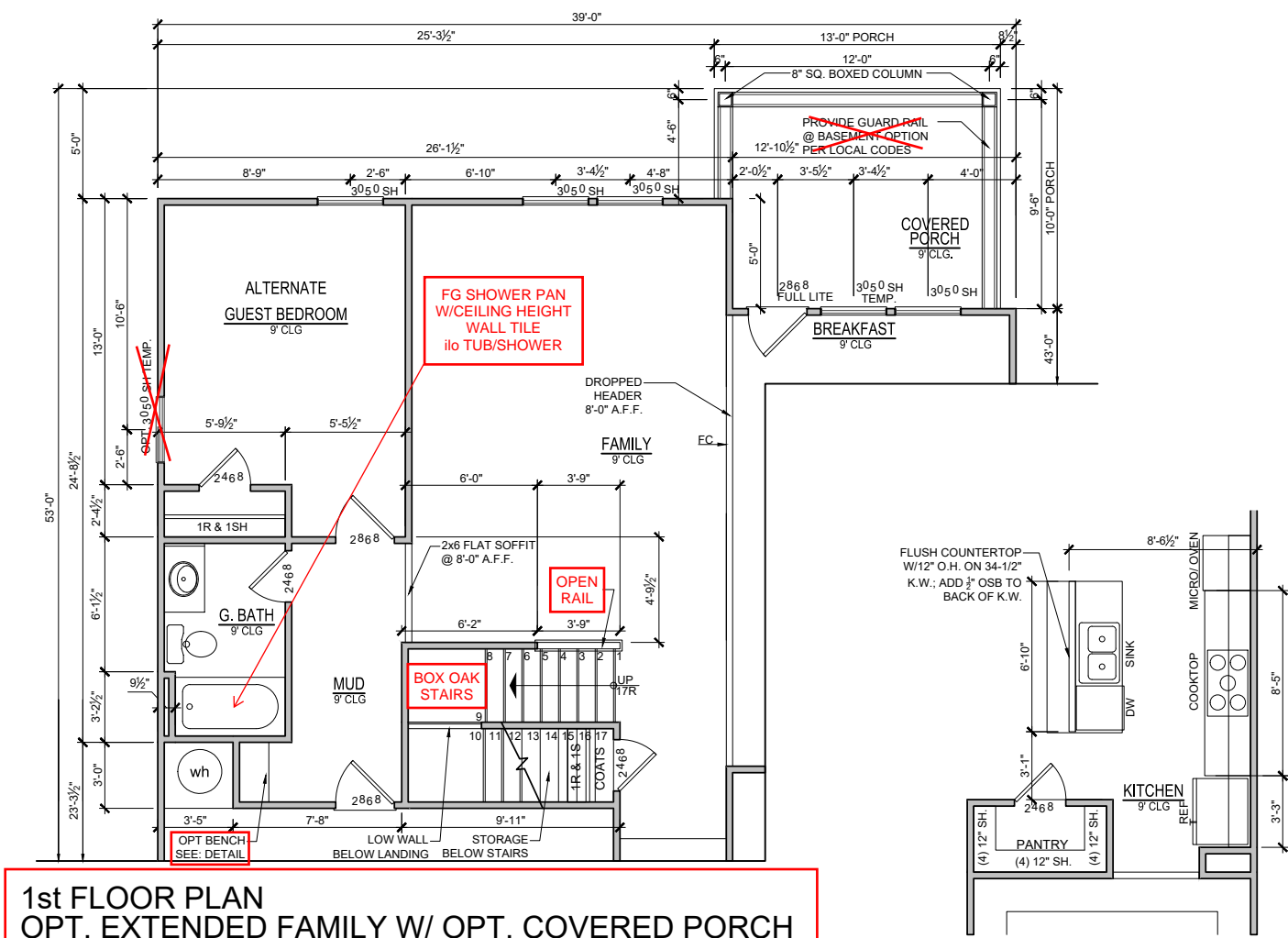
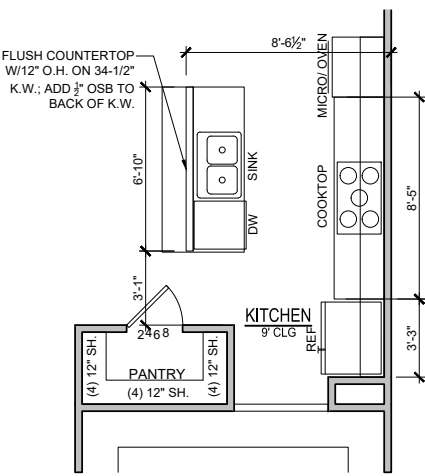


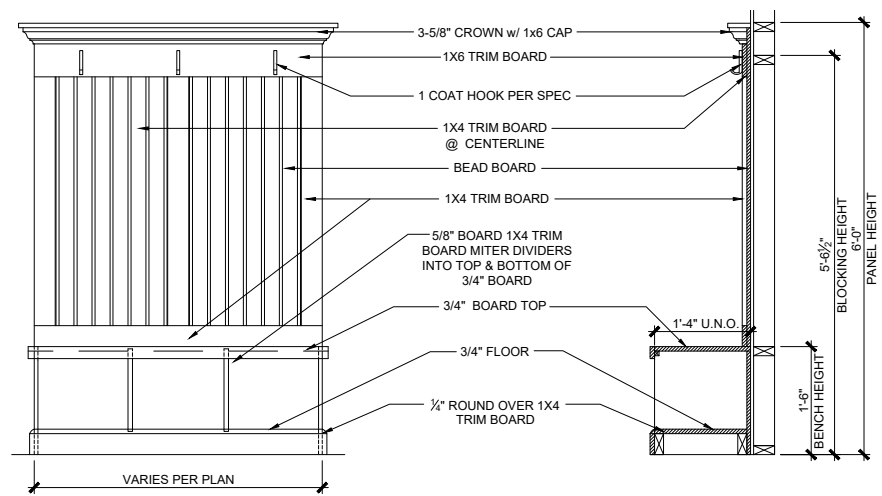
Retreat at North Main Lot 43



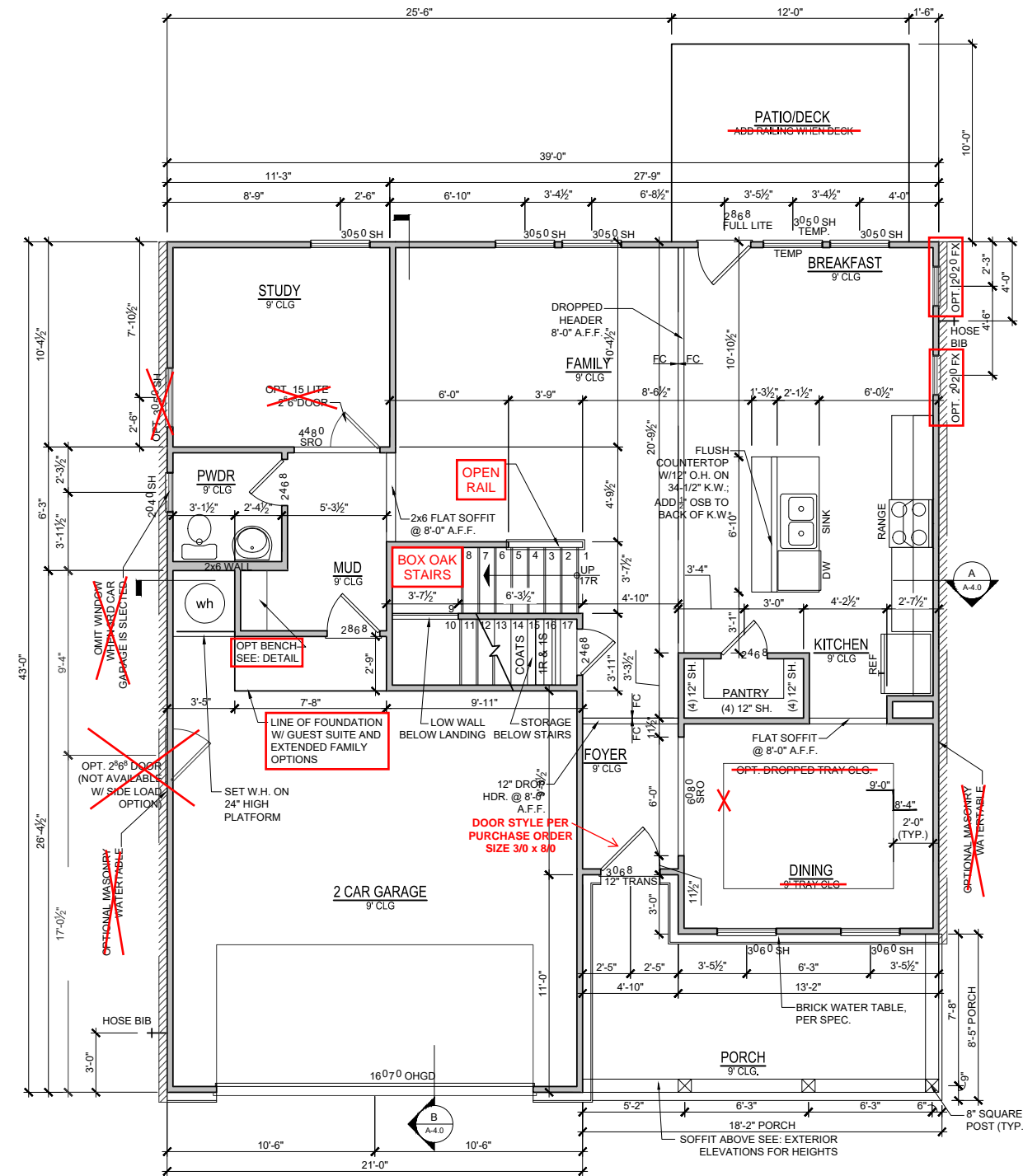
1st FLOOR PLAN
OPT. EXTENDED FAMILY W/ OPT. COVERED PORCH
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



1st FLOOR PLAN
OPT. GOURMET KITCHEN
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



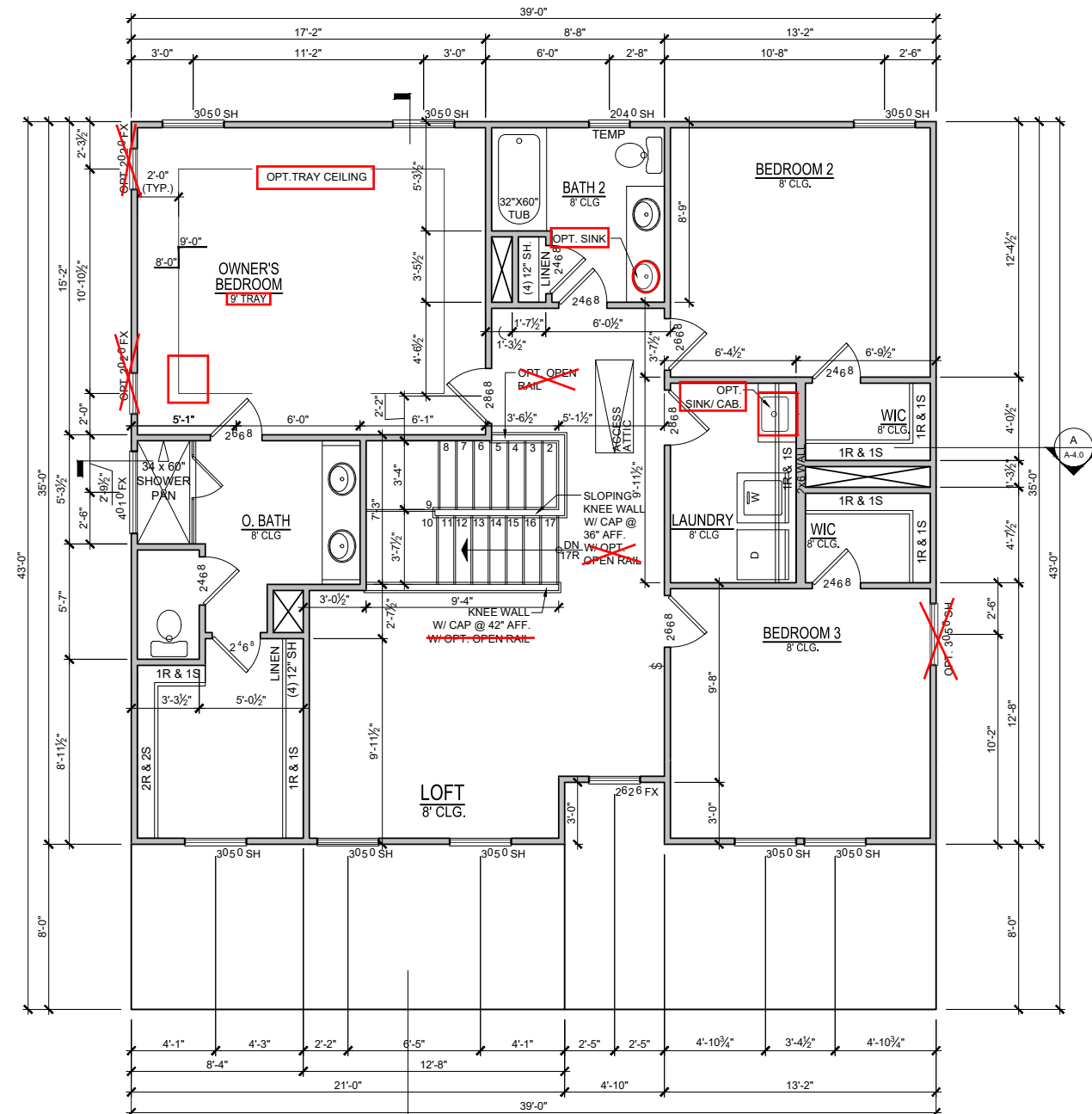
OPT. BENCH DETAIL
SCALE: 3/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 3/4"=1'-0" (22"x34" SHEET SIZE)



ELEVATION - B
1st FLOOR PLAN
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

MODEL WILLOW	REVISION NUMBER		UPDATED SHOWER OPTIONS	
	7/1/2020		ADDED GAR SVR DR & OPT EXT FAMILY	
	10/23/2020		ADD OPT PORCHS TO OPT EXT FAMILY	
	11/6/2020		REVISION TO WH & GARAGE DOORS	
	3/30/2021		FIX WINDOW SIZE TO 2626 FX ON D	
	02/24/2022		CHANGED GUEST BED DOOR SWING	
DRAWING TITLE FIRST FLOOR PLAN	RELEASE DATE		08-21-2019	
	PROJECT NUMBER		-----	
	OPTION NO.		-----	
	OPTION DESCRIPTION		ELEVATION - B	
	SHEET NO.		A-1.0B	
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Retreat at North Main Lot 43



ELEVATION - B
2nd FLOOR PLAN

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

CONSENT TO PUBLISH (PLEASE PRINT NAME)

REVISION NUMBER

10/23/2020	ADDED CAR SVR DR & OPT
11/1/2020	UPDATED SLOWER OPTIONS

11/6/2020	ADD OPT PORCHS TO OPT EXT FAMILY
-----------	----------------------------------

3/30/2021	REVISION TO WH & GARAGE DOORS
-----------	-------------------------------

02/24/2022	FIX WINDOW SIZE TO 2626 FX ON D
13/13/2024	CHANGED GUEST BED WIC DOOR SWING

4/2027/71/71



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$$1/8'' = 1' - 0''$$

08-21-2019

PROJECT NUMBER

WILLOW

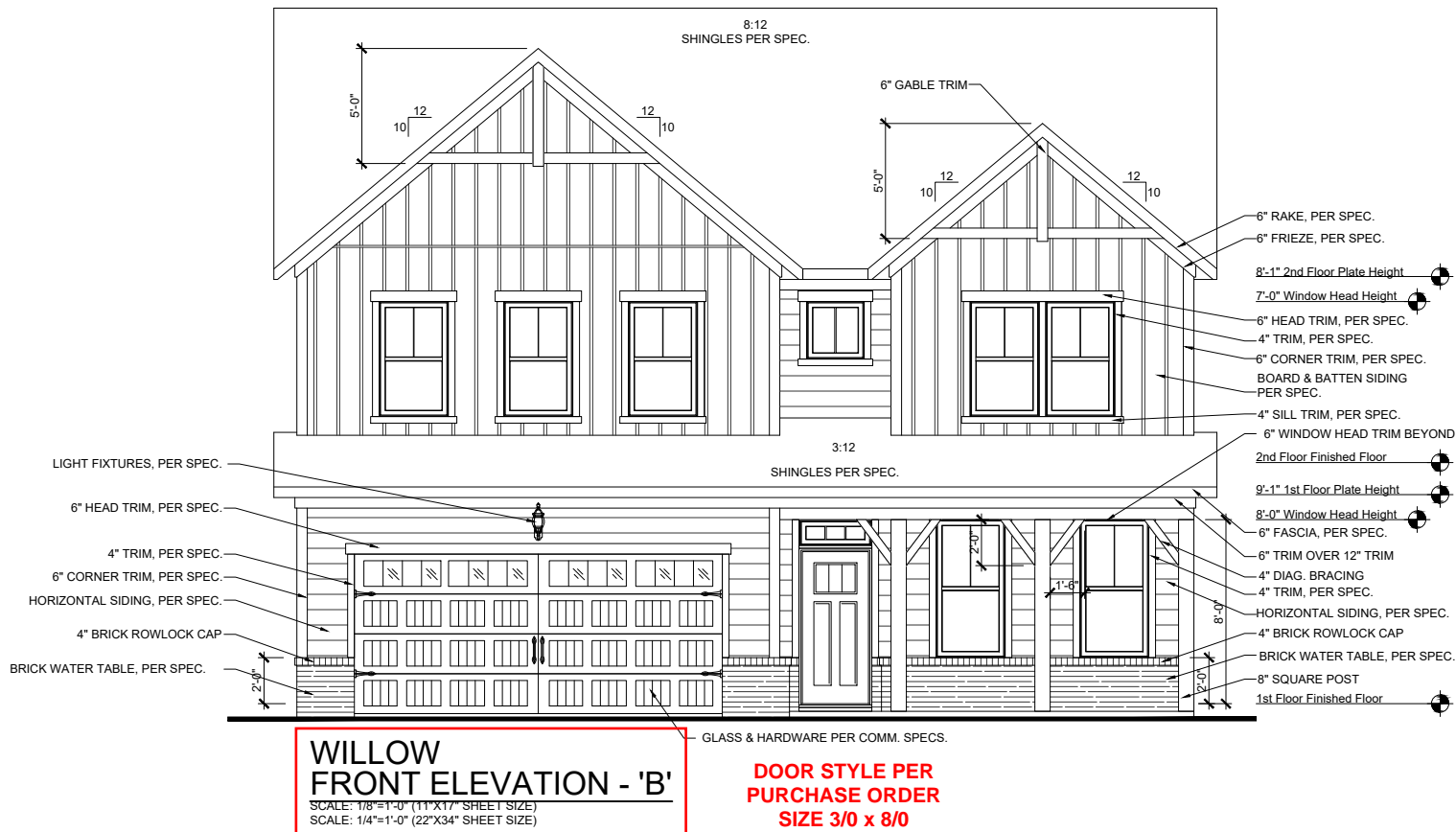
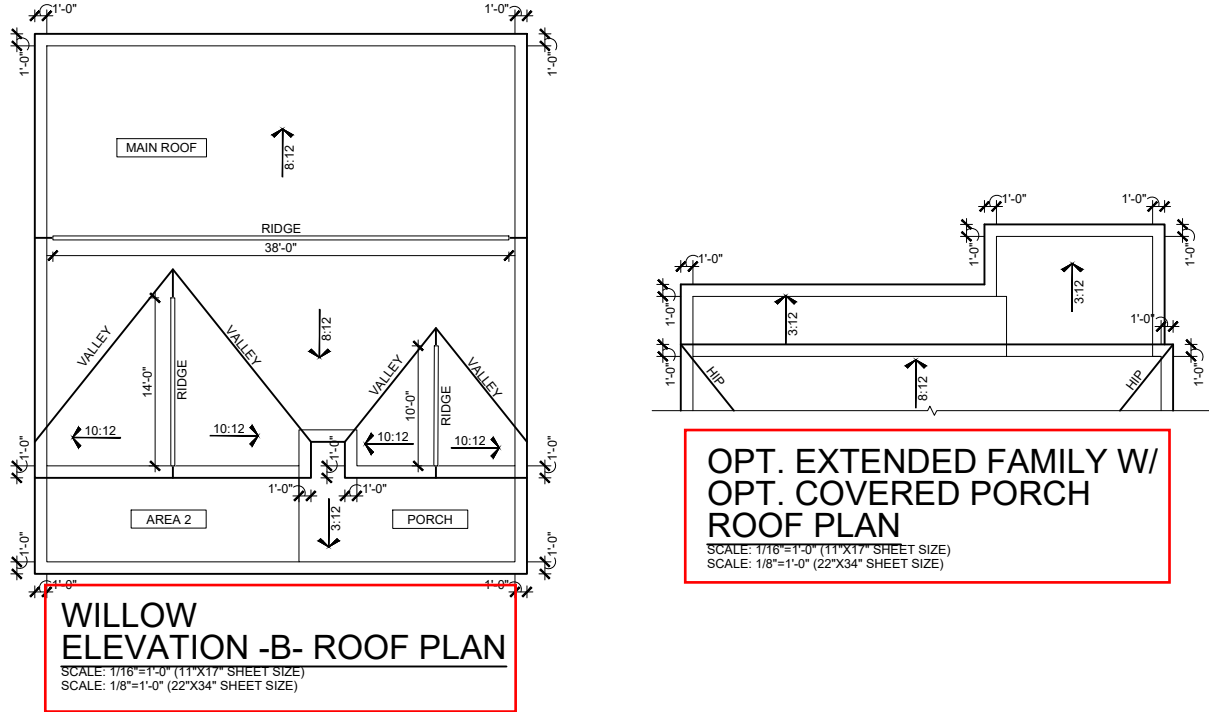
SECOND

ELEVATION -

SHEET NO.

A-2.0B

Retreat at North Main Lot 43



ATTIC VENT CALCULATIONS

NOTES:

- GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.
- ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE
 - OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE OF AIR THROUGH ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.
- PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.
- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE WALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.
- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS
- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE

MAIN ROOF AREA

1350 SQ FT UNDER ROOF ATTIC
300 SQ FT / 1 SQ FT = 4.50 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = (.125 SQ FT)
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)
BOX VENTS 50 SQ IN = (.347 SQ FT)

4.50	SQ FT x	50%	2.250	SQ FT OF RIDGE
4.50	SQ FT x	50%	2.250	SQ FT OF SOFFIT
RIDGE VENT				
2.250	SQ FT	=	18.0	FEET OF RIDGE VENT
0.125	SQ FT			
SOFFIT VENT				
2.250	SQ FT	=	36.0	FEET OF SOFFIT VENT
0.0625	SQ FT			

ACTUAL RIDGE VENT PROVIDED	62 FEET
ACTUAL SOFFIT VENT PROVIDED	50 FEET
NUMBER OF BOX VENTS NEEDED (REQ - ACTUAL x .347)	-15.3 COUNT (NEGATIVE = 0)

AREA 2

$$\frac{168 \text{ SQ FT UNDER ROOF}}{150 \text{ SQ FT} / 1 \text{ SQ FT} = 1.12 \text{ SQ FT VENTILATION}}$$

SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)
ASSUME 100% VENTING @ SOFFIT

$$\frac{1.120 \text{ SQ FT}}{0.0625 \text{ SQ FT}} = 17.9 \text{ FEET OF SOFFIT VENT}$$

PORCH ROOF

$$\frac{159 \text{ SQ FT UNDER ROOF}}{150 \text{ SQ FT} / 1 \text{ SQ FT}} = 1.06 \text{ SQ FT VENTILATION}$$

SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)
ASSUME 100% VENTING @ SOFFIT

$$\frac{1.060 \text{ SQ FT}}{0.0625 \text{ SQ FT}} = 17.0 \text{ FEET OF SOFFIT VENT}$$

ATTIC VENT CALCULATIONS

MAIN ROOF

1518 SQ FT UNDER ROOF ATTIC
300 SQ FT / 1 SQ FT = 5.06 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = (.125 SQ FT)
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)
BOX VENTS 50 SQ IN = (.347 SQ FT)

5.06	SQ FT x 50%	2.530	SQ FT OF RIDGE
5.06	SQ FT x 50%	2.530	SQ FT OF SOFFIT

$$\frac{2.530 \text{ SQ FT}}{0.125 \text{ SQ FT}} = 20.2 \text{ FEET OF RIDGE VENT}$$
$$\frac{2.530 \text{ SQ FT}}{0.0625 \text{ SQ FT}} = 40.5 \text{ FEET OF SOFFIT VENT}$$

ACTUAL RIDGE VENT PROVIDED	40 FEET
ACTUAL SOFFIT VENT PROVIDED	140 FEET
NUMBER OF BOX VENTS NEEDED	-6.9 COUNT
REQ - ACTUAL x .347)	(NEGATIVE = 0)

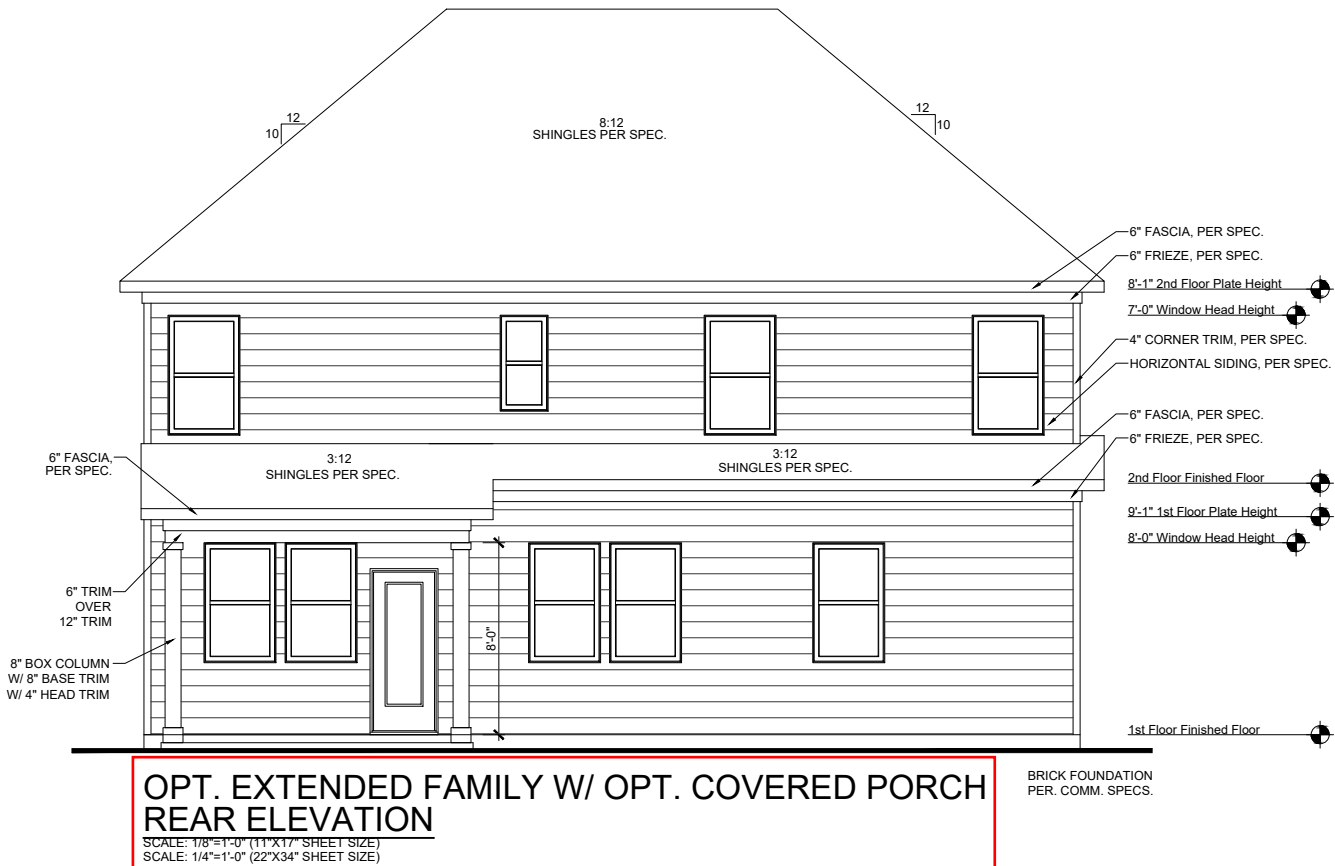
PORCH ROOF

$$\frac{115 \text{ SQ FT UNDER ROOF}}{150 \text{ SQ FT} / 1 \text{ SQ FT}} = 0.77 \text{ SQ FT VENTILATION}$$

SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)
ASSUME 100% VENTING @ SOFFIT

$$\frac{0.767 \text{ SQ FT}}{0.0625 \text{ SQ FT}} = 12.3 \text{ FEET OF SOFFIT VENT}$$

ACTUAL SOFFIT VENT PROVIDED 13 FEET



REVISION NUMBER	
7/1/2020	UPDATED SHOWER OPTIONS
10/23/2020	ADDED GAR SVR DR & OPT EXT FAMILY
11/6/2020	ADD OPT PORCHS TO OPT EXT FAMILY
3/30/2021	REVISION TO WH & GARAGE DOORS
02/24/2022	FIX WINDOW SIZE TO 2626 PX ON D
12/12/2024	CHANGED GUEST BED WIC DOOR SWING

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$$1/8'' = 1' - 0''$$

RELEASE DATE
08-21-2019

PROJECT NUMBER

OPTION NO.

WILLOW
MODEL

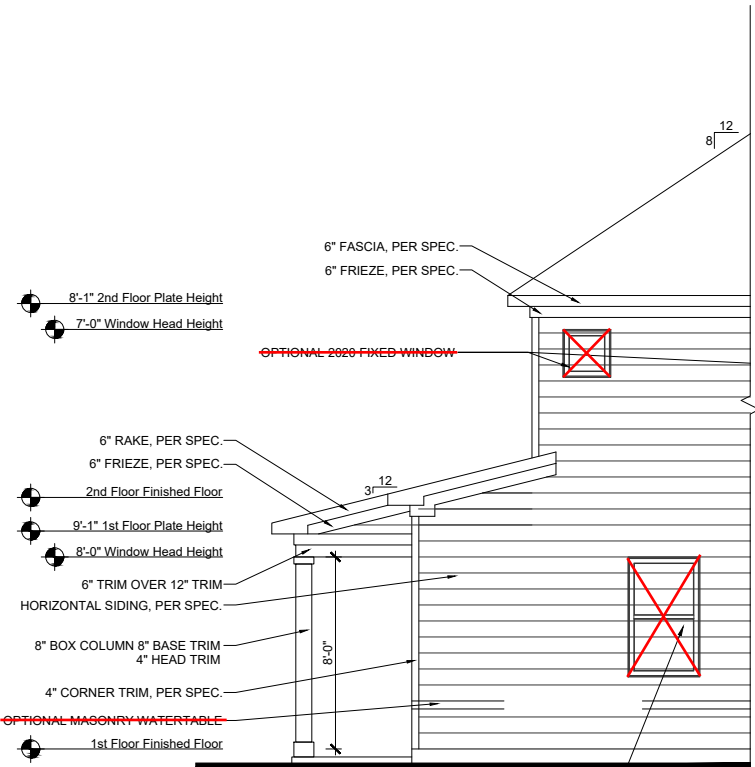
DRAWING TITLE
EXT. ELEV./ ROOF PLAN

OPTION	DESCRIPTION	ELEVATION - B
1	1.000	1.000
2	2.000	2.000
3	3.000	3.000
4	4.000	4.000
5	5.000	5.000
6	6.000	6.000
7	7.000	7.000
8	8.000	8.000
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100	100.000	100.000

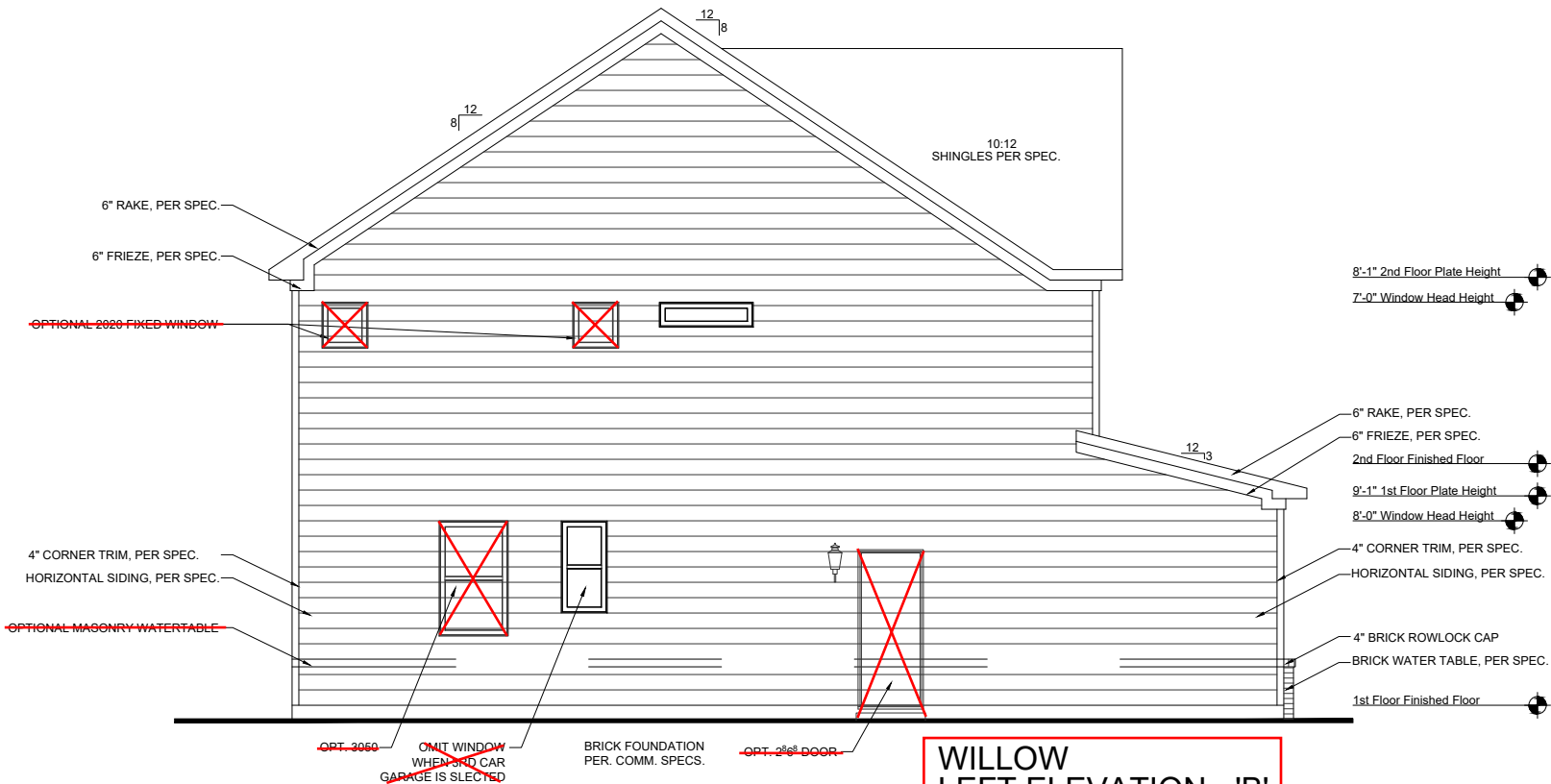
SHEET NO.

A-3.0B

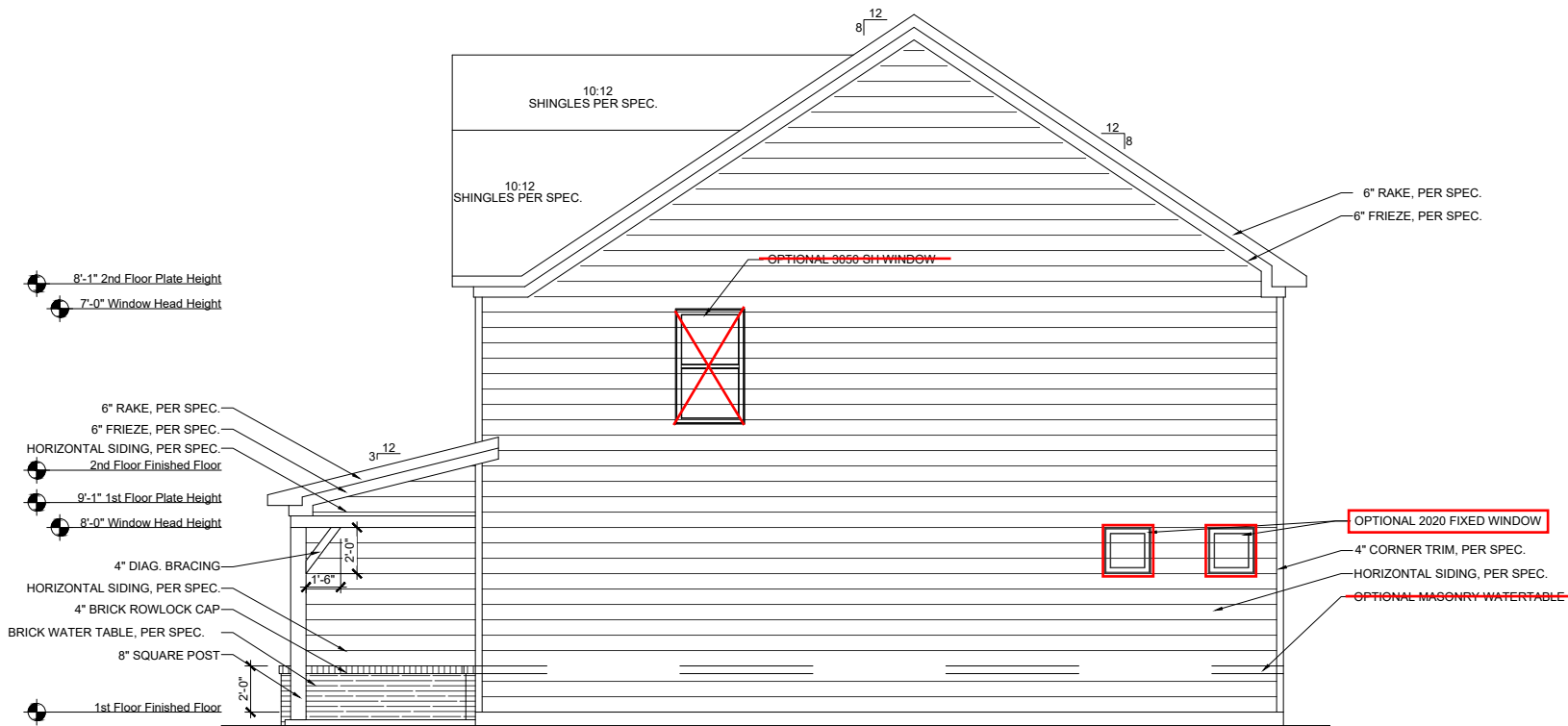
Retreat at North Main Lot 43



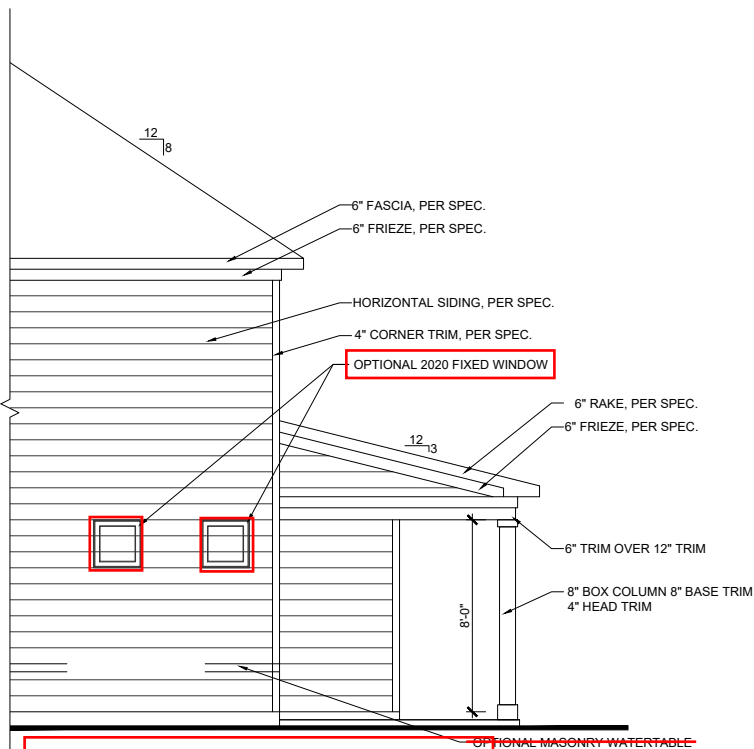
**OPT. EXTENDED FAMILY W/
OPT. COVERED PORCH
LEFT ELEVATION**
SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE)



**WILLOW
LEFT ELEVATION - 'B'**
SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE)



**WILLOW
RIGHT ELEVATION - 'B'**
SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE)



**OPT. EXTENDED FAMILY W/
OPT. COVERED PORCH
RIGHT ELEVATION**
SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"X34" SHEET SIZE)

REVISION NUMBER		UPDATED SHOWER OPTIONS
7/1/2020		
10/23/2020	ADDED GAR SVR DR & OPT EXT FAMILY	
11/6/2020	ADD OPT PORCHS TO OPT EXT FAMILY	
3/30/2021	REVISION TO WH & GARAGE DOORS	
02/24/2022	FIX WINDOW SIZE TO 2626 FX ON D	
12/12/2024	CHANGED GUEST BED WIC DOOR SWING	

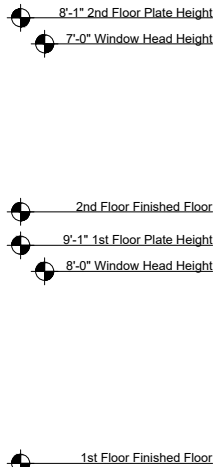


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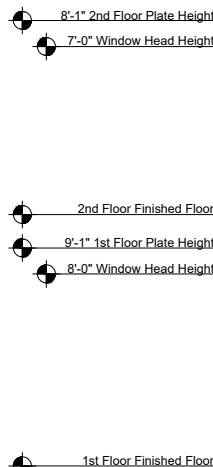


1/8"=1'-0"			
RELEASE DATE 08-21-2019	PROJECT NUMBER -----	OPTION NO. -----	
MODEL WILLOW	DRAWING TITLE SIDE ELEVATIONS	OPTION DESCRIPTION ELEVATION - B	
SHEET NO. A-3.1B			

Retreat at North Main Lot 43



SECTION - B @ SLAB
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



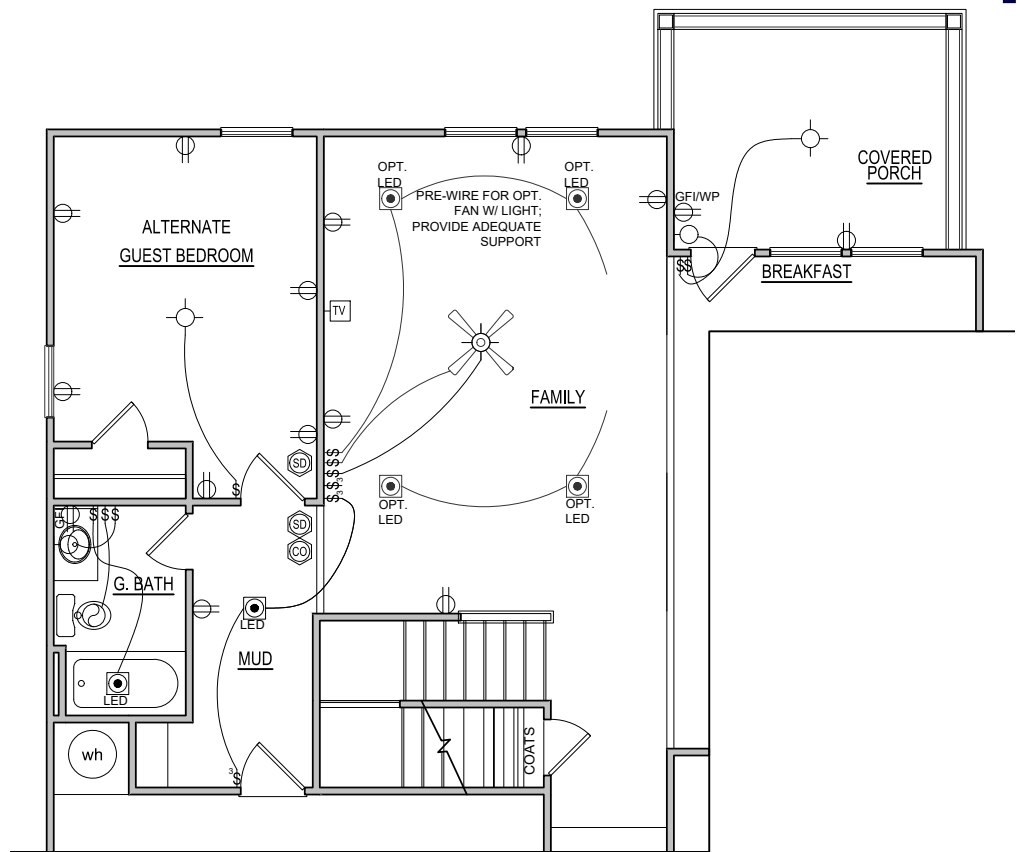
SECTION - A @ SLAB
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

<div><div><div>1/8" = 1'-0"</div></div><div><div>DAVIDSON</div><div>HOMES</div><div>Your Community Builder</div></div></div>		<div>MAIN STREET Designs</div> <div><div></div><div>Main Street Designs of Georgia, LLC</div><div>www.MainStreetDesignsLLC.com</div><div>3050 Royal Blvd. South, Suite 135</div><div>Atlanta, Georgia 30322</div><div>O (404) 996-3722</div></div>		REVISION NUMBER	
		08-21-2019		7/1/2020	UPDATED SHOWER OPTIONS
		PROJECT NUMBER		10/23/2020	ADDED CAR SVR DR & OPT EXT FAMILY
		OPTION NO.		11/6/2020	ADD OPT PORCHES TO OPT EXT FAMILY
		DRAWING TITLE		3/30/2021	REVISION TO WH & GARAGE DOORS
		BUILDING SECTIONS		02/24/2022	FIX WINDOW SIZE TO 2626 FX ON D
		OPTION DESCRIPTION		12/12/2024	CHANGED GUEST BED WIC DOOR SWING
SHEET NO.		A-4.0B			

Retreat at North Main Lot 43

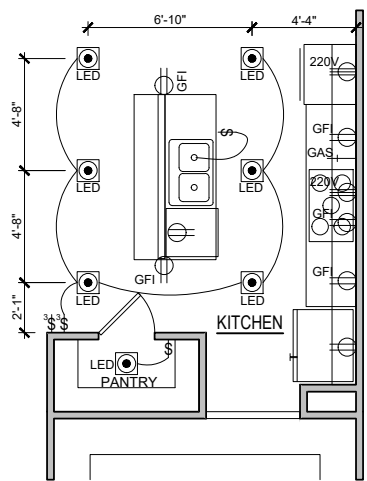
ELECTRICAL KEY

- CEILING RECEP.
- DUPLEX RECEP.
- SPLIT SWITCHED RECEP.
- FLOOR RECEP
- QUADPLEX RECEP
- GFI GROUND FAULT RECEP
- GFI/WP WEATHER PROOF RECEP
- 220V 220v RECEP
- EXAUST FAN
- EXAUST FAN / LIGHT
- EXAUST FAN / HEAT LIGHT
- LED
- VAPOR PROTECTED LIGHT
- CEILING LIGHT
- HANGING CEILING LIGHT
- WALL LIGHT
- WALL SCONCE LIGHT
- SINGLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- CABLE T.V. JACK
- BUTTON
- PHONE JACK
- DIRECT WIRE
- SECURITY SYSTEM PHONE JACK
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- ELECTRICAL PANEL
- DISCONNECT SWITCH
- ELECTRIC METER
- 1 TUBE FLUORESCENT
- 2 TUBE FLUORESCENT
- FLOOD LIGHT
- CHIMES
- CEILING FAN
- CEILING FAN W/ LIGHT



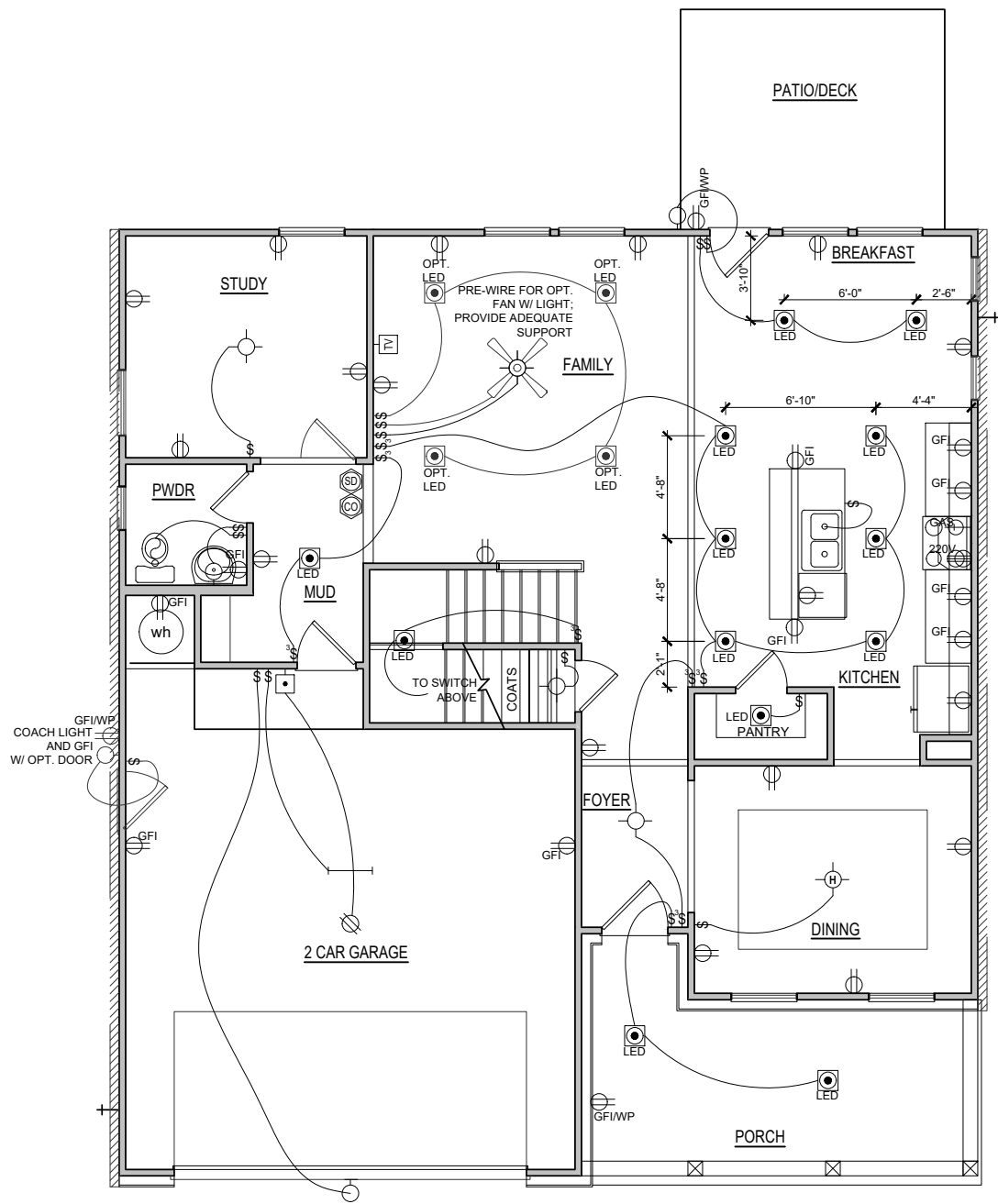
ELECTRICAL PLAN OPT. EXTENDED FAMILY W/ OPT. COVERED PORCH

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



1st FLOOR PLAN OPT. GOURMET KITCHEN

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



ELEVATION - B FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

REVISION NUMBER

REVISION	NUMBER	DESCRIPTION
7/1/2020	1	UPDATED SHOWER OPTIONS
10/23/2020	2	ADDED GAR SVR DR & OPT EXT FAMILY
11/6/2020	3	ADD OPT PORCHS TO OPT EXT FAMILY
3/30/2021	4	REVISION TO WH & GARAGE DOORS
02/24/2022	5	FIX WINDOW SIZE TO 2626 FX ON D
12/12/2024	6	CHANGED GUEST BED WIC DOOR SWING



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1/8"=1'-0"

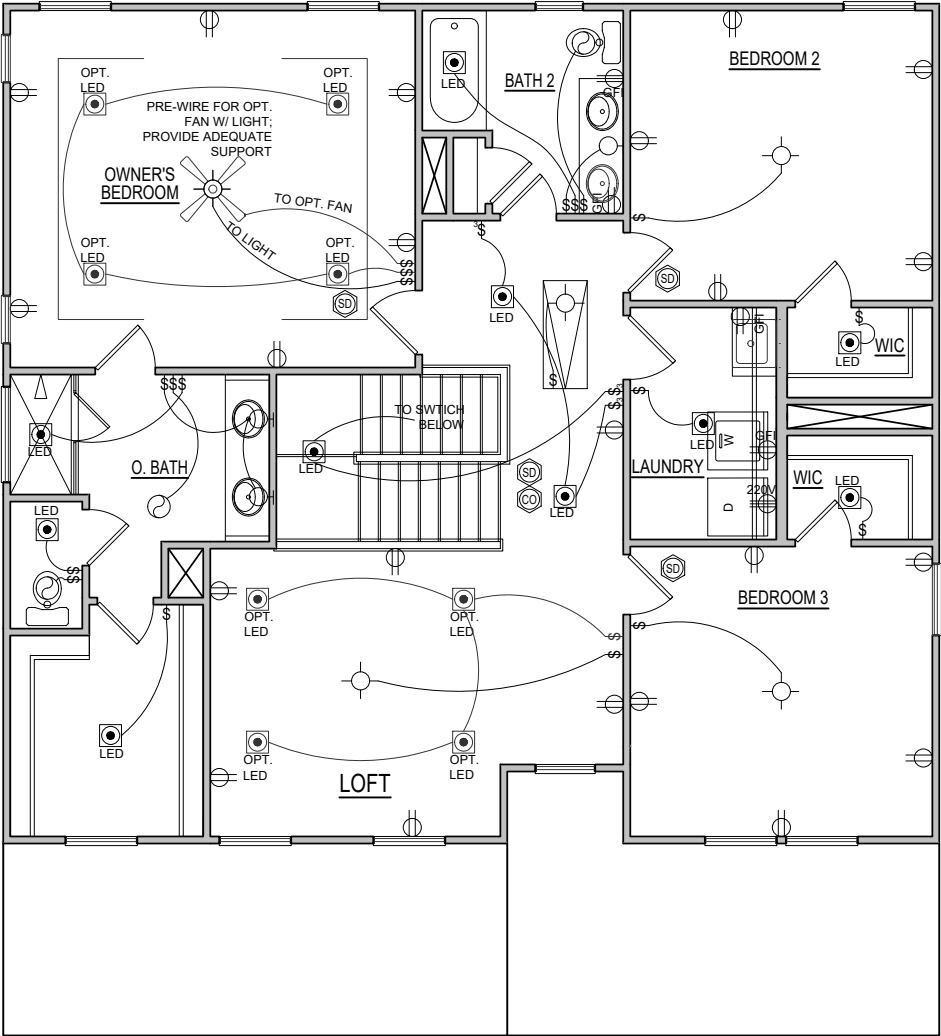
RELEASE DATE	PROJECT NUMBER	OPTION NO.
08-21-2019	---	---

MODEL	DRAWING TITLE	OPTION DESCRIPTION
WILLOW	1ST FLOOR ELEC. PLAN	ELEVATION - B

SHEET NO.

E-1.0B

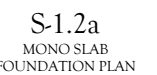
Retreat at North Main Lot 43



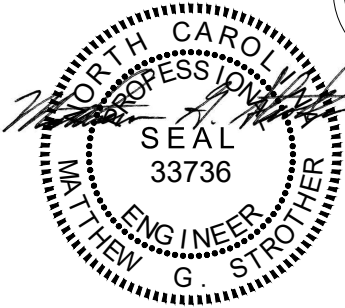
ELEVATION - B
SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

MODEL WILLOW	RELEASE DATE 08-21-2019	1/8" = 1'-0"	
	DRAWING TITLE SECOND FLOOR PLAN	PROJECT NUMBER -----	
	OPTION DESCRIPTION ELEVATION - B	OPTION NO.	
	SHEET NO. E-2.0B		
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REVISION NUMBER	
7/1/2020	UPDATED SHOWER OPTIONS
10/23/2020	ADDED GAR SVR DR & OPT EXT FAMILY
11/6/2020	ADD OPT PORCHS TO OPT EXT FAMILY
3/30/2021	REVISION TO WH & GARAGE DOORS
02/24/2022	FIX WINDOW SIZE TO 2626 FX ON D
12/12/2024	CHANGED GUEST BED WIC DOOR SWING



SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



10/16/2024

J.S. THOMPSON
ENGINEERING, INC.
333 EAST SIX FORKS ROAD, SUITE 180 BALEIGH, NC 27609
PHONE: (919) 7899919 FAX: (919) 7899921
N.C. LICENSE NO.: C1733

WILLOW
DAVIDSON HOMES

- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY ENGINEERED DESIGN" OF THE NRC 2018 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.1 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
 - SHEATH ALL EXTERIOR WALLS w/ 7/16" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NRC 2018 EDITION.
 - CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
 - GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG 5d COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD.
 - BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION.
 - SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE SPP #2 OR SYP #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
 - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 SPP #2 OR SYP #2 (KILN DRIED) (UNO). HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS. CODE TABLES HAVE NOT BEEN USED.
 - INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
 - WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R602.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
 - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
 - ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
 - FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS
AT EACH END OF HEADERS IN EXTERIOR WALLS

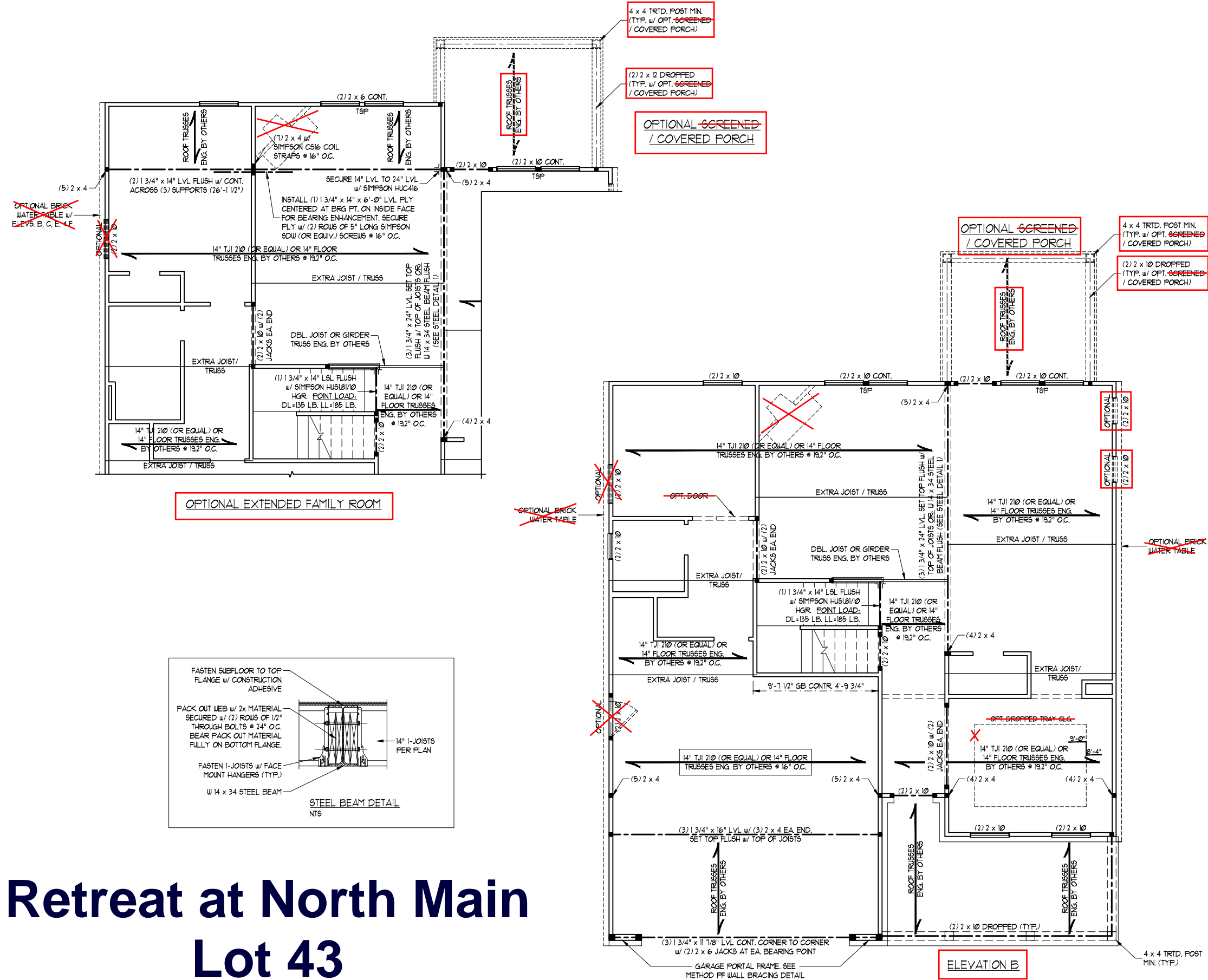
HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 3'	1
> 3' TO 6'	2
> 6' TO 9'	3
> 9' TO 12'	4
> 12' TO 15'	5

NOTE:
BCI 5000s-18 JOISTS MAY BE USED IN LIEU OF TJI 210 JOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLANS.

LEGEND

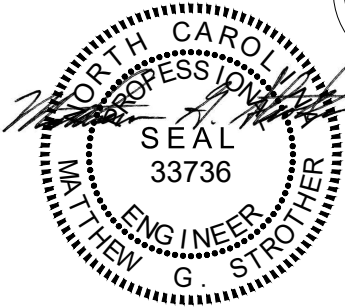
CONT	CONTINUOUS
XT	EXTRA TRUSS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

S-3a
SECOND FLOOR
FRAMING PLAN



Retreat at North Main Lot 43

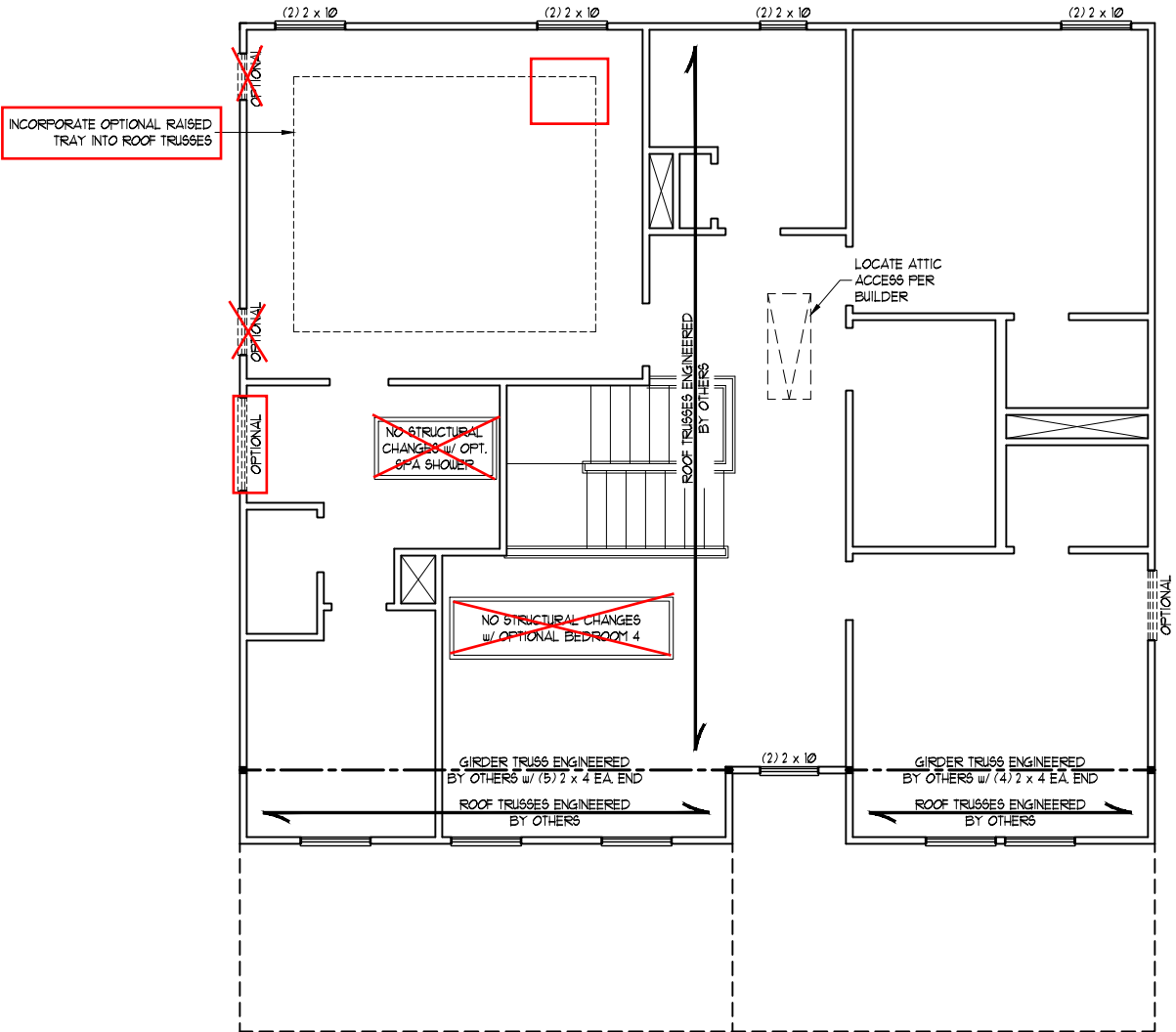
SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



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- BRACED WALL DESIGN NOTES:**
1. BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY ENGINEERED DESIGN" OF THE NCRC 2018 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.1 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
 2. SHEATH ALL EXTERIOR WALLS w/ 7/16" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NCRC 2018 EDITION.
 3. CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
 4. GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG 5d COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD.
 5. BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRC 2018 EDITION.
 6. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

- STRUCTURAL NOTES:**
1. ALL FRAMING LUMBER TO BE #2 SPF OR #2 SYP (UNO).
 2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
 3. WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R602.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
 4. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SQUARES TO BE (2) STUDS (UNO).
 5. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
CONT	CONTINUOUS
XT	EXTRA TRUSS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS
AT EACH END OF HEADERS IN EXTERIOR WALLS

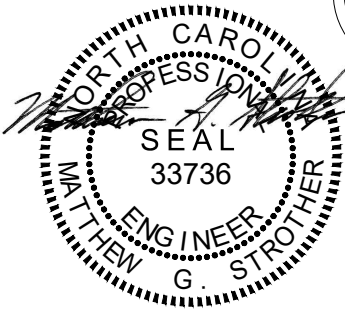
HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 3'	1
> 3' TO 6'	2
> 6' TO 9'	3
> 9' TO 12'	4
> 12' TO 15'	5

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SCALE: 1/4" = 1'-0"
DRAWN BY: MAIN STREET DESIGN
ENGINEERED BY: ZHH

S-4a
ATTIC FLOOR
FRAMING PLAN

ELEVATION B

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



10/16/2024

STRUCTURAL NOTES:

- 1. ALL FRAMING LUMBER TO BE #2 SYP OR #2 SYP (UNO).
- 2. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
- 3. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
- 4. REFER TO SECTION R802.11 OF THE 2018 NRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
- 5. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND

XR	EXTRA RAFTER
XT	EXTRA TRUSS
DR	DOUBLE RAFTER
TR	TRIPLE RAFTER
RS	RAFTER SUPPORT
TS	TRUSS SUPPORT
CONT	CONTINUOUS
EA	EACH
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

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WILLOW
DAVIDSON HOMES

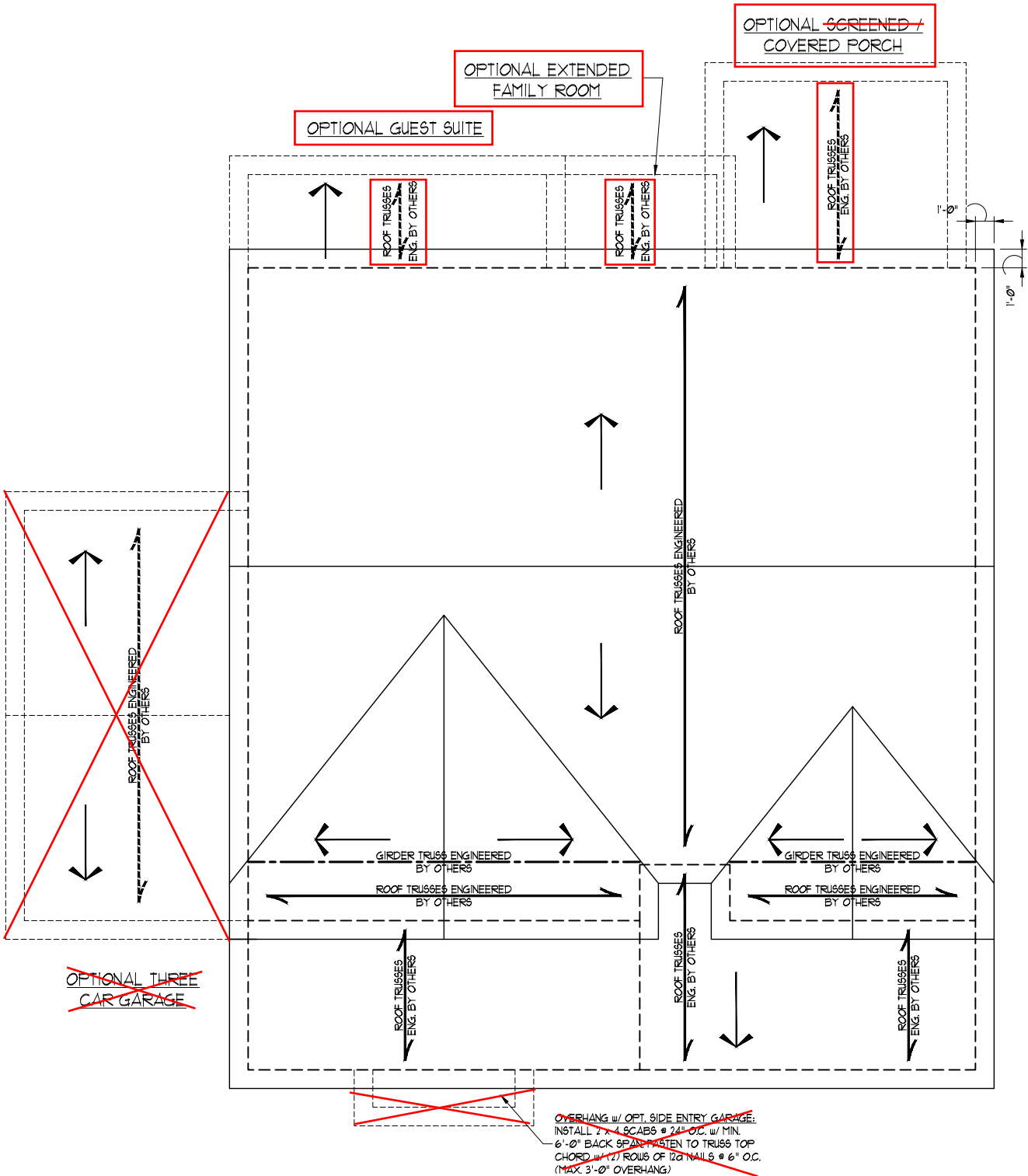
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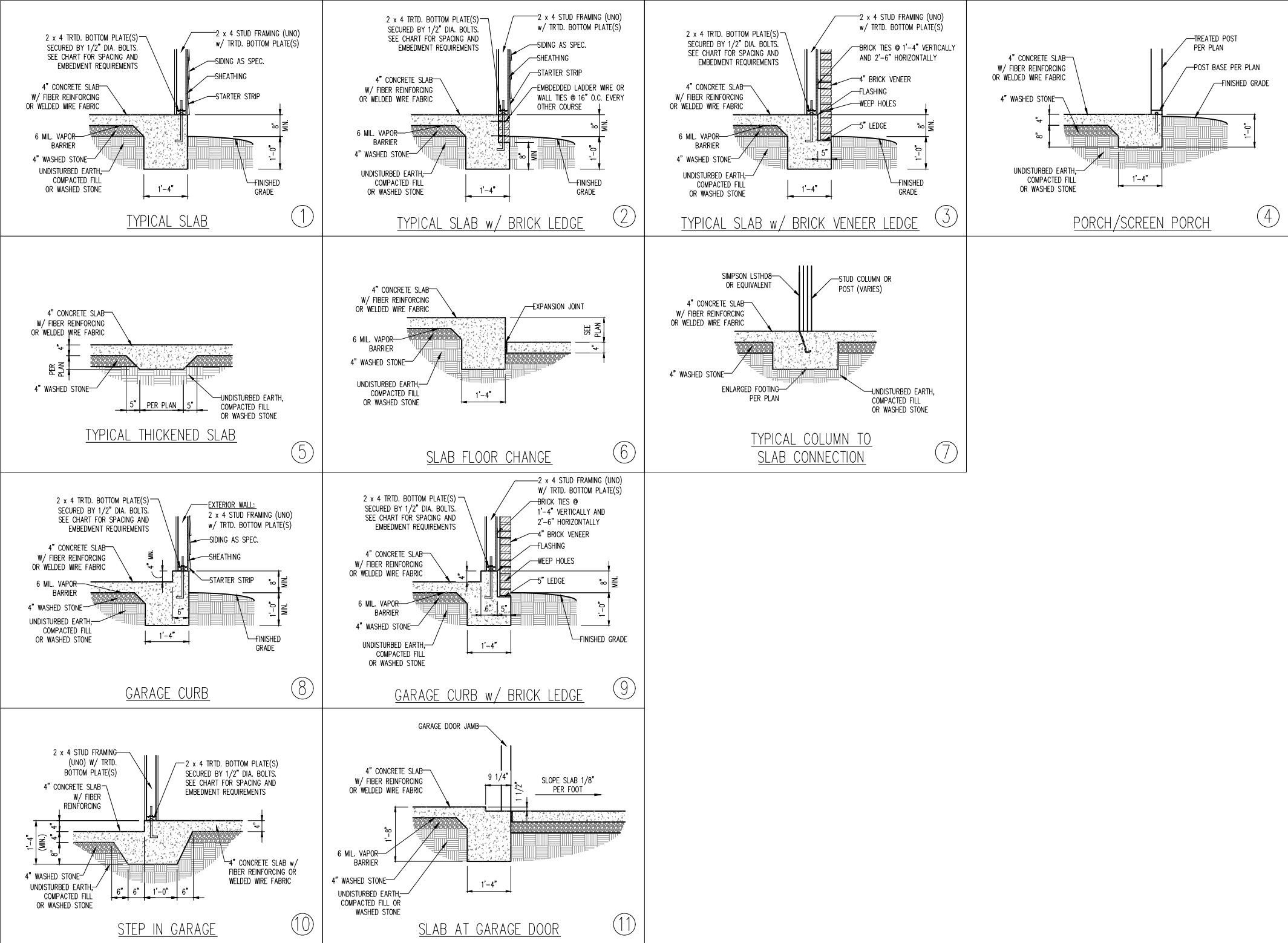
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ENGINEERED BY: ZHH

S-5a
ROOF FRAMING
PLAN



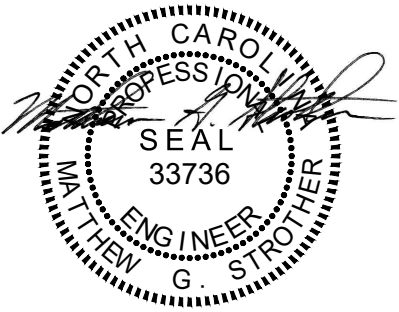
Retreat at North Main Lot 43



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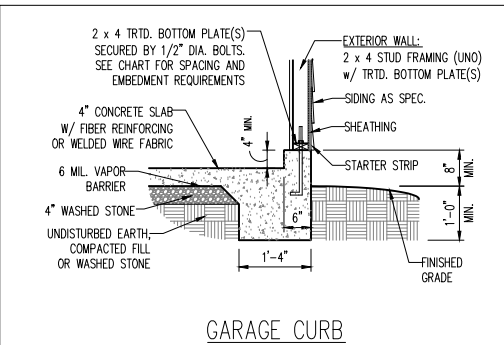
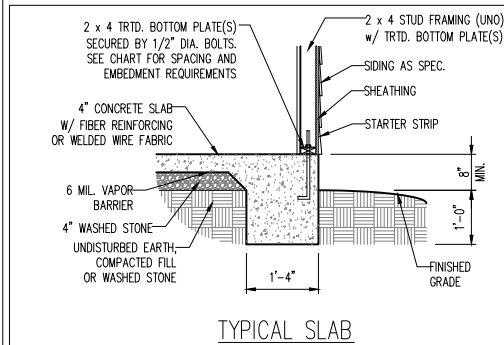
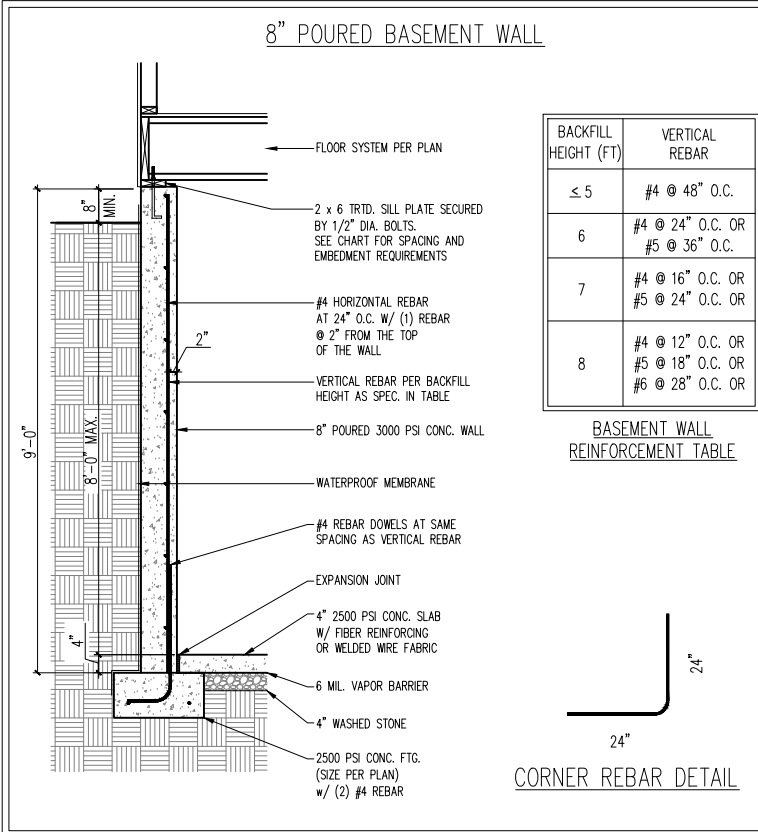
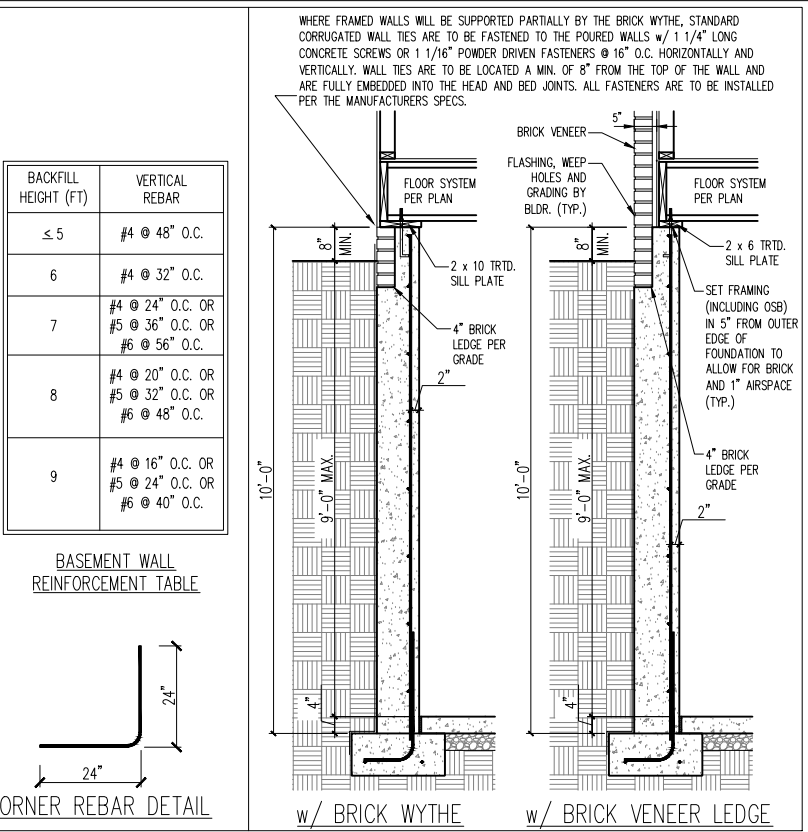
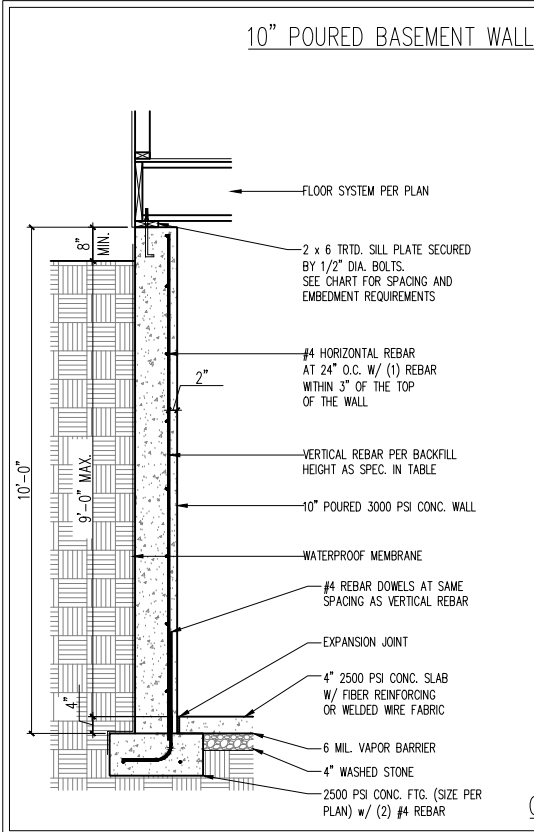
DATE: OCTOBER 16, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: MAIN STREET DESIGN
ENGINEERED BY: ZHH

D-1
MONO SLAB
FOUNDATION DETAILS

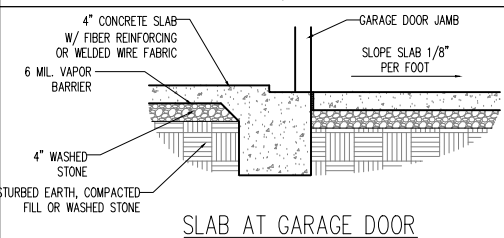
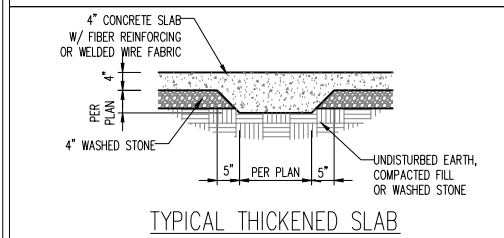
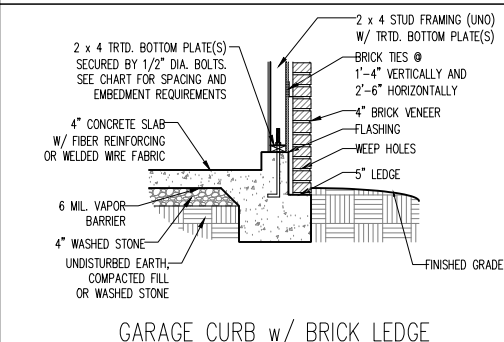
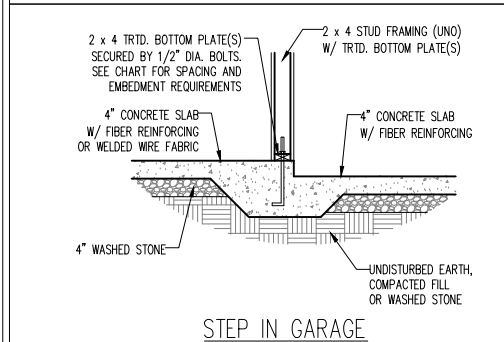
ANCHOR SPACING AND EMBEDMENT			NOTE: THREADED ROD WITH EPOXY, SIMPSON TITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.
WIND ZONE	120 MPH	130 MPH	
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE	

Retreat at North Main Lot 43

SCALE NOTE:
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11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



ANCHOR SPACING AND EMBEDMENT			NOTE: THREADED ROD WITH EPOXY, SIMPSON TITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.
WIND ZONE	120 MPH	130 MPH	
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE	



IMPORTANT NOTE:

FOUNDATIONS AS DENOTED IN THESE DETAILS ARE NOT SUITABLE FOR SUPPORT OF ADDITIONAL SURCHARGE LOADING FROM ADJACENT STRUCTURES OR DRIVEWAYS. FOUNDATIONS WITH EXTRA LATERAL LOADING IN THESE SCENARIOS WILL REQUIRE LOT SPECIFIC DESIGN ON A CASE BY CASE BASIS. CONSULT THE ENGINEER OF RECORD WHEN PLANNING TO BUILD IN CLOSE PROXIMITY TO THE FOUNDATION AS WE WILL NOT BE HELD LIABLE FOR FOUNDATION FAILURE. SEE R403.1.9 OF THE 2018 NCRC FOR ADDITIONAL INFORMATION.

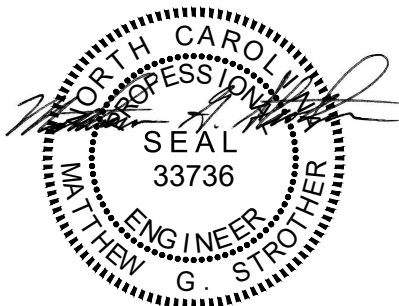
STRUCTURAL NOTES:

- FOR #4 REBAR, 24" MINIMUM REBAR LAP SPICE LENGTH. FOR #5 REBAR, 32" MINIMUM REBAR LAP SPICE LENGTH.
- FOR #6 REBAR, 36" MINIMUM REBAR LAP SPICE LENGTH.
- REBAR TO MAINTAIN A MINIMUM CONCRETE COVER OF 3" (UNO).
- REBAR TO BE ASTM A615 GRADE 60.
- SOIL BEARING CAPACITY IS REQUIRED TO BE 2000 PSF MIN.
- INSTALL #4 L-BARS AT ALL WALL CORNERS AT SAME SPACING AS HORIZ. STEEL. SEE DETAIL.
- THE FLOOR FRAMING IS TO BE INSTALLED AND A MIN. OF SEVEN DAYS IS REQUIRED TO ALLOW THE CONCRETE TO CURE BEFORE THE BACKFILL CAN BE INSTALLED. THE BACKFILL IS RECOMMENDED TO BE PLACED IN 12" LIFTS AND CAREFULLY TAMPED.
- A 4" LEDGE IS TO BE PROVIDED FOR THE PORCH SLAB. THE WALLS ARE REQUIRED TO BE BONDED TO THE SLABS USING #4 x 36" REBAR DOWELS 32" O.C. EMBEDDED 4" INTO THE CONC. USING EPOXY.
- WHERE THE FLOOR JOISTS ARE PARALLEL TO THE WALLS, 2 x 4 BLOCKING IS TO BE INSTALLED 24" O.C. BETWEEN THE BOTTOM FLANGES OF THE I-JOISTS FOR A MIN. OF 6'-0" AWAY FROM THE WALL OR DIAGONAL 2 x 6 BLOCKS MAY BE INSTALLED 24" O.C. FROM THE EDGE OF THE SILL PLATE TO THE TOP FLANGE AND SUBFLOORING, ATTACHED W/ (3) 12d NAILS EACH END.

NOTE TO FOUNDATION CONTRACTOR:

ALTERNATE REINFORCED CONCRETE POURED WALL DESIGNS ENGINEERED BY OTHERS MAY BE CONSTRUCTED. NO CONTINUOUS FOOTINGS OR LUG FOOTINGS MAY BE REDUCED IN SIZE.

Retreat at North Main Lot 43



10/16/2024

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WILLOW
DAVIDSON HOMES

DATE: OCTOBER 16, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: MAIN STREET DESIGN
ENGINEERED BY: ZHH

D-4
WALL BRACING
NOTES AND DETAILS

GENERAL NOTES

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NCRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NCRC, 2018 EDITION (R301.4 – R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200 LB OR 50 (PLF)	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE)		
GROUND SNOW LOAD: Pg	20 (PSF)		
– I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480			
– FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD			
4. FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NCRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NCRC, 2018 EDITION.			
5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.			

FOOTING AND FOUNDATION NOTES

1. FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
2. FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NCRC, 2018 EDITION.
3. PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" – 1" DEEP CONTROL JOINTS ARE TO BE SAWED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
4. CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NCRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
6. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
7. THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NCRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCMA TR68-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE NCRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(5) OF THE NCRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

FRAMING NOTES

1. ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv =175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
2. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb =2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E =1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
3. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

A. W AND WT SHAPES:

ASTM A992

B. CHANNELS AND ANGLES:

ASTM A36

C. PLATES AND BARS:

ASTM A36

D. HOLLOW STRUCTURAL SECTIONS:

ASTM A500 GRADE B

E. STEEL PIPE:

ASTM A53, GRADE B, TYPE E OR S
4. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):

A. WOOD FRAMING

(2) 1/2" DIA. x 4" LONG LAG SCREWS

B. CONCRETE

(2) 1/2" DIA. x 4" WEDGE ANCHORS

C. MASONRY (FULLY GROUTED)

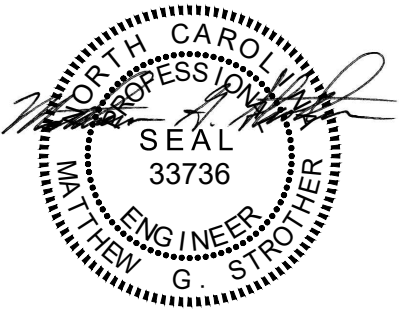
(2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.
5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
6. ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NCRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
7. ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
8. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
9. ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
10. BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
11. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
12. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (U.N.O). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 12d NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.8.2.1 OF THE NCRC, 2018 EDITION.
13. FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
14. FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
15. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO.) POSTS MAY BE SECURED USING ONE SIMPSON H6 OR LTS12 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON CS16 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

J.S. THOMPSON
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WILLOW
DAVIDSON HOMES



10/16/2024

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DATE: OCTOBER 16, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: MAIN STREET DESIGN
ENGINEERED BY: ZHH

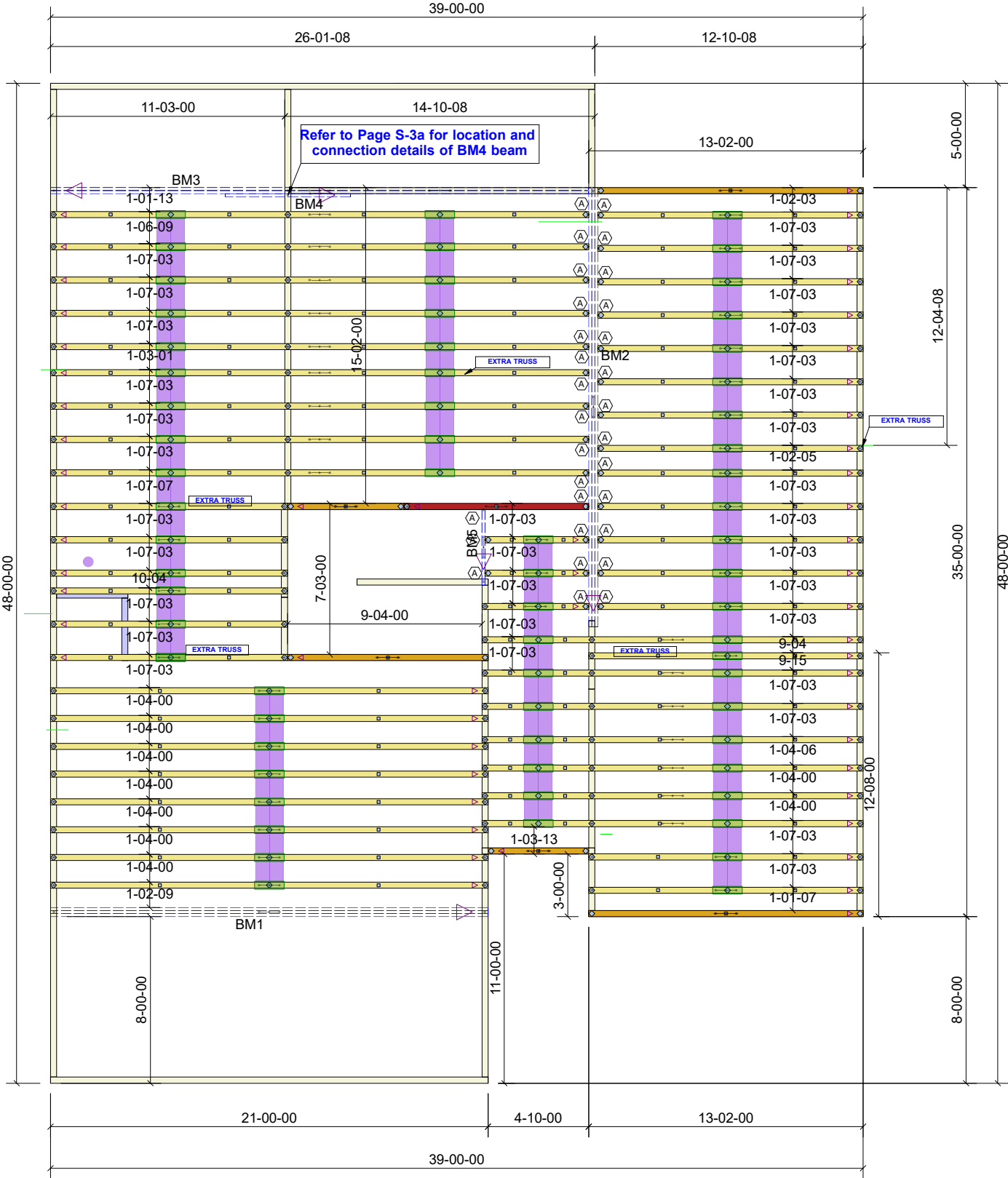
D-5
STANDARD
STRUCTURAL NOTES

Retreat at North Main Lot 43

Retreat at North Main Lot 43

HANGER LIST		
A	LUS410	30
B	-	-
C	-	-

Products					
PlotID	Length	Product	Plies	Net Qty	
BM3	26-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	2	2	
BM4	6-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	1	1	
BM5	4-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	1	1	
BM1	22-00-00	1-3/4" x 16" VERSA-LAM® LVL 2.1E 3100 SP	3	3	
BM2	24-00-00	1-3/4" x 24" VERSA-LAM® LVL 2.1E 3100 SP	3	3	



84 Components
200 Emmett Rd
Dunn NC 28334
United States
Office: (910) 892-8841

Davidson Homes

43 Retreat at North Main

43 Retreat at North Main - FLOOR

Job# - P04767-29205

Location	2383-Dunn
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Designer	IP
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DO NOT CUT, NOTCH, OR BORE HOLES
UNLESS SPECIFIC, WRITTEN PERMISSION IS
PROVIDED BY AN AUTHORIZED REPRESENTATIVE OF
84 LUMBER.

TRUSS INSTALLATION REQUIRES TEMPORARY AND PERMANENT BRACING. GENERAL GUIDANCE IS PROVIDED IN SBCA DOC'S B-1 and B-3. THESE ARE INCLUDED WITH EACH JOB IN YOUR TRUSS PACKET.

Sheet # **1** of **1**

Roof Truss Placement Plan

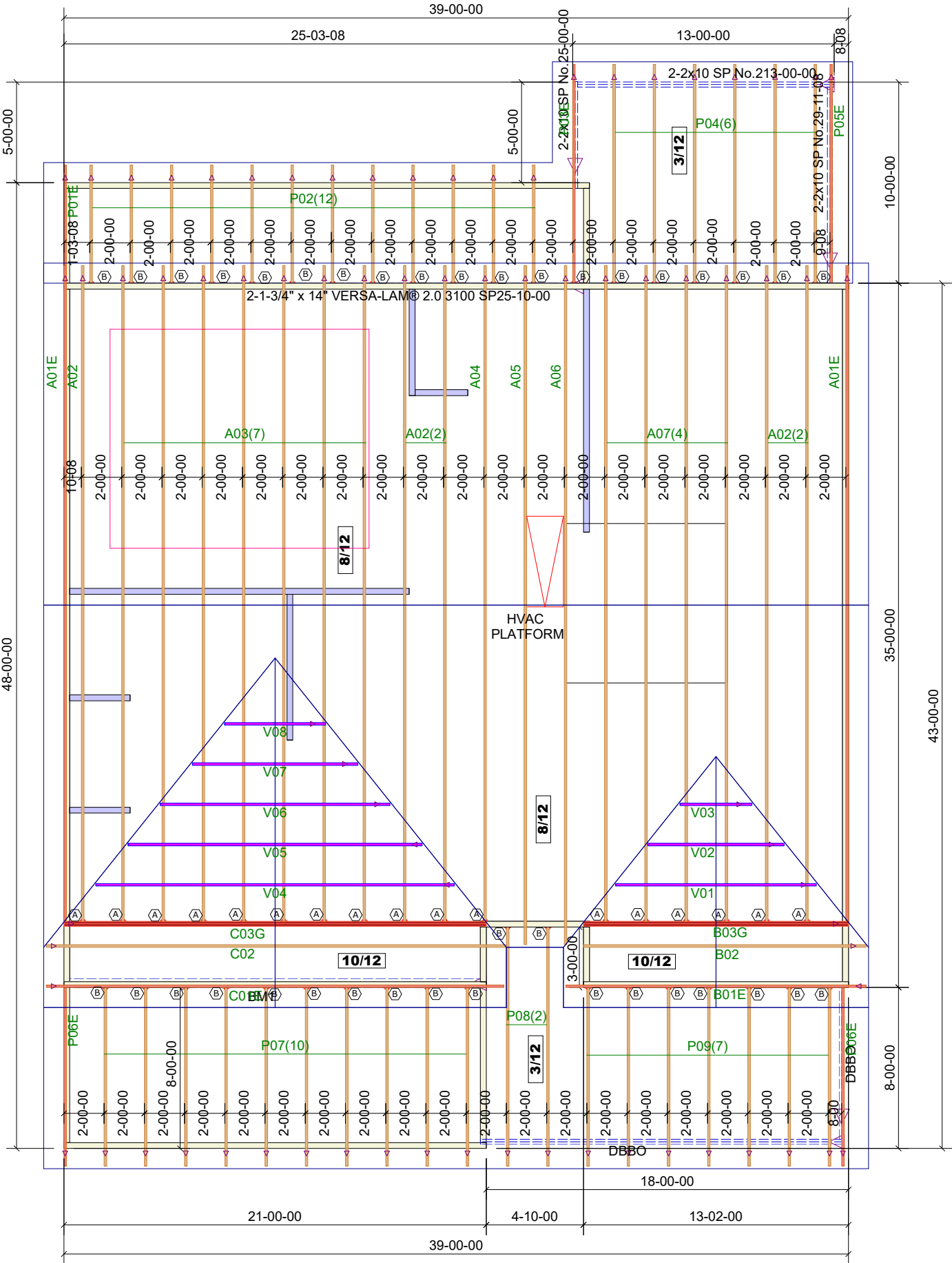
NOT TO SCALE

DESIGNED DATE

8/21/2025

Retreat at North Main Lot 43

HANGER LIST		
A	HUS26	17
B	LUS26	38
C	-	-



Davidson Homes

43 Retreat at North Main

43 Retreat at North Main - ROOF

Job# - P04767-29204

84 LUMBER

84 Components
200 Emmett Rd
Dunn NC 28334
United States
Office: (910) 892-8400

Location2383-Dunn

DesignerPatrick Harris

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Sheet # 1 of 1

Roof Truss
Placement Plan

NOT TO SCALE

DESIGNED DATE
8/22/2025