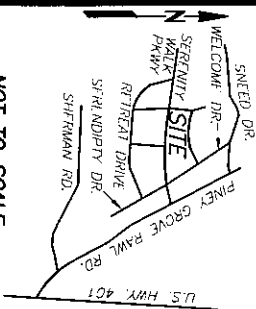


CURVE TABLE				
CURVE	DELTA	RADIUS	ARC	CHORD
C1	12°31'32.9745"	255.00'	55.75'	55.64'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 49°39'04" E	109.26'
L2	N 86°45'46" W	295.98'

VICINITY MAP



NOT TO SCALE

REFERENCES:

1. D.B. 4295 PG. 2940
PIN: 0655-04-1977.000
PID: 080655 0029 68

NOTICE OF

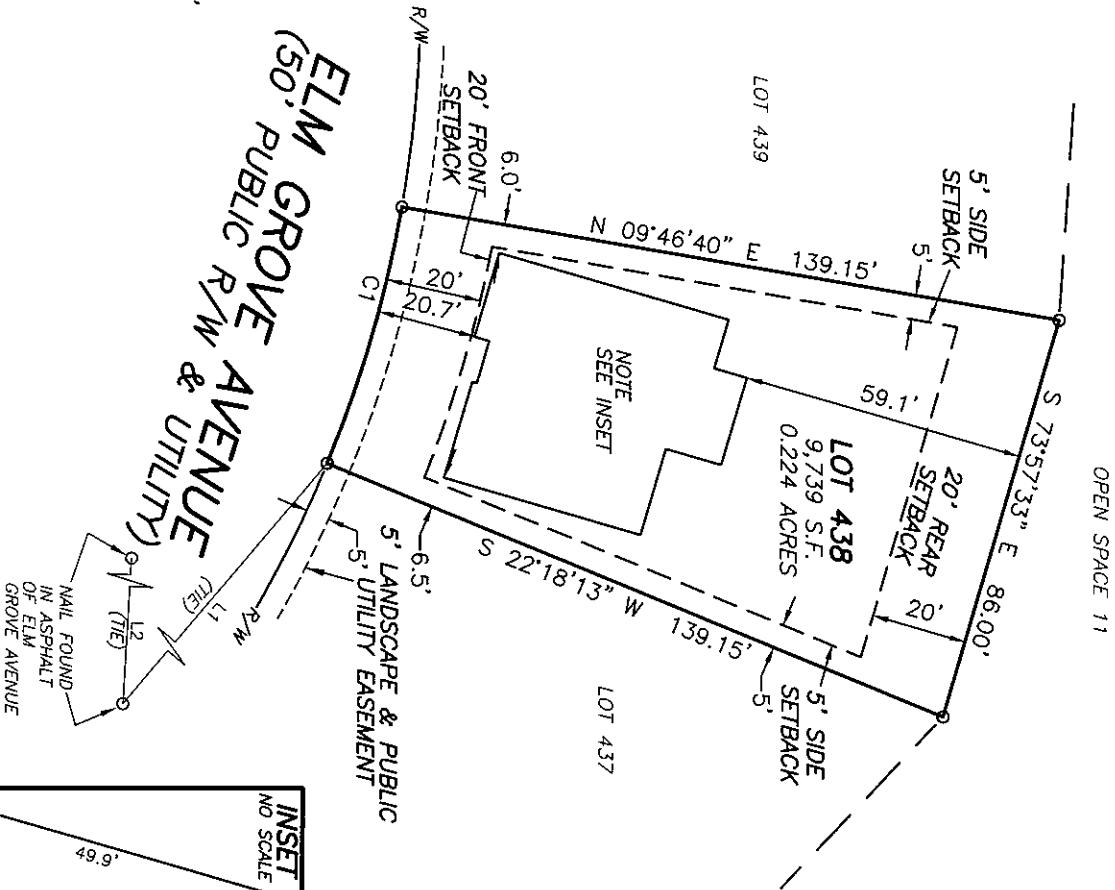
DEVELOPMENT GUIDELINES:

2. D.B. 4149, PG. 210

RESTRICTIVE COVENANTS:

3. D.B. 4109, PG. 612

N.C. GRID NORTH NAD83 (2011)
P.B. 2025, PG. 428-433



SETBACKS
>43' LOT WIDTHS
FRONT YARD-20'
SIDE YARD-5'
REAR YARD-20'
CORNER SIDE-12'

NOTES:

1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2025, PG. 428-433 UNLESS OTHERWISE NOTED.
2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.

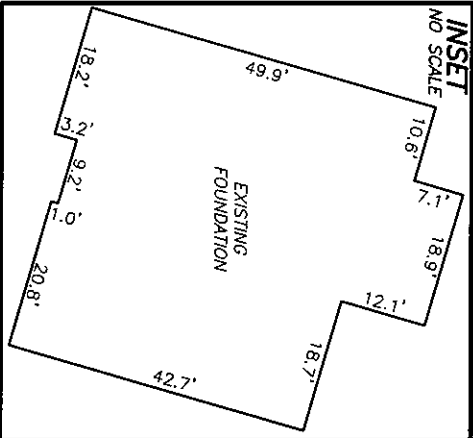
NOTE:
RATIO OF PRECISION IS 1:10,000+, MISCLOSEURE WAS
DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON
THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS
NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE
COMPUTATION.

LOT 438 SERENITY SUBDIVISION

PHASE 6F
85 ELM GROVE AVENUE
HARNETT COUNTY
FUQUAY-VARINA, N.C. 27526

REFERENCE: PLAT BOOK 2025 PAGE 428-433.

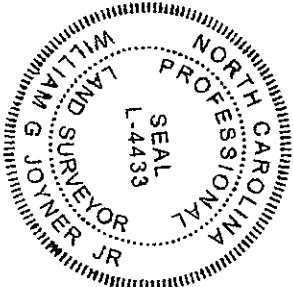
FOUNDATION SURVEY FOR
DREES HOMES



GRAPHIC SCALE

FILE: STYLOT438FD

I CERTIFY THAT THIS MAP WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL
SURVEY MADE UNDER MY SUPERVISION
DESCRIPTION RECORDED IN REFERENCE AS SHOWN ;
THAT THE BOUNDARIES NOT SURVEYED ARE
INDICATED AS DRAWN FROM INFORMATION
IN ; THAT THE RATIO
OF PRECISION IS 1:10,000, AND THAT
THIS MAP MEET THE REQUIREMENTS OF
THE STANDARDS OF PRACTICE FOR LAND
SURVEYING IN NORTH CAROLINA
(21 NCAC 56.16000).
THIS 6th DAY OF OCTOBER 2025.
William E. Plante
PROFESSIONAL LAND SURVEYOR L-4433



ROBINSON & PLANTE PC

LAND SURVEYING
C-2687
970 TRINITY ROAD
RALEIGH, N.C. 27607
PHONE (919) 859-6030
FAX (919) 859-6032

DATE: 10-3-25

SCALE: 1"=40'