44 BASE, U.N.O.
- SIMPSON CONNECTORS SPECIFIED ON PLAN MAY BE SUBSTITUTED WITH EQUIVALENT UNITED STEEL PRODUCTS (USP), PROVIDED THE INSTALLED PRODUCT MATCHES THE MINIMUM REQUIREMENTS/CAPACITIES OF SPECIFIED SIMPSON HARDWARE.
- CORROSION NOTES:
  - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
  - ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

Tobacco Road Lot 97

seal:



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Mulhern+Kulp project number: 260-22002

project mgr: SMK
drawn by: RKS
issue date: 05.17.2024

REVISIONS:

date:	initial:
10/01/2024 FRAMEWALK REVISIONS	SMM

DAVIDSON HOMES

GENERAL NOTES

CRAWFORD MODEL

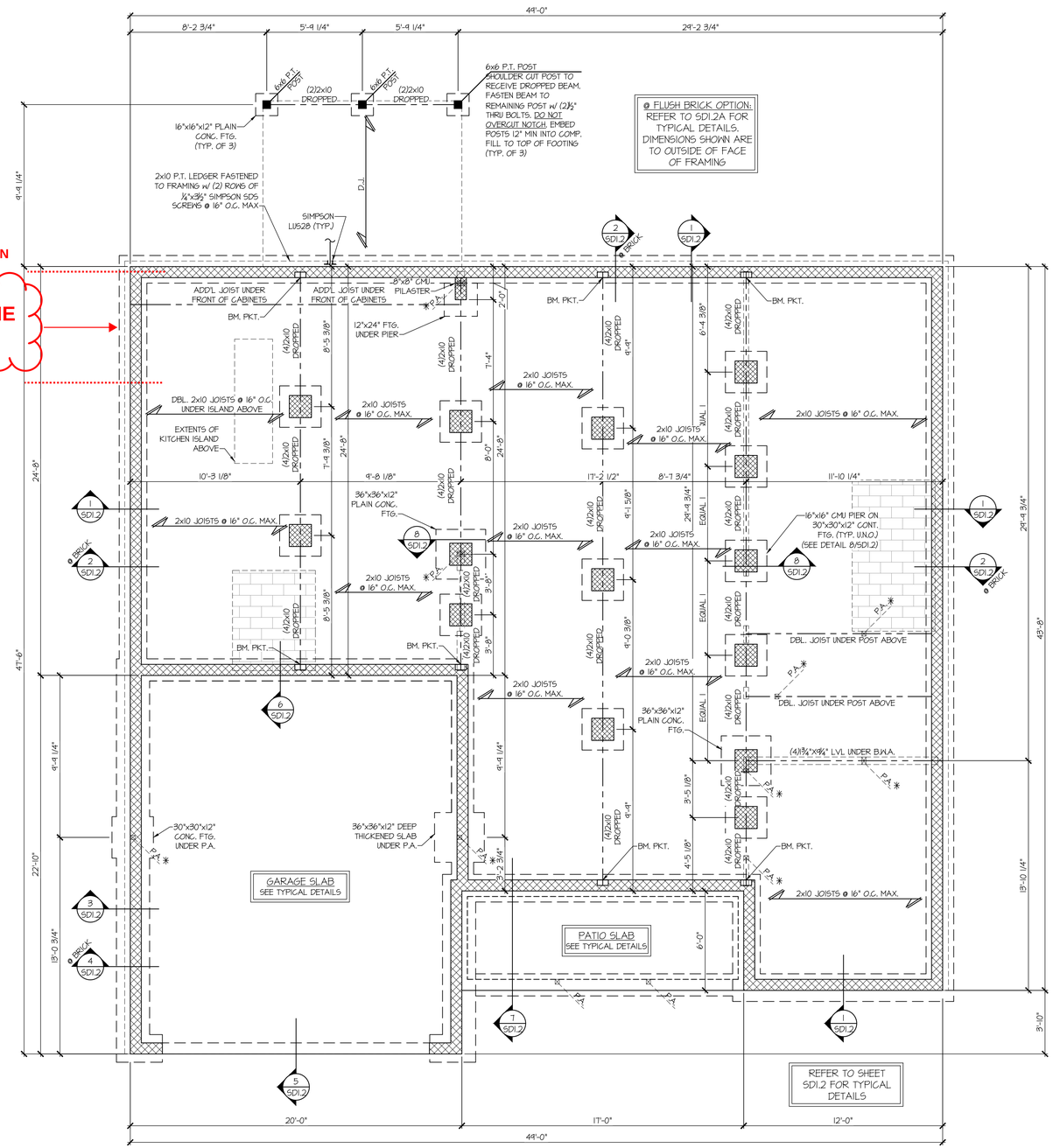
RALEIGH, NC

sheet: S0.0

Tobacco Road Lot 97

NOTE: PROPANE TANK TO BE SET 5' FROM VENTS 10' FROM IGNITION

PROPANE TANK



1ST FLOOR FRAMING & CRAWLSPACE FOUNDATION PLAN w/ 2x JOISTS

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

ELEV. B

SEE PAGE S1.18M for OPTIONS

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

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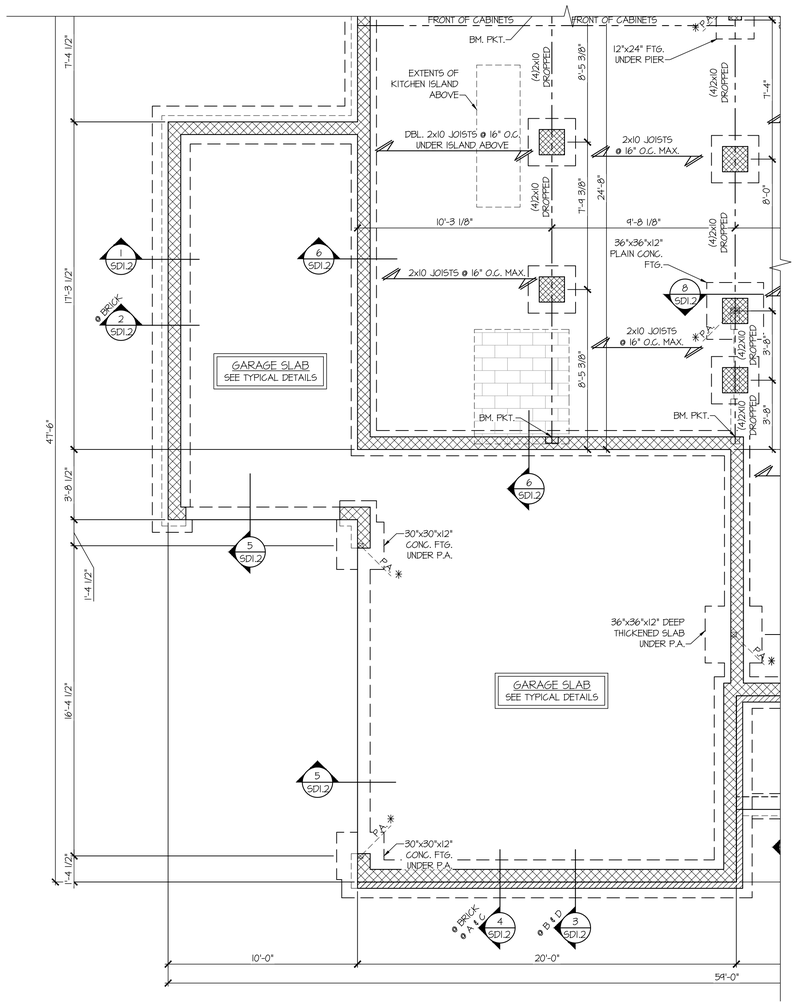
FOUNDATION PLAN

CRAWFORD MODEL

RALEIGH, NC

sheet: S1.17M

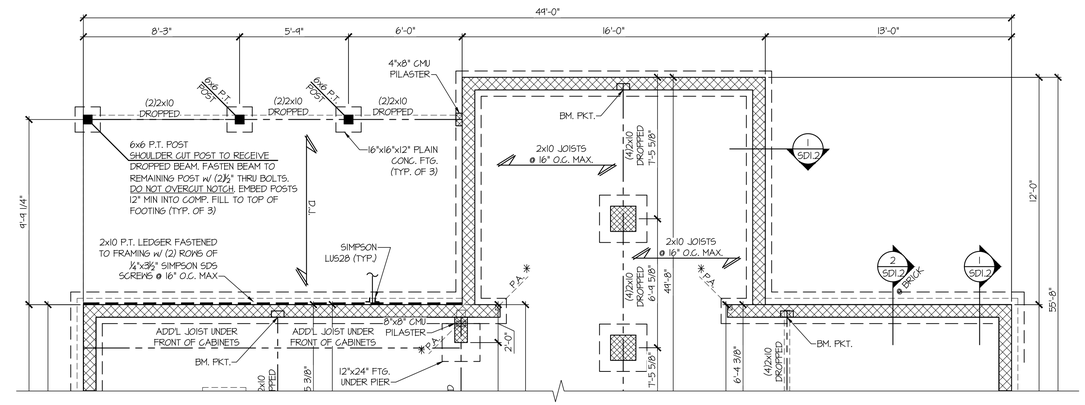
Tobacco Road Lot 97



PARTIAL 1ST FLOOR FRAMING & CRAWLSPACE FOUNDATION PLAN w/ 2x JOISTS

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

OPT. SIDE LOAD GARAGE
& 3RD CAR GARAGE
ALL ELEV. SIM.



PARTIAL 1ST FLOOR FRAMING & CRAWLSPACE FOUNDATION PLAN w/ 2x JOISTS

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

OPT. SUNROOM +
OPT. DECK
ALL ELEV. SIM.

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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10/01/2024 FRAMEWALK REVISIONS	SMM

DAVIDSON HOMES

FOUNDATION PLAN

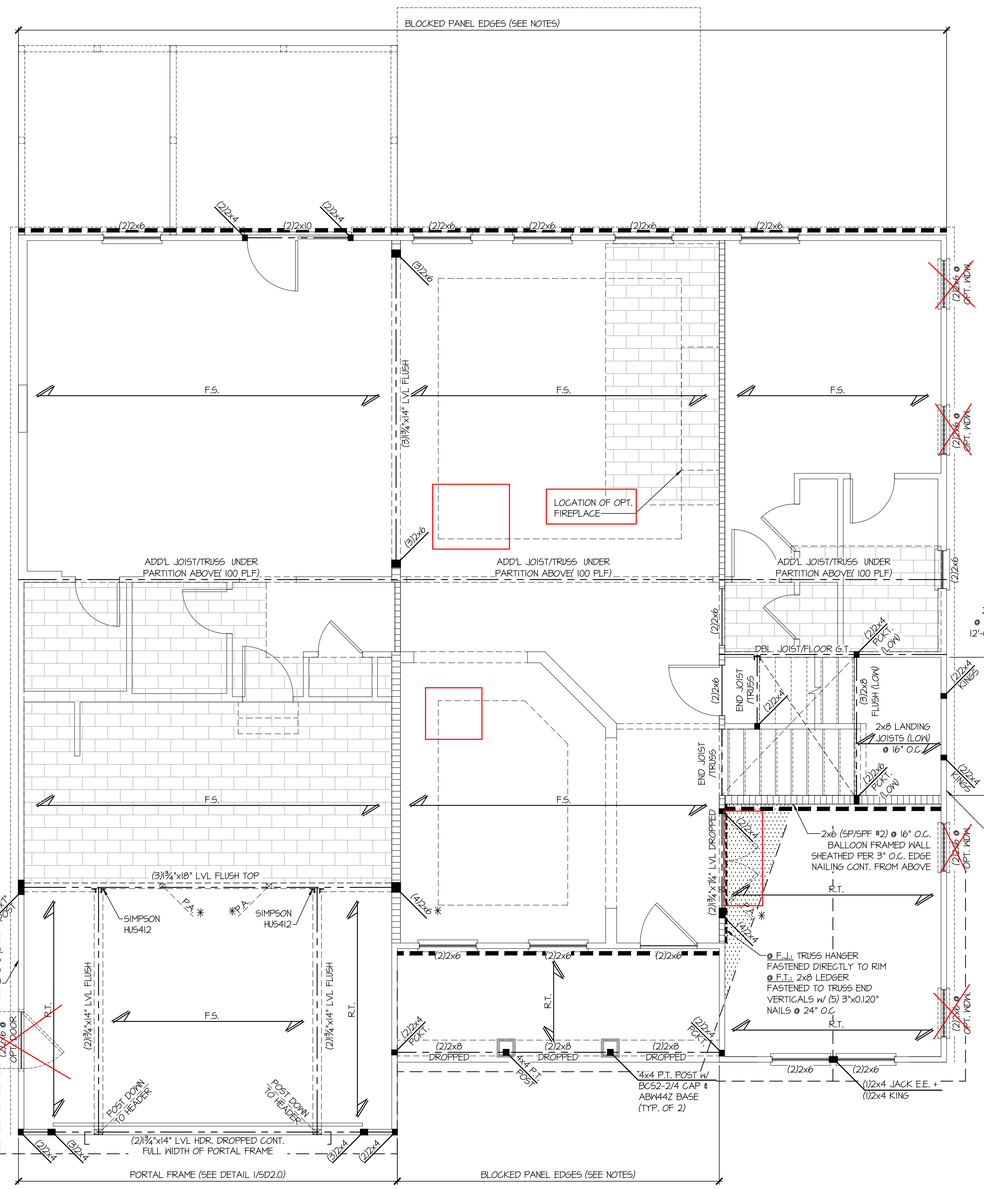
CRAWFORD MODEL

RALEIGH, NC

sheet:

S1.18M

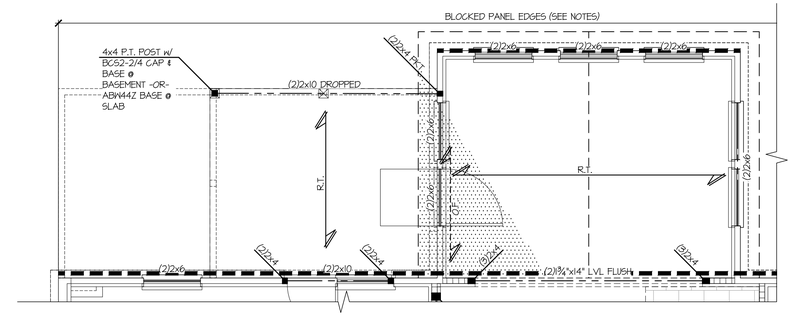
Tobacco Road Lot 97



2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

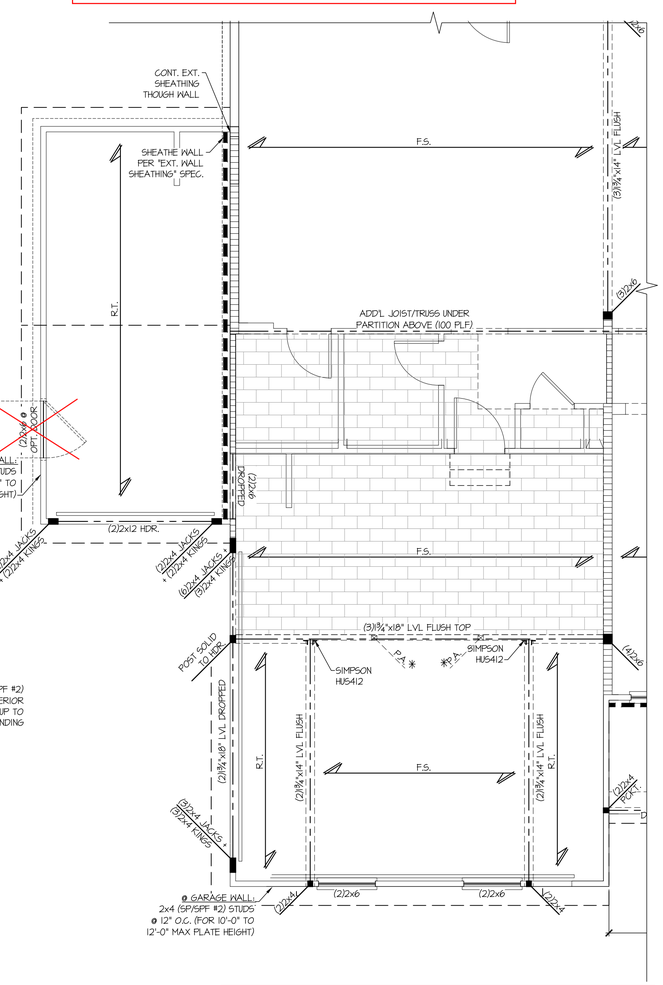
ELEV. B



PARTIAL 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

OPT. SUNROOM + OPTIONAL COVERED PATIO
ALL ELEV. SIM.



PARTIAL 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

OPT. SIDE LOAD GARAGE & 3RD CAR GARAGE
ELEV. B

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

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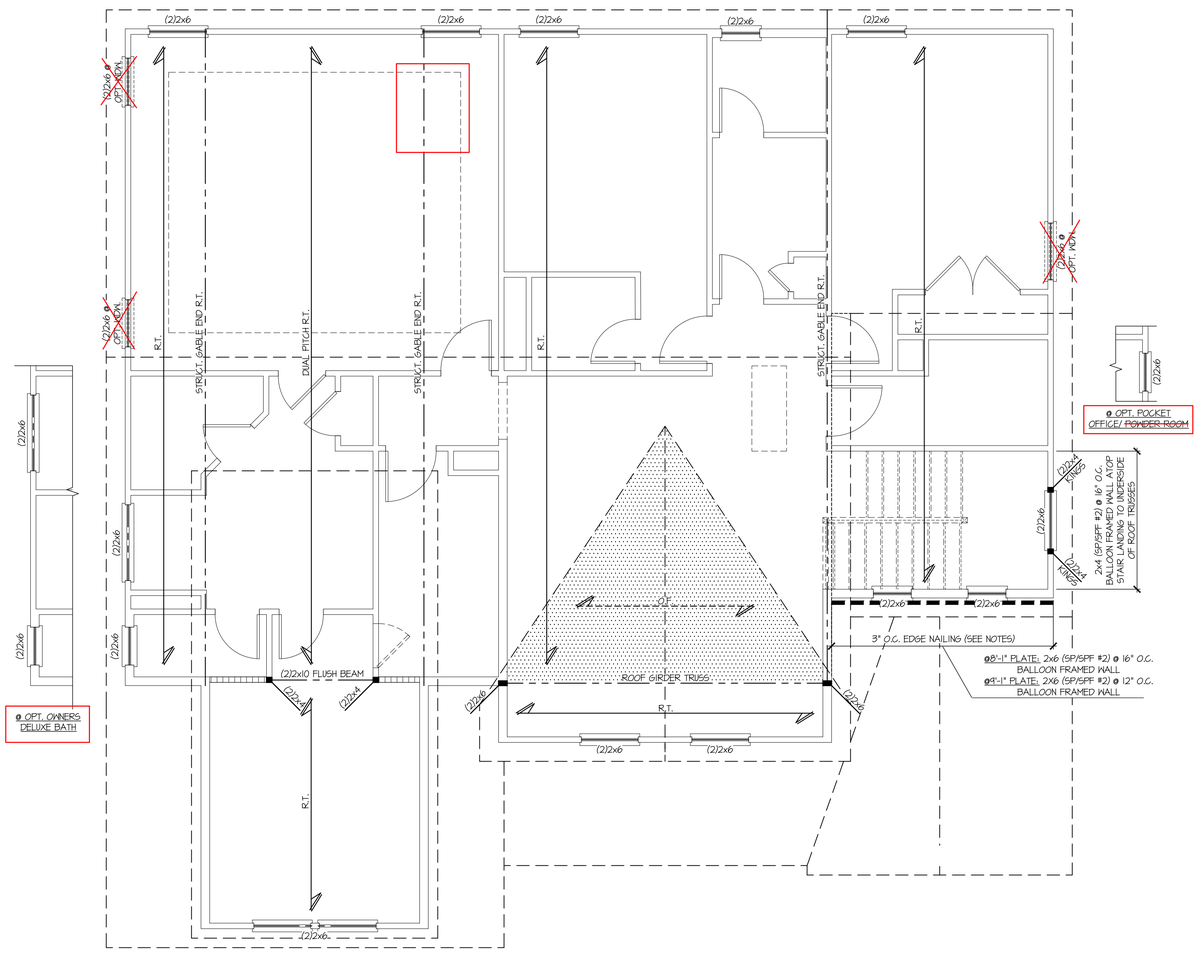
2ND FLR FRAMING PLAN

CRAWFORD MODEL

RALEIGH, NC

sheet: S2.1M

Tobacco Road Lot 97



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

ELEV. B

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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LEGEND

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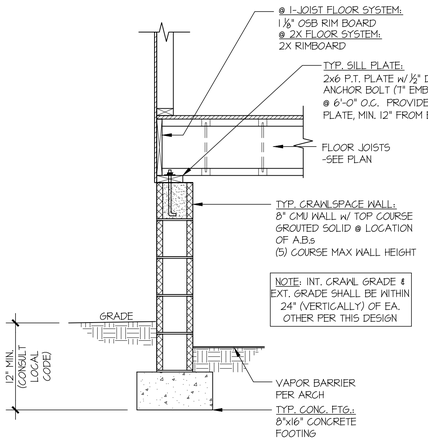
ROOF FRAMING PLAN

CRAWFORD MODEL

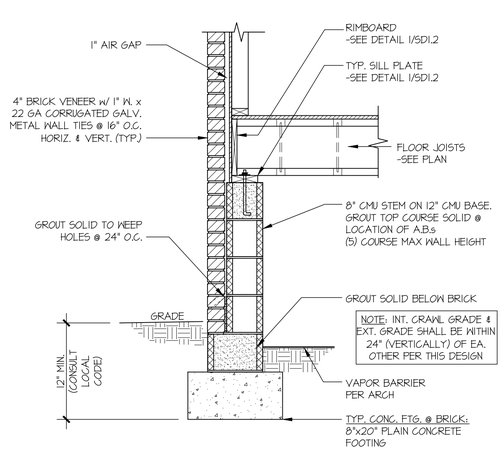
RALEIGH, NC

sheet:

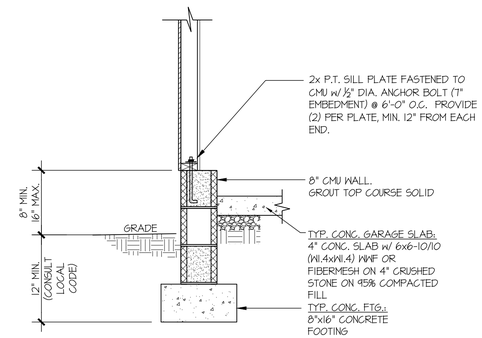
S3.1M



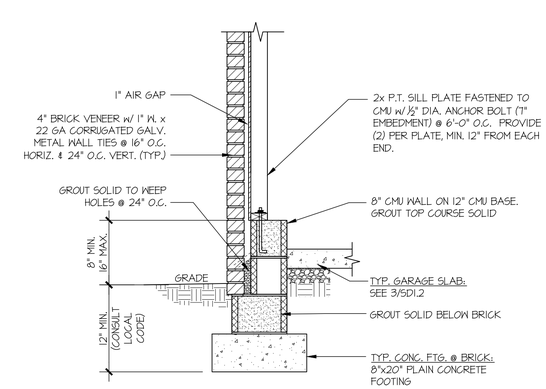
1 TYPICAL CRAWLSPACE FOUNDATION



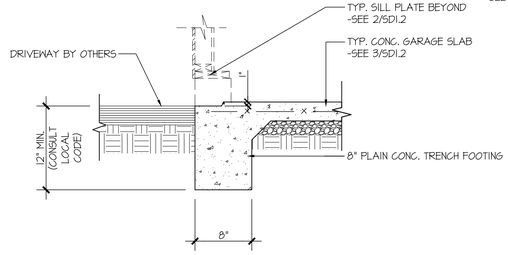
2 TYPICAL CRAWLSPACE FOUNDATION w/ FULL BRICK VENEER



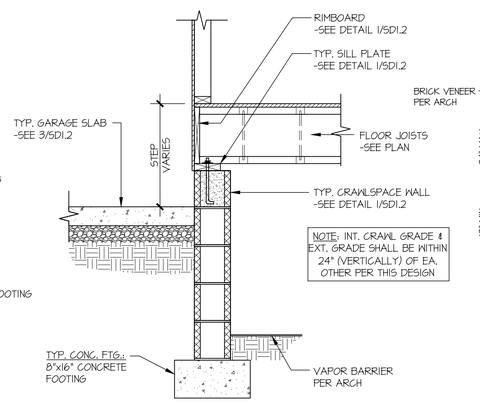
3 TYPICAL PERIMETER FOOTING @ EXTERIOR GARAGE WALL



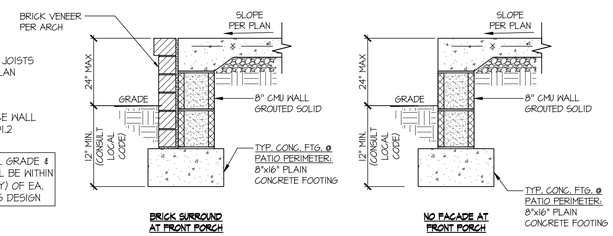
4 TYPICAL CRAWLSPACE FOUNDATION @ EXTERIOR GARAGE WALL w/ FULL BRICK VENEER

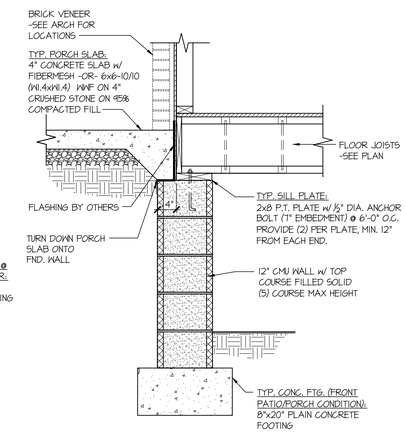


5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

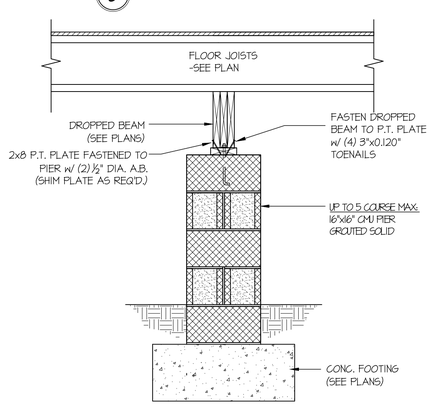


6 TYPICAL CRAWLSPACE FOUNDATION @ INTERIOR GARAGE WALL





7 TYPICAL CRAWLSPACE FOUNDATION @ FRONT PATIO/COVERED PORCH



8 TYPICAL CRAWLSPACE FOUNDATION @ INTERIOR PIER

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seal:

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Mulhern+Kulp project number: 260-22002

project mgr:	SMK
drawn by:	RKS
issue date:	05.17.2024

REVISIONS:

date:	initial:
10/01/2024 FRAMEWALK REVISIONS	SMM

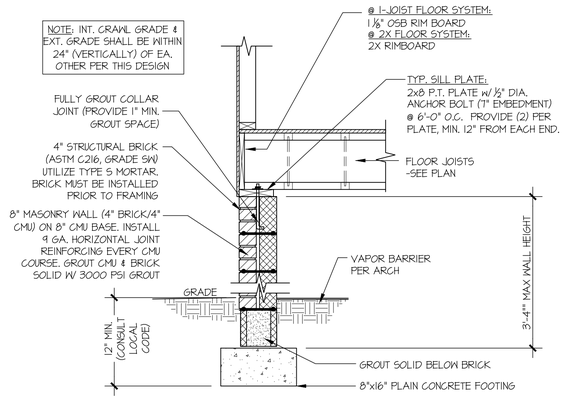
DAVIDSON HOMES

FOUNDATION DETAILS

CRAWFORD MODEL

RALEIGH, NC

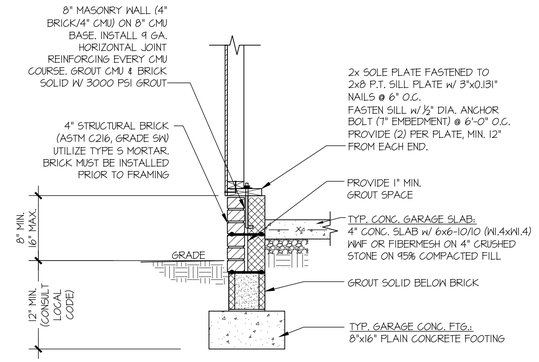
sheet: SD1.2



1 TYPICAL CRAWLSPACE FOUNDATION
w/ BRICK WATERTABLE

NOT USED

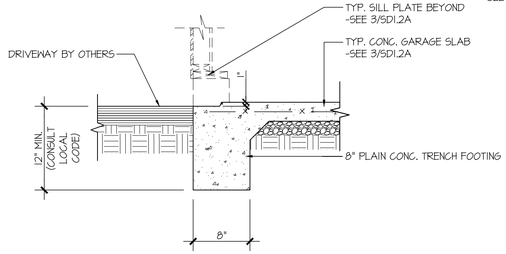
2 TYPICAL CRAWLSPACE FOUNDATION



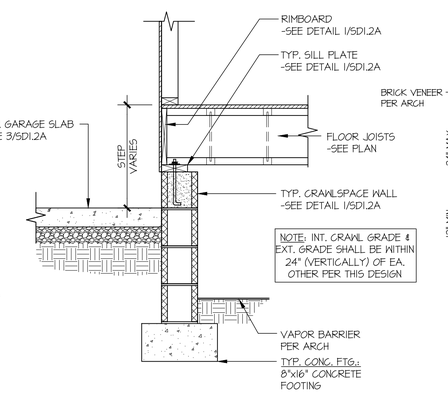
3 TYPICAL CRAWLSPACE FOUNDATION
@ EXTERIOR GARAGE WALL
w/ BRICK WATERTABLE

NOT USED

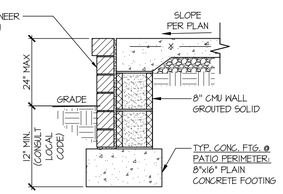
4 TYPICAL CRAWLSPACE FOUNDATION
@ EXTERIOR GARAGE WALL



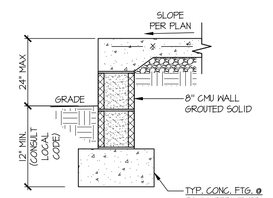
5 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING



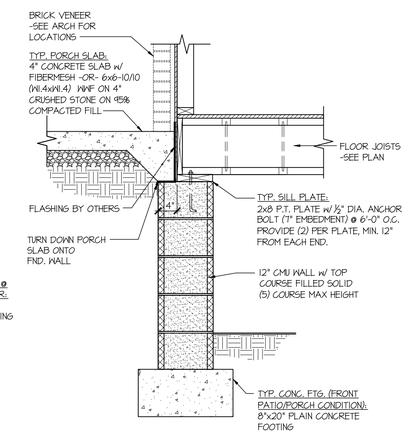
6 TYPICAL CRAWLSPACE FOUNDATION
@ INTERIOR GARAGE WALL



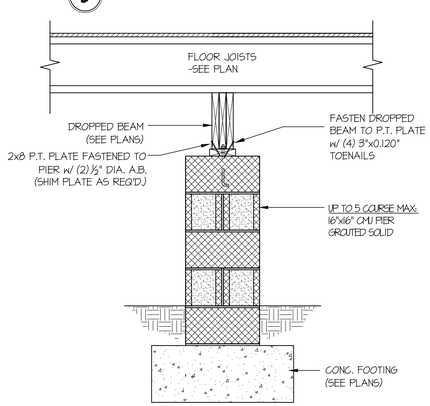
BRICK SURROUND AT FRONT PORCH



NO FACADE AT FRONT PORCH



7 TYPICAL CRAWLSPACE FOUNDATION @ FRONT PATIO/COVERED PORCH



5 TYPICAL CRAWLSPACE
FOUNDATION @ INTERIOR PIER

Tobacco Road Lot 97

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Mulhern+Kulp project number: 260-22002

project mgr:	SMK
drawn by:	RKS
issue date:	05.17.2024

REVISIONS:

date:	initial:
10/01/2024 FRAMEWALK REVISIONS	SMM

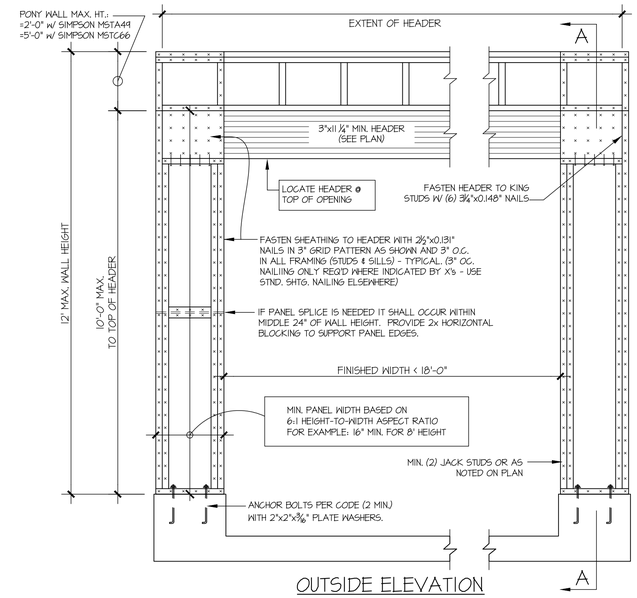
DAVIDSON HOMES

FOUNDATION DETAILS

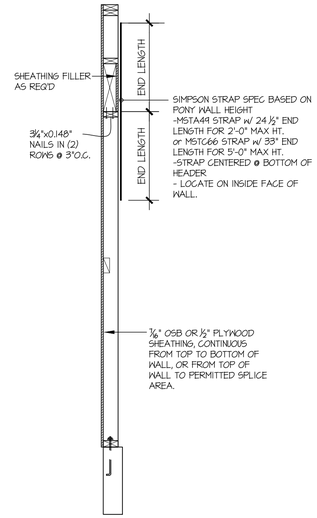
CRAWFORD MODEL

RALEIGH, NC

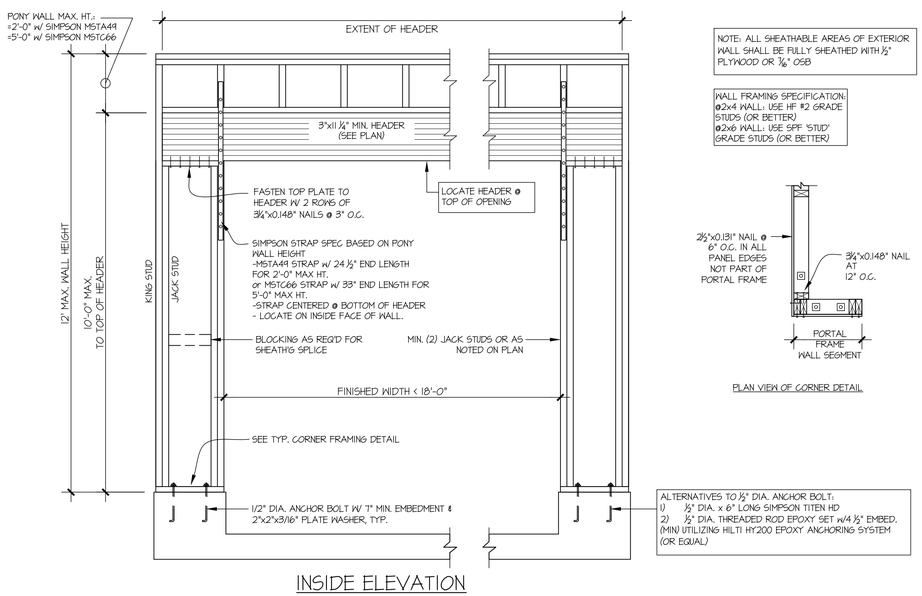
sheet: SD1.2A



OUTSIDE ELEVATION



SECTION A-A THROUGH PIER



INSIDE ELEVATION

NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 7/16" OSB

WALL FRAMING SPECIFICATION:
@2x4 WALL: USE HF #2 GRADE STUDS (OR BETTER)
@2x6 WALL: USE SPF 'STUD' GRADE STUDS (OR BETTER)

PLAN VIEW OF CORNER DETAIL

ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET w/4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

1 GARAGE PORTAL FRAME BRACING ELEVATION

SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR
115 MPH WIND SPEED (ULT)

Tobacco Road Lot 97

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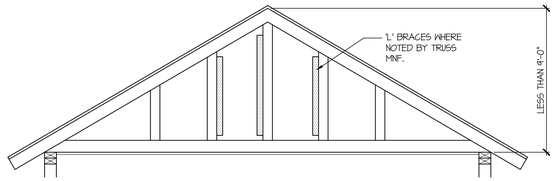
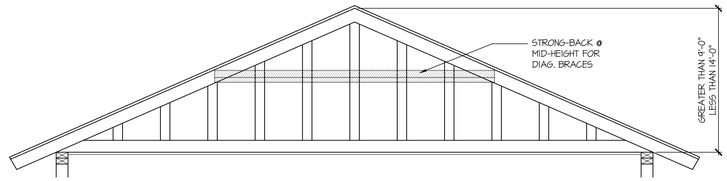
FOUNDATION DETAILS

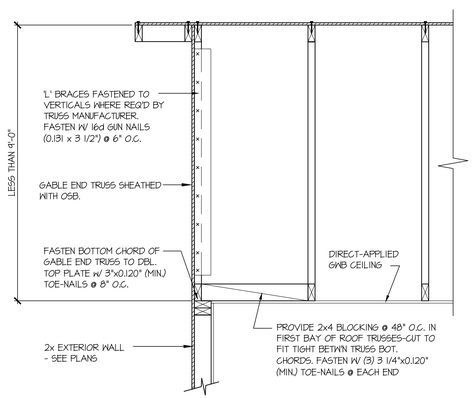
CRAWFORD MODEL

RALEIGH, NC

sheet: **SD2.0**

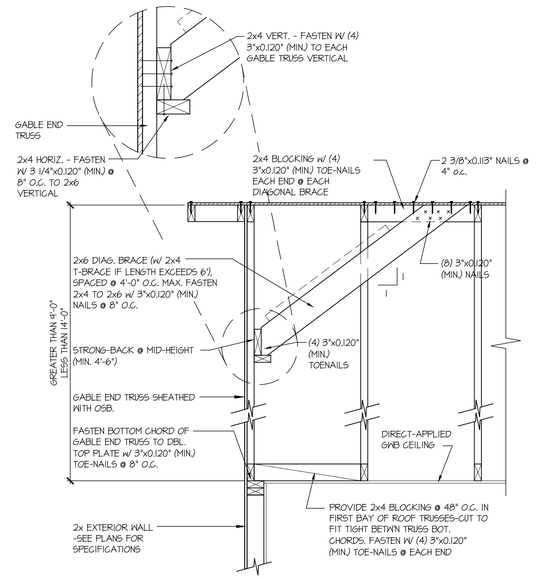






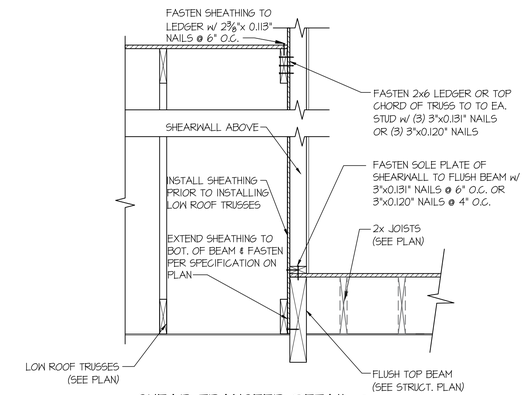
A TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 'L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS HEIGHT BETWN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 'L' BRACES NOT REQUIRED.



1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"

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seal:

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DAVIDSON HOMES

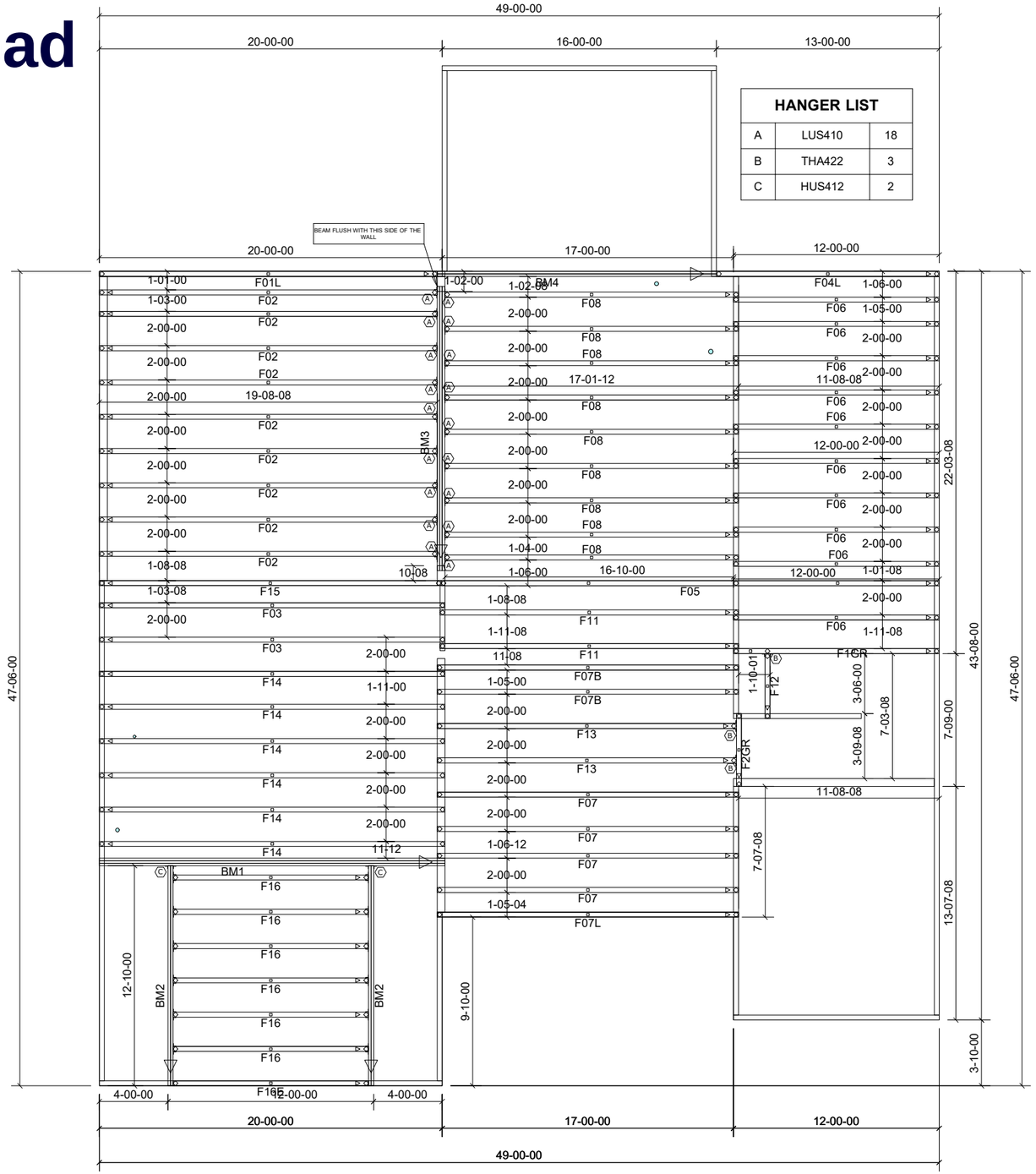
FOUNDATION DETAILS

CRAWFORD MODEL

RALEIGH, NC

sheet: SD2.1

Tobacco Road
Lot 97



HANGER LIST		
A	LUS410	18
B	THA422	3
C	HUS412	2

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
BM4	18-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	2	2	MFD
BM3	18-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	3	3	MFD
BM2	14-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	2	4	MFD
BM1	22-00-00	1-3/4" x 18" VERSA-LAM® LVL 2.1E 3100 SP	3	3	MFD

84 LUMBER
84 Components
200 Emmett Rd
Dunn NC 28334
United States
Office: (910) 892-8400

Davidson Homes

97 Tobacco Road

CRAWFORD - B - FLOOR

Job# - P035518-26899

Location	2383-Dunn
Designer	James Mcintyre

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TRUSS INSTALLATION REQUIRES TEMPORARY AND PERMANENT BRACING. GENERAL GUIDANCE IS PROVIDED IN SBCA DOC's B-1 and B-3. THESE ARE INCLUDED WITH EACH JOB IN YOUR TRUSS PACKET.

Sheet # 1 of 1

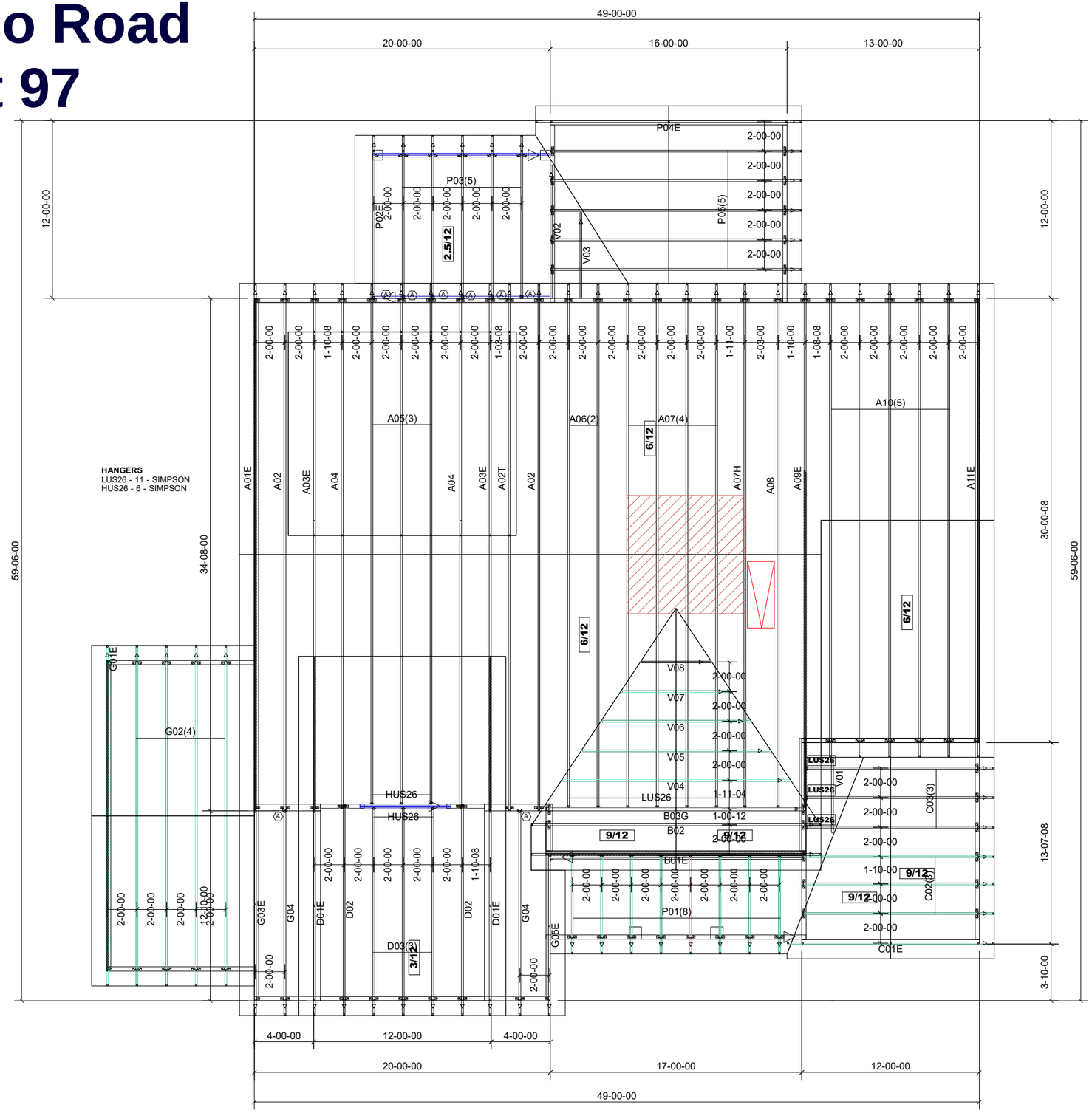
Floor Truss Placement Plan

NOT TO SCALE

DESIGNED DATE

6/24/2025

Tobacco Road
Lot 97



84 LUMBER

84 Components
200 Emmett Rd
Dunn NC 28334
United States
Office: (910) 892-8400

Davidson Homes

97 Tobacco Road

CRAWFORD - B - ROOF

Job# - P035518-26898

Location	2383-Dunn
Designer	James Mcintyre

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Sheet # 1 of 1

Roof Truss Placement Plan

NOT TO SCALE

DESIGNED DATE

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