



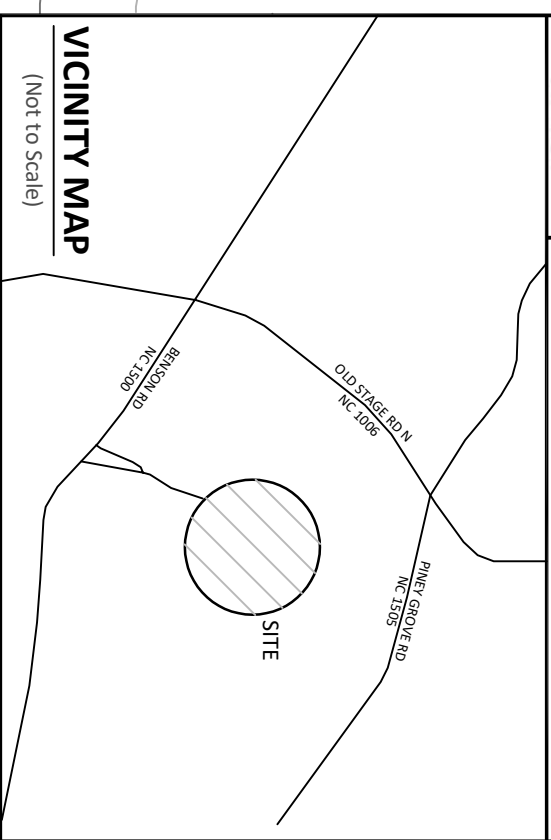
Bateman Civil Survey Company

Engineers • Surveyors • Planners

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NCBELS Firm No. C-2378



VICINITY MAP

(Not to Scale)

LEGEND

PO = REMOVED PORCH
CP = COVERED PORCH
SP = SCREENED PORCH
SW = SIDEWALK
DW = CONC DRIVEWAY
SP = SCREENED PORCH
P = CONCRETE PATIO
⊗ = COMPUTED POINT

SURVEY MADE UNDER MY SIDE WALK (PLA) BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA 1-4752 DATED:

AC = AIR CONDITIONER PAD
 Ⓢ = CABLE BOX
 Ⓢ = SEWER MANHOLE
 ☎ = TELEPHONE PEDESTAL
 CB = CATCH INLET
 ⚙ = LIGHT POLE
 🚰 = HAND HOLE
 ⚡ = ELECTRIC BOX
 🚒 = FIRE HYDRANT
 🌳 = YARD INLET
 G = GAS METER
 E = ELECTRIC METER
 CWD = COVERED WOOD DECK

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

PRELIMINARY

PRELIMINARY PLOT PLAN

FOR

DAVIDSON HOMES

TOBACCO ROAD - PHASE 2 - LOT 97

CULTIVATOR COURT, ANGIER, NC
BLACK RIVER TOWNSHIP, HARNETT COUNTY

DATE: 6/19/25 DRAWN BY: AMG CHECKED BY: SPC

REFERENCE: BK2025 PGS. 25-28 BCS# 230746

= 30'

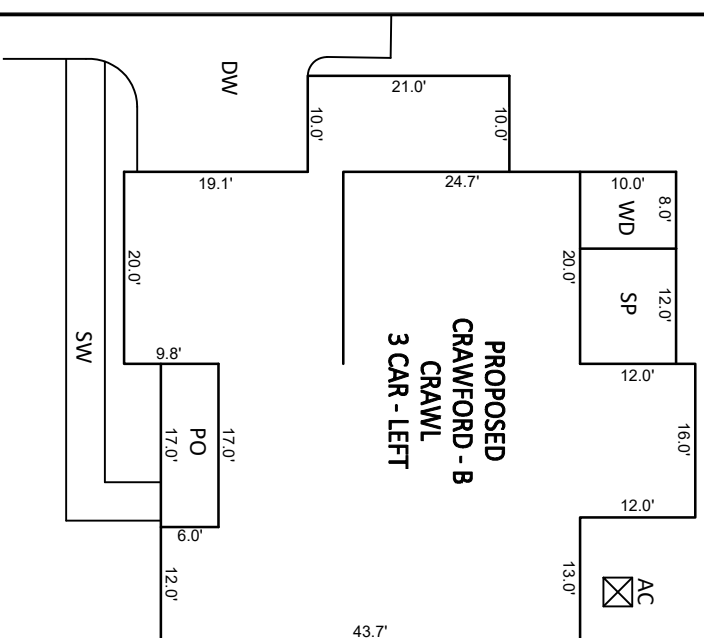
LOT INFORMATION:

BUILDING SETBACKS

PIN: 0693-26-0470.000
REFERENCE: DB 4274 PGS 1715-1719
TOTAL LOT AREA = 0.73 AC = 31,921 SF
MAX. IMPERVIOUS = 5,500 SF

FRONT - 35'
REAR - 25'
SIDE - 10'
SIDE CORNER - 20'

HOUSE = 2,516 SF
FRONT PORCH = 102 SF
SIDEWALK = 216 SF
DRIVEWAY = 1,016 SF
SCREENED PATIO = 120 SF
AC PAD = 9 SF
EXISTING IMPERVIOUS = 3,979 SF
PERCENT IMPERVIOUS = 12.47%

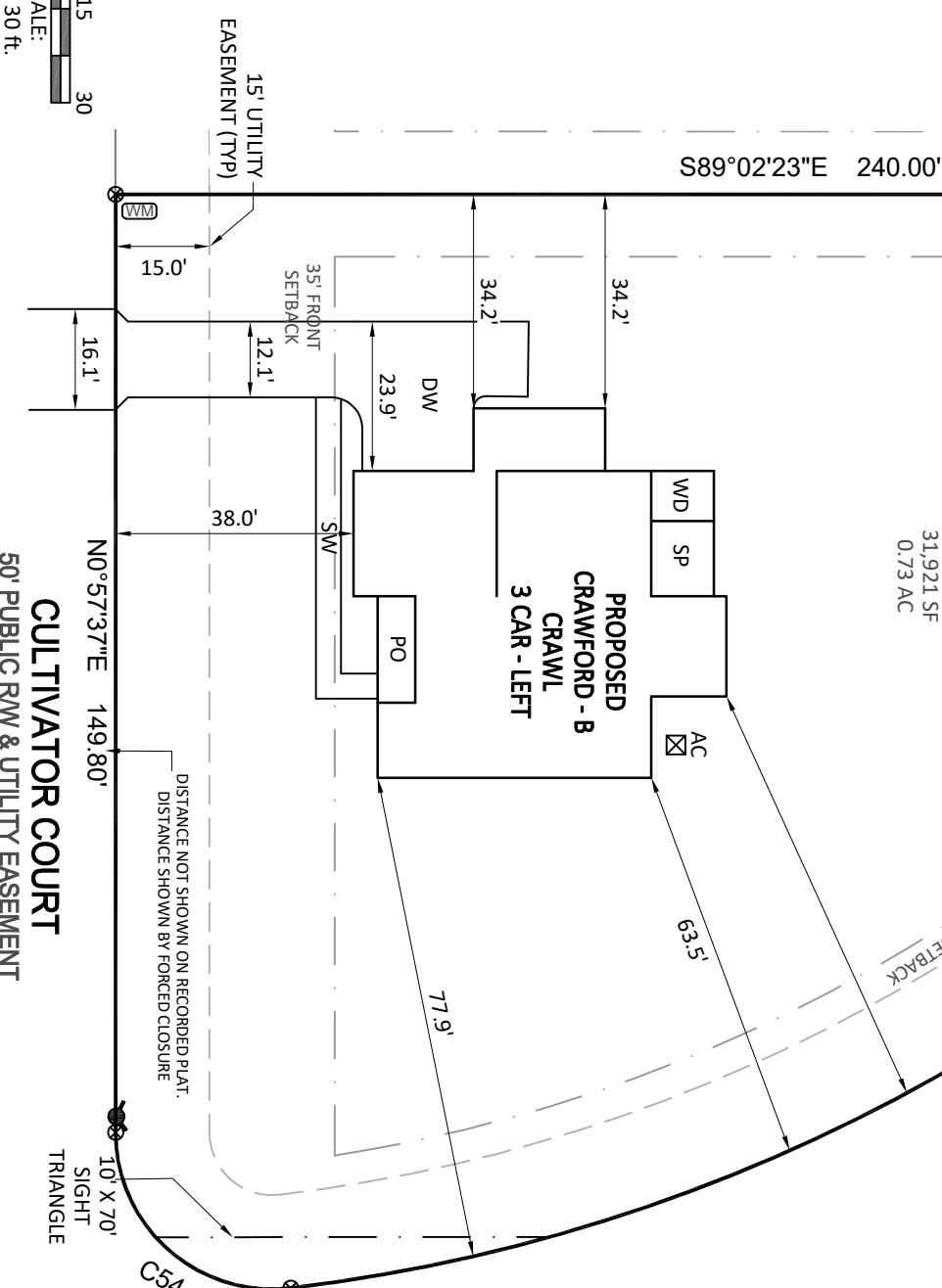


INSET SCALE: 1"=20'

NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ZONING: RA-30
10. BUILDER/DEVELOPER: DAVIDSON HOMES
1903 NORTH HARRISON AVE
CARY, NC 27513

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C63	275.00'	267.43'	S56°20'02"W	257.01'
C64	25.00'	42.22'	N47°25'24"W	37.38'



CULTIVATOR COURT
50' PUBLIC RW & UTILITY EASEMENT

50' PUBLIC RW & UTILITY EASEMENT

REFERENCE: BK2025 PGS. 25-28

0746

= 30'