

## SQUARE FOOTAGE

# TABLE OF CONTENTS

(Inside of Frame S.F.)	
A/C Area	Sq. Ft.
FIRST FLOOR	1810
LOFT	600
<b>Total A/C Area</b>	<b>2410</b>

[illegible]

**Altis at Serenity Lot 327- 5920-05 (Longleaf Way) - Elevation C**

- \*Tile Walls at Bath 2 Tub
- \*Optional Primary Bath 1 with Zero Entry Pan
- \*9080 Multi Slide Doors at Dining and Great Room
- \*Fire Rate Garage Side
- \*Fire Rated Non Garage Side
- \*Fire Rated Windows Optional Second Floor Garage Side
- \*Fire Rated Windows Optional Second Floor Non Garage Side
- \*Heatilator Novus 36" Gas Fireplace
- \*Gourmet Kitchen Layout w. Cooktop and Under Cabinet Hood
- \*Laundry Sink w. Base Cabinets and Upper Cabinets
- \*Optional Outdoor Living Patio
- \*Optional Outdoor Fireplace with Tile Surround
- \*Optional Screened Covered Outdoor Living
- \*Optional Finished Second Floor
- \*Open Rail w. Curb Wall & Stained Stair Treads at 1st to 2nd Floor
- \*Recirculating Tankless Water Heater

	ELEVATION KEY OR SECTION KEY		TUB/SHOWER		PLYWOOD
	CENTERLINE		LAVATORY		INSULATING SHEATHING
	HOSE BIB (FREEZE PROOF)		DBL SINK		BATT INSULATION
	GAS LINE STUB		LAUNDRY SINK		RIGID INSULATION
	TOWEL BAR		PEDESTAL SINK		CONCRETE
	PAPER HOLDER		WATER CLOSET		SAND OR GRAVEL FILL
	TOWEL RING		2x FRAME WALL		STONE
	SHOWER HEAD		BRICK VENEER		STONE VENEER
	SHOWER CONTROLS				

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED MINIMUM CODE REQUIREMENTS OF 2018 I.R.C.
ELECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM CODE REQUIREMENTS OF 2020 N.E.C.

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**HOMES**

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5440 Wade Park Blvd

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## COVER SHEET &amp; GENERAL NOTES

**SUBDIVISION: ALTIS @ SERENITY**

ADDRESS: 280 STREAMSIDE TER

LOT: 327

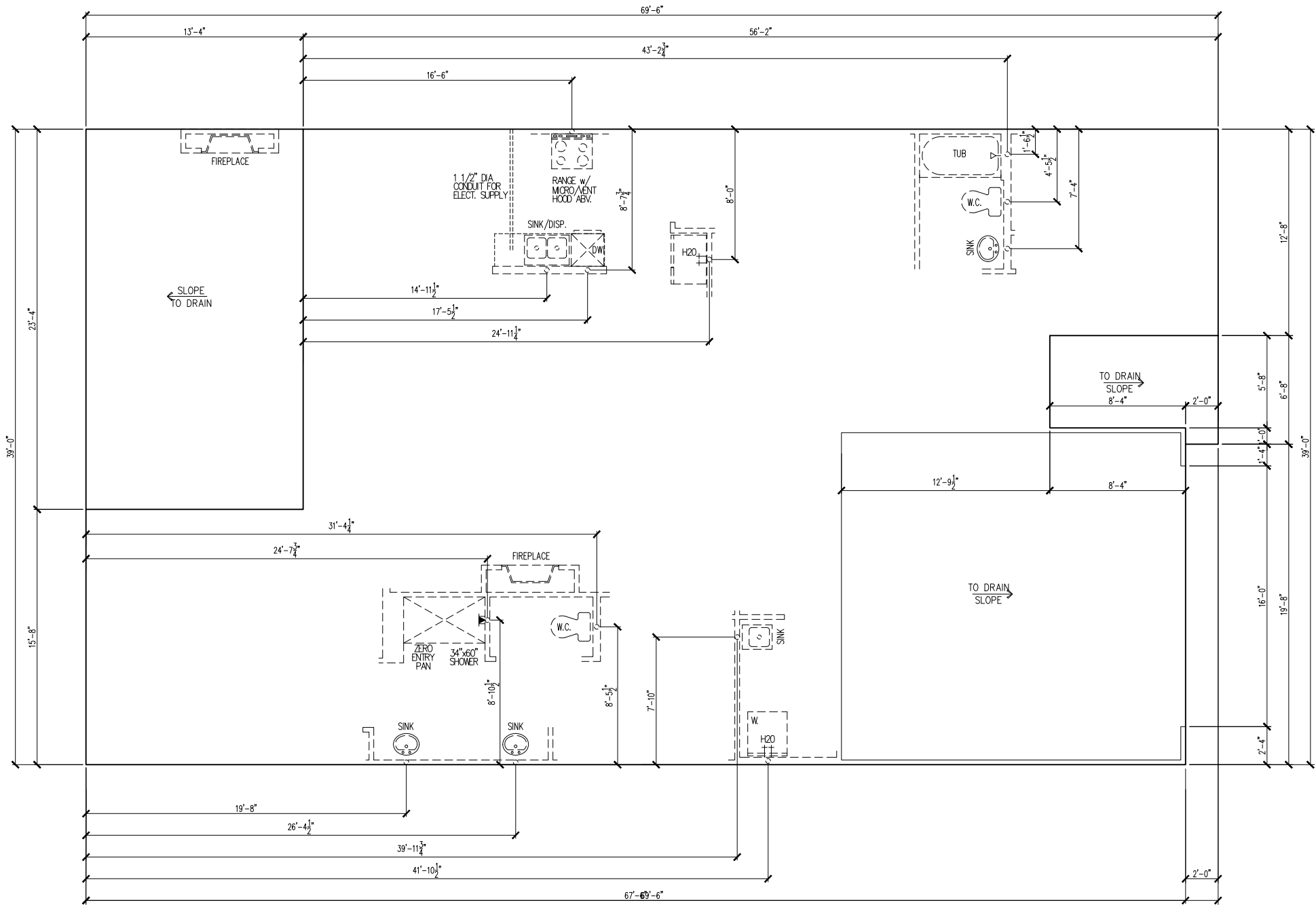
Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
**LONGLEAF WAY**

SHEET #:  
G0.01





BASE FOUNDATION PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONLEAF WAY

SHEET #:  
S1.10C

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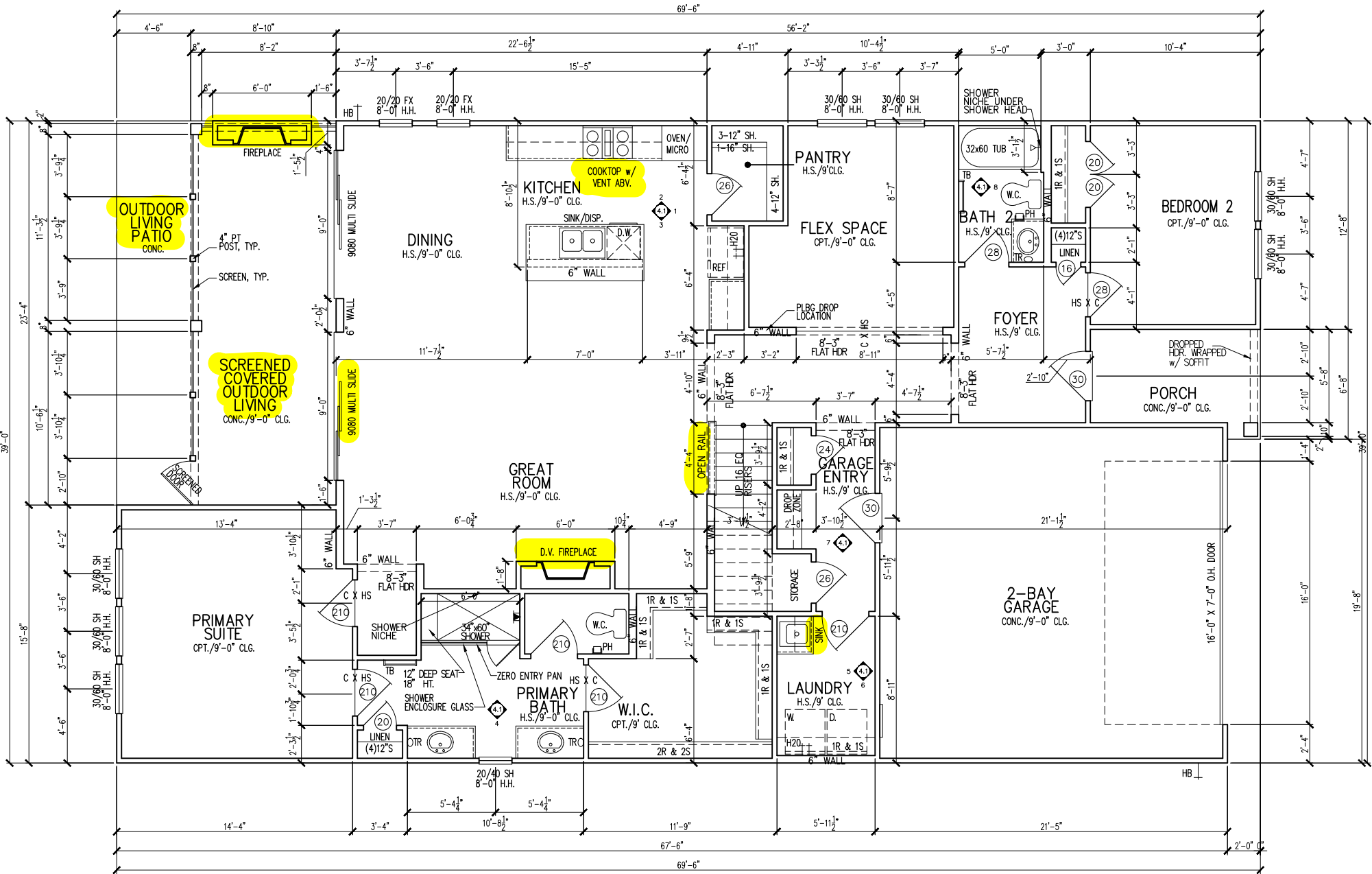
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MAIN FLOOR NOTES	
#	EXPLANATION
1.	ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH
2.	ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.)
3.	PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS U.N.O.
4.	ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O.
5.	ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O.
6.	TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES
7.	WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. w/MIN DIM'S OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO EXCEED 44" AFF
8.	ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTER
9.	ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY
10.	FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET & DETAILS
11.	ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGHT SHALL BE 8'-10" ABOVE FINISHED FLOOR (U.N.O.)
12.	STRUCTURAL ENGINEERING PROVIDED BY OTHERS
13.	REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE CALLOUTS
14.	FIRST FLOOR INTERIOR DOOR HEIGHTS ARE 8' TALL DOORS. DOORS AT OPTIONAL LOFT ARE 6'-8".
15.	BATH ACCESSORY INSTALLATION HEIGHTS ARE MEASURED TO CENTER OF ACCESSORY: TB - 48" A.F.F.      TR - 20" ABV. VANITY COUNTER-TOP TH - 70" A.F.F.      TP - 26" A.F.F.
16.	SHUT-OFF VALVE TO BE LOCATED IN GARAGE
17.	ROD AND SHELF HEIGHTS ARE MEASURED TO TOP OF ROD AND BOTTOM OF SHELVES - SEE D-1.0 FOR DETAILS: 1R1S - ROD - 5'-8"      2R2S - TOP ROD - 6'-8" SHELF - 5'-10"      TOP SHELF - 6'-10" BOTTOM ROD - 3'-4"      BOTTOM SHELF - 3'-6"

**Altis at Serenity Lot 327- 5920-05 (Longleaf Way) - Elevation C**

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1st FLOOR PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

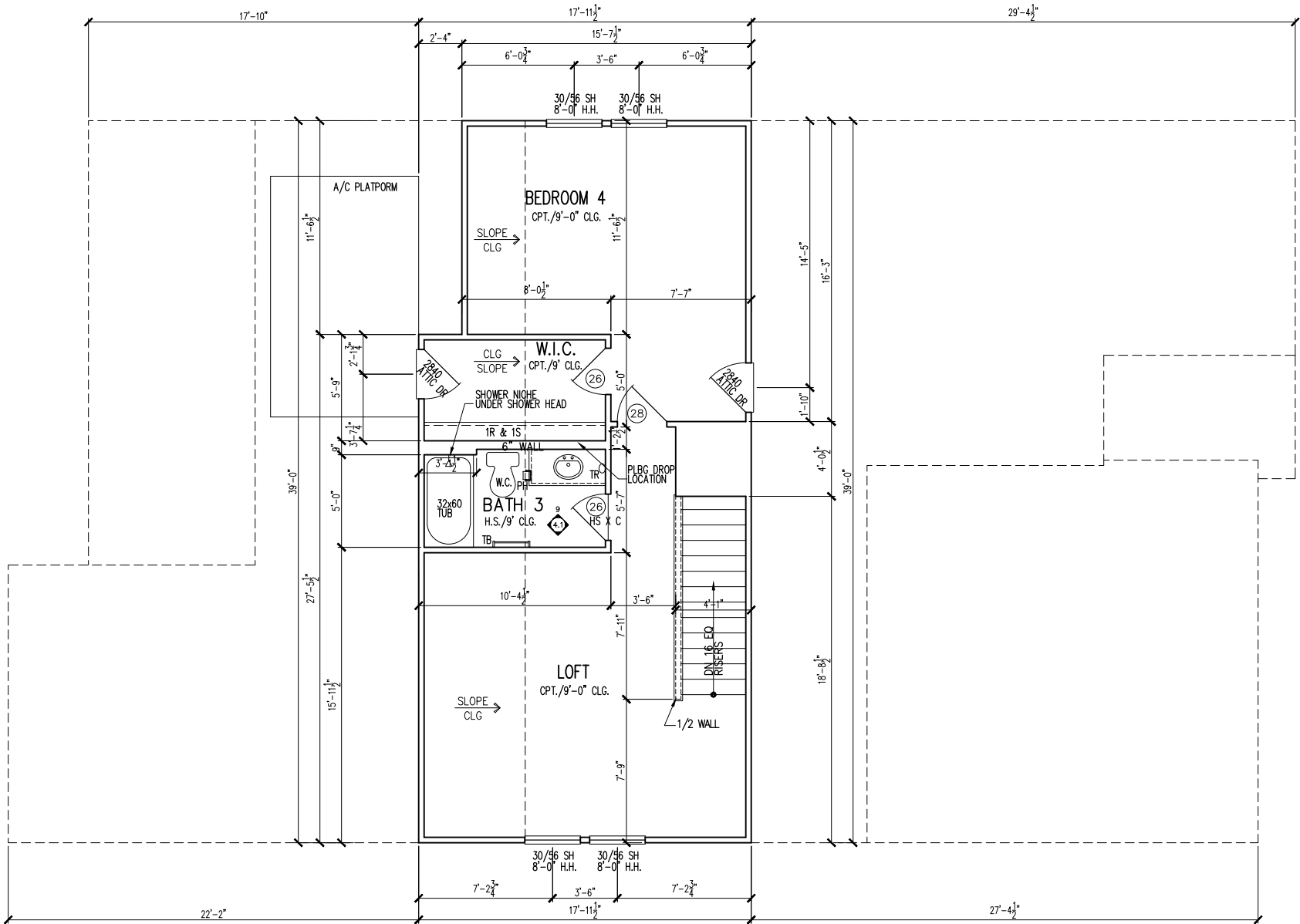
PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
A1.10



MAIN FLOOR NOTES	
#	EXPLANATION
1.	ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH
2.	ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.)
3.	PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS U.N.O.
4.	ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O.
5.	ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O.
6.	TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES
7.	WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. w/MIN DIM'S OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO EXCEED 44" AFF
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16.	SHUT-OFF VALVE TO BE LOCATED IN GARAGE
17.	ROD AND SHELF HEIGHTS ARE MEASURED TO TOP OF ROD AND BOTTOM OF SHELVES - SEE D-1.0 FOR DETAILS: 1R1S - ROD - 5'-8"      2R2S - TOP ROD - 6'-8" SHELF - 5'-10"      TOP SHELF - 6'-10" BOTTOM ROD - 3'-4" BOTTOM SHELF - 3'-6"



SECOND FLOOR PLAN  
PARTIAL FLOOR PLAN

1/8"=1'-0"

2ND FLOOR PLAN - OPTION

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
01.A30

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## EXTERIOR ELEVATIONS

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER

ADDRESS: 280 STREAMSIDE TER  
LOT: 327

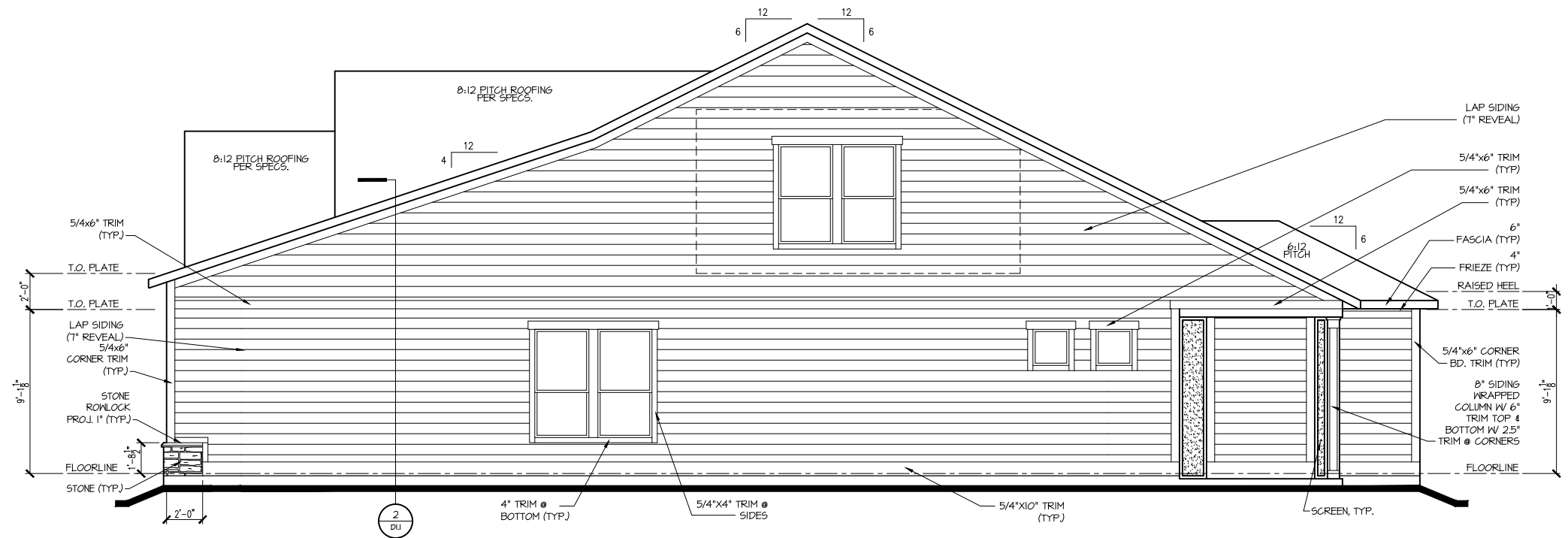
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Issue Date: 09-30-24  
Drawn By: ACC

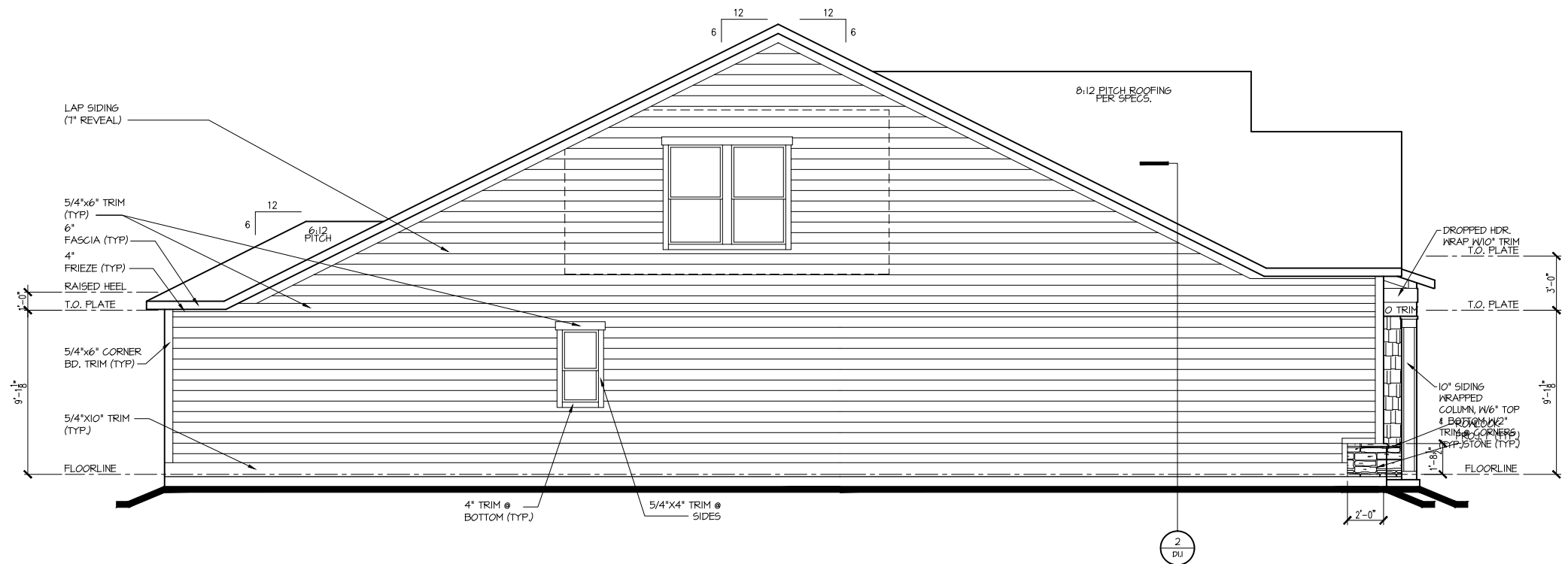
PLAN #: 5920-05

PLAN NAME:  
**LONGLEAF WAY**

SHEET #:  
**A2.01C**



**RIGHT ELEV. "C"**  
1/8"=1'-0"



**LEFT ELEV. "C"**  
1/8"=1'-0"

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EXTERIOR ELEVATIONS

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
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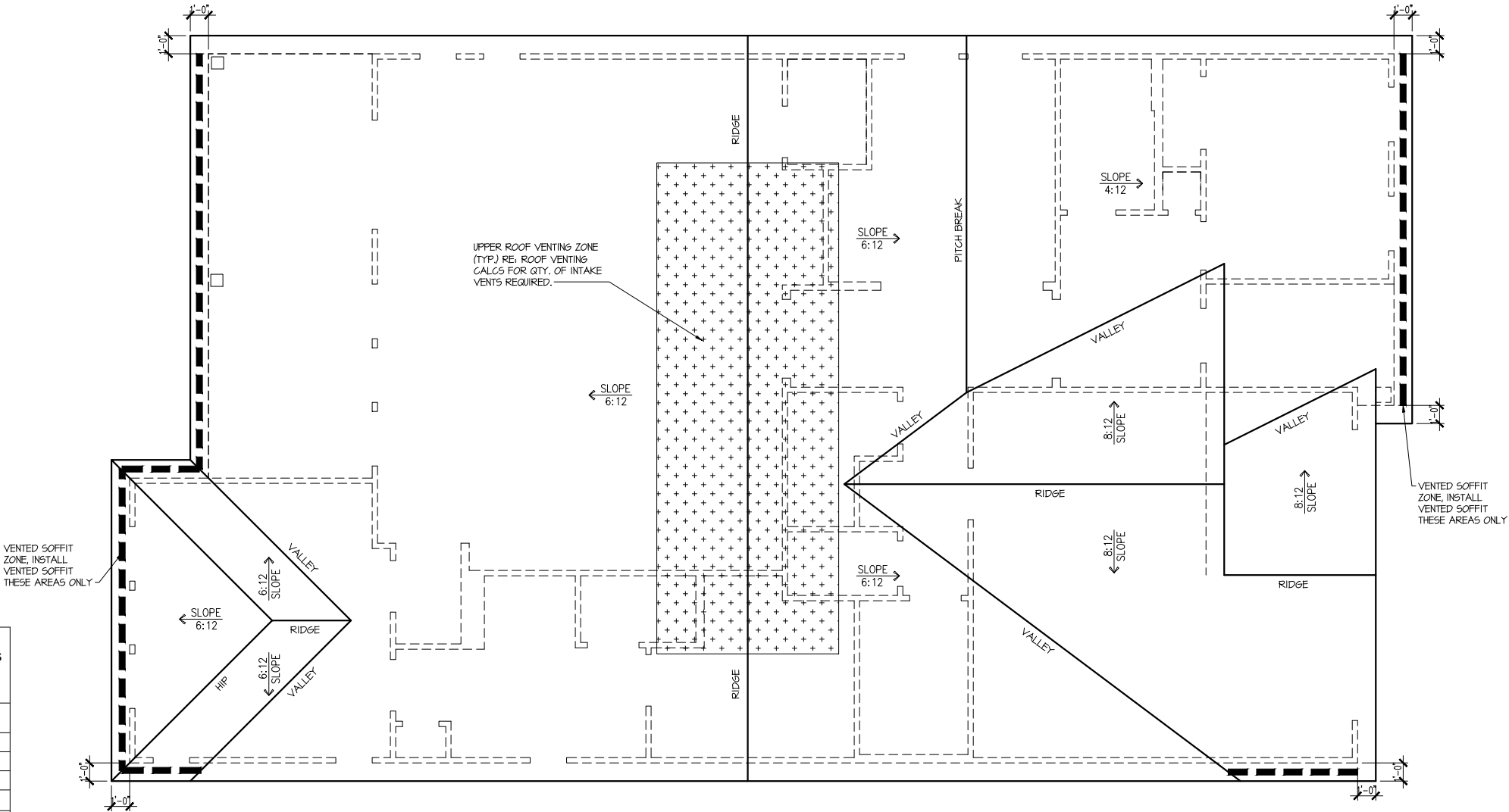
PLAN #:  
5920-05

PLAN NAME:  
LONLEAF WAY

SHEET #:  
A2.02C

Attic Venting Calculations Elev. "C"	
ROOF INFORMATION	BASE
TOTAL SF ROOF AREA	2791
AVAILABLE L.F. ROOF SOFFIT	74
AVAILABLE L.F. ROOF RIDGE	61
VENT TYPES	QTY VENTS REQ'D
LOWER VENTS CONTINUOUS SOFFIT VENTING @ 5 S/LF	134 LF
UPPER VENTS SLANT 150 VENTS @ 150 S/LVENT	4
UPPER VENTS RIDGE VENTS @ 72 S/LVENT	9

NOTE:  
QTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING  
OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.



**ROOF PLAN 'C'**  
SCALE: 1/8" = 1'-0"

ROOF PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

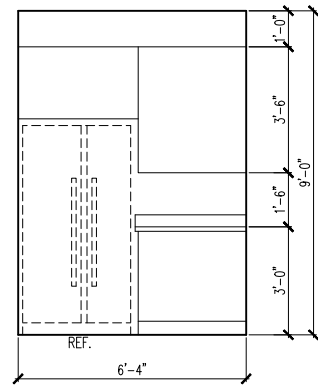
SHEET #:  
A3.01C

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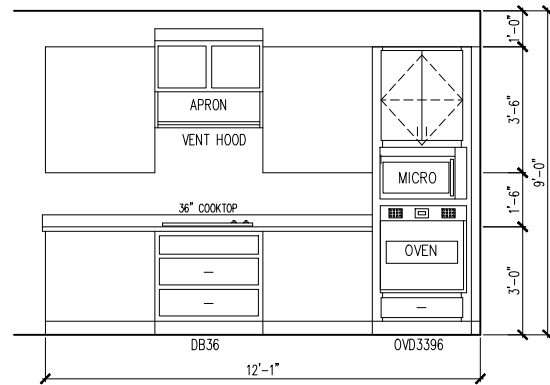
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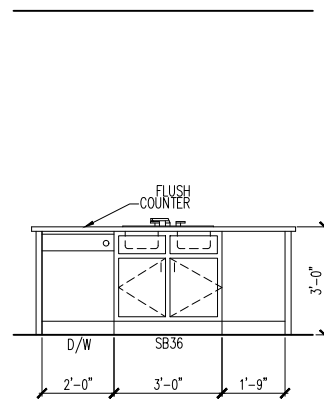
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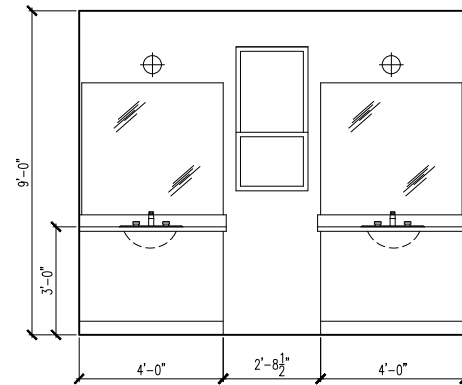
1 KITCHEN



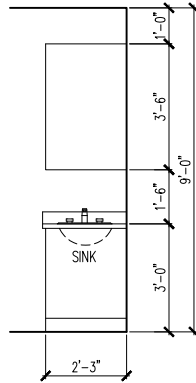
2 KITCHEN



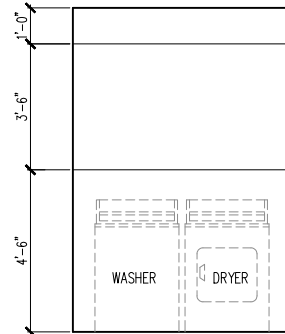
3 KITCHEN ISLAND



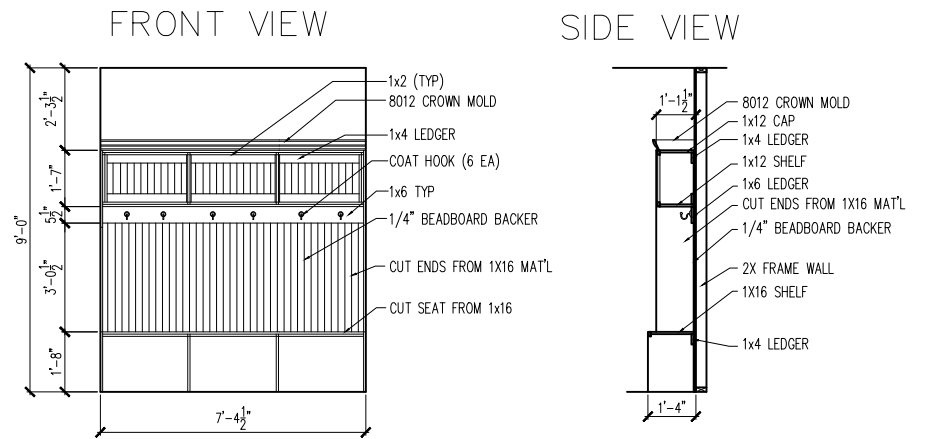
4 PRIMARY BATH



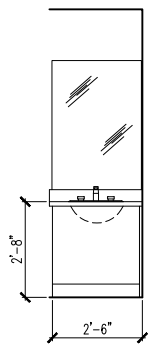
5 LAUNDRY ROOM



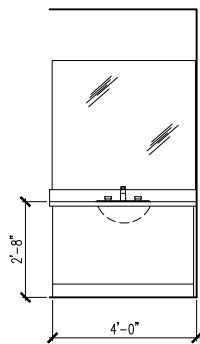
6 LAUNDRY ROOM



7 TYPICAL BENCH DETAIL (DROP ZONE)



8 BATH 2



9 BATH 3



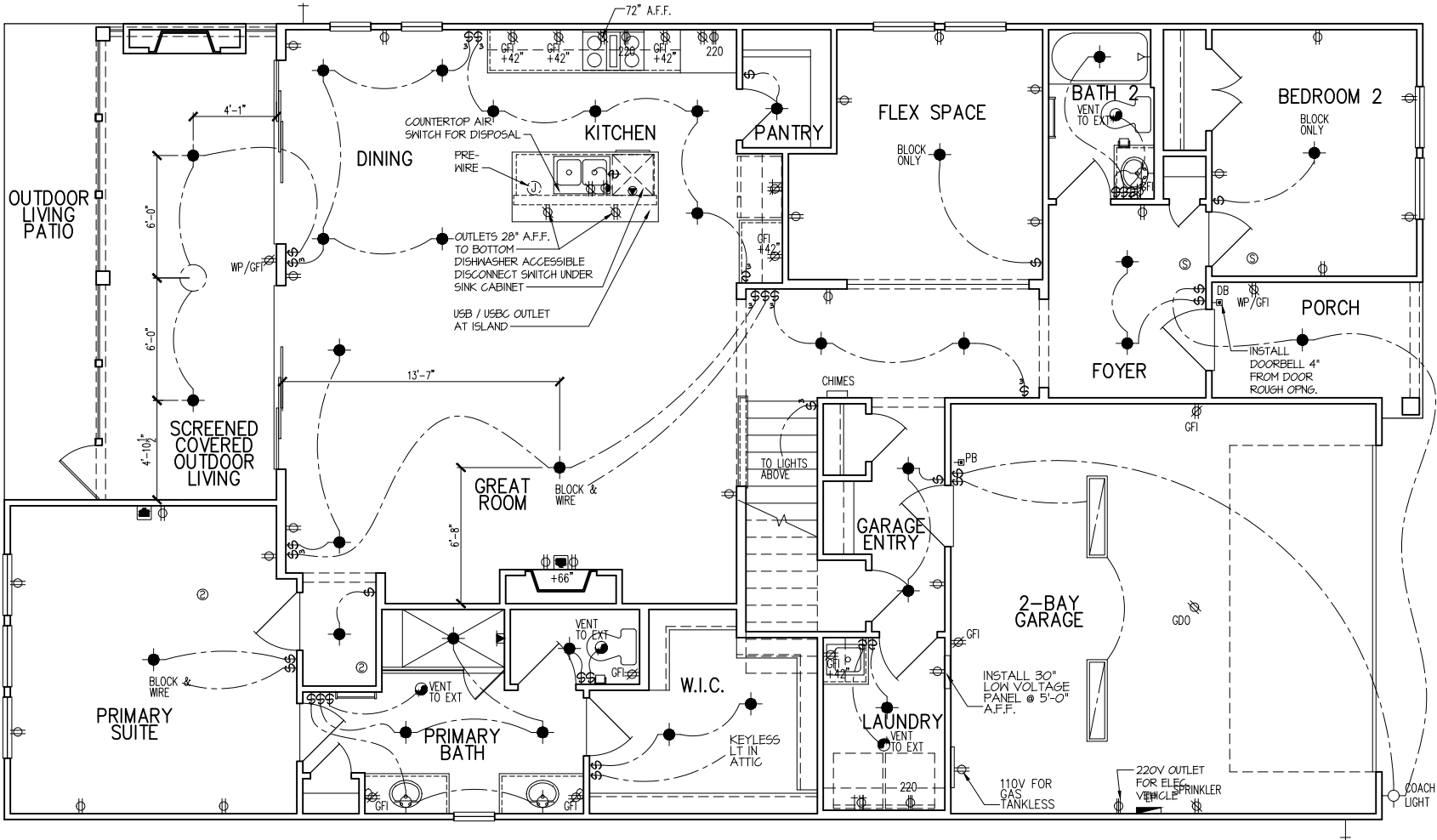
ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
110V OUTLET	⌀
220V OUTLET	⌀ 220
1/2 HOT OUTLET	⌀
GFI OUTLET	⌀ GFI
WP GFI OUTLET	⌀ WP/GFI
GARAGE DOOR OPENER OUTLET	⌀ GDO
SECURITY SYSTEM	⌀ SEC SYS
DISHWASHER	● DW
JUNCTION BOX	⌀
CEILING MOUNTED LIGHT	⌀
CEILING FAN w/ LIGHT KIT	⌀ PROVIDE BRACING
RECESSED CEILING LIGHT	⌀
RECESSED WATER PROOF LIGHT	⌀ WP
WALL MOUNTED LIGHT	⌀
WALL MOUNTED PUSH BUTTON	⌀ PB
TWO WAY SWITCH	⌀
THREE WAY SWITCH	⌀
FOUR WAY SWITCH	⌀
DIMMER SWITCH	⌀ DIM
EXHAUST VENTS	⌀ VENT TO EXT
LOW VOLTAGE PANEL	⌀
PHONE OUTLET	⌀ PH
TV OUTLET	⌀ TV
DATA & RG6 COMBO BOX	⌀
SMOKE DETECTOR	⌀
CARBON MONOXIDE SMOKE DETECTOR COMBO	⌀ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	⌀ EP
SURFACE MOUNT LED	⌀
EXTERIOR WALL MOUNT UPLIGHT	⌀
SOFFIT MOUNT FLOOD LIGHT	⌀
UNDER COUNTER LIGHTING	⌀ UCL
SMURF TUBE	.....

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

ELECTRICAL DEVICES:	ABOVE FINISHED FLOOR:
SWITCHES OVER COUNTER. ....	.48". TO CL
WALL OUTLETS OVER COUNTER. ....	.48". TO CL
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)	
REMAINING SWITCHES. ....	.48". TO CL
WALL OUTLETS. ....	.12". TO CL
BATH VANITY BRACKET OUTLET. ....	.12
(1" ABOVE TOP OF VANITY)	
WATER SOFTENER AND SUMP OUTLETS. ....	.48" TO CL
EXTERIOR GFI OUTLETS. ....	.12". TO CL
GARAGE GFI (ABOVE GARAGE FLOOR). ....	.48" TO CL
FRONT DOOR COACH LIGHT. ....	.80". TO CL
GARAGE DOOR COACH LIGHT. ....	.84". TO CL
(ABOVE GARAGE FLOOR). ....	.84". TO CL
THERMOSTAT. ....	.54". TO CL
DOORBELL CHIMES. ....	.84". TO CL
DOORBELL BUTTON. ....	LEVEL W/ DR HANDLE
KITCHEN HOOD FAN "WHIP". ....	.66". TO CL
KITCHEN WALL HUNG MICROWAVE OUTLET. ....	.72". TO CL
KITCHEN DISHWASHER RECEPTACLE. ....	UNDER SINK
KITCHEN RANGE. ....	.24". TO CL
KITCHEN REFRIGERATOR. ....	.48". TO CL
WASHER/DRYER OUTLET. ....	.48". TO CL

CL = CENTER LINE  
1 = FIELD VERIFY  
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



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1st FLOOR ELECTRICAL PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
E1.10C

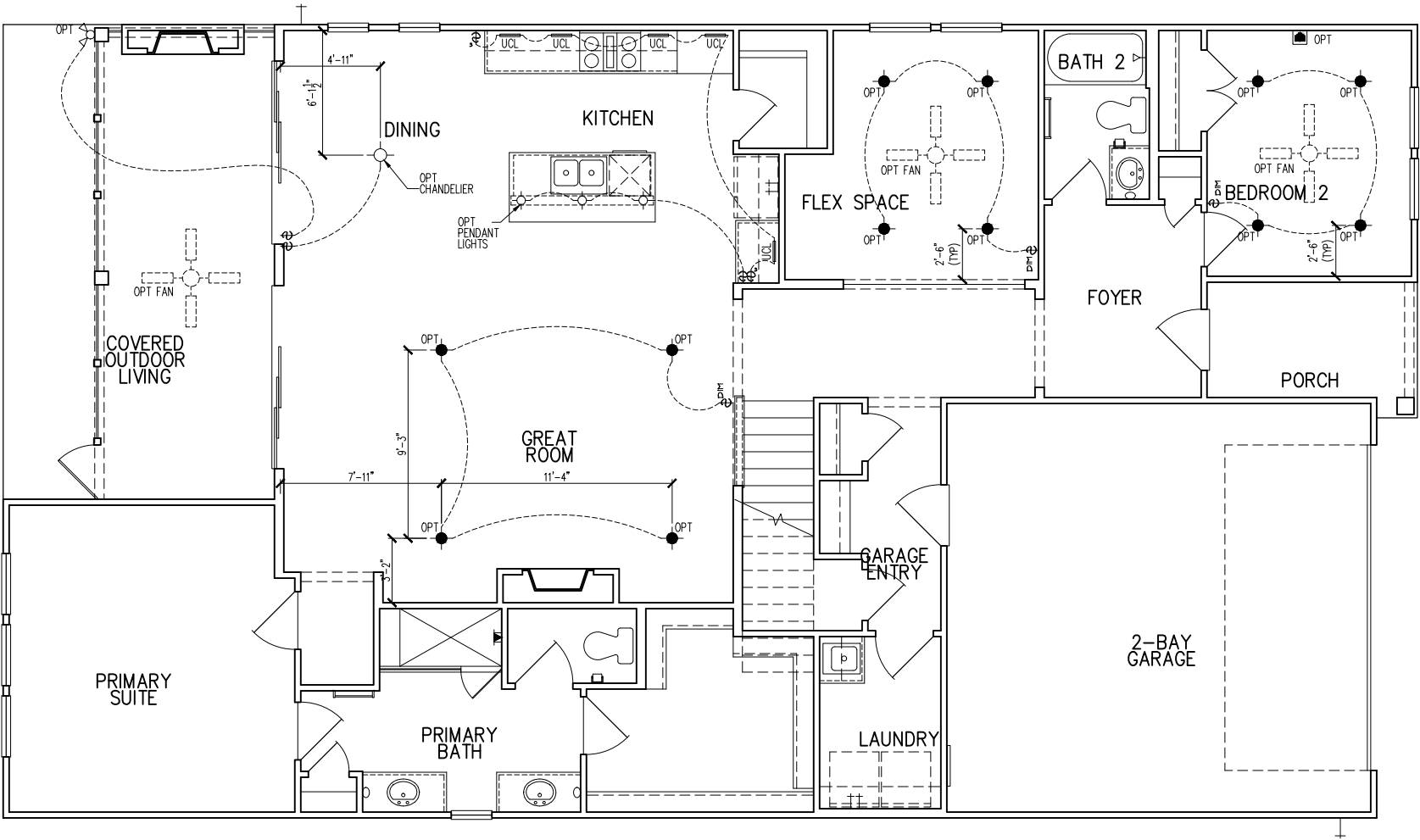
ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
110V OUTLET	⌀
220V OUTLET	⌀ 220
1/2 HOT OUTLET	⌀ 1/2
GFI OUTLET	⌀ GFI
WP GFI OUTLET	⌀ WP/GFI
GARAGE DOOR OPENER OUTLET	⌀ GDO
SECURITY SYSTEM	⌀ SEC. SYS
DISHWASHER	⌀ DW
JUNCTION BOX	⌀
CEILING MOUNTED LIGHT	⌀
CEILING FAN w/ LIGHT KIT	⌀ PROVIDE BRACING
RECESSED CEILING LIGHT	⌀
RECESSED WATER PROOF LIGHT	⌀ WP
WALL MOUNTED LIGHT	⌀
WALL MOUNTED PUSH BUTTON	⌀ PB
TWO WAY SWITCH	⌀
THREE WAY SWITCH	⌀
FOUR WAY SWITCH	⌀
DIMMER SWITCH	⌀ DIM
EXHAUST VENTS	⌀ VENT TO EXT
LOW VOLTAGE PANEL	⌀
PHONE OUTLET	⌀ PH
TV OUTLET	⌀ TV
DATA & RG6 COMBO BOX	⌀
SMOKE DETECTOR	⌀
CARBON MONOXIDE SMOKE DETECTOR COMBO	⌀ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	⌀ EP
SURFACE MOUNT LED	⌀
EXTERIOR WALL MOUNT UP LIGHT	⌀
SOFFIT MOUNT FLOOD LIGHT	⌀
UNDER COUNTER LIGHTING	⌀ UCL
SMURF TUBE	.....

ELECTRICAL NOTES:

1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
2. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
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SWITCHES OVER COUNTER. . . . . 48". TO CL  
WALL OUTLETS OVER COUNTER. . . . .  
42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)  
REMAINING SWITCHES. . . . . 48". TO CL  
WALL OUTLETS. . . . . 12". TO CL . .  
BATH VANITY BRACKET OUTLET. . . . . 1,2  
(1" ABOVE TOP OF VANITY)  
WATER SOFTENER AND SUMP OUTLETS. . . . 48" TO CL  
EXTERIOR GFI OUTLETS. . . . . 12". TO CL  
GARAGE GFI (ABOVE GARAGE FLOOR). . . . 48" TO CL  
FRONT DOOR COACH LIGHT. . . . . 80". TO CL  
GARAGE DOOR COACH LIGHT,  
(ABOVE GARAGE FLOOR). . . . . 84". TO CL  
THERMOSTAT. . . . . 54". TO CL . .  
DOORBELL CHIMES. . . . . 84". TO CL  
  
DOORBELL BUTTON. . . . . LEVEL W/  
DR. HANDLE  
KITCHEN HOOD FAN "WHIP". . . . . 66". TO CL  
KITCHEN WALL HUNG MICROWAVE OUTLET . . 72" TO CL  
KITCHEN DISHWASHER RECEPTACLE. . . . UNDER SINK  
KITCHEN RANGE. . . . . 24". TO CL . .  
KITCHEN REFRIGERATOR. . . . . 48". TO CL  
WASHER/DRYER OUTLET. . . . . 48". TO CL

CL = CENTER LINE  
1 = FIELD VERIFY  
2 = MASTER BATH STANDARD 30" HIGH  
VANITY TO BE RAISED 4"



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1st FLOOR ELEC. PLAN – OPITONS

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
E1.11C

ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
110V OUTLET	⌀
220V OUTLET	⌀ 220
1/2 HOT OUTLET	⌀
GFI OUTLET	⌀ GFI
WP GFI OUTLET	⌀ WP/GFI
GARAGE DOOR OPENER OUTLET	⌀ GDO
SECURITY SYSTEM	⌀ SEC SYS
DISHWASHER	● DW
JUNCTION BOX	Ⓜ
CEILING MOUNTED LIGHT	⊙
CEILING FAN w/ LIGHT KIT	⊙ PROVIDE BRACING
RECESSED CEILING LIGHT	Ⓜ
RECESSED WATER PROOF LIGHT	Ⓜ WP
WALL MOUNTED LIGHT	⊙
WALL MOUNTED PUSH BUTTON	Ⓜ PB
TWO WAY SWITCH	Ⓜ
THREE WAY SWITCH	Ⓜ
FOUR WAY SWITCH	Ⓜ
DIMMER SWITCH	Ⓜ DIM
EXHAUST VENTS	● VENT TO EXT
LOW VOLTAGE PANEL	Ⓜ
PHONE OUTLET	● PH
TV OUTLET	● TV
DATA & RG6 COMBO BOX	Ⓜ
SMOKE DETECTOR	Ⓜ
CARBON MONOXIDE SMOKE DETECTOR COMBO	Ⓜ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	Ⓜ EP
SURFACE MOUNT LED	●
EXTERIOR WALL MOUNT UPLIGHT	Ⓜ
SOFFIT MOUNT FLOOD LIGHT	Ⓜ
UNDER COUNTER LIGHTING	Ⓜ UCL
SMURF TUBE	.....

ELECTRICAL NOTES:

1.

PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
2.

PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
3.

ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
4.

HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
5.

ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ELECTRICAL DEVICES:

ABOVE FINISHED FLOOR:

SWITCHES OVER COUNTER. . . . . 48" TO CL

WALL OUTLETS OVER COUNTER. . . . . 42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)

REMAINING SWITCHES. . . . . 48" TO CL

WALL OUTLETS. . . . . 12" TO CL . . .

BATH VANITY BRACKET OUTLET. . . . . 1,2

(1" ABOVE TOP OF VANITY)

WATER SOFTENER AND SUMP OUTLETS. . . . 48" TO CL

EXTERIOR GFI OUTLETS. . . . . 12" TO CL

GARAGE GFI (ABOVE GARAGE FLOOR). . . . 48" TO CL

FRONT DOOR COACH LIGHT. . . . . 80" TO CL

GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR). . . . . 84" TO CL

THERMOSTAT. . . . . 54" TO CL . . .

DOORBELL CHIMES. . . . . 84" TO CL

DOORBELL BUTTON. . . . . LEVEL W/ DR. HANDLE

KITCHEN HOOD FAN "WHIP". . . . . 66" TO CL

KITCHEN WALL HUNG MICROWAVE OUTLET . . . 72" TO CL

KITCHEN DISHWASHER RECEPTACLE. . . . . UNDER SINK

KITCHEN RANGE. . . . . 24" TO CL . . .

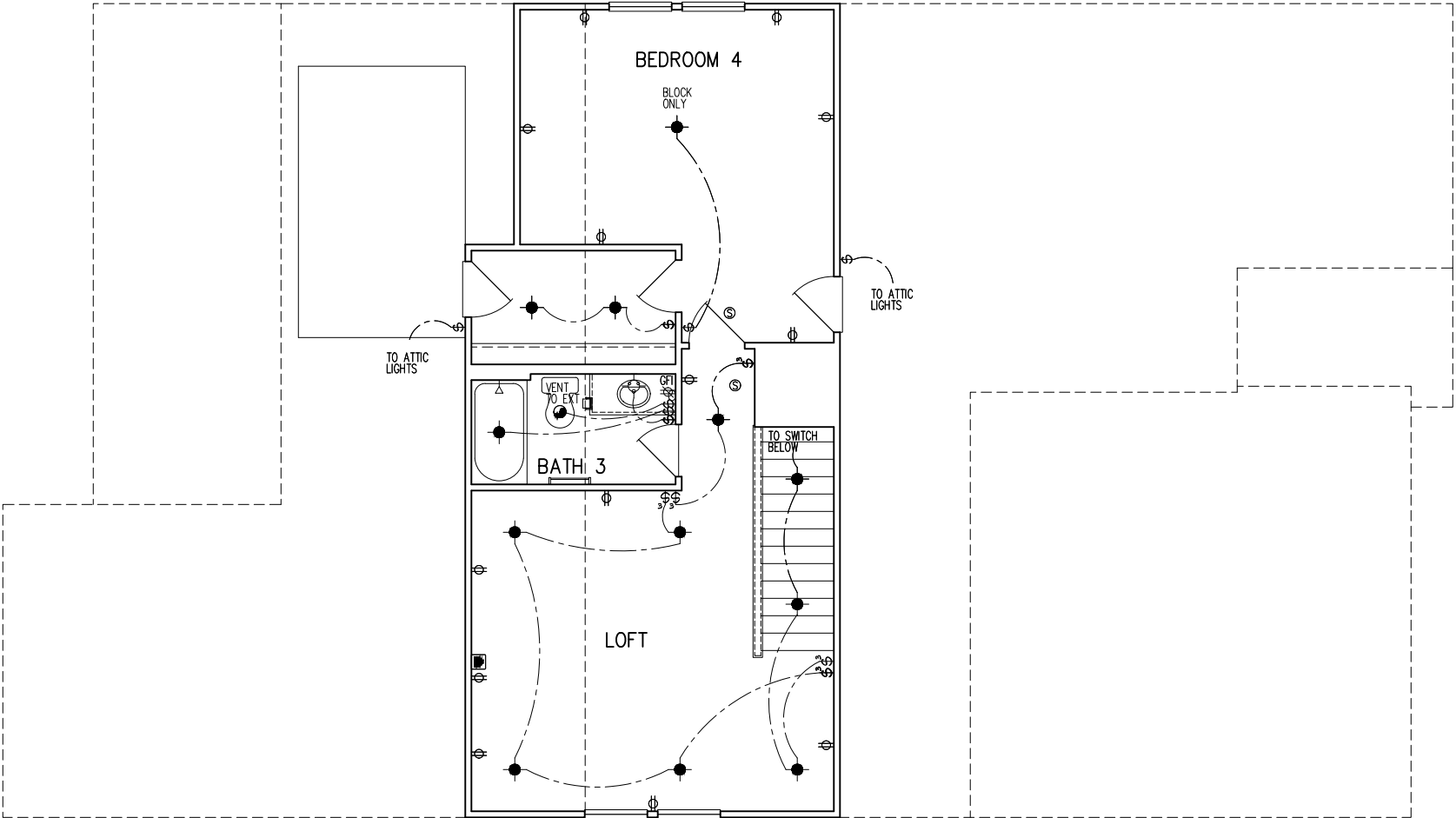
KITCHEN REFRIGERATOR. . . . . 48" TO CL

WASHER/DRYER OUTLET. . . . . 48" TO CL

CL = CENTER LINE

1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



SECOND FLOOR PLAN  
PARTIAL ELECTRICAL PLAN

1/8"=1'-0"

tri pointe  
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2ND FLR ELEC. PLAN – OPTION

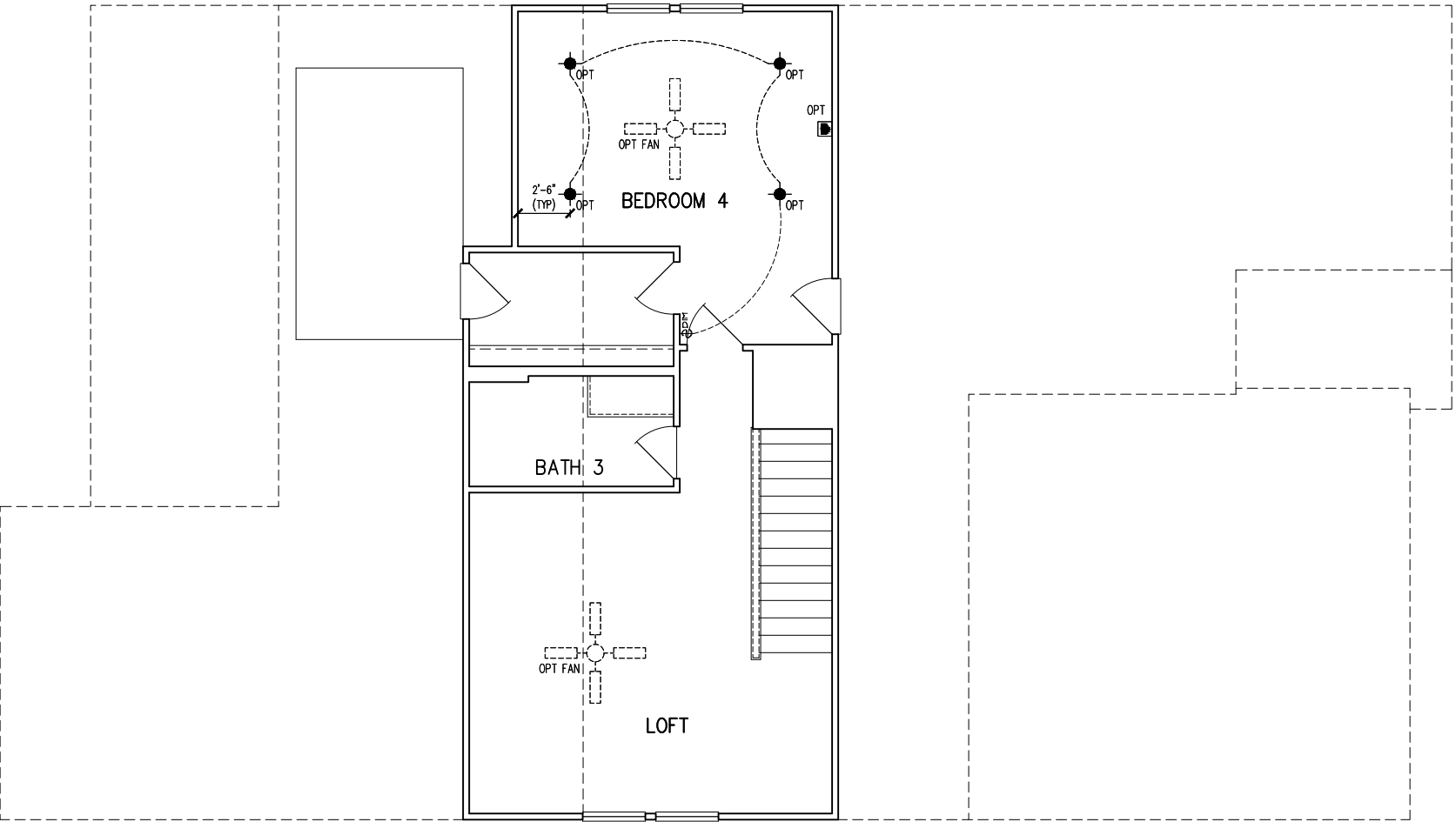
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ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
01.E30



**SECOND FLOOR PLAN  
PARTIAL ELECTRICAL PLAN**

1/8"=1'-0"

2ND FLOOR ELEC. PLAN – OPTION

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
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Drawn By: ACC

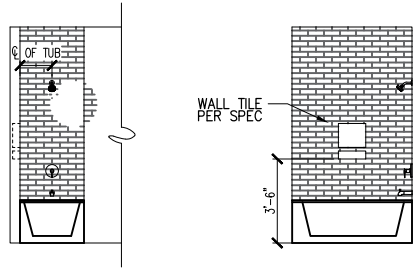
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5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
01.E21

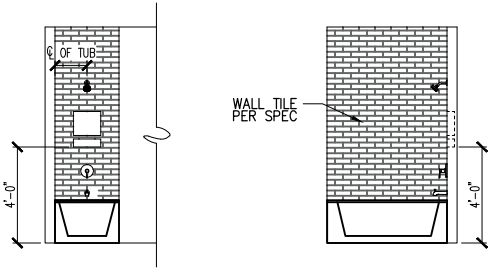
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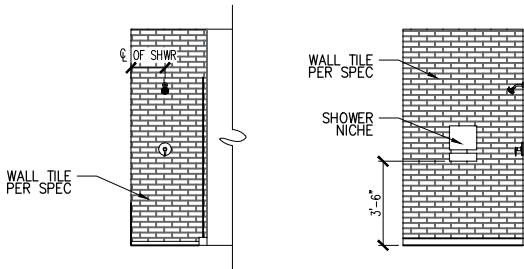
**TYPICAL SHOWER NICHE  
AT TUB SHOWER DETAIL**

3/16"=1'-0"



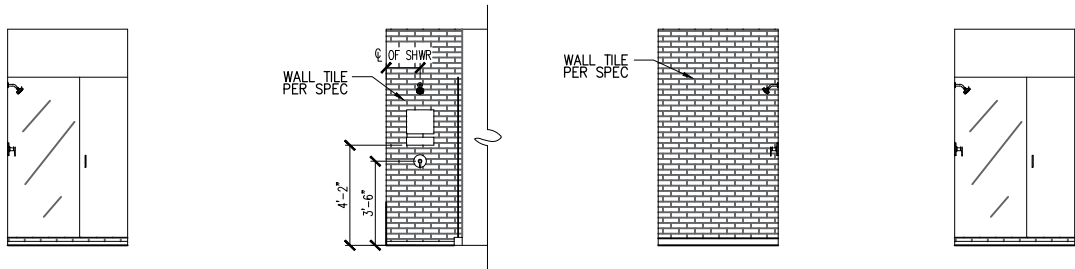
**TYPICAL SHOWER NICHE  
AT TUB SHOWER DETAIL**

3/16"=1'-0"



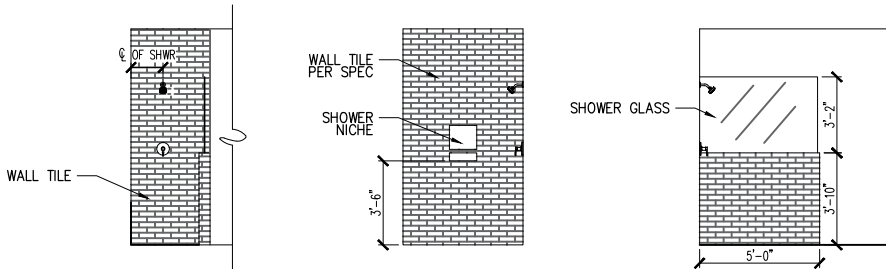
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3/16"=1'-0"



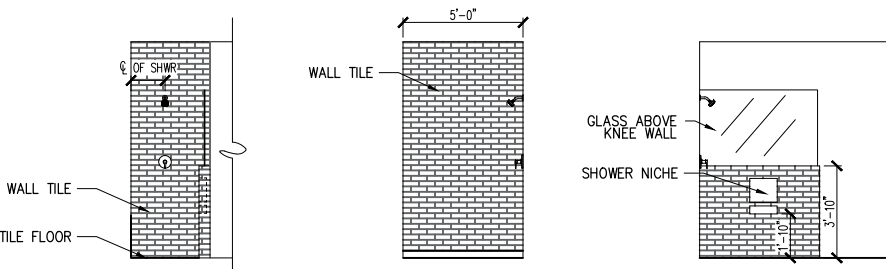
**TYPICAL SHOWER NICHE AT SHOWER DETAIL**

3/16"=1'-0"



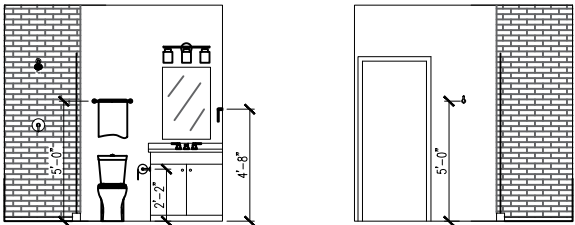
**TYPICAL SHOWER NICHE AT  
SHOWER W/ KNEE WALL DETAIL**

3/16"=1'-0"



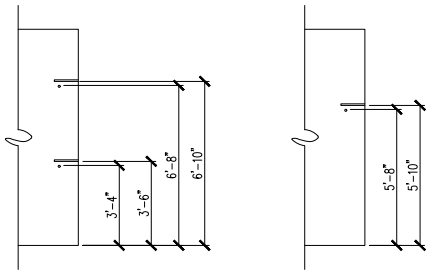
**TYPICAL SHOWER DETAIL W/  
SHOWER NICHE IN KNEE WALL**

3/16"=1'-0"



**TYPICAL HEIGHTS FOR  
BATH FIXTURES DETAIL**

3/16"=1'-0"



**TYPICAL CLOSET RODS  
& SHELVES DETAIL**

3/16"=1'-0"

DETAILS

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 280 STREAMSIDE TER  
LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
D1.0

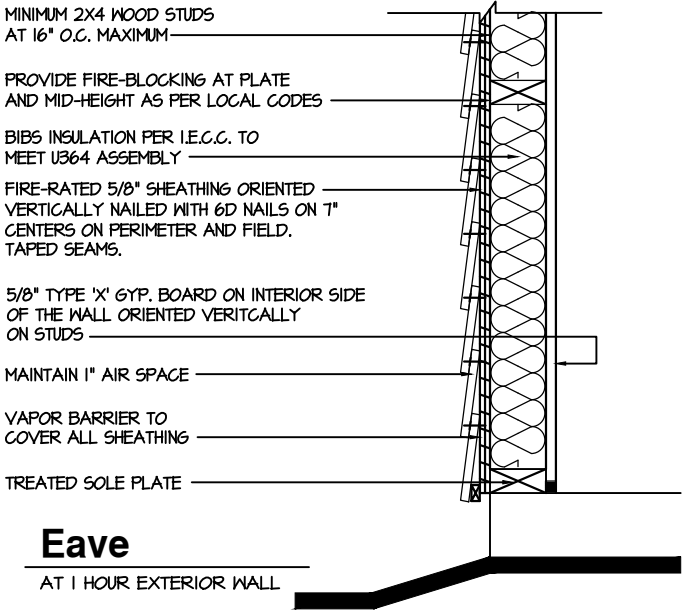
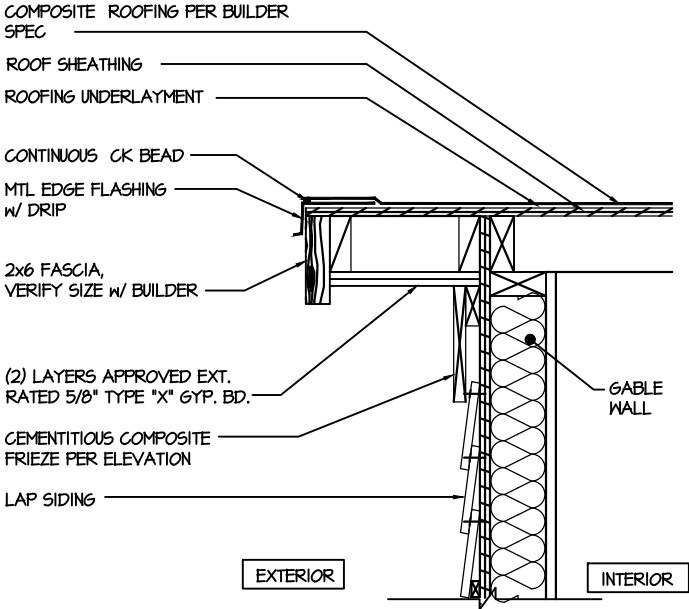
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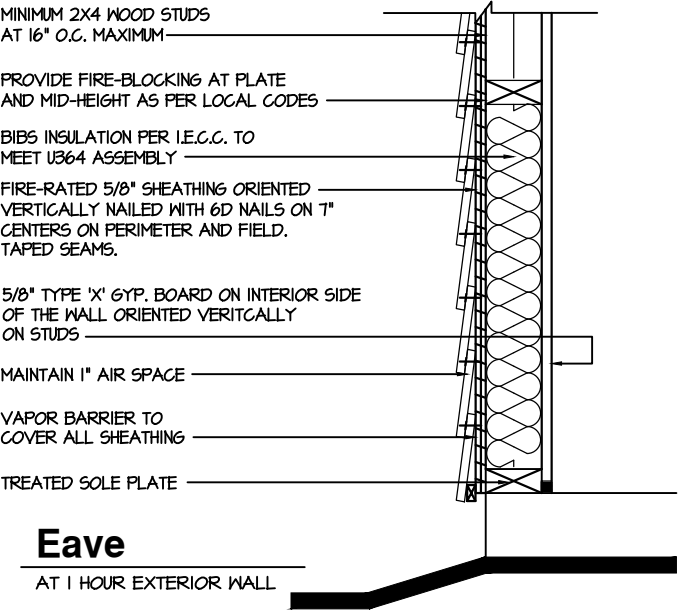
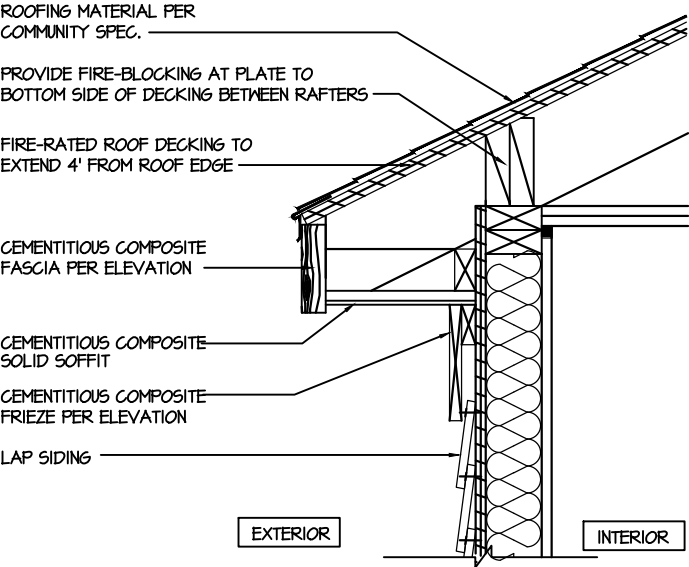


NOTE:  
1. FIREWALL COMPIES WITH UL DESIGN #U364 FOR 1 HR. FIREWALL ASSEMBLY  
GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.  
60 MIN. FIRE-RATED GLASS BLOCK ONLY



**2** 1 Hour Wall  
AT EXTERIOR WALL  
1 HOUR FIRE-RESISTIVE CONSTRUCTION  
(PROPERTY LINE)

NOTE:  
1. FIREWALL COMPIES WITH UL DESIGN #U364 FOR 1 HR. FIREWALL ASSEMBLY  
GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.  
60 MIN. FIRE-RATED GLASS BLOCK ONLY



**1** 1 Hour Wall  
AT EXTERIOR WALL  
1 HOUR FIRE-RESISTIVE CONSTRUCTION  
(PROPERTY LINE)

tri pointe  
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DETAILS

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LOT: 327

Issue Date: 09-30-24  
Drawn By: ACC

PLAN #:  
5920-05

PLAN NAME:  
LONGLEAF WAY

SHEET #:  
D1.1

GENERAL STRUCTURAL NOTES
<b>FLOOR FRAMING</b>
<ul style="list-style-type: none"><li>• I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MKK FOR EXCLUDED FLOOR DESIGNS)</li><li>• PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS").</li><li>• FLOOR SYSTEMS &amp; SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TCNA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).</li><li>• AT I-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.</li><li>• METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.</li><li>• I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. &amp; ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.</li><li>• FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND:<ul style="list-style-type: none"><li>- 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.</li><li>- 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD.</li><li>- 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. IN FIELD.</li></ul></li></ul>
<b>ROOF FRAMING</b>
<ul style="list-style-type: none"><li>• ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - W/ 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD. - W/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD. - W/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. FIELD.</li><li>• WITHIN 48" OF ALL ROOF EDGES, RIDGES, &amp; HIPs FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.</li><li>• FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES &amp; ROOF BEAMS - AT ALL BEARING POINTS.</li><li>• METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.</li><li>• ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH &amp; ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.</li><li>• ERECT AND INSTALL ROOF TRUSSES PER ITCA &amp; TP1'S BC51 I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING &amp; BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."</li><li>• SUPPORT SHORT SPAN ROOF TRUSSES W/2x4 LEDGER FASTENED TO FRAMING W/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 1" SPAN).</li></ul>

MKK STD. - MAR 2016

### CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE SOLE PL. TO JOIST/RIM OR BLK'G STUD TO PLATE	(3) TOENAILS NAILS @ 4" O.C. (4) TOENAILS/ (3) END NAILS	(3) TOENAILS* NAILS @ 4" O.C. (4) TOENAILS/ (4) END NAILS*
RIM TO TOP PLATE BLK'G, BTWN. JOISTS TO TOP PL.	TOENAILS @ 6" O.C. (3) TOENAILS EA. END	TOENAILS @ 4" O.C.* (3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" O.C.	NAILS @ 16" O.C.
DOUBLE TOP PLATE	NAILS @ 12" O.C.	NAILS @ 8" O.C.
DOUBLE TOP PLATE LAP SPLICE (24" MIN.)	(12) NAILS IN LAPPED AREA (3) NAILS	(15) NAILS IN LAPPED AREA (3) NAILS
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (1) SIMPSON H2.5T TOENAILS @ 8" O.C.	(4) TOENAILS + (1) SIMPSON H2.5T TOENAILS @ 6" O.C.
GAB. END TRUSS TO DBL. TOP PL. R.T. W/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. W/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. W/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN W/ NAILS @ 6" O.C.*
R.T. W/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL.*
WALL TO FOUNDATION	WALL SHTG., LAP W/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

\* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE \* ARE SHOWN)

GENERAL STRUCTURAL NOTES
<b>DESIGN LOADING</b>
<ul style="list-style-type: none"><li>• DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.</li><li>• WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.</li><li>• DESIGN LOADS:<ul style="list-style-type: none"><li>ROOF SNOW = 15 PSF (12 PSF GROUND SNOW, TRUSSES) LIVE = 20 PSF (REDUCIBLE BASED ON ROOF PITCH) DEAD = 1 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.25</li><li>FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (1-JOISTS), 15 PSF (FLOOR TRUSSES) ADDL 10 PSF @ CERAMIC TILE IN KITCHEN, SUNROOMS, BATHS, FOYER, LAUND. &amp; MUDRM'S</li><li>SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)</li><li>WIND 115 MPH, EXPOSURE B</li></ul></li></ul>

### GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SFF/SP #2 GRADE LUMBER, OR BETTER, U.N.O..
  - WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
  - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x STUD/ GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
  - HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
  - 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10<sup>6</sup> psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
  - 'LVL' - Fb=2400 psi; FcII=2500 psi; E=1.8x10<sup>6</sup> psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/2"x3/8" SIMPSON SDS SCREWS (OR 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 1" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4 CAP & ABW44 BASE, U.N.O.
- CORROSION NOTES:
  - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

Lot 327

GENERAL STRUCTURAL NOTES
<b>FOUNDATION</b>
<ul style="list-style-type: none"><li>• DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.</li><li>• FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.</li><li>• FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:<ul style="list-style-type: none"><li>• 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C." MIN. EMBEDMENT</li><li>• 1/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C.</li><li>• SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONCRETE)</li></ul></li><li>• ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.</li><li>• BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE &amp; FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER &amp; HARDWARE SUPPLIERS TO COORD.</li><li>• FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.</li><li>• CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:<ul style="list-style-type: none"><li>Fc = 3,000 psi: ..... FOOTINGS &amp; INTERIOR SLABS ON GRADE</li><li>3,500 psi: ..... GARAGE &amp; EXTERIOR SLABS ON GRADE</li><li>fy = 60,000 psi</li></ul></li><li>• ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 1% AIR ENTRAINMENT.</li><li>• ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.</li><li>• FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.</li><li>• PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.<ul style="list-style-type: none"><li>• JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)</li><li>• JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO</li><li>• CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS</li></ul></li><li>• DIMENSIONS BY OTHERS, BUILDER TO VERIFY.</li></ul>

MKK STD. - MAY 2002

MEANS & METHODS NOTES
<p>THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.</p> <p>STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.</p>

VENEER LINTEL SCHEDULE		
SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x1/4"
6'-0"	3 FT. MAX	L3"x3"x1/4"
	12 FT. MAX	L4"x3"x1/4"
8'-0"	20 FT. MAX	L5"x3 1/2"x3/8"
	12 FT. MAX	L4"x4"x1/4" **
9'-6"	12 FT. MAX	L5"x3 1/2"x3/8"
	16 FT. MAX	L6"x3 1/2"x3/8"
9'-6"	12 FT. MAX	L6"x3 1/2"x3/8"
16'-0"	2 FT. MAX	L7"x4"x1/2" **
16'-0"	3 FT. MAX	L8"x4"x1/2" **

ALL LINTELS:  
- SHALL SUPPORT 2 3/8" - 3 1/2" VENEER W/ 40 psf MAXIMUM HEIGHT.  
- 16" SHALL HAVE 4" MIN BEARING  
- 16" SHALL HAVE 8" MIN BEARING  
- 16" SHALL NOT BE FASTENED BACK TO HEADER  
- 16" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @ 48" O.C. W/ 1/2" DIA. x 3 1/2" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.  
- MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING.  
- ALL LINTELS SHALL BE LONG LESS VERTICAL  
- WHEN SUPPORTING VENEER < 3" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 1/2" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT FINISHING.  
- SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS.  
\*\* FOR GREEN VENEER USE 1 1/2"x1/2".  
\*\* FOR 3 1/2" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3 1/2" THICK.

MKK STD. - MAY 2016

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER
<p>ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN &amp; KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MKK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.</p> <p>TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:</p> <p>A. ROOF TRUSSES: 1/4" DEAD LOAD B. FLOOR TRUSSES, ATTIC TRUSSES, &amp; I-JOISTS: 1/8" DEAD LOAD</p> <p>ABSOLUTE DEAD LOAD DEFLECTION OF FLOOR TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)</p>

FLOOR JOIST NOTES
<ul style="list-style-type: none"><li>- ALL FLOOR JOISTS SHALL BE THE DEPTH SPECIFIED ON PLAN</li><li>- FLOOR JOISTS SERIES &amp; SPACING IS PER THE FLOOR JOIST MANUF.<ul style="list-style-type: none"><li>- SPACING SHALL NOT EXCEED 19.2" O.C. (MAX.)</li><li>- @ LOCATION OF TILE, SPACING SHALL NOT EXCEED 16" O.C. (MAX.)</li></ul></li></ul>

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS
<p>THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:</p> <p><b>115 MPH WIND IN 2018 NCSEBG:RC</b></p> <p>(115 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 &amp; SEISMIC CAT. A/B.</p> <p>THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) &amp; ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NCSEBG:RC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.</p> <p>DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSEBG:RC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED &amp; ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 &amp; R802.11.</p>

- EXT. WALL SHEATHING SPECIFICATION**
- 7/16" OSB OR 15/32" PLYWOOD:
    - FASTEN SHEATHING W/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
  - ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
  - ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
  - ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING
<ul style="list-style-type: none"><li>• AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.</li></ul>

TYP. UNIT SEPARATION WALL SHEATHING SPECIFICATION
<ul style="list-style-type: none"><li>• 1/2" OR 5/8" GYPSUM WALL BOARD:<ul style="list-style-type: none"><li>FASTEN GWB SHEATHING TO FRAMING W/ 1 5/8"x0.086" COOLER NAILS OR 1 1/4" DRYWALL SCREWS @ 1" O.C. TO PANEL EDGES &amp; PANEL FIELD (INCLUDING T&amp;B PLATES).</li></ul></li></ul>

NOTES
<ul style="list-style-type: none"><li>• SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.</li><li>• DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.</li><li>• ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.</li><li>• PRE-MANUFACTURED PANELIZED WALLS:<ul style="list-style-type: none"><li>FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)</li></ul></li></ul>
<p>--- INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES, AND/OR 3" O.C. EDGE NAILING</p> <p>▶ INDICATES HOLDOWN</p>

MKK STD. - MAR 2016

seal: 5/19/25

MULHERN & KULP  
STRUCTURAL ENGINEERING, INC.

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RESIDENTIAL STRUCTURAL ENGINEERING

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NC License # C-3625

Mulhern+Kulp project number:

243-24031

project mgr: SMK

drawn by: SMM

issue date: 08-16-24

REVISIONS:

date:	initial:
11-08-2024	SMM
UPDATED MODEL NAME, OPT. EXT. CONVD. PORCH, OPT. OFFICE	
05-08-2025	JPP
MSG, ARCH UPDATES	

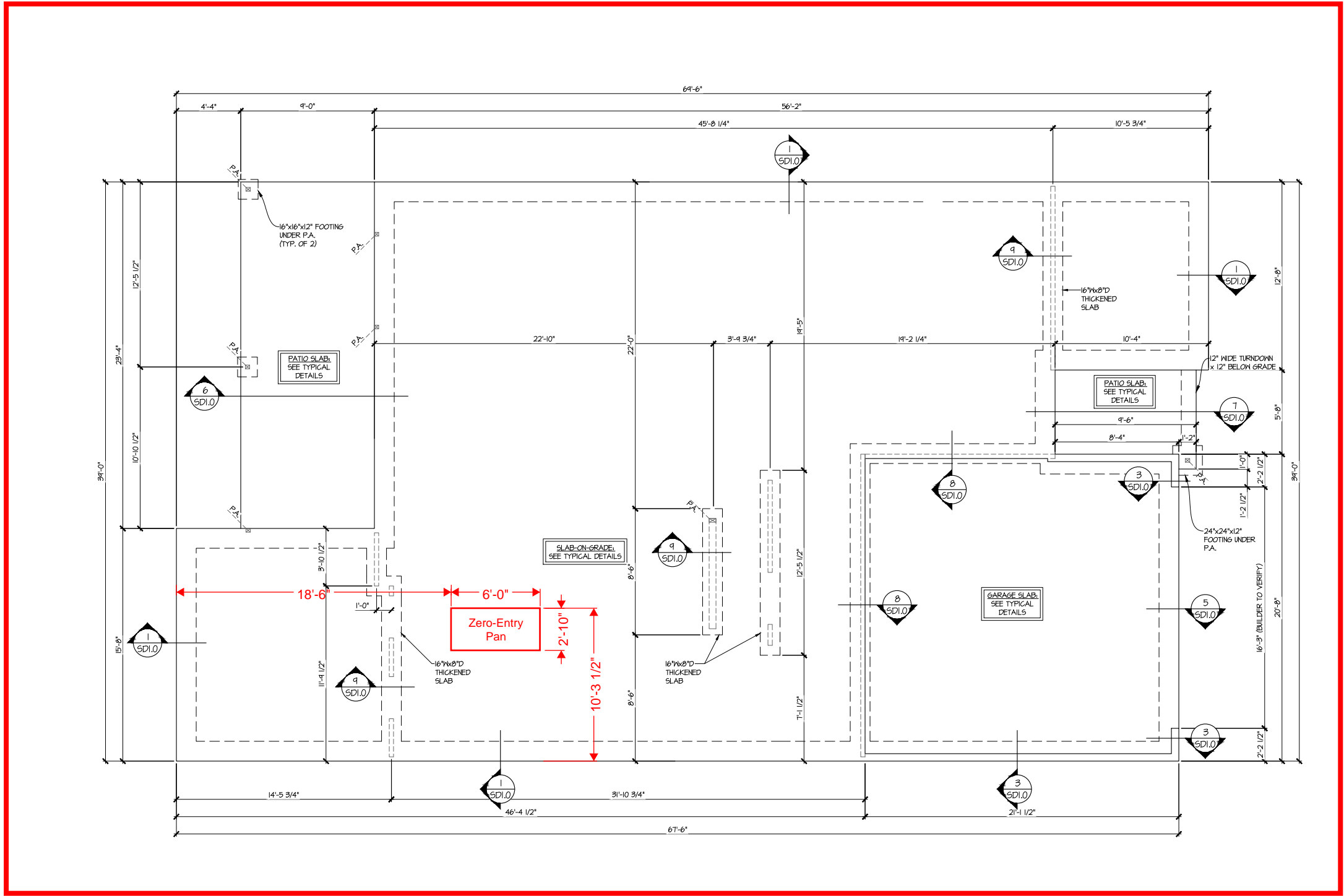
GENERAL NOTES

5920-05 MODEL

SERENITY  
MASTER SET  
RALEIGH, NC

sheet:

S0.0



**OPT. 2ND FLOOR  
SLAB FOUNDATION PLAN**  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A  
ELEV. B SIM.  
OPT. PRIMARY BATH SIM.  
OPT. BEDROOM 3 SIM.

- LEGEND**
- INTERIOR BEARING WALL
  - BEARING WALL ABOVE (B.W.A.)
  - BEAM / HEADER
  - INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
  - EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
  - EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
  - INDICATES HOLDOWN
  - METAL HANGER
  - INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.







REFER TO S0.0 FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES



REFER TO 50.0 FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES

## LEGEND

---

-  INTERIOR BEARING WALL
-  BEARING WALL ABOVE (B.W.A.)
-  BEAM / HEADER
-  INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
-  EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
-  EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- ▶ INDICATES HOLDDOWN
- ⌋ METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

## STRUCTURAL OPTIONS

5920-05 MODEL

SERENITY  
MASTER SET  
RALEIGH, NC


### S3.1 M

Mulhern+Kulp project number:  
243-24031

project mgr: SMK  
drawn by: SMM  
issue date: 08-16-24

REVISIONS:	
date:	initial:
11-08-2024	SMM
UPDATED MODEL NAME, OPT. EXT. COVD, PORCH, OPT. OFFICE	
05-08-2025	JPP
MISC. ARCH UPDATES	

tri pointe  
HOMES

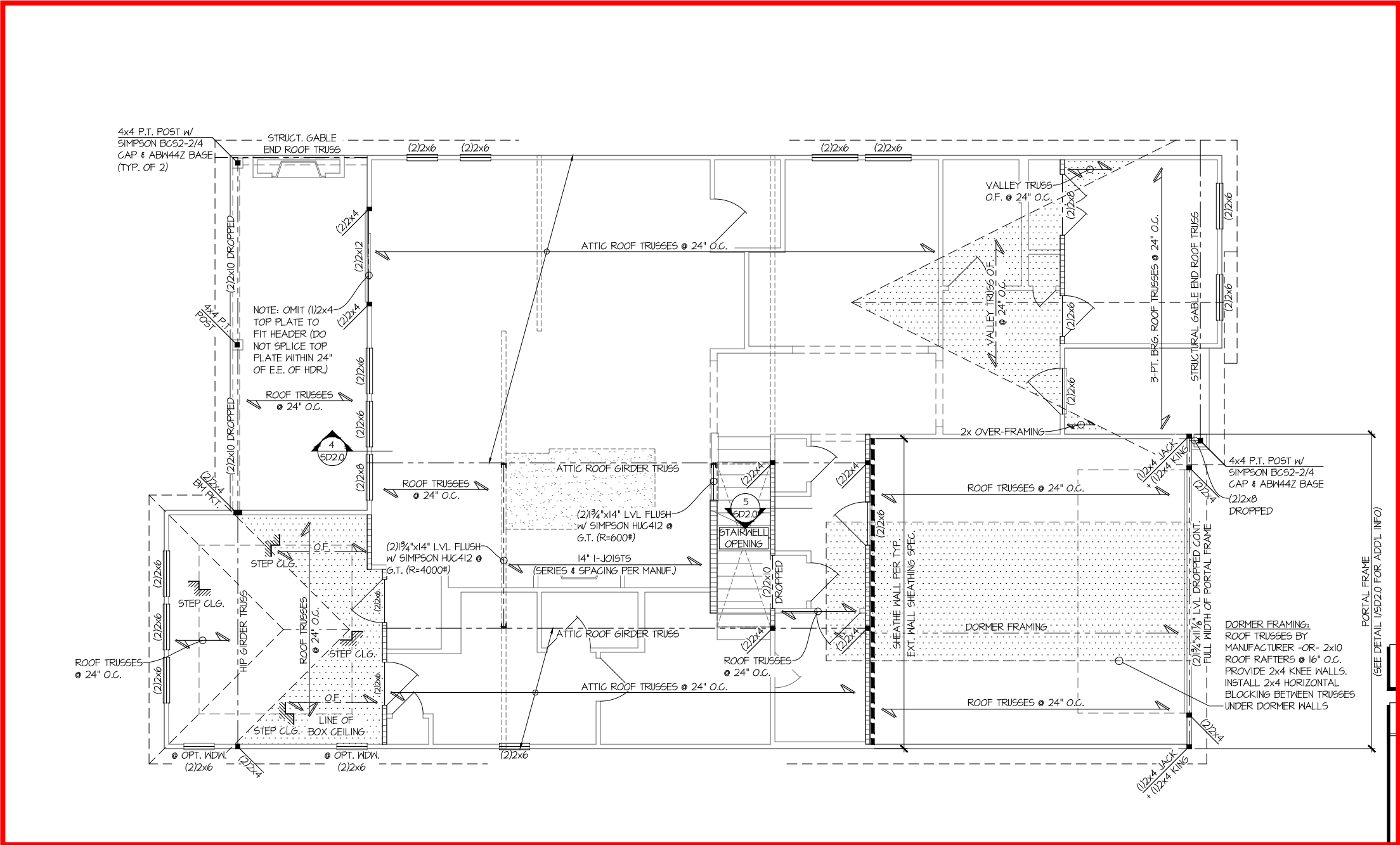
seal:  5/19/25

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NC License # C-3825





1  
OPT. 2ND FLOOR  
LOW ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A  
OPT. PRIMARY BATH SIM.  
OPT. BEDROOM 3 SIM.

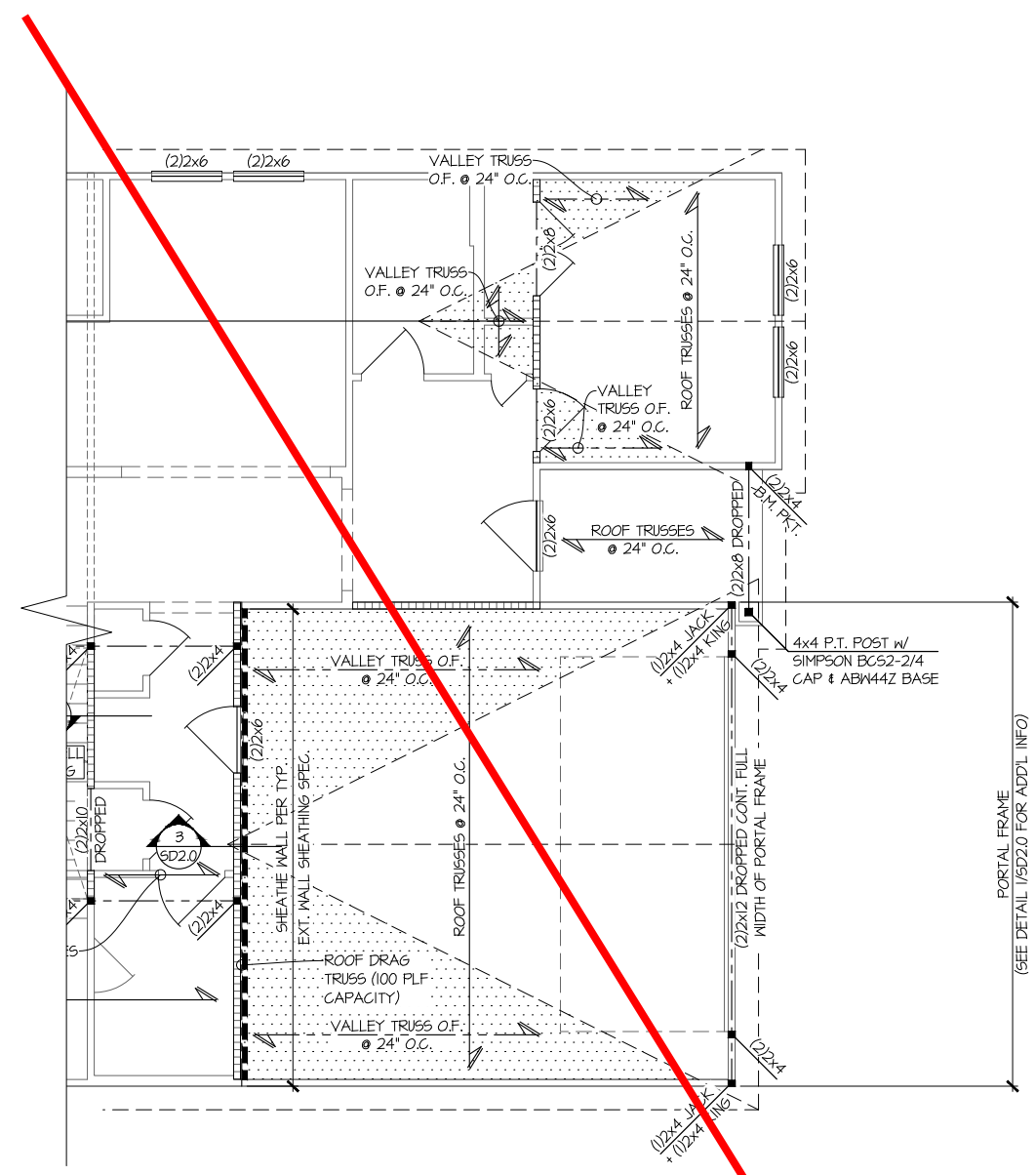
THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

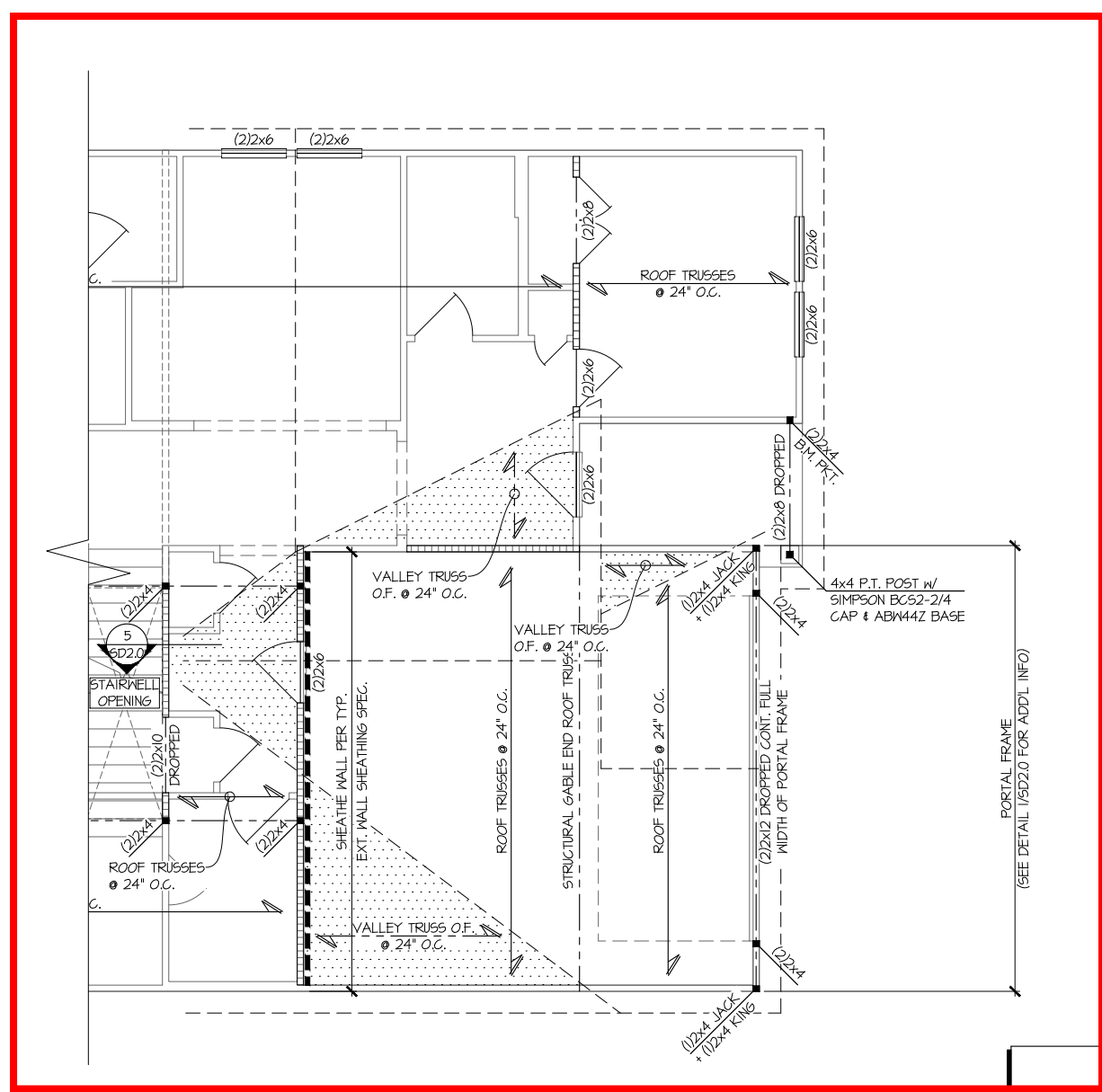
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- INDICATES HOLDDOWN
- METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO S.O. FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES





**1** OPT. 2ND FLOOR  
PARTIAL LOW ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. B  
OPT. BEDROOM 3 SIM.  
SEE ELEV. A FOR MORE INFO

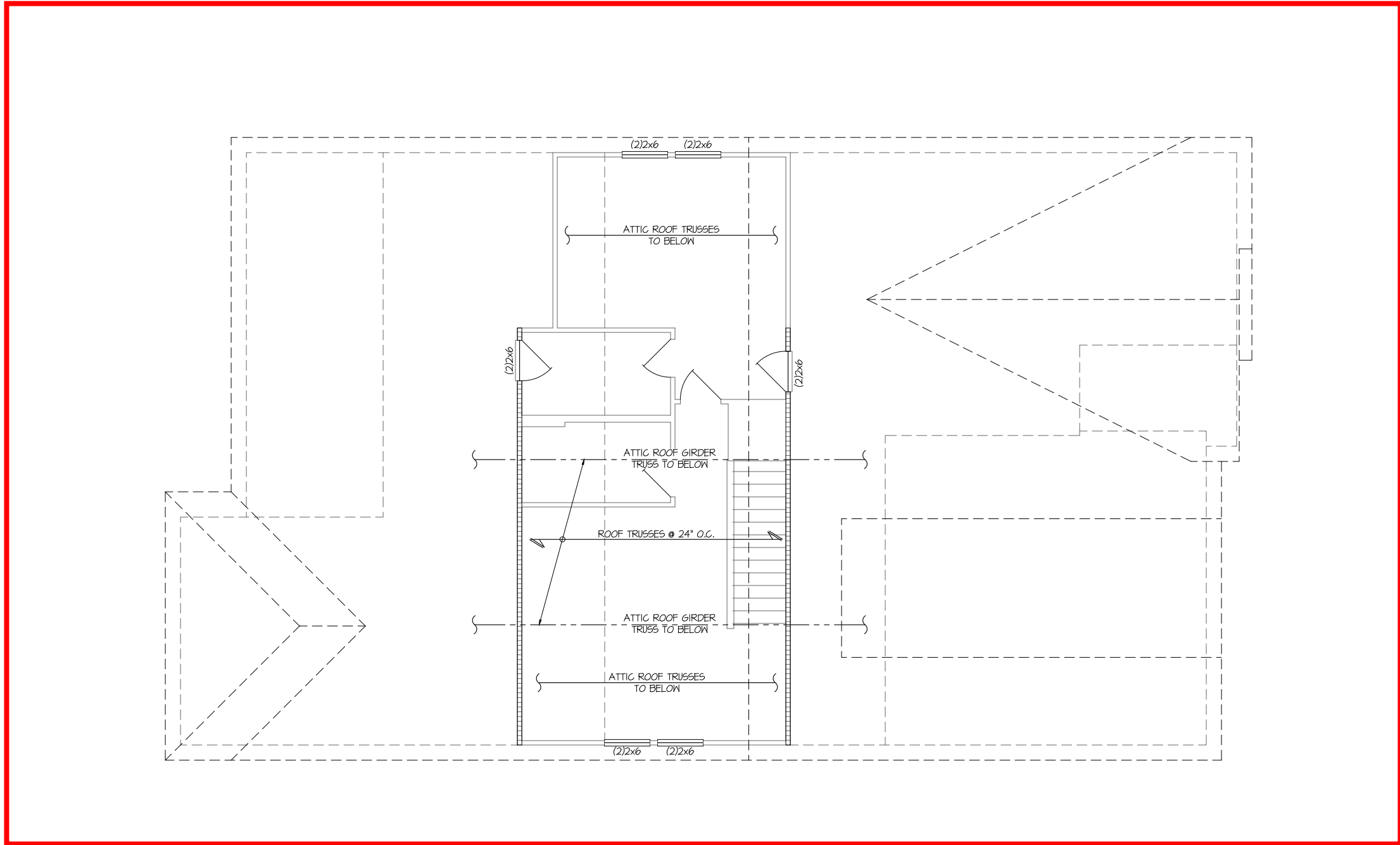


**2** OPT. 2ND FLOOR  
PARTIAL LOW ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. C  
OPT. BEDROOM 3 SIM.  
SEE ELEV. A FOR MORE INFO

THIS LEVEL HAS BEEN DESIGNED  
FOR 9'-1" PLATE HEIGHT

REFER TO 50.0 FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM / HEADER
	INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
	EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
	EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
	INDICATES HOLDOWN
	METAL HANGER
	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

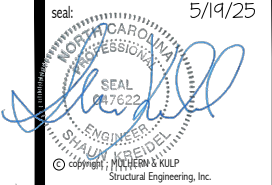


OPT. 2ND FLOOR  
HIGH ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A  
ALL ELEV. SIM.

THIS LEVEL HAS BEEN DESIGNED  
FOR 9'-1" PLATE HEIGHT

- LEGEND
- INTERIOR BEARING WALL
  - BEARING WALL ABOVE (B.W.A.)
  - BEAM / HEADER
  - INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
  - EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
  - EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
  - INDICATES HOLDOWN
  - METAL HANGER
  - INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO S.O. FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES



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Mulhern+Kulp project number:  
243-24031

project mgr: SMK  
drawn by: SMM  
issue date: 08-16-24

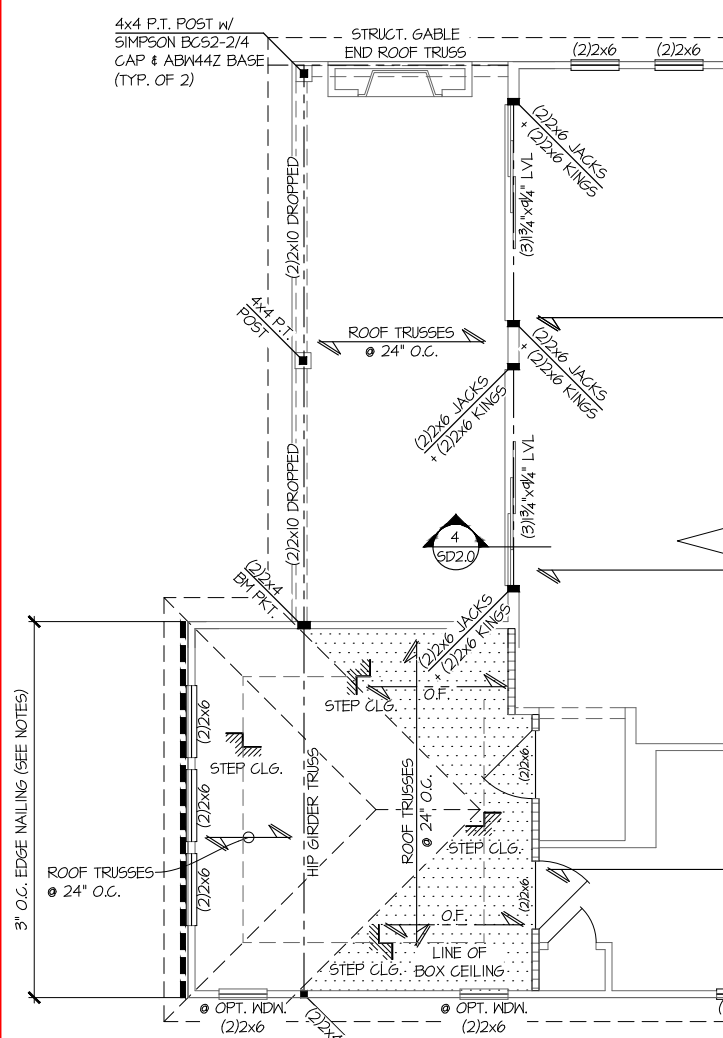
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date:	initial:
11-08-2024	SMM
UPDATED MODEL NAME, OPT. EXT. COVD. PORCH, OPT. OFFICE	
05-08-2025	JPP
MISC. ARCH UPDATES	

tri pointe  
HOMES

STRUCTURAL OPTIONS

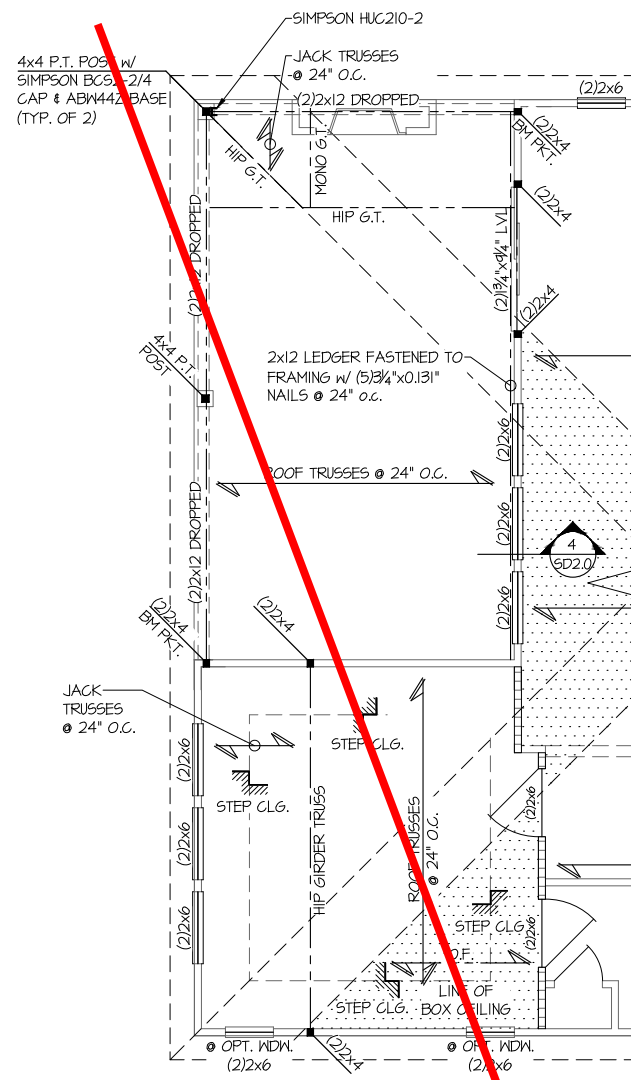
5920-05 MODEL  
SERENITY  
MASTER SET  
RALEIGH, NC

sheet:  
**S3.4M**



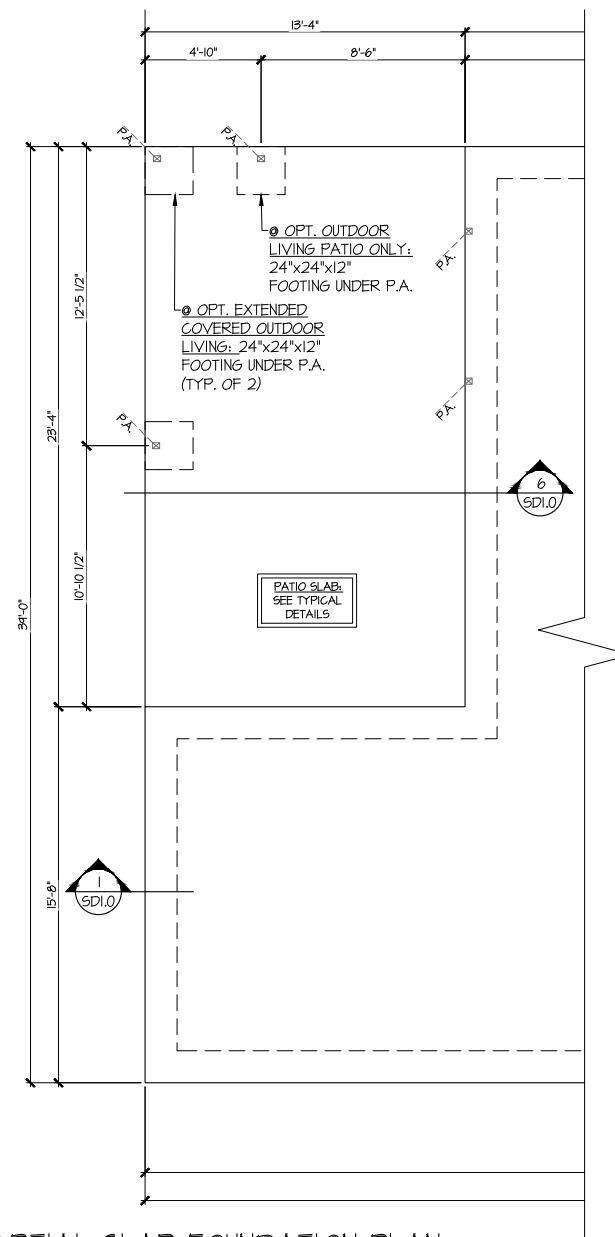
PARTIAL ROOF FRAMING PLAN  
OPT. 9080 MULTI SLIDE DOOR

SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A SHOWN  
ALL ELEV. SIM.



PARTIAL ROOF FRAMING PLAN  
OPT. EXT. COVERED PORCH

SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A  
ALL ELEV. SIM.  
OPT. SCREENED EXTENDED  
COVERED OUTDOOR LIVING RM.



PARTIAL SLAB FOUNDATION PLAN  
OPT. EXT. COV. LIVING/OUTDOOR  
LIVING PATIO

SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A  
ALL ELEV. SIM.

THIS LEVEL HAS BEEN DESIGNED  
FOR 9'-1" PLATE HEIGHT

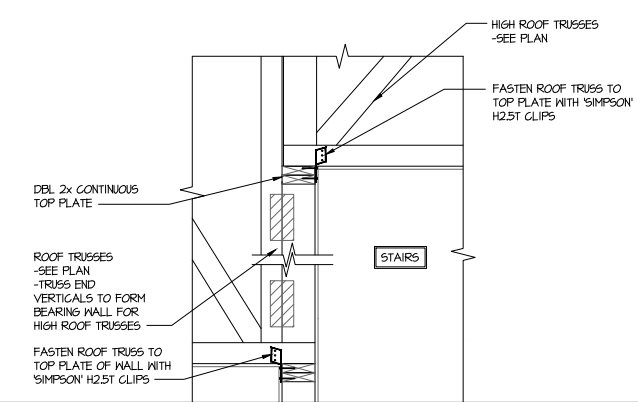
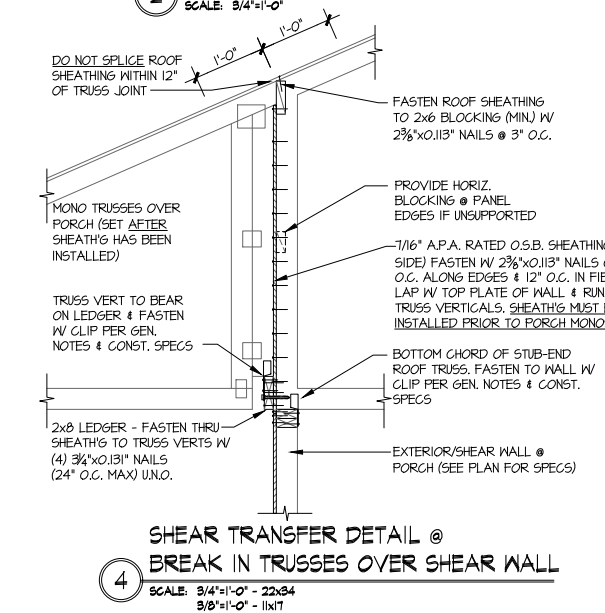
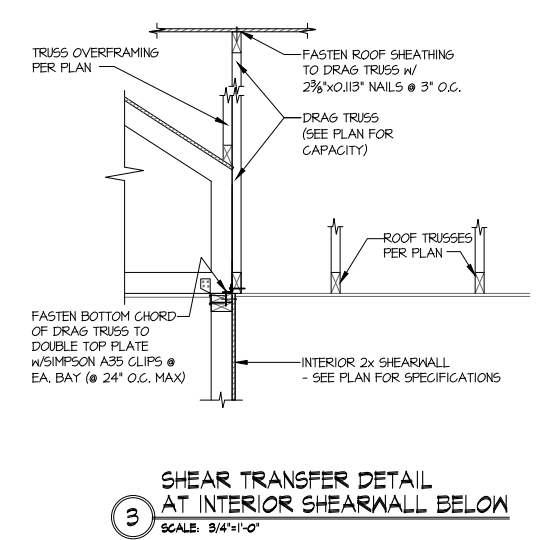
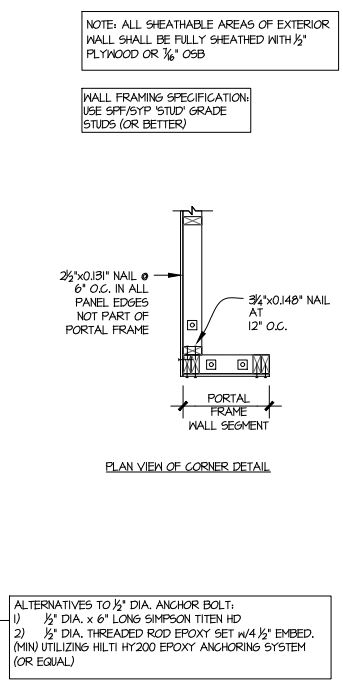
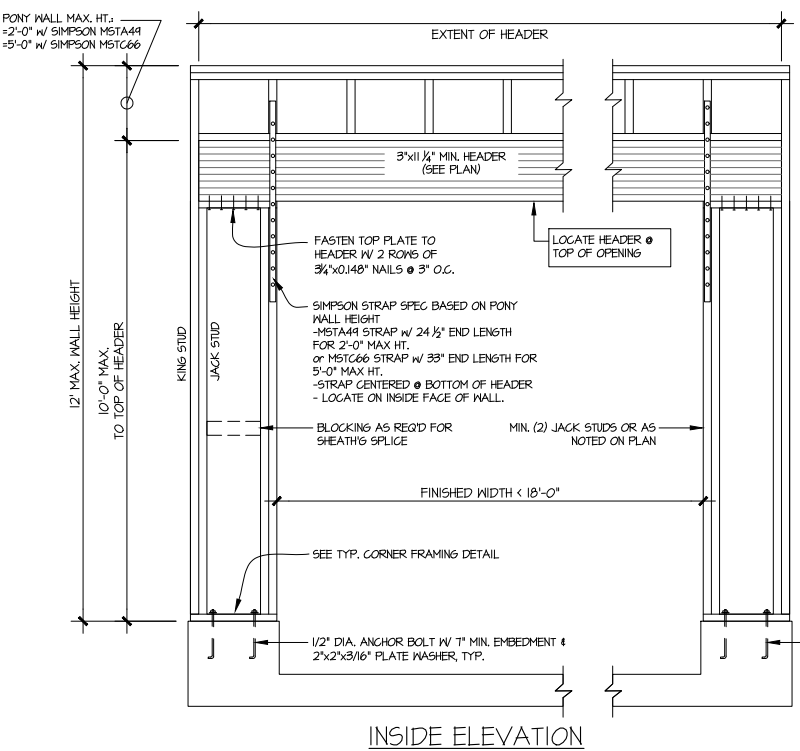
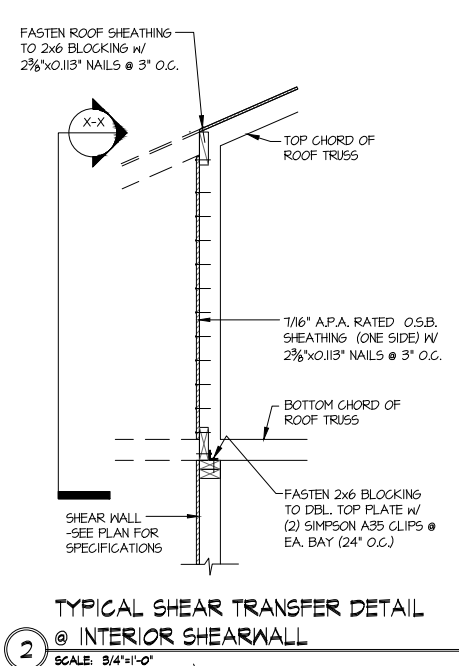
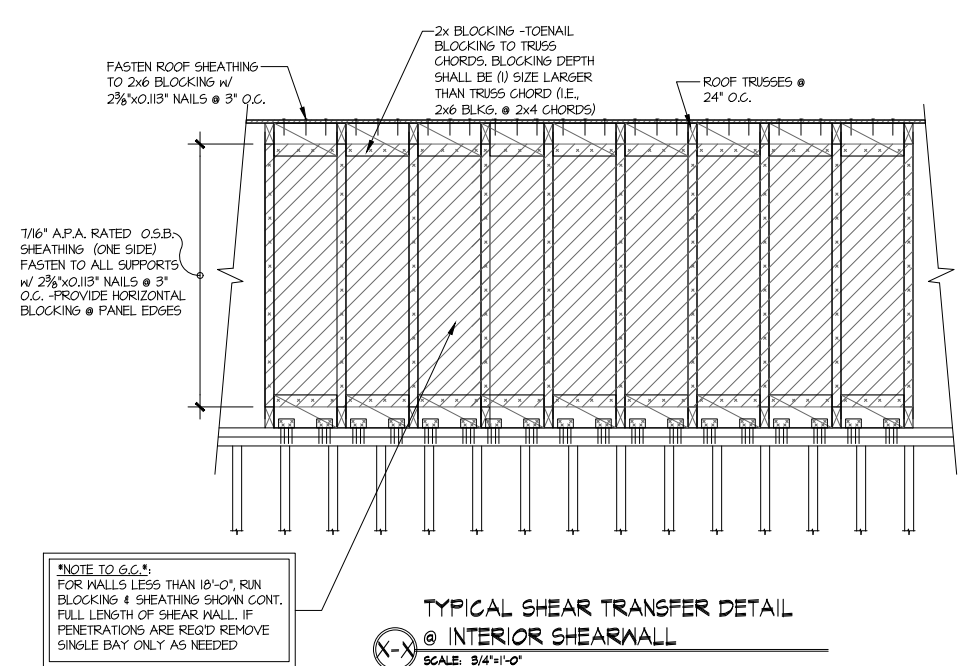
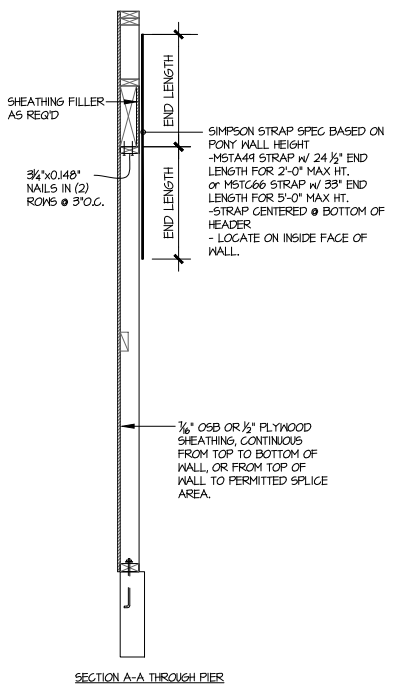
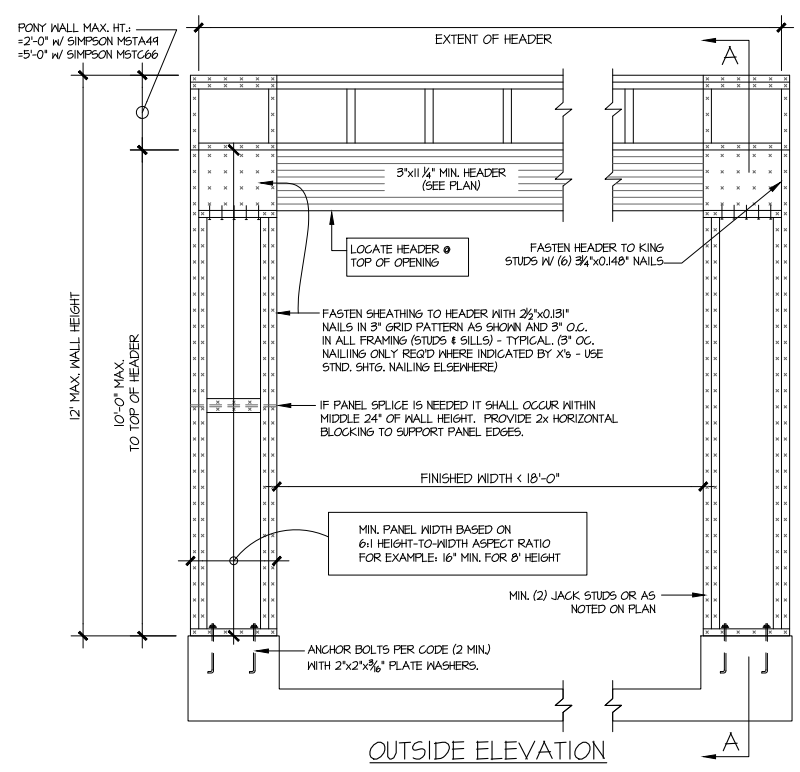
LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- INDICATES HOLDDOWN
- METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO S.O. FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES

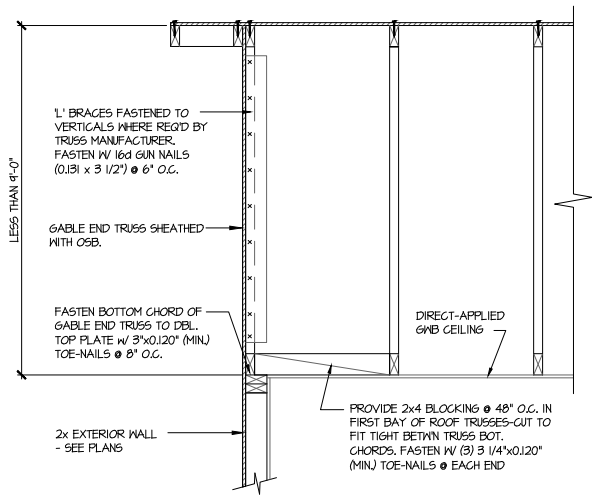
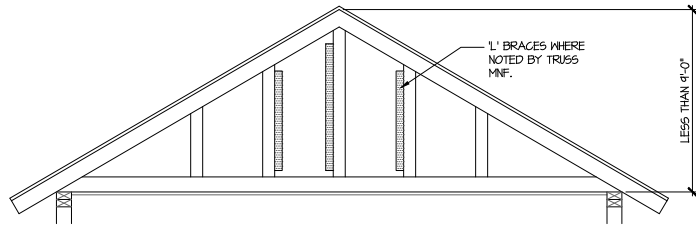






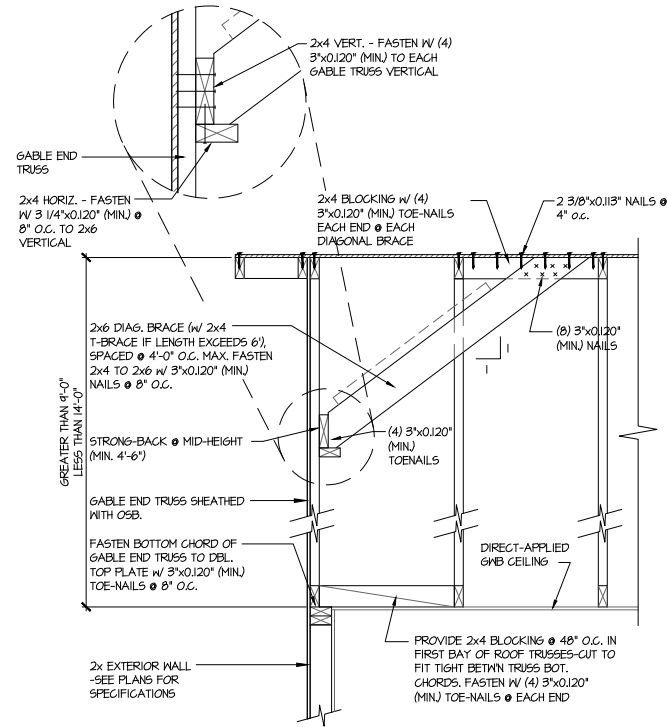
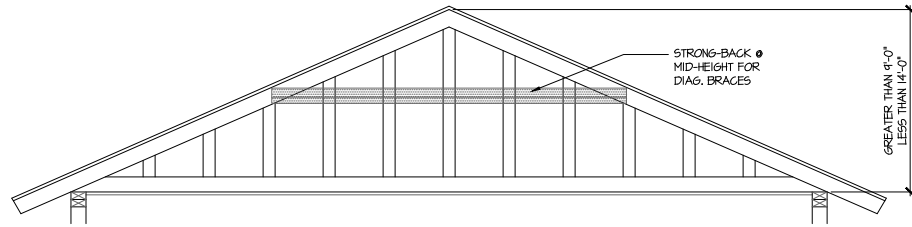
**GARAGE PORTAL FRAME BRACING ELEVATION**  
SCALE: N.T.S.  
BOTH SIDES OF GARAGE DOOR  
115 MPH WIND SPEED (ULT)





**A** TYPICAL GABLE END BRACING DETAIL  
SCALE: NONE  
REQ'D @ GABLE END TRUSS  
HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
SCALE: NONE  
REQ'D @ GABLE END TRUSS  
HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



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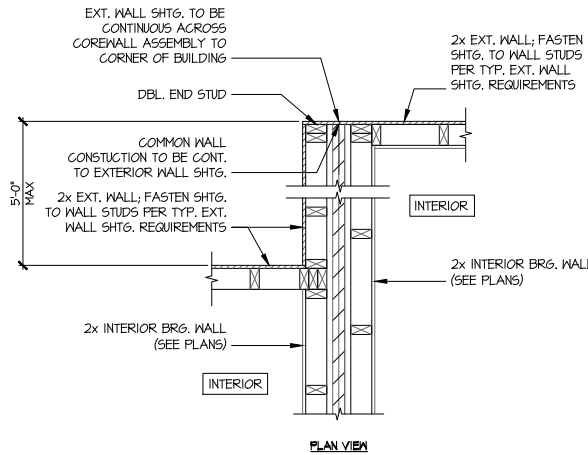
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date:	initial:
11-08-2024	SMM
UPDATED MODEL NAME, OPT. EXT. COVD. PORCH, OPT. OFFICE	
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MSG. ARCH UPDATES	



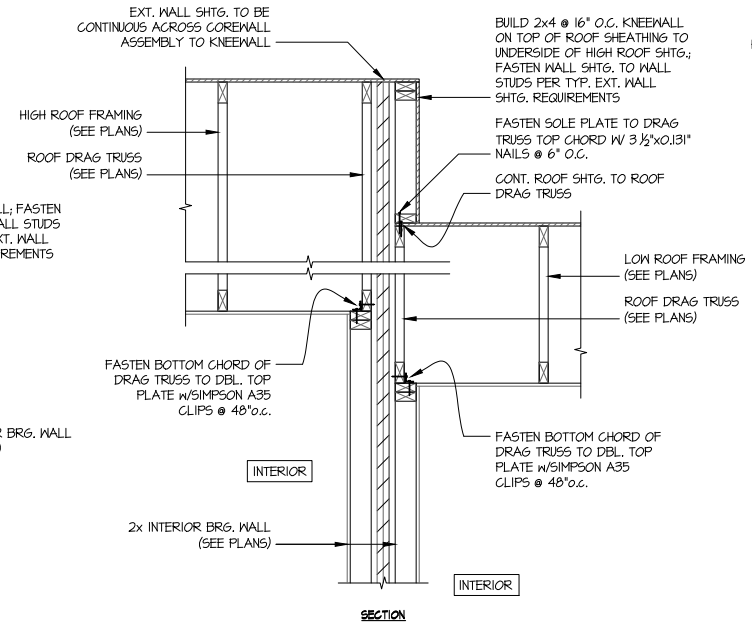
FRAMING DETAILS

**5920-05 MODEL**  
SERENITY  
MASTER SET  
RALEIGH, NC

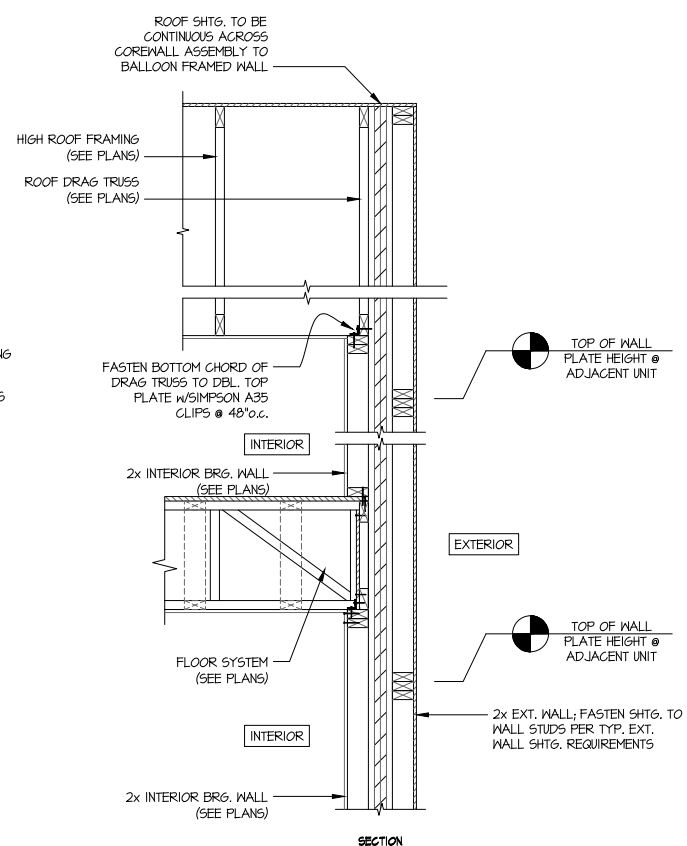
sheet:  
**SD2.1**



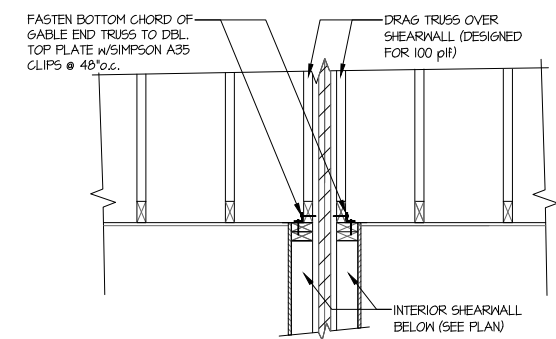
**TYP. SHEAR TRANSFER DETAIL  
BETWEEN UNITS @ PARTY WALL**  
SCALE: 3/4"=1'-0"



**TYP. SHEAR TRANSFER DETAIL  
BETWEEN UNITS @ ROOF PARTY WALL**  
SCALE: 3/4"=1'-0"



**TYP. SHEAR TRANSFER DETAIL  
BETWEEN UNITS @ EXT. PARTY WALL**  
SCALE: 3/4"=1'-0"



**SHEAR TRANSFER DETAIL @  
GABLE END PARTY WALL**  
SCALE: 3/4"=1'-0"

seal: 5/19/25  
  
 SEAL 017622  
 STUART KREIDEL  
 ENGINEER  
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Mulhern+Kulp project number:  
**243-24031**  
 project mgr: **SMK**  
 drawn by: **SMM**  
 issue date: **08-16-24**

REVISIONS:	
date:	initial:
11-08-2024	SMM
UPDATED MODEL NAME, OPT. EXT. COVD. PORCH, OPT. OFFICE	
05-08-2025	JPP
MSG. ARCH UPDATES	

**tri pointe**  
 HOMES

**PARTY WALL DETAILS**  
**5920-05 MODEL**  
 SERENITY  
 MASTER SET  
 RALEIGH, NC

sheet:  
**SD2.2**