LONGLEAF WAY **ABBREVIATIONS** A A PRESSURE TREATED WO HWD HARDWOOD (FL R&M RANGE W/MICROWAV LIV LIVING LTL LINTEL LVR LOUVER MAX MAXIMUM DRY DRYER MACHINE U.N.O. UNLESS NOTE OTHERWISE VB VANITY BASE F.F. FINISH FLOOR (LIN OBS OBSCURE (GL) WH WATER HEATER FP FIREPLACE OPT OPTIONAL WIC WALK-IN CLOSE FURRED(ING) PEDESTAL (SINK) W/W/O WITH or WITHOU SULIND EVII **GENERAL NOTES** 1 - GENERAL BUILDING & DESIGN REQUIREMENTS 15 - MECHANICALS 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TRI POINTE HOMES ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TRI POINTE HOMES IS STRICTLY WOOD BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY 2) TRI POINTE HOMES DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF TH INTERNATIONAL RESIDENTAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE TTENTION OF TRI POINTE HOMES BY CALLING (469)329-0470. ALL FLECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC).). THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY ABORATORIES, INC. INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY TRI POINTE HOMES 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE INSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES. PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS — DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FO VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS. GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS. 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE JUESS NOTED OTHERWISE) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, INISHED FLOOR UNLESS NOTED OTHERWISE ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY. DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS. APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC CTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY 2 - SITE CONSTRUCTION SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.) CONDUCTORS SHALL BE OF COPPER BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAM GENERAL FRAMING SPECS AND CONSTRUCTION THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS. NOTES STAIRS: 3 - CONCRETE) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 CHES IN ACCORDANCE WITH SECTION I.R.C. 1) SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE OVIDED ON AT LEAST. ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 - I.R.C HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED. ACCORDING TO IRC. 4 - MASONRY ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE SERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LÓWEST RISER OF ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS HE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS W/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS ANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER R703.7.6 - I.R.C. WALLS: ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. 5 - METALS L DIMENSIONS PRESENTED HERE ARE FRAME. DIMENSIONS ONLY. I SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF $rac{1}{2}^{n}$ GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT CARAGE CEILINGS WHERE HABITABLE ROOMS ARE PRESENT ABOVE. 6 - WOOD AND PLASTICS **FLOORS**: 7 - THERMAL & MOISTURE PROTECTION STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS ECIFIED IN IRC FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON) ATTIC VENTILATION SHALL BE PROVIDED AT 1/300 to 05 THE AREA OF THE SPACE VENTILATED. CROSS WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED VANILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.) ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.) PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE) PROVIDE ATTIC VENTILATION PER IRC-R806.1 FRAMING: ALL FRAMING DIMENSIONS TO FACE OF MEMBER. 8 - DOORS AND WINDOWS L BEARING HEADERS TO BE PER ENGINEERING PLANS.) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS FIRE STOPPING AND / OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8 TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - LR.C.

ROOF

AFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE

) REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO

HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION, CUT ENDS OF

FRONT DOOR WIDTH PER IRC-R311.3

) EMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - LR C 2018 - SLEEPING ROOMS

HALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT

IESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR

GARAGE DOOR PER IRC-R309.1

Under 9000 Square Feet

SQUARE FOOTAGE

Elevation "C"

(Slab S.F.)

(Outside of Frame S.F.)

(Inside of Frame S.F.)

OVERED OUTDOOR LIVING UTDOOR LIVING PATIO

BUILDING CODE COMPLIANCE

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED
MINIMUM CODE REQUIREMENTS OF 2018 I.R.C.

ELECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM
CODE REQUIREMENTS OF 2020 N.E.C.

TABLE OF CONTENTS SHEET NO. TYPE OF SHEET/LAYOUT "G0 01" COVER SHEET & GEN. NOTES "G0.11" REVISIONS & SYMBOLS BASE FOUNDATION PLAN - ELEVATION '(FIRST FLOOR PLAN - ELEVATION 'C "01 A 30" 2ND FLOOR PLAN "A2.01C" EXTERIOR ELEVATIONS - 'C "A2.02C" EXTERIOR ELEVATIONS - 'C' "A3.01C" ROOF PLAN - ELEVATION 'C "A4.01" INTERIOR DETAIL SHEET 1ST FLR. ELECTRICAL PLAN - ELEVATION 'C 1ST FLR. ELECTRICAL PLAN UPGRADE OPTIONS - ELEVATION 'C "01.E20" 2ND FLR. ELECTRICAL PLAN 2ND FLR. ELECTRICAL PLAN UPGRADE OPTION "D1 0" DETAILS "D1.1" DETAILS

Altis at Serenity Lot 327- 5920-05 (Longleaf Way) - Elevation C

*Tile Walls at Bath 2 Tub

*Optional Primary Bath 1 with Zero Entry Pan

*9080 Multi Slide Doors at Dining and Great Room

*Fire Rate Garage Side

*Fire Rated Non Garage Side

*Fire Rated Windows Optional Second Floor Garage Side

*Fire Rated Windows Optional Second Floor Non Garage Side

*Heatilator Novus 36" Gas Fireplace

*Gourmet Kitchen Layout w. Cooktop and Under Cabinet Hood

*Laundry Sink w. Base Cabinets and Upper Cabinets

Optional Outdoor Living Patio

*Optional Outdoor Fireplace with Tile Surround

*Optional Screened Covered Outdoor Living

Optional Finished Second Floor

Open Rail w. Curb Wall & Stained Stair Treads at 1st to 2nd Floor

Recirculating Tankless Water Heater **SYMBOLS** PLYWOOD ELEVATION KEY OR SECTION KEY TUB/SHOWER INSULATING SHEATHING CENTERI INF BATT INSULATION HOSE BIB (FREEZE PROOF) DBL SINK CONCRETE GAS LINE STUB TOWEL BAR SAND OR GRAVEL LAUNDRY SINK PAPER HOLDER TOWEL RING 2x FRAME PEDESTAL SINK SHOWER HEAD BRICK VENEER WATER CLOSET SHOWER CONTROLS STONE VENEER

tri pointe.

H O M E S

5440 WADE PARK BLVD, SUITE 400, RALEIGH, NC 22607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

ALTIS ® SERENITY

STREAMSIDE TER

SUBDIVISION: ADDRESS: 280

SHE

Issue Date: 09-30-24
Drawn By: ACC

PLAN #: 5920-05

LONGLEAF WAY

G0.01

REVISION INDEX			
REL. #	DESCRIPTION	DATE	DRAWN BY
5920-05	NEW PLAN	09/30/2024	ACC
	ADDED ATTIC PULL-DOWN, REVISED ROD/SHELF IN PRIMARY W.C., ADDED OPTIONS — SCREENED COVERED OUTDOOR LIVING, GOURMET KITCHEN KITCHEN, ZERO ENTRY SHOWER AT PRIMARY BATH, ADDED THIM SURROUNDING VENTS AT VARIOUS ELEVATIONS, REVISED BENCH DETAIL, ADDED OF LAUNDRY CABINETS, ADDED DISHWASHER ACCESSIBLE DISCONNECT SWITCH AND COUNTER-TOP AIR SWITCH FOR DISPOSAL NOTES	01/22/2025	ACC
	ADDED SHOWER NICHE NOTE, ADDED CURB TO SHOWERS, REVISED INT/EXT FIREPLACE DEPTHS, REVISED OPENING HEADER HEIGHTS THROUGHOUT, ERMSED REAR EXTERIOR DOOR TO 3', REVISED DROP ZONE AREA, ADDED DOOR HEIGHTS TO MAIN FLOOR NOTES, ADDED BATH ACCESSORY HEIGHTS TO MAIN FLOOR NOTES, ADDED ZERO ENTRY SHOWER DETAIL, REMOVED PRIMARY BATH 2 OPTION, ADDED UTDOOR LIVING PATIO OPTION, ADDED PARTIAL SHOWER NICHE DETAIL, REVISED ELECTRICAL, CHICAGO PITON AT GREAT ROOM AND PRIMARY BATH.	04/23/2025	ACC
	ADDED TYPICAL CLOSET ROD AND SHELF DETAILS, ADDED SHOWER NICHE DETAILS, REWSED PANTRY SHELVES TO 4, REMOVED KITCHEN ISLAND "TOP SIZE" NOTE, ADDED TOWEL HOOK IN PRIMARY BATH, ADDED GABLE WINDOW DIMENSIONS, REVISED TYPICAL BENCH DETAIL, ADDED VARIOUS ELECTRICAL NOTES, ADDED SWITCHES TO OPTIONAL ELECTRICAL SHEETS,	08/05/2025	ACC

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HOMES

HOMES

S440 WADE PARK BLVD, SUITE 400, RALEIGH, NC 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

SUBDIVISIONS & SYMBOLS
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 280 STREAMSIDE TER
LOT: 327

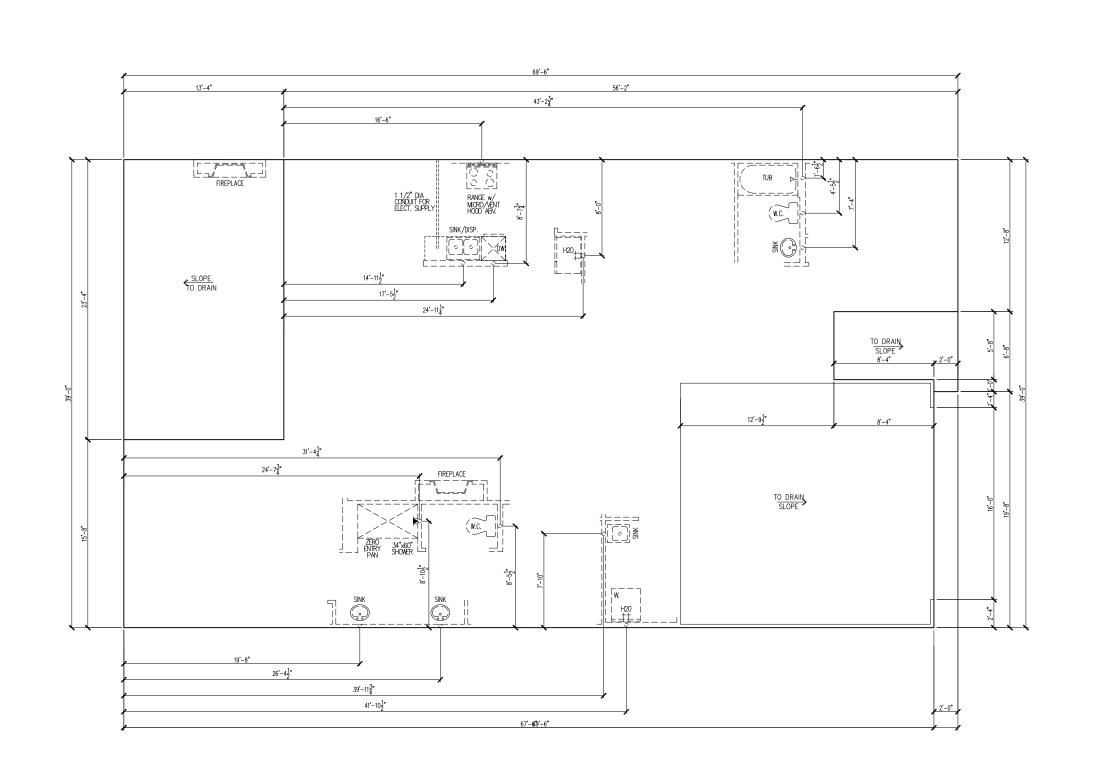
Issue Date: 09-30-24

Drawn By: ACC

PLAN #: 5920-05

PLAN NAME:
LONGLEAF WAY

G0.11



tri pointe HOMES 540 WAE PARK BLVD, SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

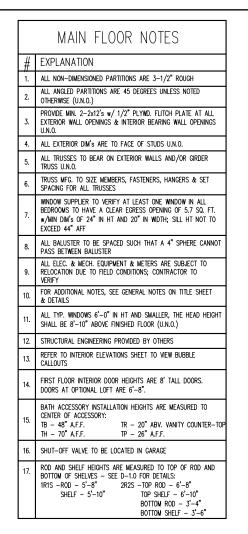
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 280 STREAMSIDE TER
LOT: 327 BASE FOUNDATION PLAN

Issue Date: 09-30-24 Drawn By: ACC

5920-05

PLAN NAME:
LONGLEAF WAY

S1.10C



Altis at Serenity Lot 327- 5920-05 (Longleaf Way) - Elevation C

*Tile Walls at Bath 2 Tub

*Optional Primary Bath 1 with Zero Entry Pan

*9080 Multi Slide Doors at Dining and Great Room

*Fire Rate Garage Side

*Fire Rated Non Garage Side

*Fire Rated Windows Optional Second Floor Garage Side

*Fire Rated Windows Optional Second Floor Non Garage Side

*Heatilator Novus 36" Gas Fireplace

*Gourmet Kitchen Layout w. Cooktop and Under Cabinet Hood

*Laundry Sink w. Base Cabinets and Upper Cabinets

*Optional Outdoor Living Patio

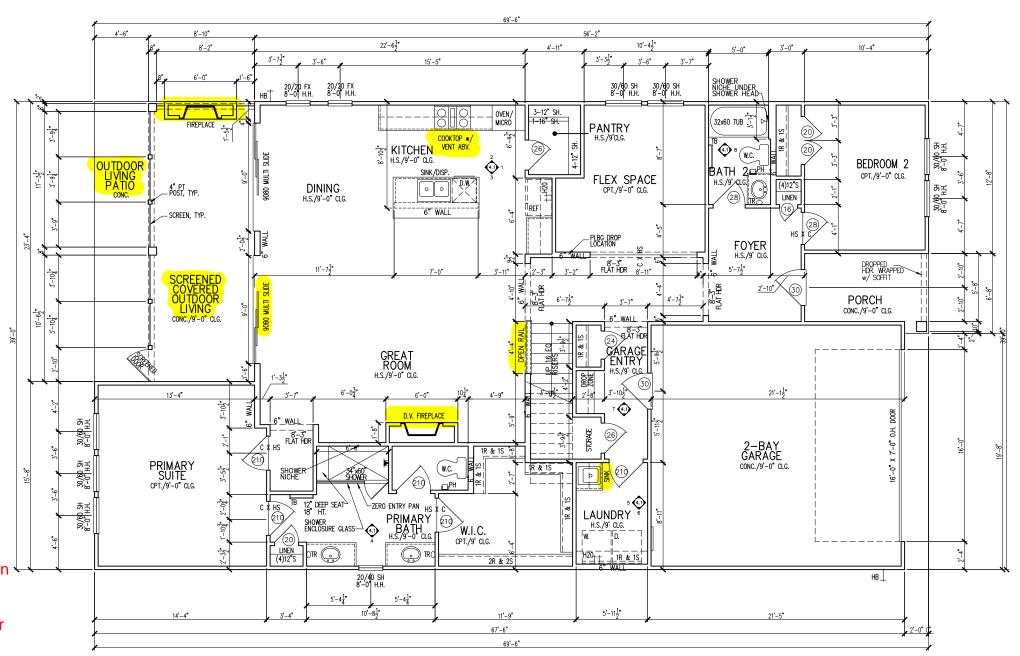
*Optional Outdoor Fireplace with Tile Surround

*Optional Screened Covered Outdoor Living

*Optional Finished Second Floor

*Open Rail w. Curb Wall & Stained Stair Treads at 1st to 2nd Floor

*Recirculating Tankless Water Heater



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SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 280 STREAMSIDE TER
LOT: 327

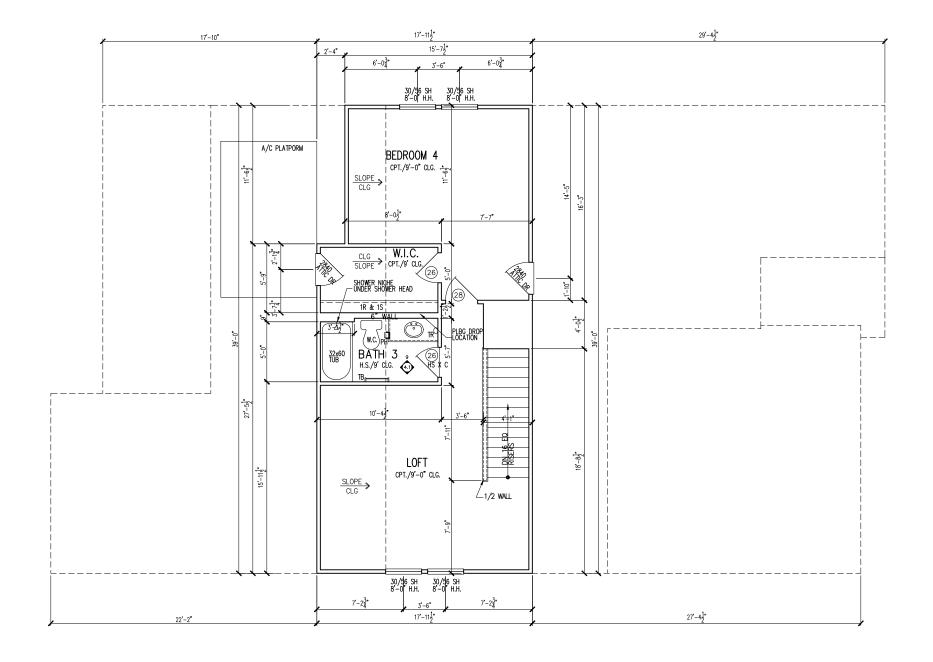
Issue Date: 09-30-24
Drawn By: ACC

(5920-05

LONGLEAF WAY

A1.10

MAIN FLOOR NOTES # EXPLANATION ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.) PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS 4. ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O. TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR ECRESS OPENING OF 5.7 SQ. FT. w/MIN DIM's OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTER ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET & DETAILS ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGHT SHALL BE 8'-10" ABOVE FINISHED FLOOR (U.N.O.) 12. STRUCTURAL ENGINEERING PROVIDED BY OTHERS REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE CALLOUTS FIRST FLOOR INTERIOR DOOR HEIGHTS ARE 8' TALL DOORS. DOORS AT OPTIONAL LOFT ARE 6'-8". BATH ACCESSORY INSTALLATION HEIGHTS ARE MEASURED TO CENTER OF ACCESSORY: TR - 20" ABV. VANITY COUNTER-TOP TB — 48" A.F.F. TH — 70" A.F.F. TP - 26" A.F.F. SHUT-OFF VALVE TO BE LOCATED IN GARAGE BOTTOM ROD - 3'-4" BOTTOM SHELF - 3'-6"



SECOND FLOOR PLAN PARTIAL FLOOR PLAN

1/8"=1"-0"

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ALTIS @ SERENITY
STREAMSIDE TER

OPTION

FLOOR PLAN

2ND

SUBDIVISION:
ADDRESS: 28
LOT: 327

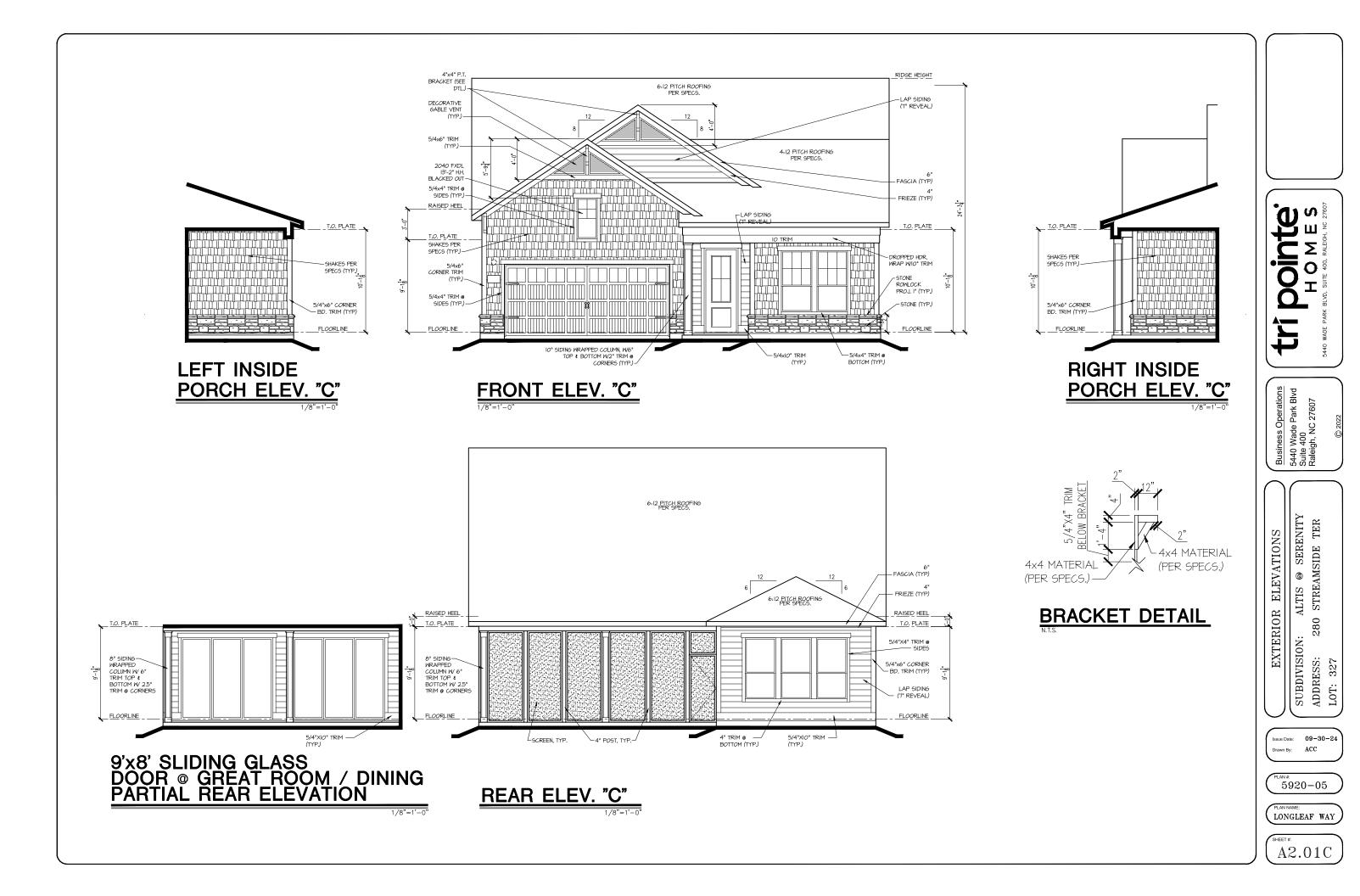
Issue Date: 09-30-24

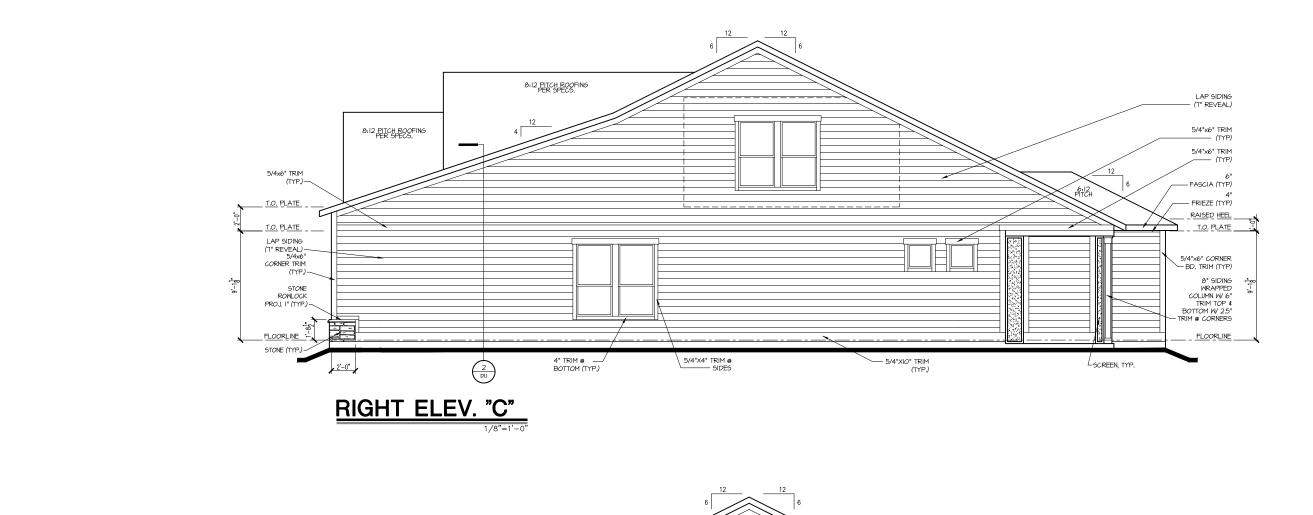
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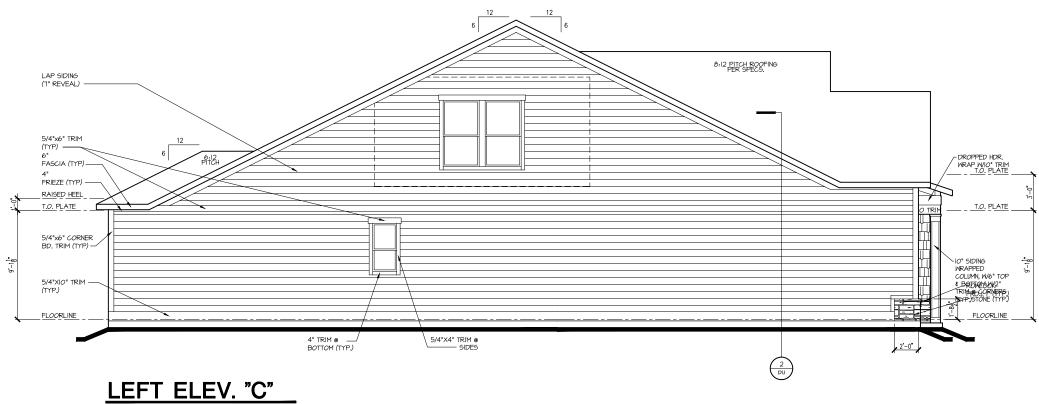
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LONGLEAF WAY

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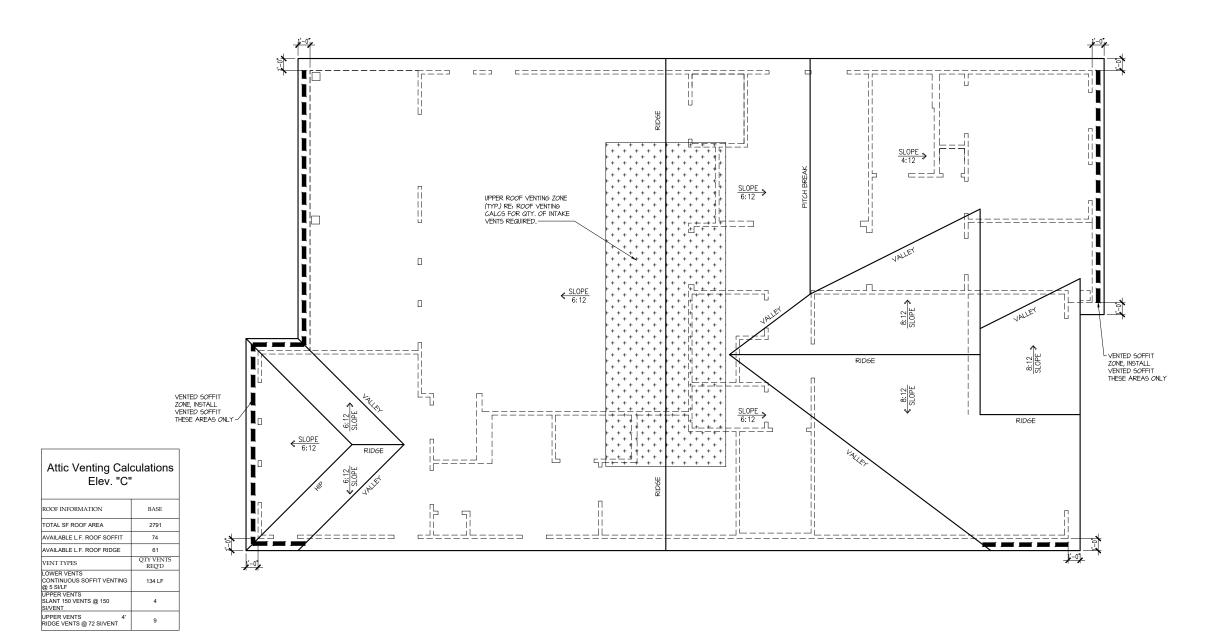
: ALTIS @ SERENITY 280 STREAMSIDE TER EXTERIOR ELEVATIONS SUBDIVISION:
ADDRESS: 28
LOT: 327

Issue Date: 09-30-24 Drawn By: ACC

5920-05

LONGLEAF WAY

A2.02C



NOTE:
QTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING
OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.

ROOF PLAN 'C'

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: ALTIS @ SERENITY 280 STREAMSIDE TER ROOF PLAN

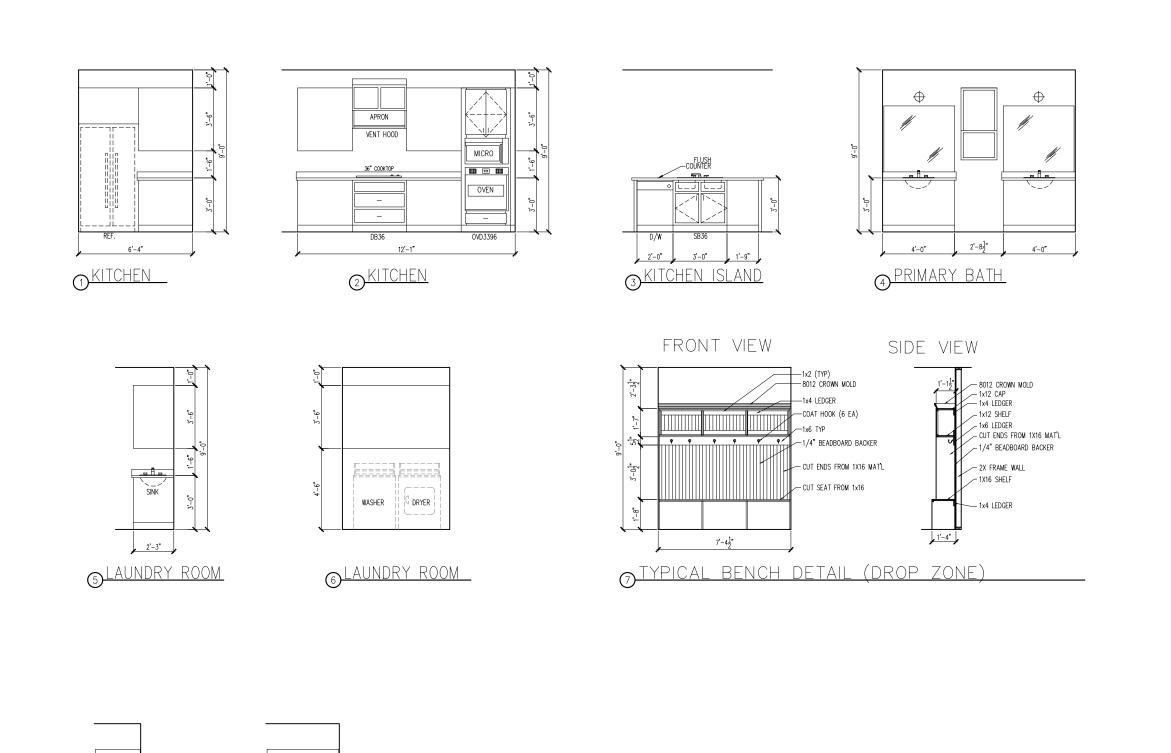
SUBDIVISION:
ADDRESS: 24
LOT: 327

Issue Date: 09-30-24 Drawn By: ACC

PLAN#: 5920-05

LONGLEAF WAY

A3.01C



⊚BATH 3

® BATH 2

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H O M E S

5440 WADE PARK BLVD, SUITE 400, RALEIGH, NC 27807 Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607 : ALTIS @ SERENITY 280 STREAMSIDE TER INTERIOR DETAIL SHEET SUBDIVISION:
ADDRESS: 28
LOT: 327 Drawn By: ACC 5920-05

Issue Date: 09-30-24

LONGLEAF WAY

A4.01

ELECTRICAL I SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	ф
220V OUTLET	\$ 220
1/2 HOT OUTLET	•
GFI OUTLET	∜ GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GD0
SECURITY SYSTEM	∯SEC SYS
DISHWASHER	⊕ DW
JUNCTION BOX	(I)
CEILING MOUNTED LIGHT	-
CEILING FAN w/ LIGHT KIT	PROVIDE
RECESSED CEILING LIGHT	Ø
RECESSED WATER PROOF LIGHT)⊠(WP
WALL MOUNTED LIGHT	9
WALL MOUNTED PUSH BUTTON	₫ PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	" \$
FOUR WAY SWITCH	\$
DIMMER SWITCH	\$ ^{DIM}
EXHAUST VENTS	O VENT TO EXT
LOW VOLTAGE PANEL	
PHONE OUTLET	⊕ PH
TV OUTLET	⊕ TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	(ý)
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP EP
SURFACE MOUNT LED	-
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	₩
UNDER COUNTER LIGHTING	-co- UCL
SMURF TUBE	

ELECTRICAL NOTES:

- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES PROVIDE AND INSTALL GROUND FAULT CIRCUIT—INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

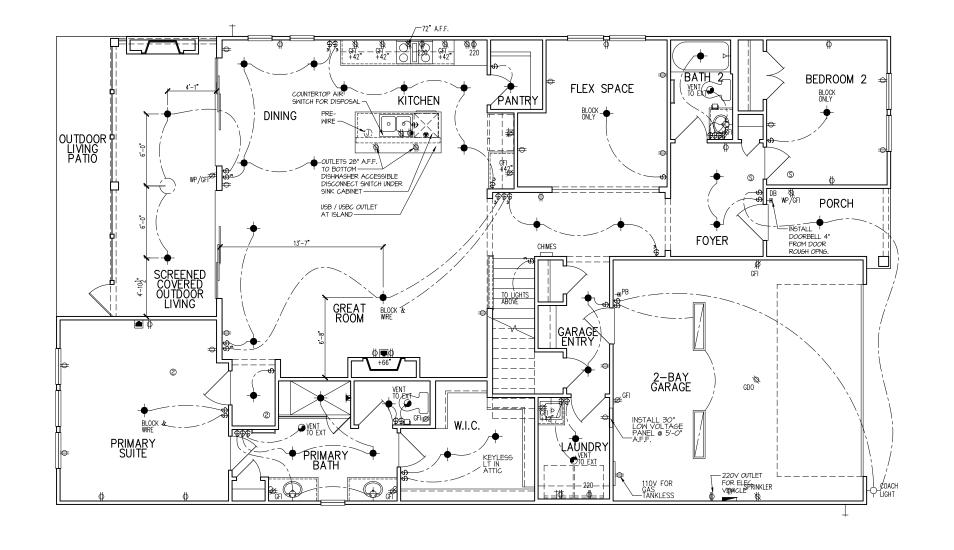
 5. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.

 1. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.

 ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DIJET TO FIELD CONJUSTICAL

WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:
SWITCHES OVER COUNTER
WALL OUTLETS OVER COUNTER
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)
REMAINING SWITCHES
WALL OUTLETS
BATH VANITY BRACKET OUTLET 1,2 (1" ABOVE TOP OF VANITY)
WATER SOFTENER AND SUMP OUTLETS 48" TO CL
EXTERIOR GFI OUTLETS
GARAGE GFI (ABOVE GARAGE FLOOR) 48" TO CL
FRONT DOOR COACH LIGHT
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR)
THERMOSTAT
DOORBELL CHIMES
DOORBELL BUTTON DR. HANDLE
KITCHEN HOOD FAN "WHIP"
KITCHEN WALL HUNG MICROWAVE OUTLET 72" TO CL
KITCHEN DISHWASHER RECEPTACLE JNDER SINK
KITCHEN RANGE
KITCHEN REFRIGERATOR
WASHER/DRYER OUTLET

CL = CENTER LINE 1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



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ELECTRICAL PLAN ALTIS @ SERENITY STREAMSIDE TER 1st FLOOR

SUBDIVISION:
ADDRESS: 28
LOT: 327

Issue Date: 09-30-24 ACC

5920-05

LONGLEAF WAY

E1.10C

ELECTRICAL FIXTURE SCHEDULE		
DESCRIPTION	SYMBOL	
110V OUTLET	Ф	
220V OUTLET	Q 220	
1/2 HOT OUTLET	•	
GFI OUTLET	₩ GFI	
WP GFI OUTLET	₩P/GFI	
GARAGE DOOR OPENER OUTLET	Ø GDO	
SECURITY SYSTEM	∯ SEC SYS	
DISHWASHER	⊗ DW	
JUNCTION BOX	Ũ	
CEILING MOUNTED LIGHT	ϕ	
CEILING FAN w/ LIGHT KIT	BROVIDE	
RECESSED CEILING LIGHT	Ø	
RECESSED WATER PROOF LIGHT	™ Mb	
WALL MOUNTED LIGHT	9	
WALL MOUNTED PUSH BUTTON	a PB	
TWO WAY SWITCH	\$	
THREE WAY SWITCH	*\$	
FOUR WAY SWITCH	* \$	
DIMMER SWITCH	\$ ^{DIM}	
EXHAUST VENTS	SVENT TO EXT	
LOW VOLTAGE PANEL		
PHONE OUTLET	●PH	
TV OUTLET	⊚ TV	
DATA & RG6 COMBO BOX		
SMOKE DETECTOR	<u>\$</u>	
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD	
DOOR CHIMES	CHIMES	
ELECTRICAL PANEL	EP EP	
SURFACE MOUNT LED	•	
EXTERIOR WALL MOUNT UPLIGHT	8	
SOFFIT MOUNT FLOOD LIGHT	448	
UNDER COUNTER LIGHTING	esse- UCL	
SMURF TUBE		

ELECTRICAL NOTES:

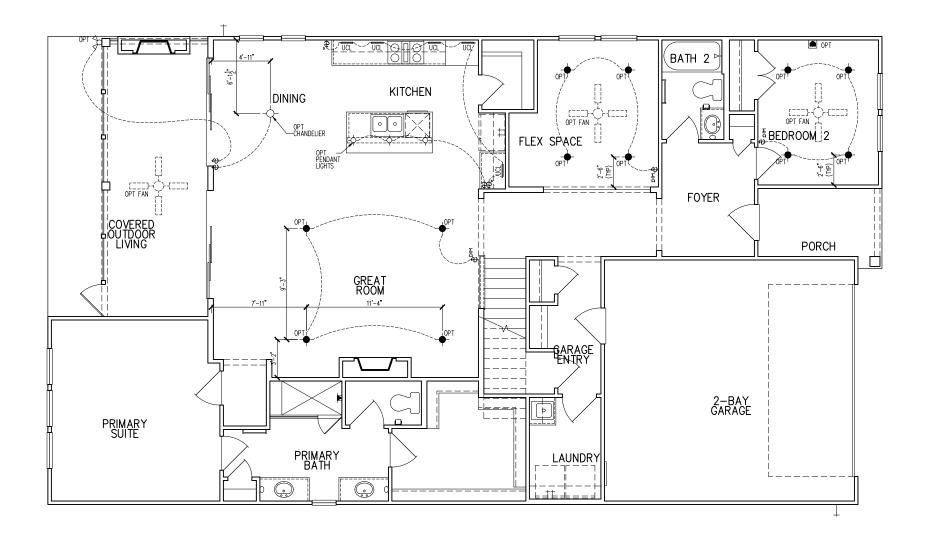
- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
 2. PROVIDE AND INSTALL GROUND FAULT (IRCUIT-INTERRUPTERS (GF) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.
 4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

DUE TO FIELD CONDITIONS.	
ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:	
SWITCHES OVER COUNTER	
WALL OUTLETS OVER COUNTER	
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)	
REMAINING SWITCHES	
WALL OUTLETS	٠
BATH VANITY BRACKET OUTLET 1,2 (1" ABOVE TOP OF VANITY)	
WATER SOFTENER AND SUMP OUTLETS 48" TO CL	
EXTERIOR GFI OUTLETS	
GARAGE GFI (ABOVE GARAGE FLOOR) 48" TO CL	
FRONT DOOR COACH LIGHT	
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR) 84". TO CL	
THERMOSTAT	
DOORBELL CHIMES	•
DOORBELL BUTTON DR HANDLE	
KITCHEN HOOD FAN "WHIP"	
KITCHEN WALL HUNG MICROWAVE OUTLET 72" TO CL	
KITCHEN DISHWASHER RECEPTACLE UNDER SINE	<
KITCHEN RANGE	
KITCHEN REFRIGERATOR	
WASHER/DRYER OUTLET	
CL = CENTER LINE	

CL = CENTER LINE

1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH
VANITY TO BE RAISED 4"



Dointe HOMES RELD. SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

- OPITONS : ALTIS @ SERENITY 280 STREAMSIDE TER 1st FLOOR ELEC. PLAN

SUBDIVISION:
ADDRESS: 28
LOT: 327

Issue Date: 09-30-24 ACC

5920-05

LONGLEAF WAY

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ELECTRICAL FIXTURE SCHEDULE		
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ELECTRICAL NOTES:

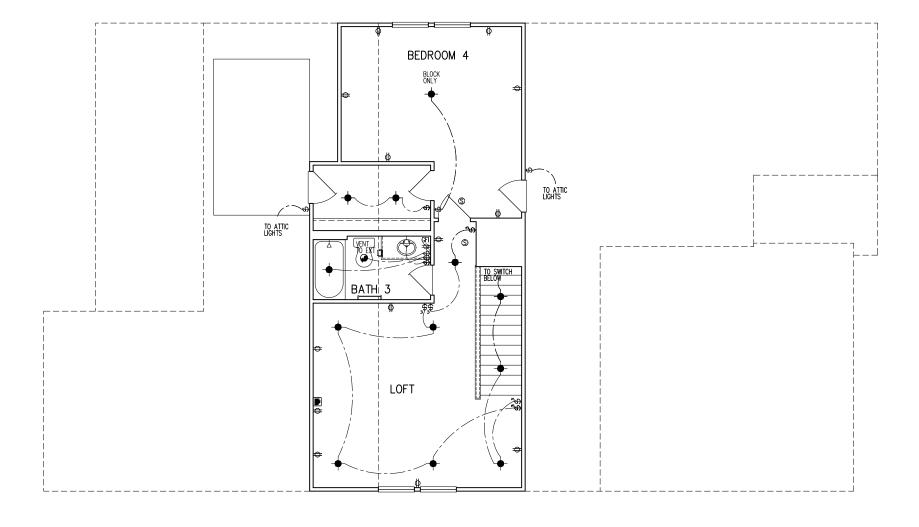
PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS A REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES PROVIDE AND INSTALL GROUND FAULT (IRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.

HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.

ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

ELECTRICAL DEVICES. ABOVE FINISHED FLOOR. ELECTRICAL DEVICES: ABOVE FINISHED FLOOR: SWITCHES OVER COUNTER. . WALL OUTLETS OVER COUNTER +42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER) REMAINING SWITCHES. 48". TD. CL
WALL OUTLETS. 12". TO CL
BATH VANITY BRACKET OUTLET. 1,2
CL
BATH SOVE TOP OF VANITY) GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR). . . . LEVEL W/ DR .HANDLE DOORBELL BUTTON. . . . CL = CENTER LINE 1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



SECOND FLOOR PLAN PARTIAL ELECTRICAL PLAN

Dointe AD MES ARK BLVD, SUITE 400, RALEIGH, NC 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

OPTION ALTIS @ SERENITY STREAMSIDE TER PLAN ALTIS FLR ELEC. 280

SUBDIVISION: ADDRESS: 28 LOT: 09-30-24

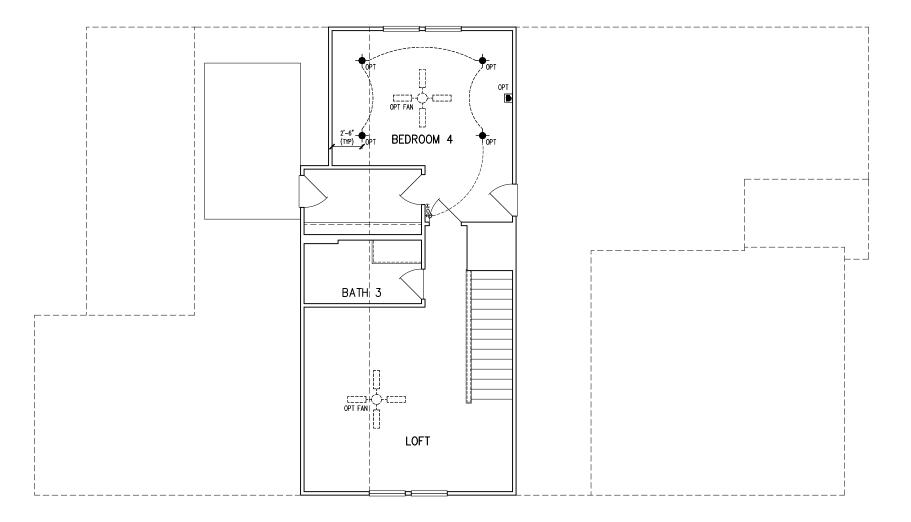
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2ND

5920-05

LONGLEAF WAY

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SECOND FLOOR PLAN PARTIAL ELECTRICAL PLAN

tri pointe.

HOMES

540 WADE PARK BLVD, SUITE 400, RALEIGH, NG 27807

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

2ND FLOOR ELEC. PLAN - OPTION

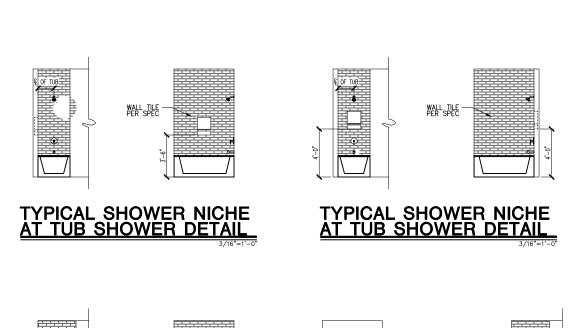
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ADDRESS: 280 STREAMSIDE TER
LOT: 327

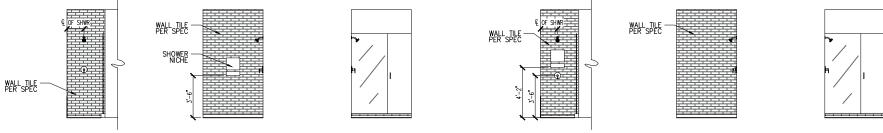
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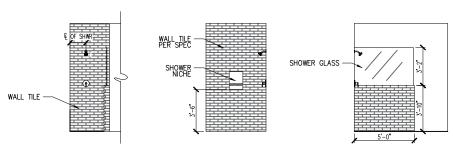
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LONGLEAF WAY

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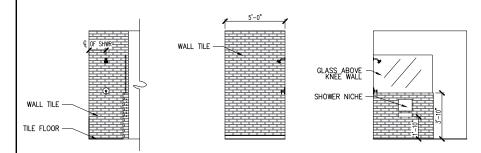




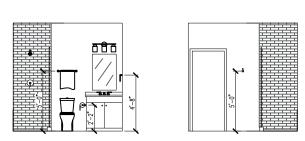




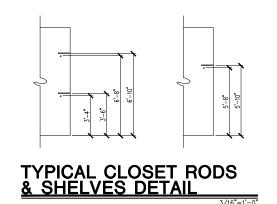
TYPICAL SHOWER NICHE AT SHOWER W/ KNEE WALL DETAIL



TYPICAL SHOWER DETAIL W/SHOWER NICHE IN KNEE WALL



TYPICAL HEIGHTS FOR BATH FIXTURES DETAIL



tri pointe.

HOMES

6440 WADE PARK BLVD, SUITE 400, RALEGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

DETAILS

ON: ALTIS @ SERENITY

280 STREAMSIDE TER

SUBDIVISION:
ADDRESS: 28
LOT: 327

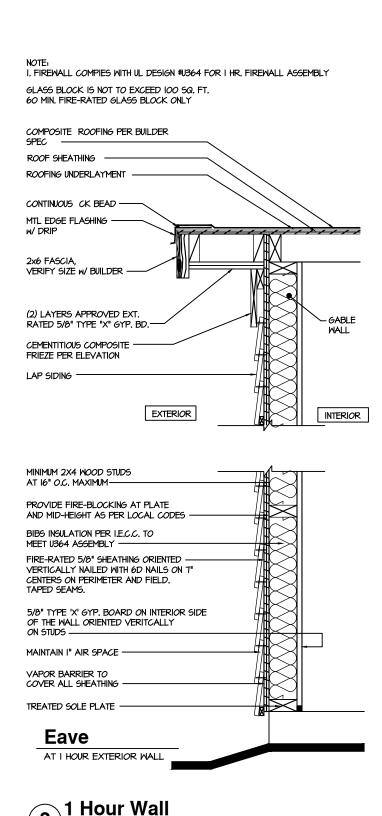
Issue Date: 09-30-24

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PLAN#: 5920-05

LONGLEAF WAY

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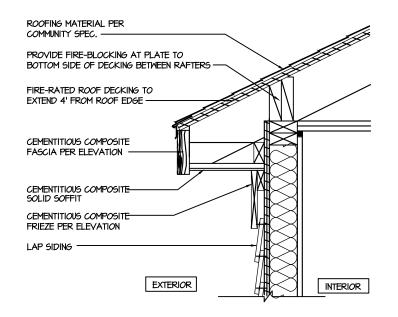


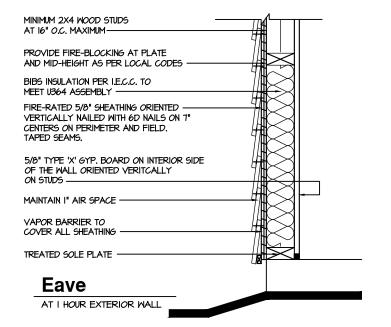
AT EXTERIOR WALL

I HOUR FIRE-RESISTIVE CONSTRUCTION

I. FIREWALL COMPIES WITH UL DESIGN #U364 FOR I HR. FIREWALL ASSEMBLY GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.

60 MIN. FIRE-RATED GLASS BLOCK ONLY







I HOUR FIRE-RESISTIVE CONSTRUCTION (PROPERTY LINE)

Ointe S

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

ALTIS @ SERENITY STREAMSIDE TER

DETAILS

SUBDIVISION: ADDRESS: LOT: 327

Issue Date: 09-30-24 ACC

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LONGLEAF WAY

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GENERAL STRUCTURAL NOTES

FLOOR FRAMING

- I IOISTS/TRUSSES SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIEY THAT THE FINISHES TO BE INSTALLED. MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS")
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 ½" × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- 2 3 × 0.120 NAILS @ 4" O.C. @ PANEL EDGES \$ @ 8" O.C. FIELD. - 2 3" × 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD

ROOF FRAMING

- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/ 2 ½" × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD.
- · w/ 2 🖁 × 0.120" NAILS 🥑 4"o.c. 💇 PANEL EDGES 🕏 🗗 O.C. FIELD. - w/ 2 🐉 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD
- WITHIN 48" OF ALL ROOF FDGES RIDGES & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC
- EASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.51 CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING
- OF METAL PLATE CONNECTED WOOD TRUSSES." SUPPORT SHORT SPAN ROOF TRUSSES W/2x4 LEDGER FASTENED TO

FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.l3l" NAILS	3"x0.120" NAIL5
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" O.C.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (I) SIMPSON H2.5T	(4) TOENAILS + (1) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" O.C.	TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 91/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2XIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. I2" TO I6"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INGTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. \$ INGTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. \$ FASTENED PER SHEAR WALL FASTENING SPEC.	
* 2% X0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"X0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)		

GENERAL STRUCTURAL NOTES

DESIGN LOADING

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION
- DESIGN LOADS

SNOW = 15 PSF (12 PSF GROUND SNOW, TRUSSES) ROOF LIVE = 20 PSF (REDUCIBLE BASED ON ROOF PITCH) DEAD = 7 PSF T.C., IO PSF B.C.

LOAD DURATION FACTOR = 125

LIVE = 40 PSE (30 PSE @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS), 15 PSF (FLOOR TRUSSES) ADD'L TO PSE @ CERAMIC TILE IN KITCHEN. SUNROOMS, BATHS, FOYER, LAUND. & MUDRM

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

115 MPH, EXPOSURE B

GENERAL FRAMING

- ALL TYP, NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT & INT BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP #2 GRADE LUMBER, OR BETTER, U.N.O.. · WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRICE-PINE-FIR #2 (SPE) OR SOUTHERN PINE #2 (SP) LIMBER OR BETTER, SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD MINIMUM
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)

 • HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 134" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS 18"x3K" SIMPSON SDS SCREWS (OR 3K" TRUSSI OK SCREWS) @ 16" USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 31/3" OR 51/4" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF K"X6" SIMPSON SDS SCREWS (OR 6 3/1 TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY EASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4
- CORROSION NOTES:
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

Lot 327

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE RESIDENTIAL CODE.
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2
- ANCHORS PER PLATE 12" MAX FROM PLATE ENDS UTILIZING: I/2" DIA. ANCHOR BOLTS 6'-0" O.C,7" MIN. EMBEDMENT
- I/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C.
- SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONCRETE)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD CONTACT LIMBER & HARDWARE SUPPLIERS TO COORD
- FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACL 318, CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O. f'c = 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE fu = 60000 psi
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY
- . JOINTS SHALL BE LOCATED @ IO'-O" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:1.5 RATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS. SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY OR WARRANTY TOLERANCES

VENEER LINTEL SCHEDULE

		SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
		3'-0"	20 FT. MAX	L3"x3"x¼"
		6'-0"	3 FT. MAX	L3"x3"x¼"
			I2 FT. MAX	L4"x3"x¼"
			20 FT. MAX	L5"x3½"x%;"
		8'-0"	3 FT. MAX	L4"x4"x¼" *
			I2 FT. MAX	L5"x3½"x%;"
			I6 FT. MAX	L6"x3½"x¾"
		9'-6"	I2 FT. MAX	L6"x3½"x%6"
		16'-0"	2 FT. MAX	L7"x4"x½" **
ı			3 ET MAY	1.8"\4"\6" **

- ILLIMITES.

 \$404LL SIPPORT 2 3/* 3 /5' VIDEER W 40 PM MAXIMM MEIGHT.

 16' SHALL HAVE 4" MIN. BEARING

 16' SHALL HAVE 9" MIN. BEARING

 16' SHALL HAVE 9" MIN. BEARING

 16' SHALL BY STEEPED BACK TO MOOD HEADER IN MALL 446"02. W /5' DIA. x 3 /5'

 LONG LAG SCREPK IN 2" LONG VERTICALLY SLOTTED HOLES.

 MAY. VEREER IN APPLIES TO ANY FORTION OF PERCK OVER THE OPENING.

 ALL INITIES SHALL BE LONG LEG VERTICAL.

 MAY BEC OF IN THE PELLO TO BE 3/5' MUSE OVER THE BEARING LIGHTH ONLY. THIS

 SEE STRUCTURAL PANG FOR ANY LIMITEL CANDITION NOT ENCOMPASSED BY THE

 ROOK GERN SHEPPING INE ANY LIMITEL CANDITION NOT ENCOMPASSED BY THE

 ROOK GERN SHEP INE 16' ANY LIMITEL CANDITION NOT ENCOMPASSED BY THE

 ROOK GERN SHEP INE 14-36'.
- FOR QUEEN VENEER USE L4x3x/4". 'FOR 3½" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3½" THICK

ADDITIONAL NOTES FOR TRUSS \$ I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN, MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES
RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A ROOF TRUSSES.

- 1/4" DEAD LOAD
- B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS; I/8" DEAD LOAD

 ABSOLUTE DEAD LOAD DEFECTION OF FLOOR
- TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NO: DIFFERENTIAL DEFLECTION,

FLOOR JOIST NOTES

- ALL FLOOR JOISTS SHALL BE THE DEPTI SPECIFIED ON PLAN - FLOOR JOISTS SERIES & SPACING IS PER THE FLOOR JOIST MANUF.
- SPACING SHALL NOT EXCEED 19.2" O.C. (MAX.) @ LOCATION OF TILE: SPACING SHALL NOT
- EXCEED 16" O.C. (MAX.)

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

5 MPH WIND IN 2018 NCSBC:RC

(115 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301,1,3 OF THE 2018 NCSBC:RC, ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.54 R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3 XO.II3 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.) ALL SHEATHING PANELS SHALL BE ORIENTED
- VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- <u>ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED</u> AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

TYP. UNIT SEPARATION WALL SHEATHING SPECIFICATION

•1/2" OR 5/8" GYPSUM WALL BOARD: FASTEN GWB SHEATHING TO FRAMING W/ I \$"X0.086" COOLER NAILS OR I 1/4" DRYWALL SCREWS @ 7" O.C. T PANEL EDGES & PANEL FIELD (INCLUDING T&B PLATES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN. WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- · ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0,120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES. AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

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243-2403 roject mgi SMI

SMN

08-16-24

drawn by ssue date: REVISIONS

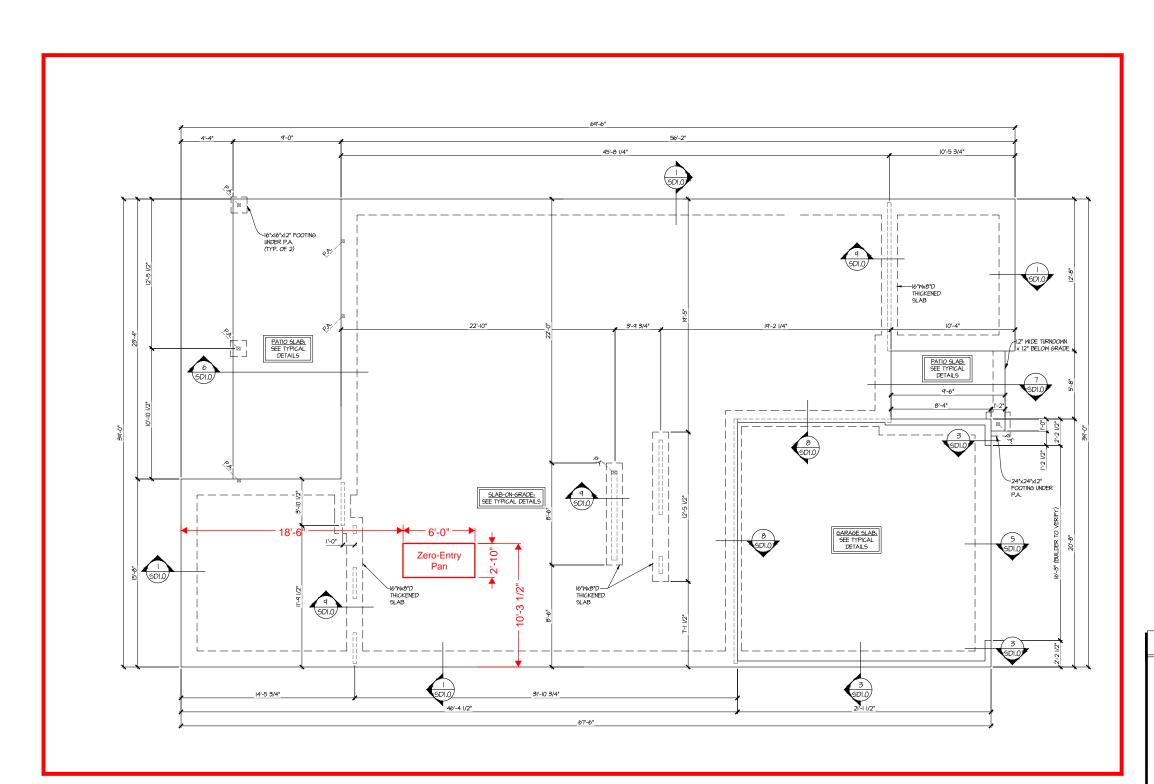
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NOTES MODE GENERAL -05

SERENITY MASTER SET RALEIGH, NC 5920-

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OPT. 2ND FLOOR

SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" (22x24 SHEET)
1/8"=1'-0" (1|x|7 SHEET)

ELEV. A ELEV. B SIM. OPT. PRIMARY BATH SIM. OPT. BEDROOM 3 SIM. SEAL SEAL STATE OF STRUCTURE IN STRUCTURE IN

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NC. Licence # C-38.25



Mulhern+Kulp project number:

243-2403

project mgr: SMK drawn by: SMN issue date: O8-16-24

REVISIONS:

date: initial:

II-08-2024 SMM
UPDATED MODE NAME, OPT, EXT, COV'D, PORCH,
OPT, OFFICE

05-08-2025 JPP
MSC, ARCH UPDATES

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LEGEND

- INTERIOR BEARING WALL
- ==== BEARING WALL ABOVE (B.W.A.)
- ——— BEAM / HEADER
- INDICATES EXTENT OF INT.

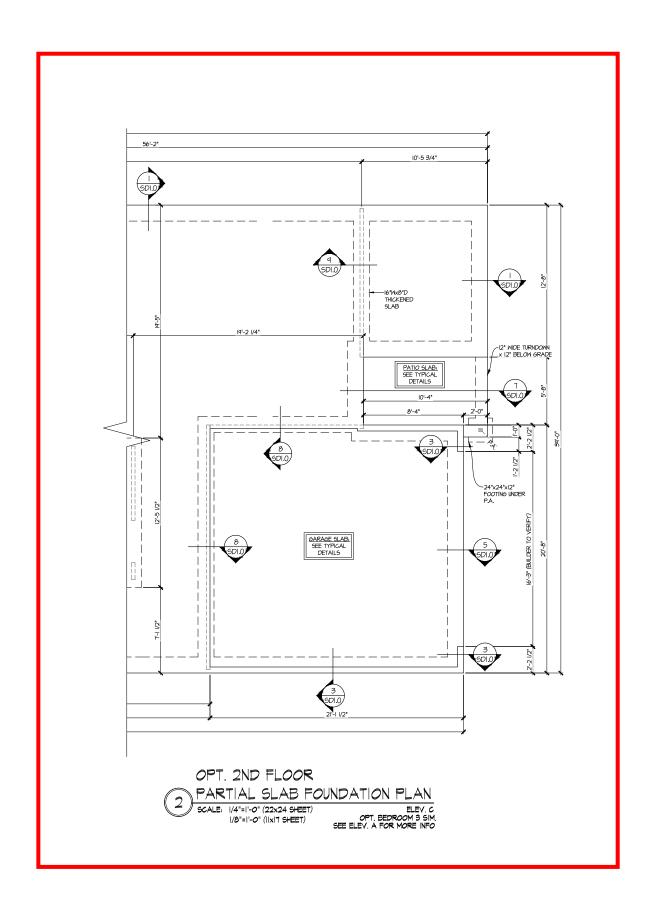
 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING
 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO
 BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- L METAL HANGER
- | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SO.O FOR
TYPICAL STRUCTURAL NOTES
\$ SCHEDULES

STRUCTURAL OPTIONS

5920–05 MODEL Serenity Master set Raleigh, nc

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243-2403

SMK SMM issue date: 08-16-24

REVISIONS:

initial: II-08-2024
UPDATED MODEL NAME
OPT. OFFICE
05-08-2025
MISC. ARCH UPDATES SMM . NAME, OPT. EXT. COVID. PORCH,

tri pointe

5920-05 MODEL SERENITY MASTER SET RALEIGH, NC

STRUCTURAL OPTIONS

S3.1M

LEGEND

INTERIOR BEARING WALL

• ==== BEARING WALL ABOVE (B.W.A.)

• ---- BEAM / HEADER

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

EXTENT OF VALLEY TRUSS OVERFRAMING • 24" O.C. (MAX.)

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

► INDICATES HOLDOWN

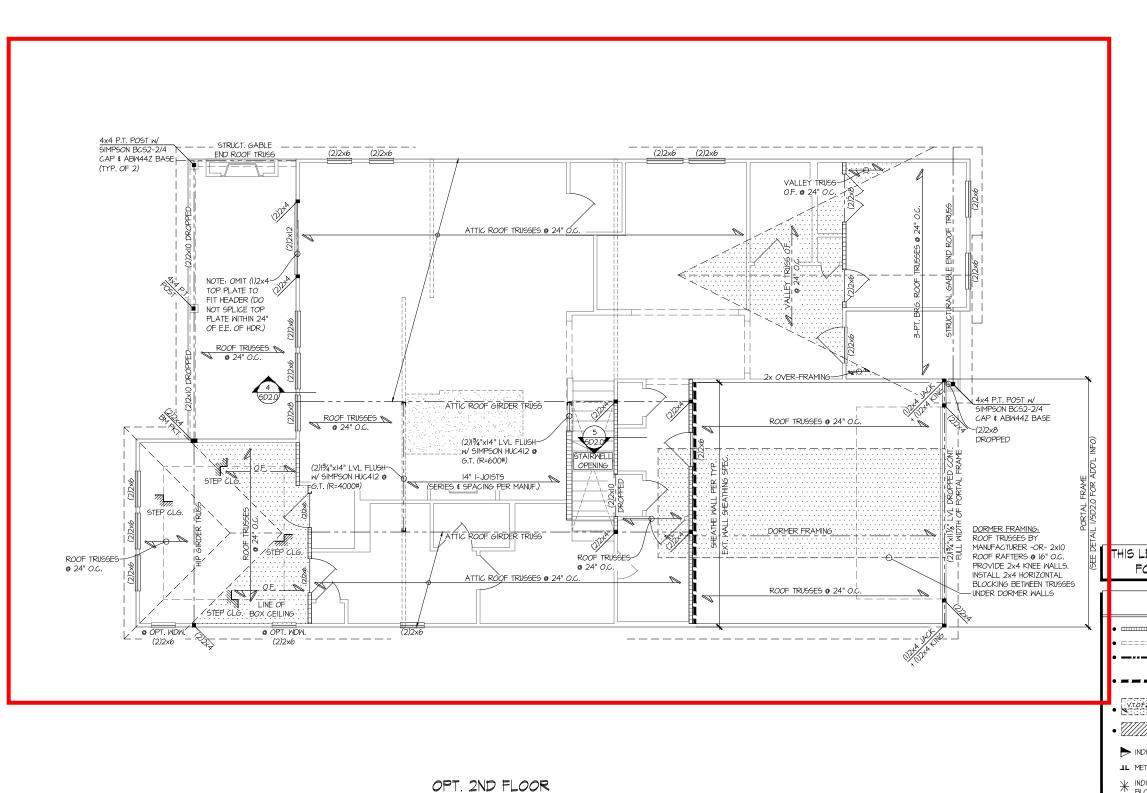
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TYPICAL STRUCTURAL NOTES

SCHEDULES

JL METAL HANGER

| INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



LOW ROOF FRAMING PLAN

ELEV. A OPT. PRIMARY BATH SIM.

OPT. BEDROOM 3 SIM.

SCALE: 1/4"=1'-0" (22x24 SHEET)

1/8"=1'-0" (IIxI7 SHEET)

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issue date:

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING
 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- ► INDICATES HOLDOWN

- | INDICATES POST ABOVE. PROVIDE SOLID | BLOCKING UNDER POST OR JAMB ABOVE.

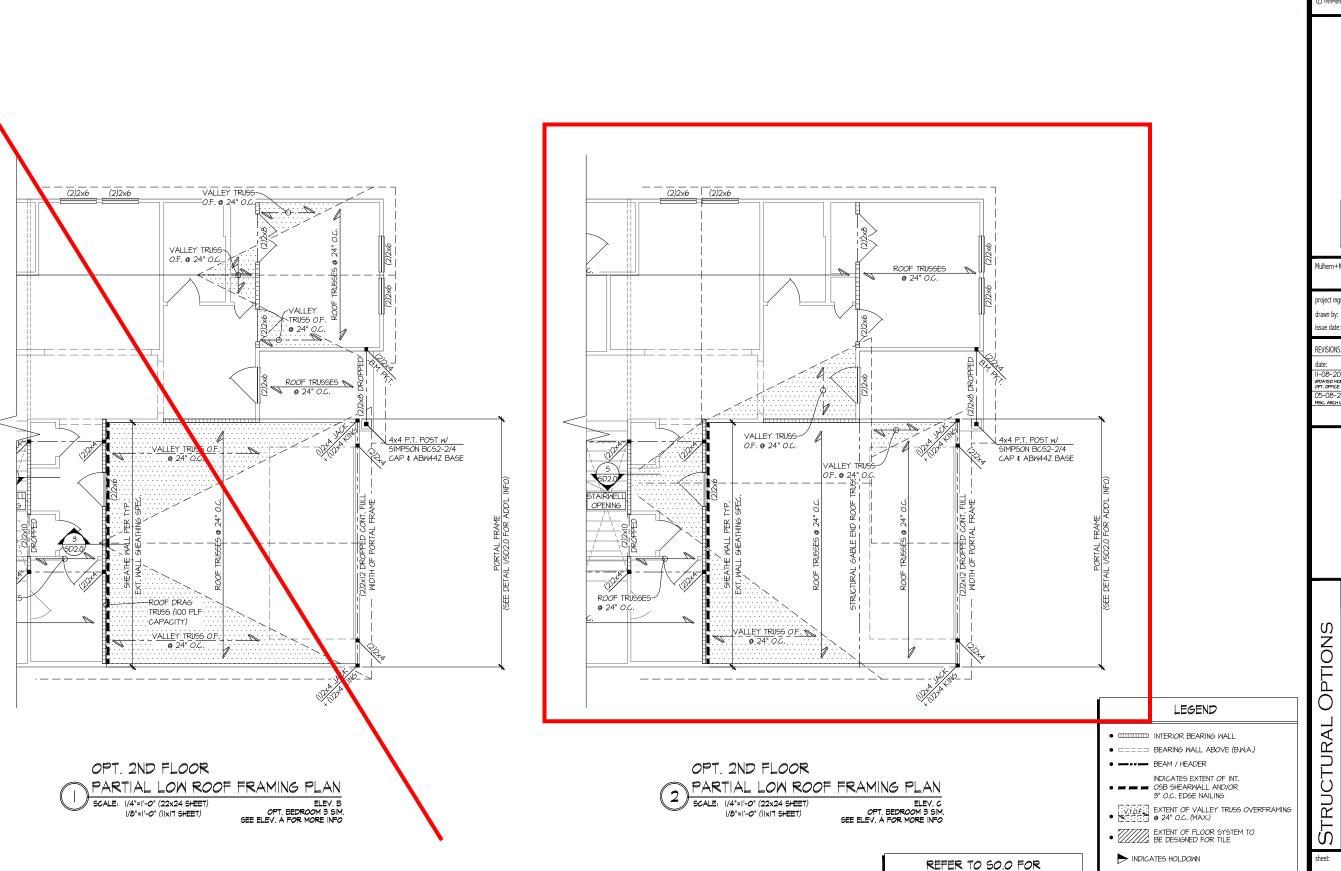
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5920-05 MODEI STRUCTURAL

OPTIONS

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SERENITY MASTER SET RALEIGH, NC



THIS LEVEL HAS BEEN DESIGNED

FOR 9'-1" PLATE HEIGHT

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STRUCTURAL OPTIONS

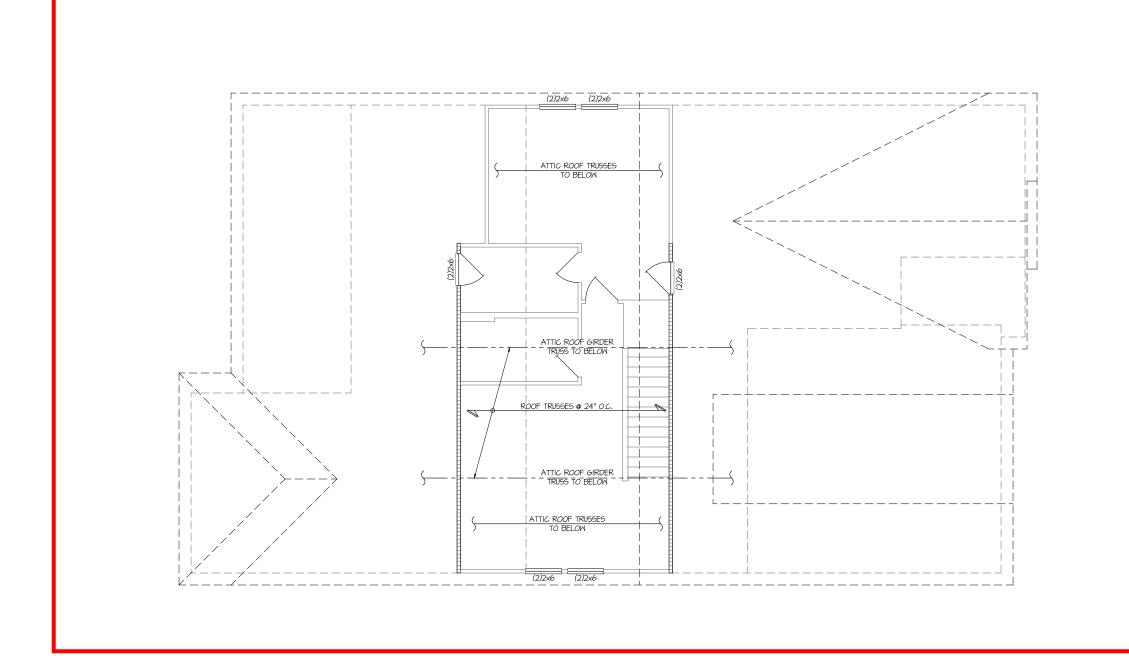
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S3.3M

JL METAL HANGER

TYPICAL STRUCTURAL NOTES | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

SCHEDULES



OPT. 2ND FLOOR

SCALE: 1/4"=1'-0" (22x24 SHEET)

1/8"=1'-0" (IIxIT SHEET)

HIGH ROOF FRAMING PLAN

ELEV. A ALL ELEV. SIM.

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

- IIIIII INTERIOR BEARING WALL
- ==== BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING
 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

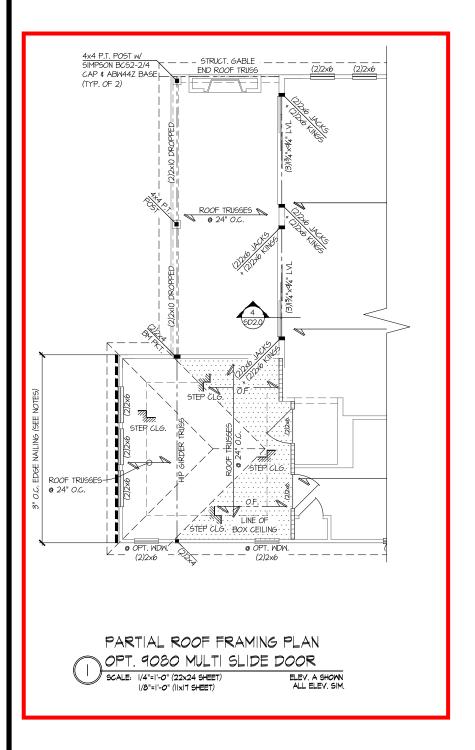
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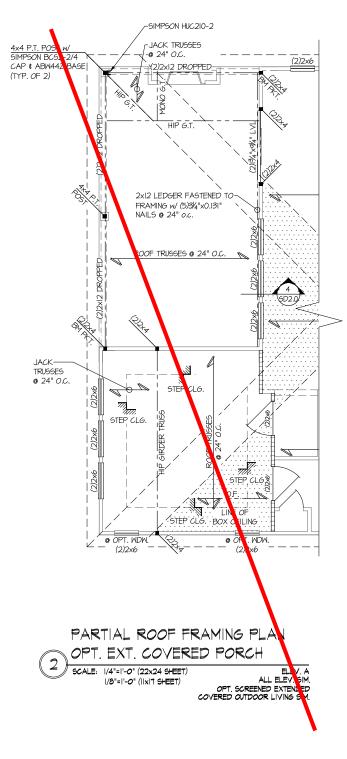
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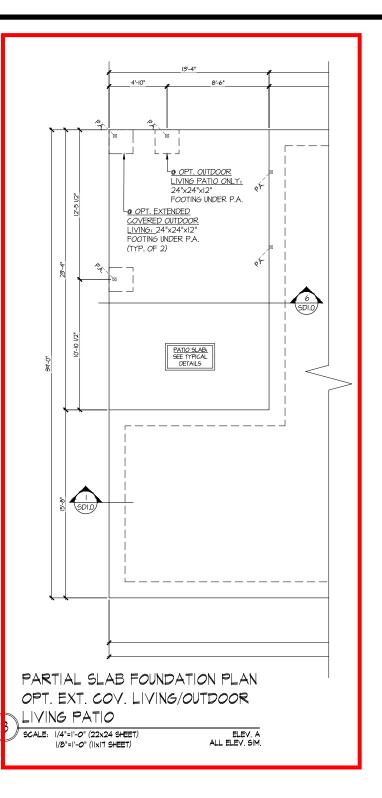
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THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

LEGEND

- INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING

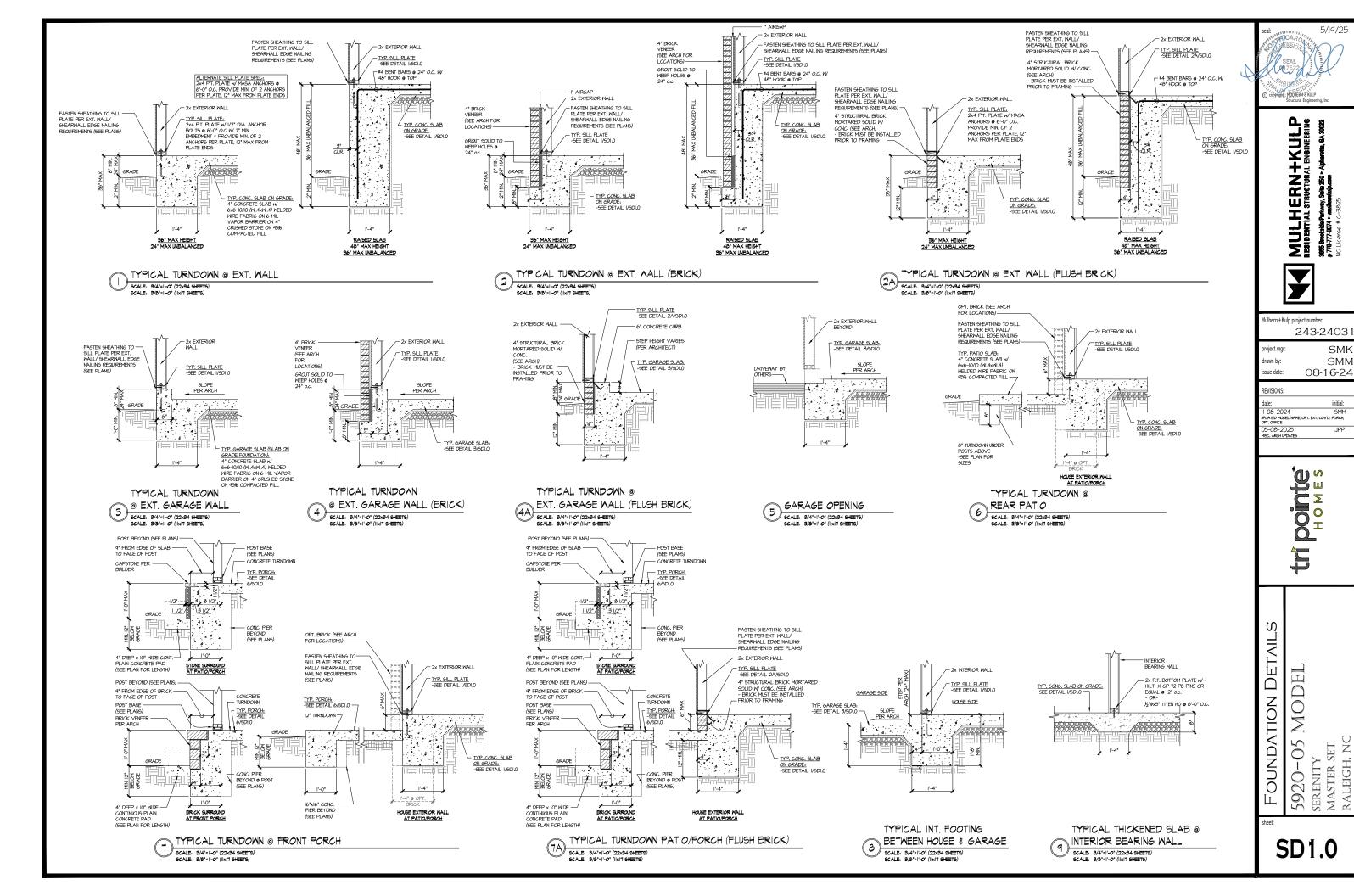
 224" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- INDICATES HOLDOWN
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

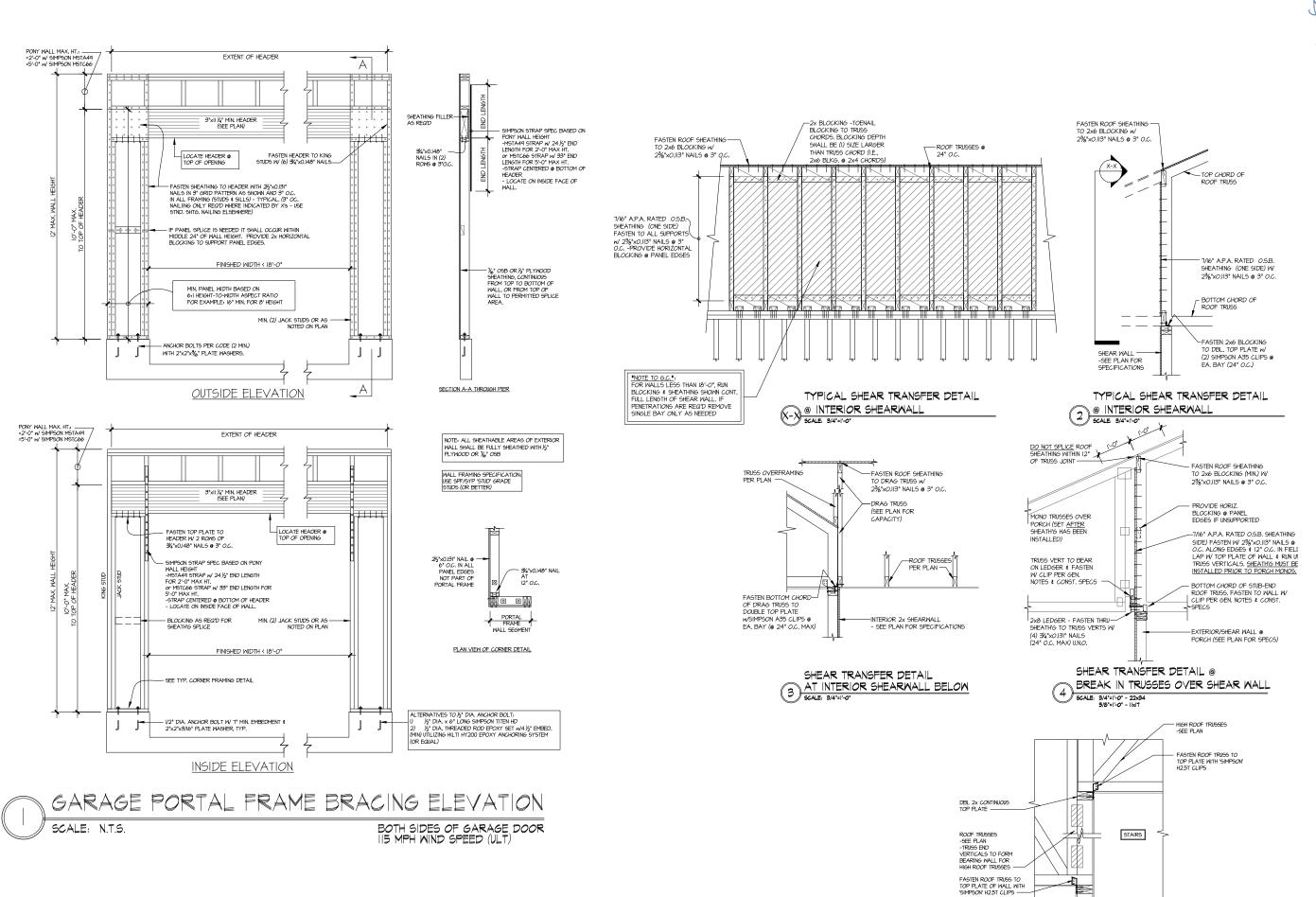
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OPTIONS 5920-05 MODEI STRUCTURAL

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Aulhern+Kulp project number

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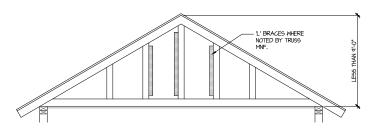
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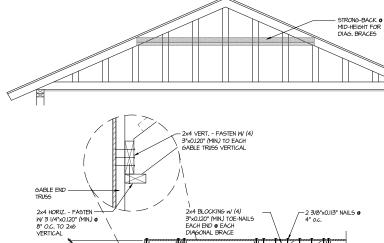
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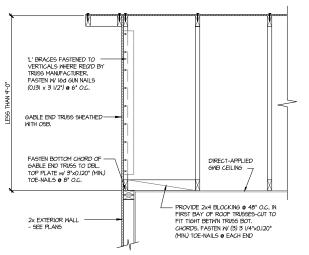
Ŵ DETAIL MODEI FRAMING

SERENITY MASTER SET RALEIGH, NC 5920-05

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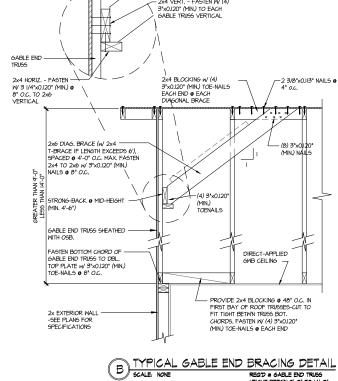






TYPICAL GABLE END BRACING DETAIL SCALE: NOME REQUIRED TRUSS REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0'

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9"-0". "L" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. "L' BRACES NOT REQUIRED.

REQ'D @ GABLE END TRUSS HEIGHT BETWN 9'-0" TO 14'-0"

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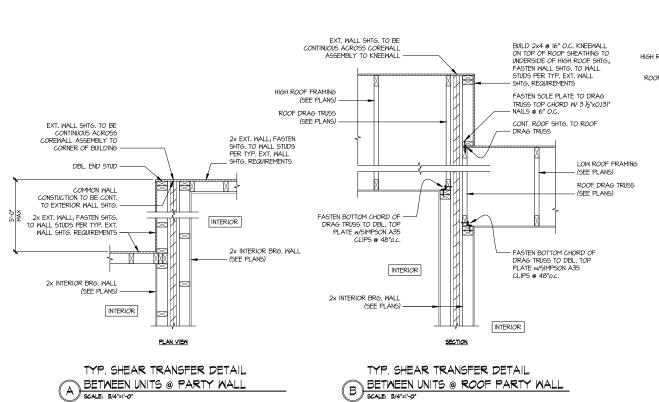
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FRAMING DETAILS 5920-05 MODEL

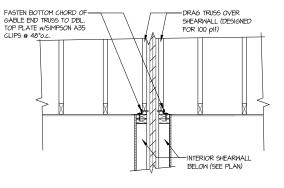
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BETWEEN UNITS @ PARTY WALL SCALE: 8/4"=1"-0"

ROOF SHTG. TO BE CONTINUOUS ACROSS COREWALL ASSEMBLY TO BALLOON FRAMED WALL -HIGH ROOF FRAMING (SEE PLANS) -(SEE PLANS) -TOP OF WALL
PLATE HEIGHT @
ADJACENT UNIT FASTEN BOTTOM CHORD OF DRAG TRUSS TO DBL. TOP PLATE W/SIMPSON A35 CLIPS @ 48"o.c. INTERIOR 2x INTERIOR BRG. WALL -(SEE PLANS) EXTERIOR ADJACENT UNIT FLOOR SYSTEM (SEE PLANS) · 2x EXT. WALL; FASTEN SHTG. TO WALL STUDS PER TYP. EXT. WALL SHTG. REQUIREMENTS INTERIOR 2x INTERIOR BRG WALL SECTION



SHEAR TRANSFER DETAIL @ D GABLE END PARTY WALL

TYP. SHEAR TRANSFER DETAIL BETWEEN UNITS @ EXT. PARTY WALL (c) SCALE: 3/4"=1'-0"

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drawn by: SMN issue date: 08-16-24

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DETAILS 5920-05 MODEI PARTY WALL SERENITY MASTER SET RALEIGH, NC

SD2.2