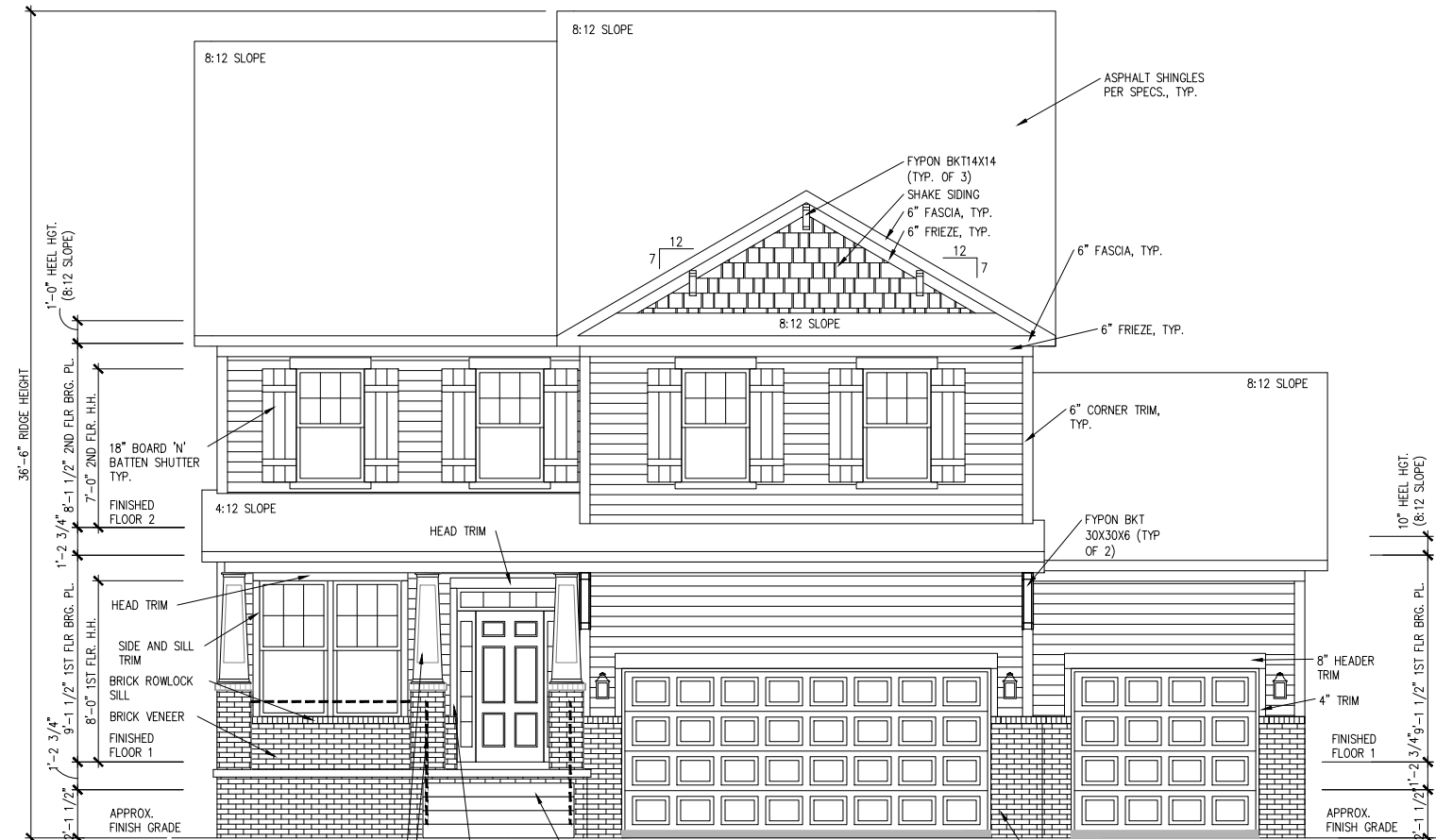

DEVON-RALE

RALEIGH - LOT 00.0121 BLAKE POND SF
(MODEL# 1615)

ELEVATION 7 - GR

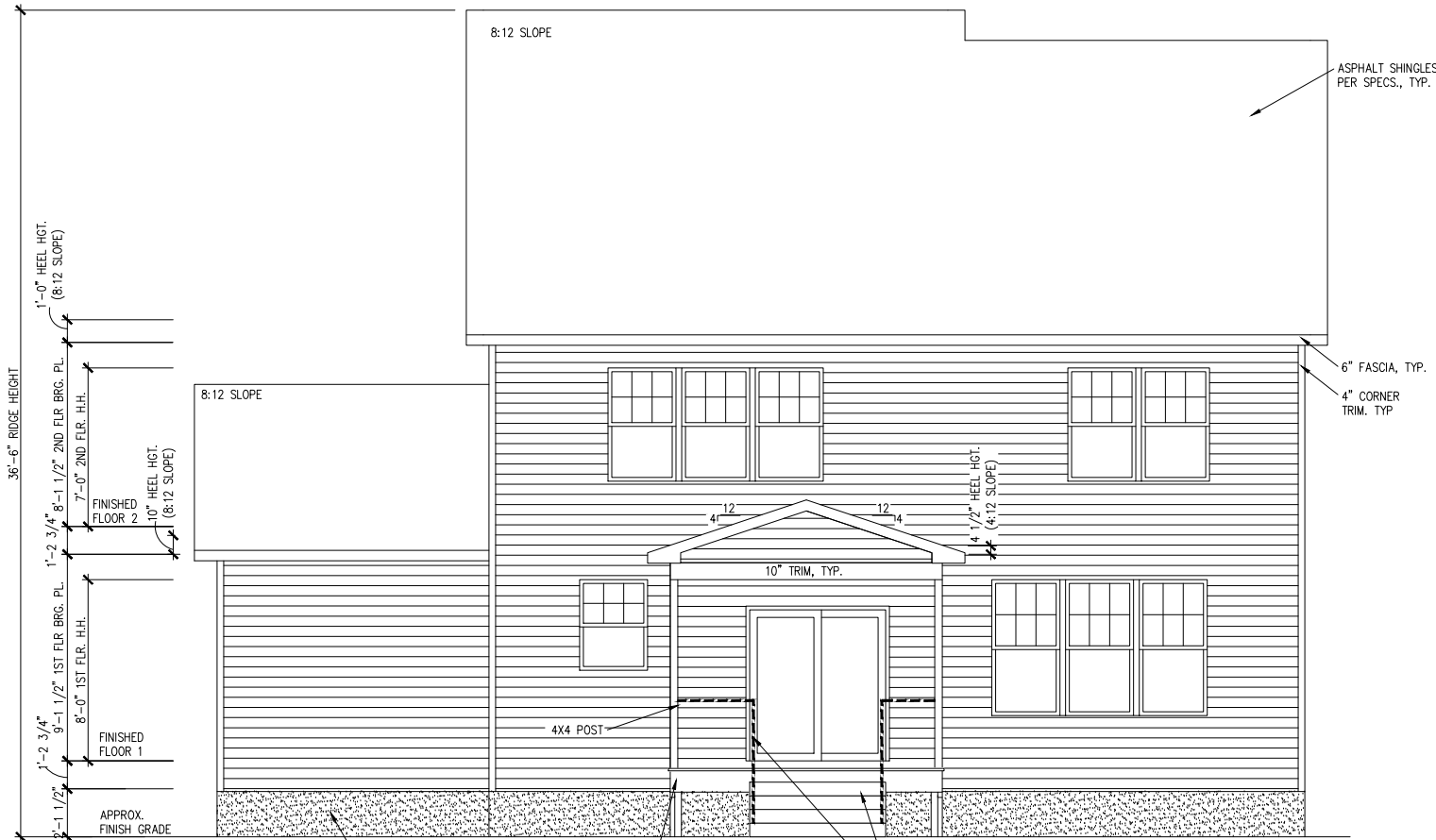
108 Celtic Lane

[illegible]The logo for DRB HOMES, featuring the letters "DRB" in a large, bold, black sans-serif font, with "HOMES" in a smaller, blue, sans-serif font directly below it.[illegible][illegible]



FRONT ELEVATION 7

SCALE: 1/8" = 1'-0"



REAR ELEVATION 7

SCALE: 1/8" = 1'-0"

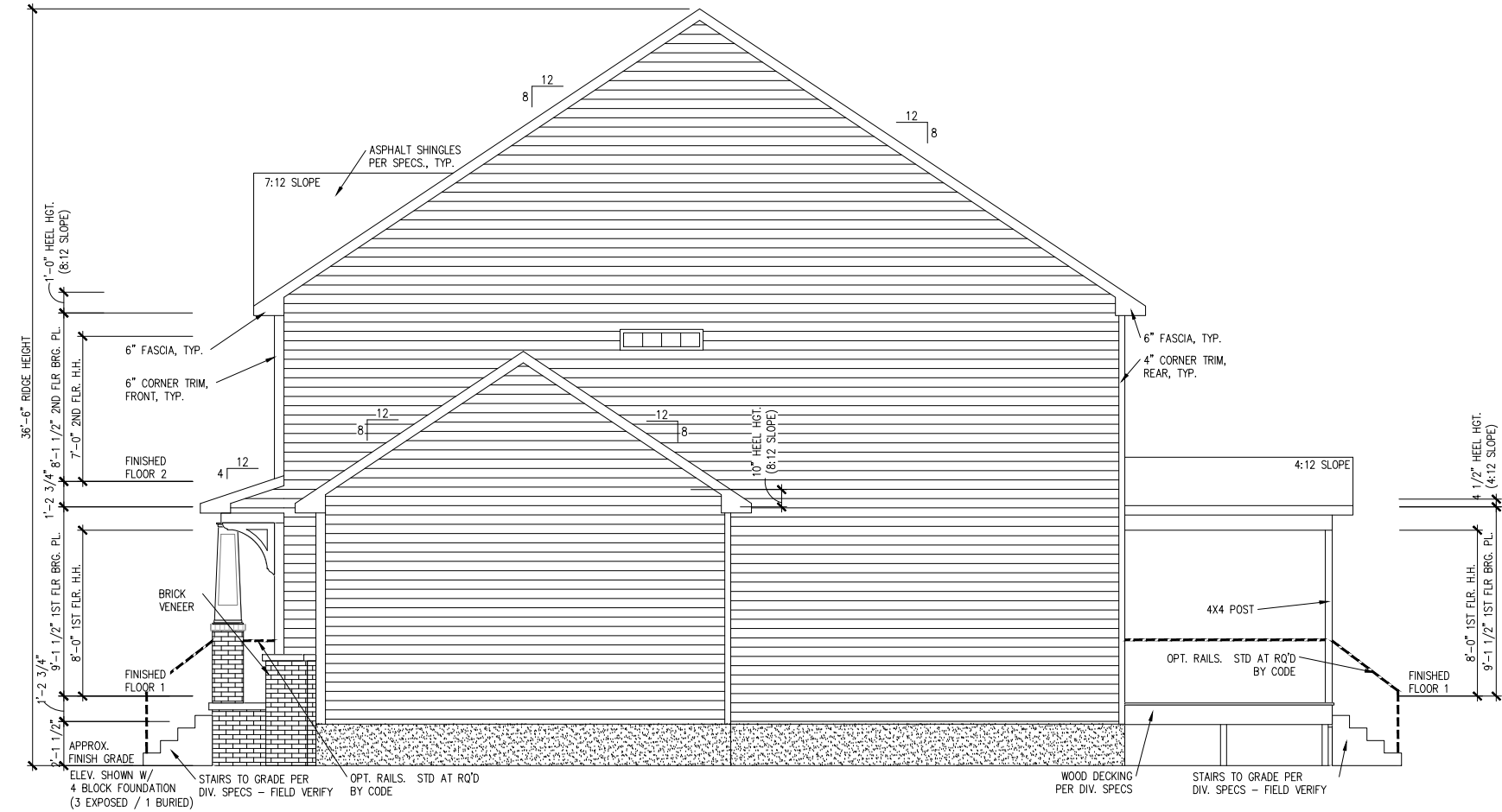
MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	03-04-2025	04-10-2025	

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615



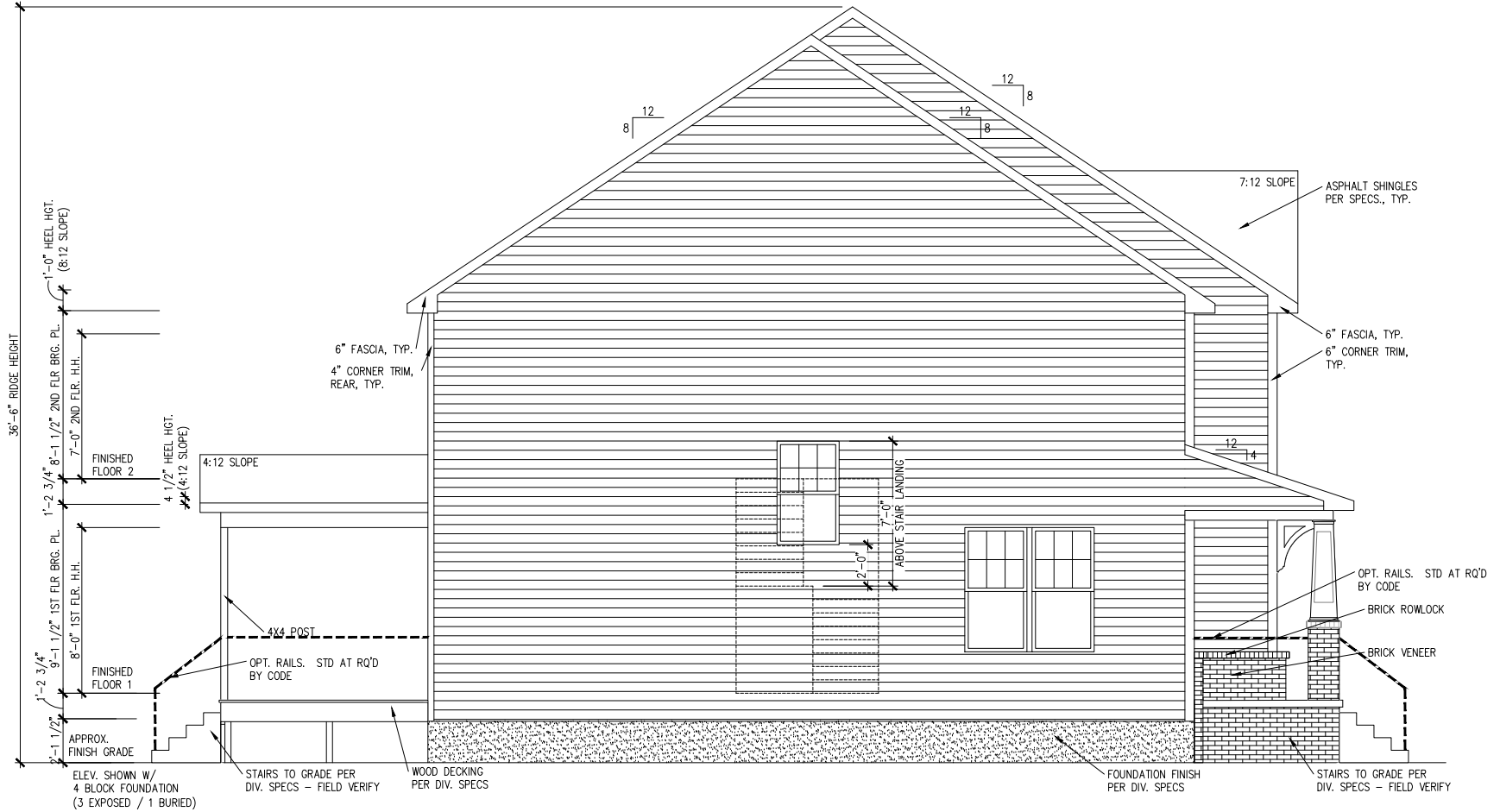
HOUSE NAME:	DEVON
DRAWING TITLE	FRONT & REAR ELEVATIONS

SHEET No.	A1.1
-----------	------



RIGHT ELEVATION 7

SCALE: 1/8" = 1'-0"



LEFT ELEVATION 7

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	03-04-2025	04-10-2025	

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615

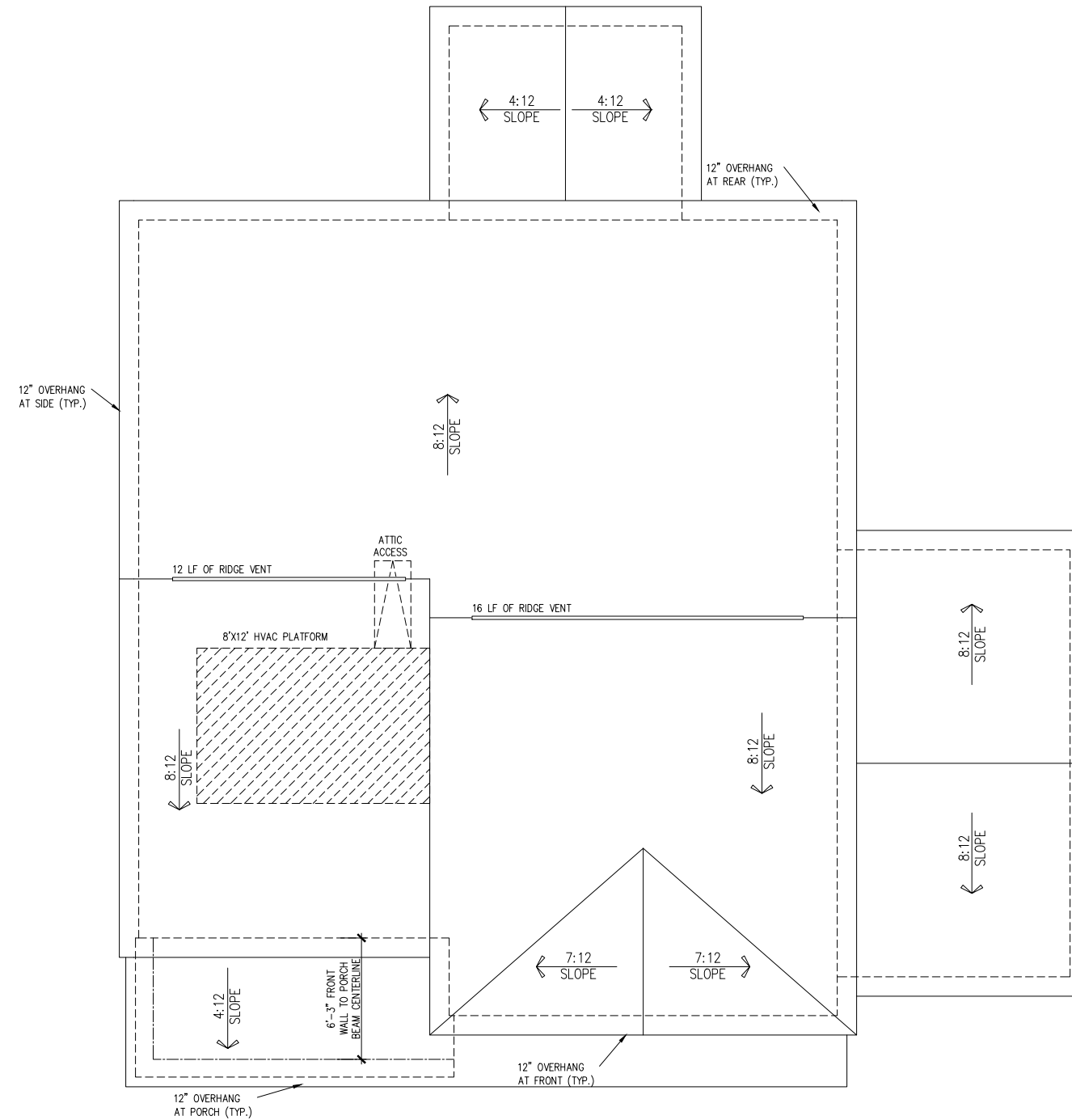


HOUSE NAME:	DEVON
DRAWING TITLE	RIGHT & LEFT ELEVATIONS

SHEET No.
A1.2

ROOF AREA = 1412 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 150 = 9.41 SQ. FT.
 1 TO 300 = 4.7 SQ. FT.
 50-80% IN TOP THIRD = 2.35 - 3.76 FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN. / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING: (BOTTOM 2/3 RDS)
51 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 2.00 SQ. FT.
UPPER VENTING: (TOP 1/3 RD)
34 LINEAR FEET OF RIDGE X 18 SQ. IN. = 4.25 SQ. FT.
4.25 SQ. FT. BETWEEN 50% - 80%
(1 TO 300 ALLOWED)
TOTAL ROOF VENTILATION: 6.25 SQ. FT. > 4.70 SQ. FT. (RQ'D)



ROOF PLAN ELEV. 7

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
4-RALE	03-04-2025	04-10-2025

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615

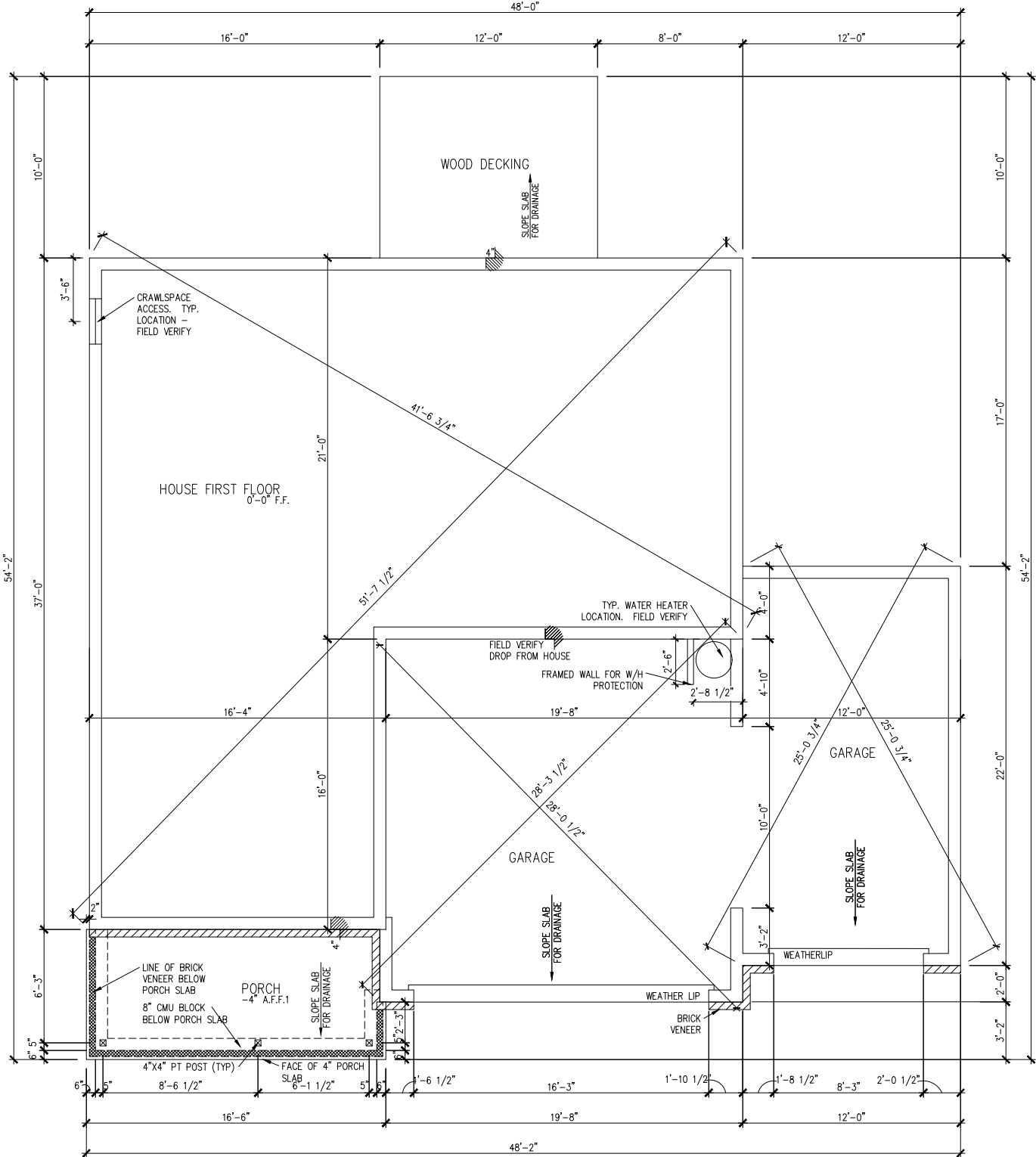


HOUSE NAME:
DEVON

DRAWING TITLE
ROOF PLAN

SHEET No.
A1.3

CRAWL AREA = 1012 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 150 = 6.7 SQ. FT.
 NET FREE AREA OF VENT = 62 SQ. IN PER VENT
 WITEN AUTOMATIC VENT B-EBLACK (MB) OR EQUAL
VENTING REQUIREMENT:
 9.4 SQ. FT / 62 SQ. IN = 15.66 VENTS = 16 VENTS



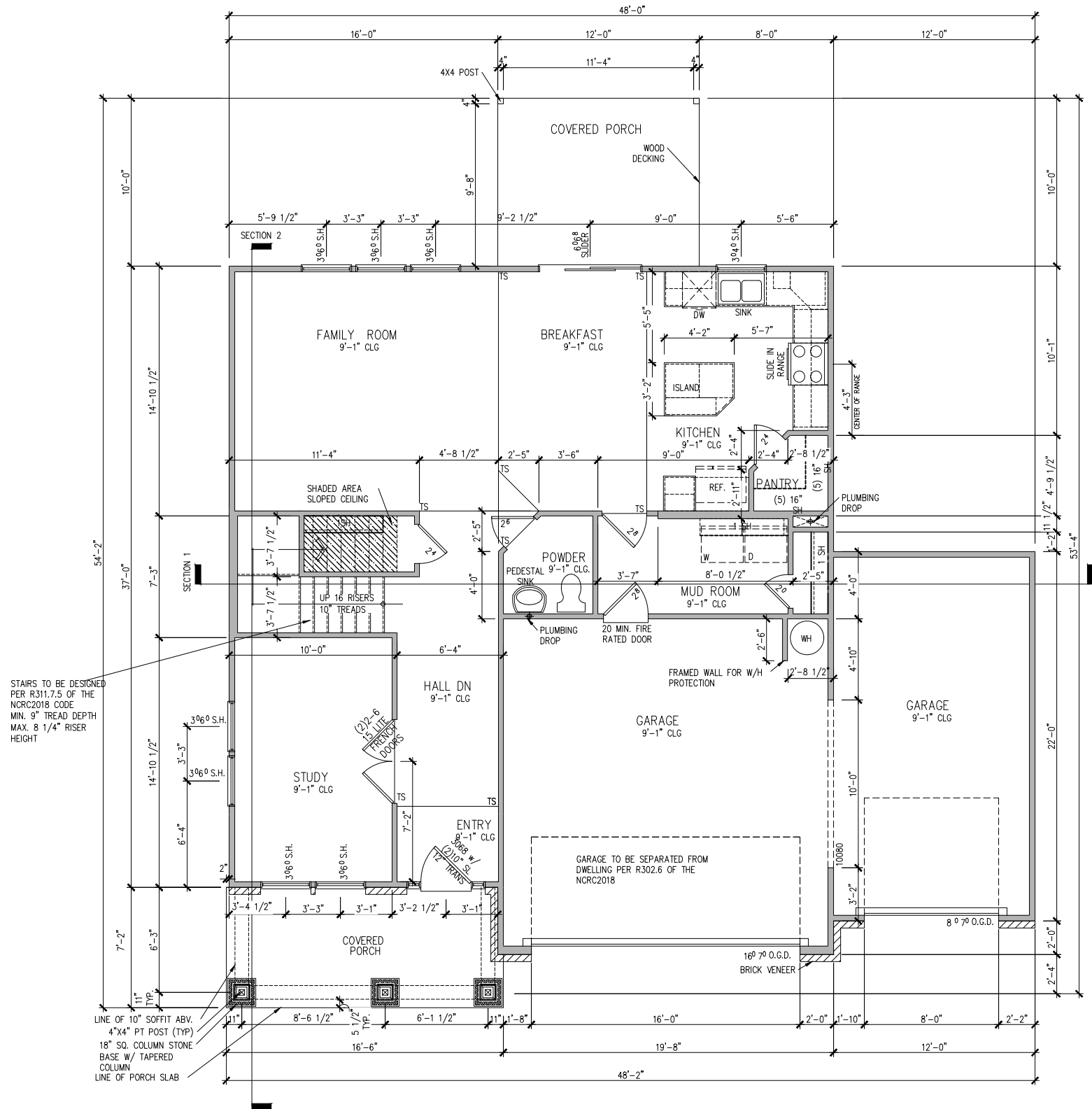
ELEVATION 7
CRAWL SPACE PLAN
SCALE: 1/8" = 1'-0"

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615



HOUSE NAME: DEVON
DRAWING TITLE: CRAWL SP

SHEET No.
A2.1



ELEVATION 7
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

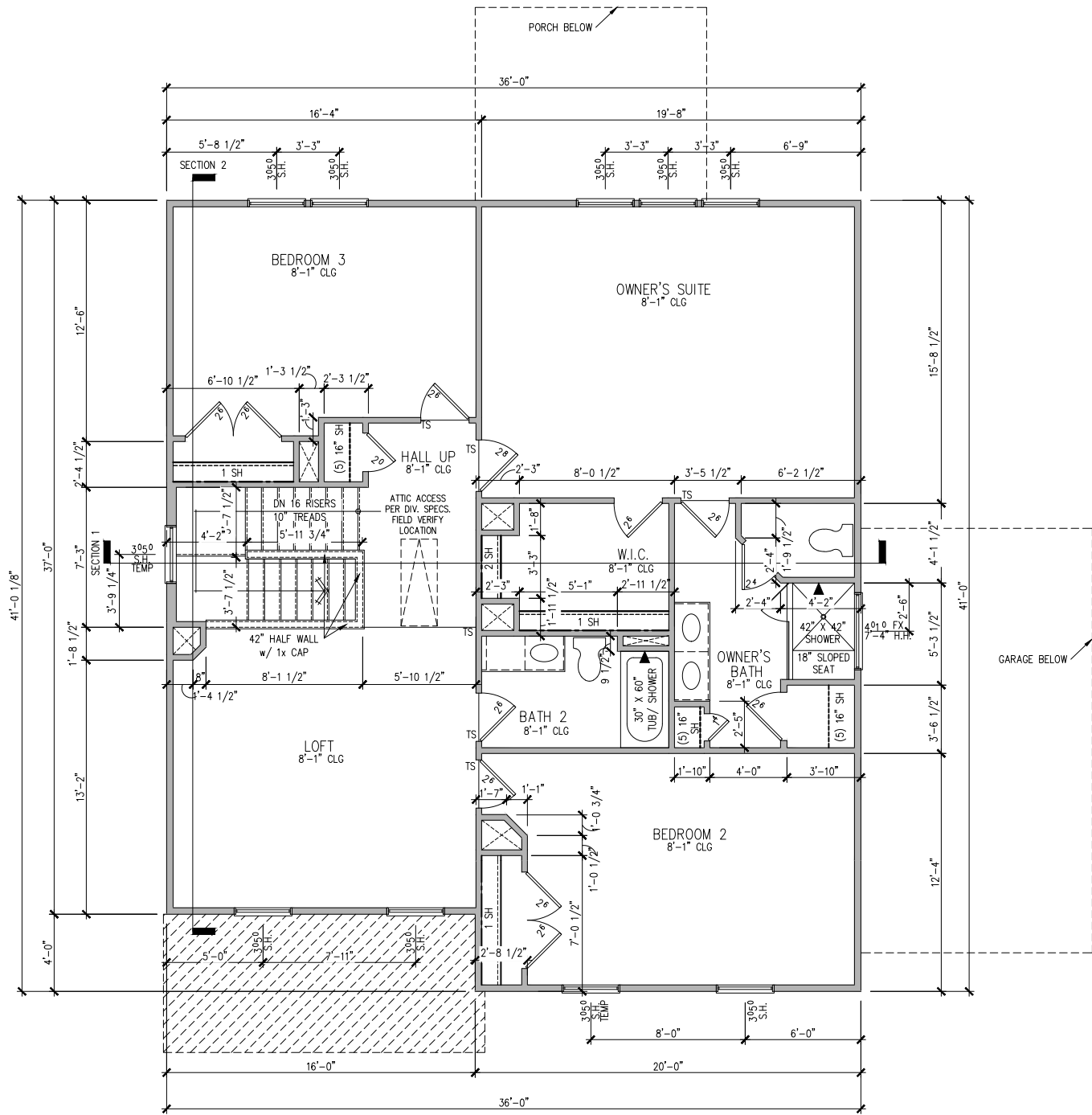
MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	03-04-2025	04-10-2025	

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615



HOUSE NAME:	DEVON
DRAWING TITLE	FIRST FLOOR PLAN

SHEET No.	A3.1
-----------	------



ELEVATION 7
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

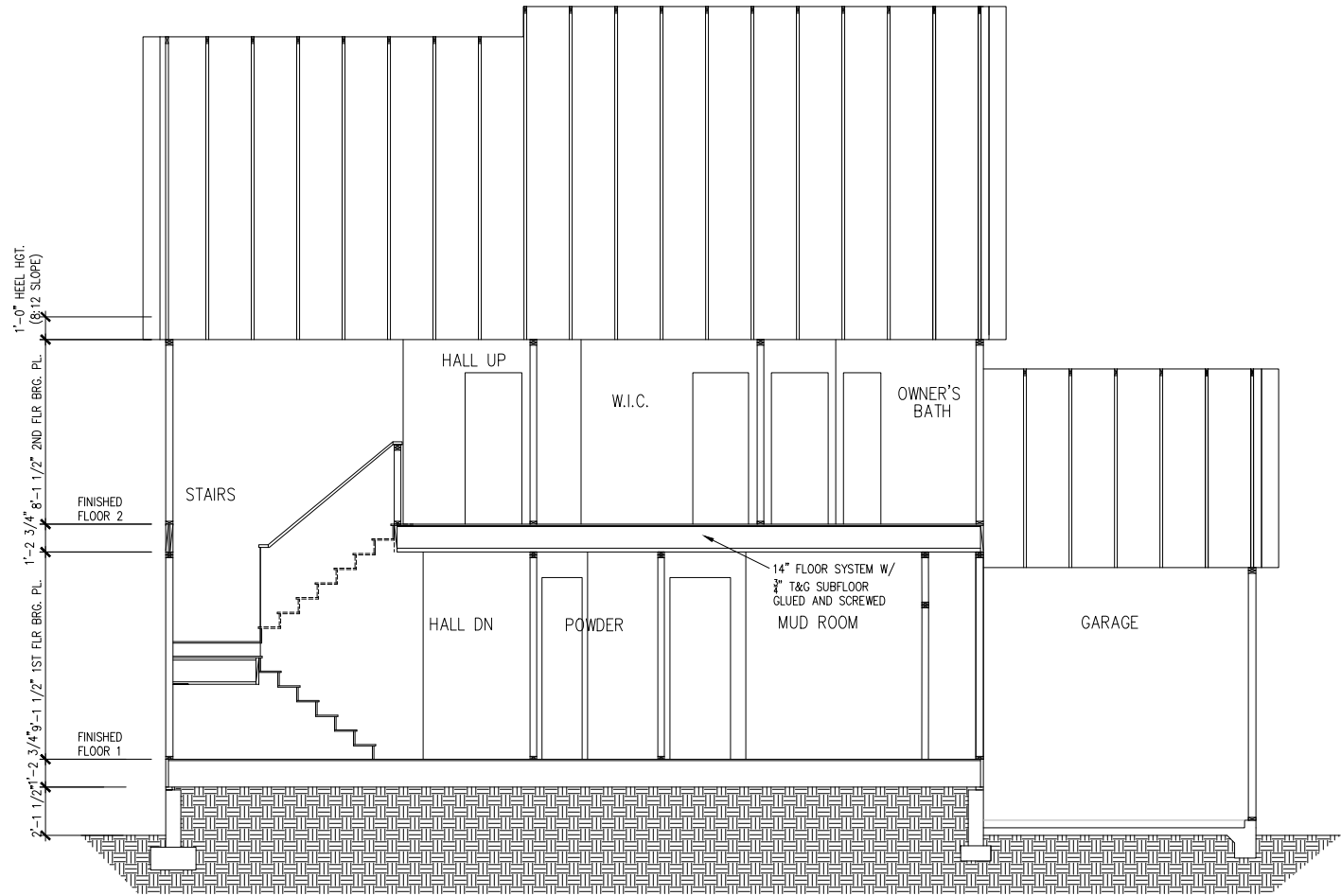
MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	03-04-2025	04-10-2025	

DRAWN BY:	
ITS	
DATE:	07/21/2025
PLAN NO.	1615

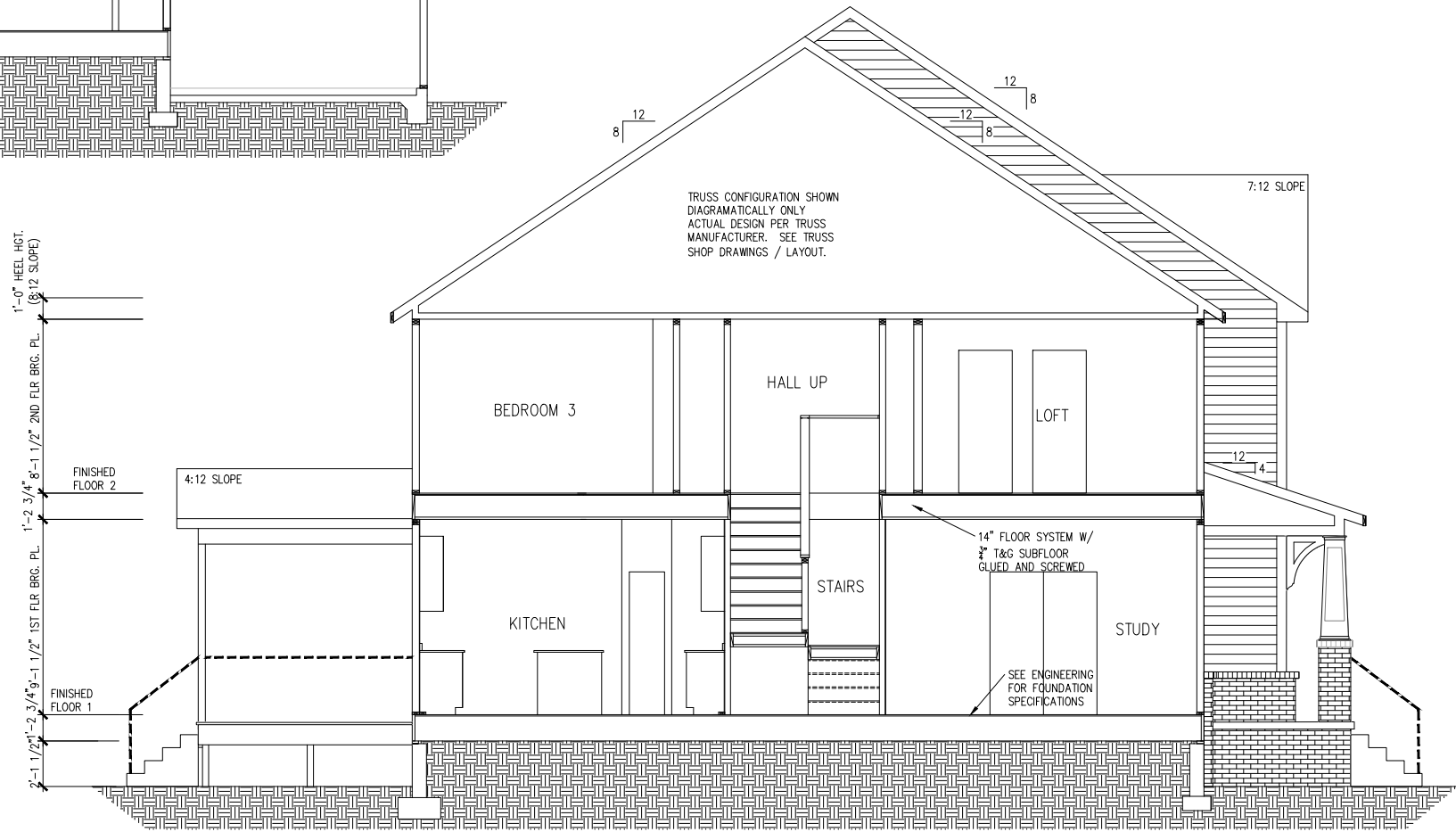


HOUSE NAME:	DEVON
DRAWING TITLE	SECOND FLOOR PLAN

SHEET No.
A3.2



SECTION 1
SCALE: 1/8" = 1'-0"



SECTION 2
SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	03-04-2025	04-10-2025	

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615

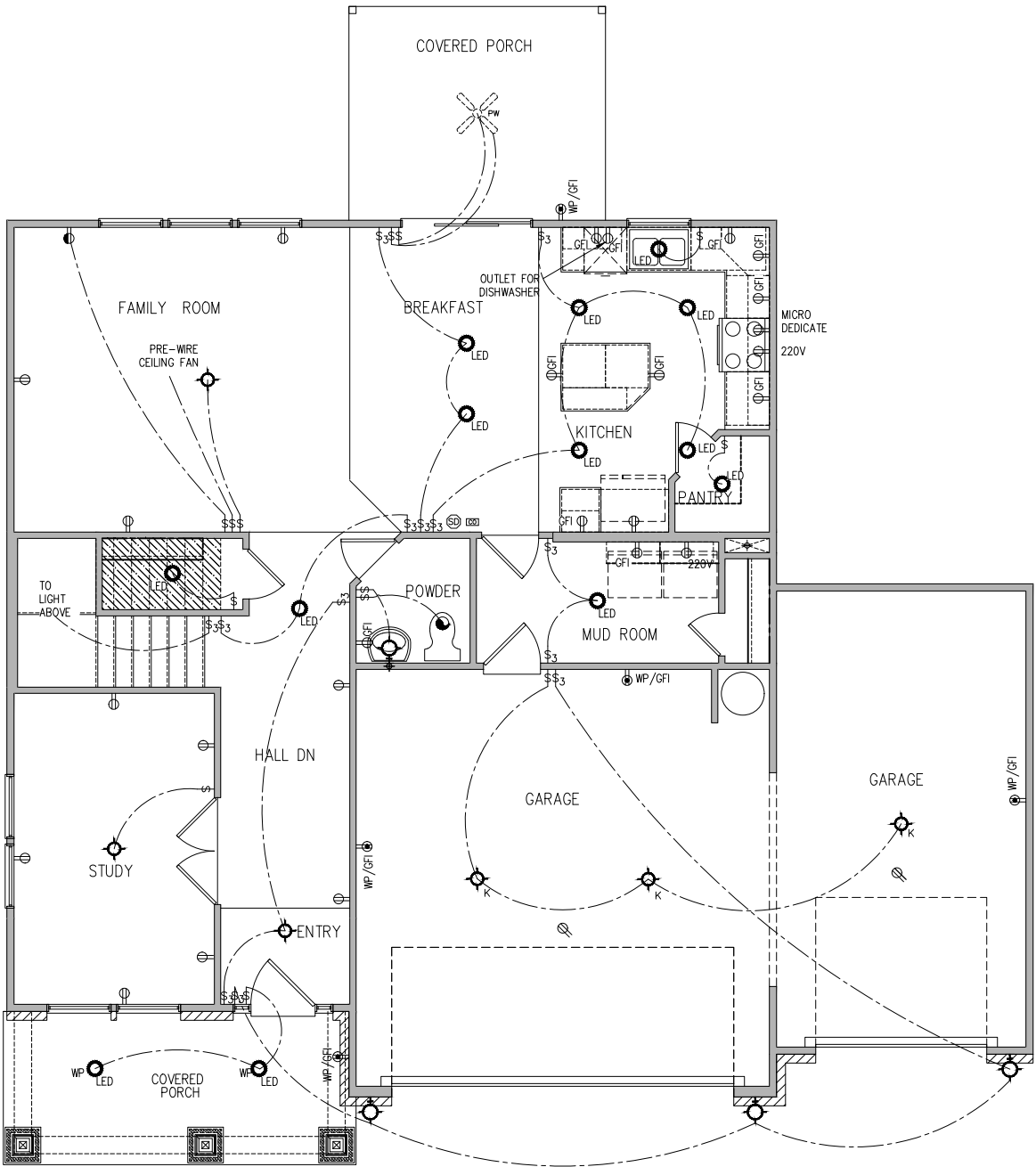
DRB
HOMES

HOUSE NAME:
DEVON
DRAWING TITLE
BUILDING SECTION

SHEET No.
A4.1

ELECTRICAL LEGEND	
\$	SINGLE POLE SWITCH
\$3	THREE WAY SWITCH
\$4	FOUR WAY SWITCH
⊖	DUPLEX AFCI RECEPTACLE
⊖	DUPLEX AFCI RECEPTACLE – BOTTOM HALF SWITCHED
⊖	DUPLEX AFCI RECEPTACLE – FLOOR MOUNTED
220V ⊖	RECEPTACLE – 220V
GFI ⊖	DUPLEX AFCI RECEPTACLE – GFI
WP/GFI ⊖	DUPLEX AFCI RECEPTACLE – WATERPROOF GFI
SD	SMOKE DETECTOR – WIRED IN SERIES
⊖	EXHAUST FAN MOTOR
CO	CO DETECTOR
DC	DOOR CHIME
⊖	LIGHT FIXTURE – WALL MOUNTED
⊖	LIGHT FIXTURE – CEILING MOUNTED
LED	LIGHT FIXTURE – LED SURFACE MOUNTED
P	PULLCHAIN LAMPHOLDER
K	KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
FIRST FLOOR – ELEV. 7
SCALE: 1/8" = 1'-0"

FILE: Lot 00.0121 updated 8-5-25.dwg DATE: 7/21/2025 11:56 AM

MASTER PLAN INFORMATION	
REVISION	DATE
4-RALE	03-04-2025
	04-10-2025

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615

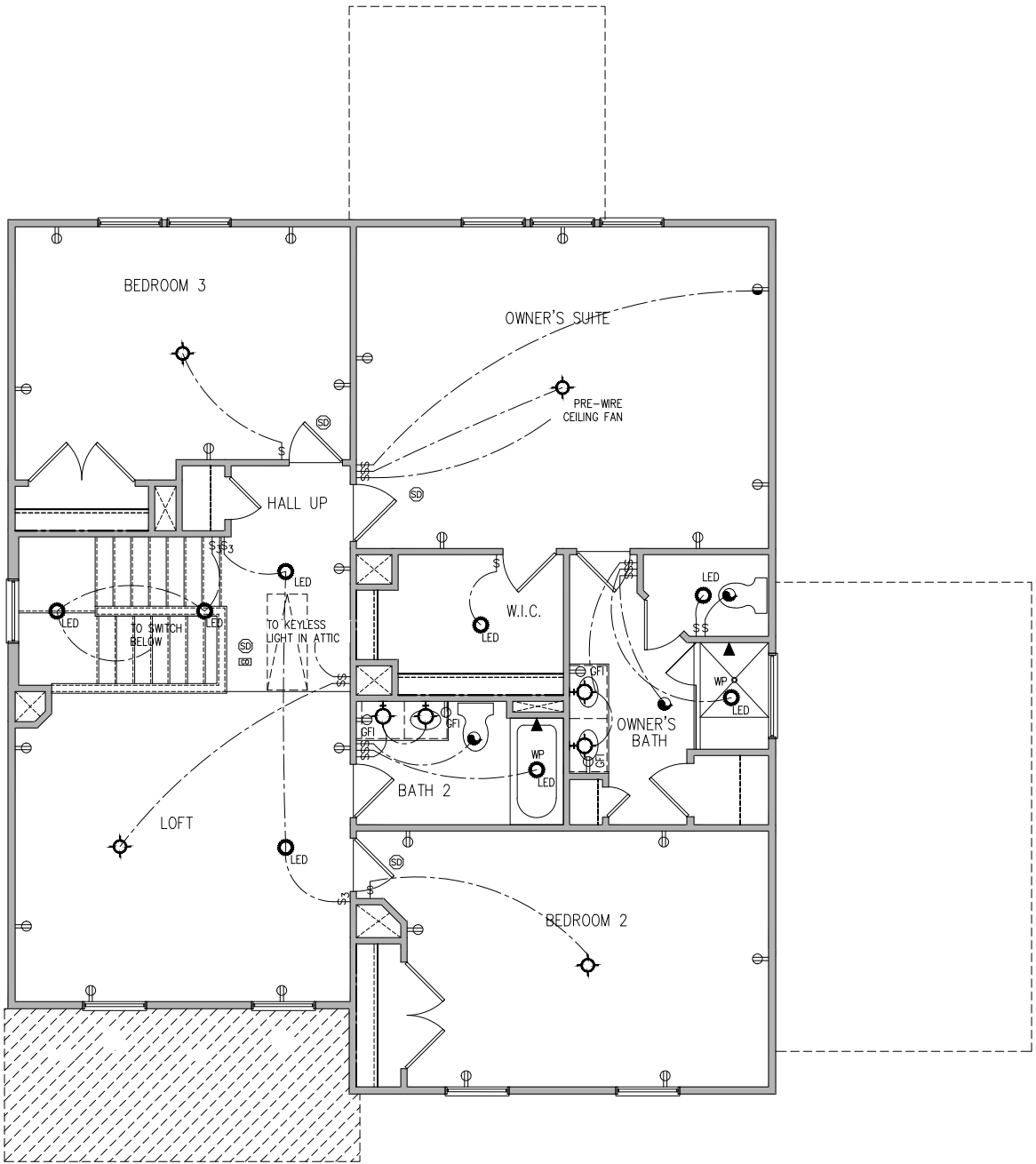


HOUSE NAME:	DEVON
DRAWING TITLE	FIRST FLOOR ELECTRICAL

SHEET No.	E1.1
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ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DUPLEX AFCI RECEPTACLE
	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
	RECEPTACLE - 220V
	DUPLEX AFCI RECEPTACLE - GFI
	DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
	SMOKE DETECTOR - WIRED IN SERIES
	EXHAUST FAN MOTOR
	CO DETECTOR
	DOOR CHIME
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - LED SURFACE MOUNTED
	PULLCHAIN LAMPHOLDER
	KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR – ELEV. 7
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0121 updated 8-5-25.dwg DATE: 7/21/2025 11:56 AM

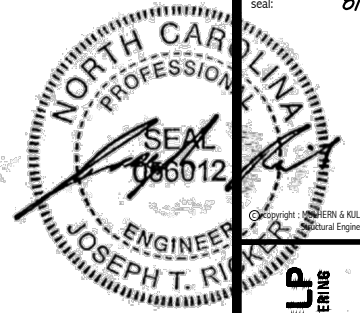
MASTER PLAN INFORMATION		UPDATED DATE
REVISION	DATE	
4-RALE	03-04-2025	04-10-2025

DRAWN BY:	ITS
DATE:	07/21/2025
PLAN NO.	1615



HOUSE NAME:	DEVON
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.	E1.2
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NC LIC. #C-3825

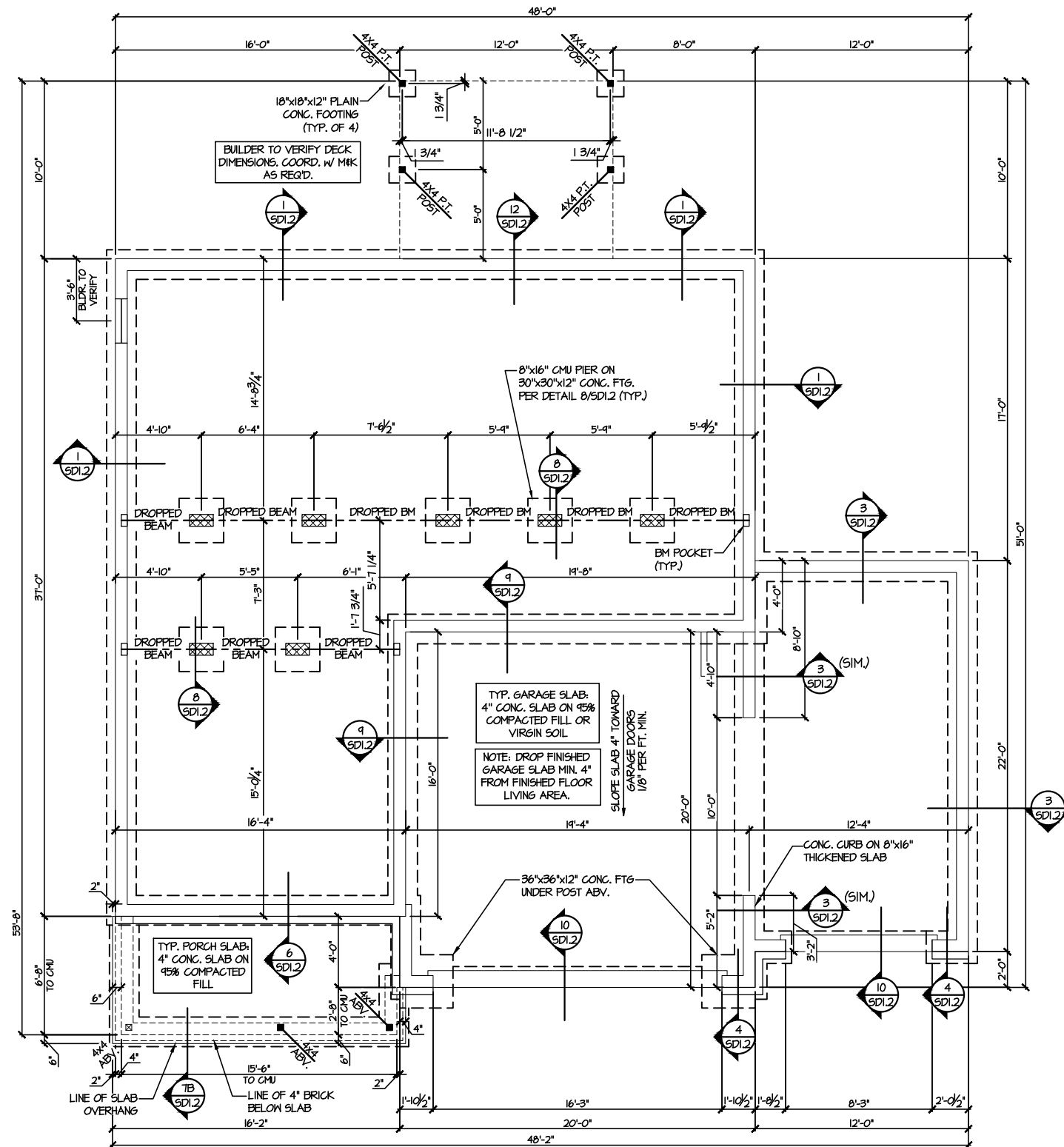
Project mgr: JTR
Drawn by: GTK
Issue date: 07-25-25



FOUNDATION PLANS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

Sheet:

\$1.0

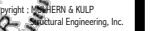


CRAWL SPACE FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

-  INTERIOR BEARING WALL
 -  BEARING WALL ABOVE
 -  BEAM / HEADER
 -  INDICATES SHEAR WALL & EXTENT
 -  EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
-  INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



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NC LIC. #C-3825



project number:
1 26-2306 1

ct mgr: JTR
n by: GTK
date: 07-25-25

initial:

10



BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

Figure 1

S2.0



SD2.I REFERS TO SD2.IA FOR
LVL/PSL/LSL BEAMS OR SD2.IB
FOR FLITCH BEAMS OR SD2.IC
FOR STEEL BEAMS

LEGEND

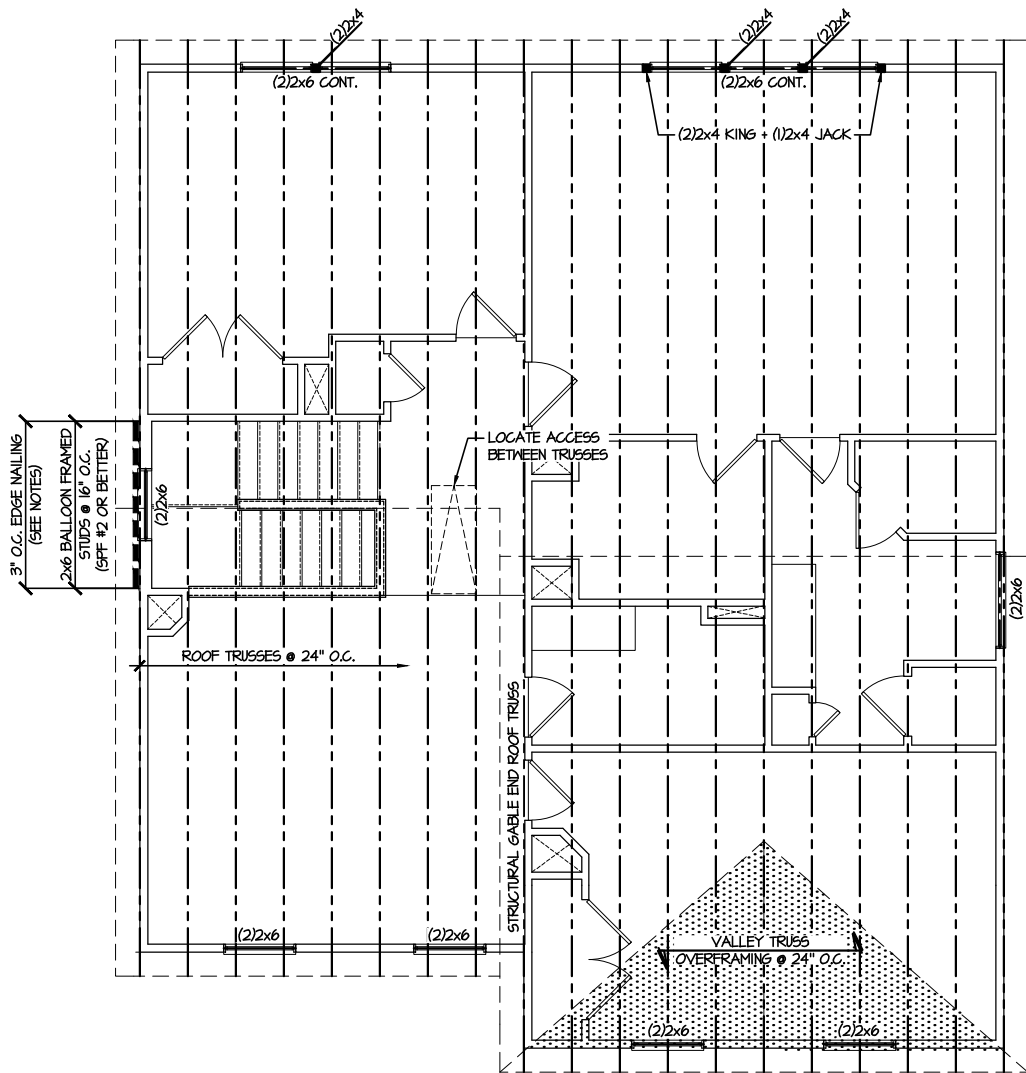
-  INTERIOR BEARING WALL
 -  BEARING WALL ABOVE
 -  BEAM / HEADER
 -  INDICATES SHEAR WALL & EXTENT
 -  EXTENT OF OVERFRAMING
11. METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
-  INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(3)3"x16" - H	5"x16" - H	N/A	(3)2x12 + (2)3"x11 1/2" STEEL FLITCH PLATES - H	N/A
001A	(3)3"x14" - H	5"x14" - H	(3)3"x16" - H	(3)2x12 + (2)3"x11 1/2" STEEL FLITCH PLATES - H	N/A
002	(2)3"x9 1/2" - H	3 1/2"x9 1/2" - H	(2)3"x9 1/2" - H	(2)2x10 + (1)3"x9 1/2" STEEL FLITCH PLATES - H	H20x10 - H
003	(2)3"x14" - F	3 1/2"x14" - F	(2)3"x14" - F	(2)2x12 + (1)3"x11 1/2" STEEL FLITCH PLATES - FB	W12x14 - F
004	(2)3"x14" - F	3 1/2"x14" - F	(2)3"x14" - F	(2)2x12 + (1)3"x11 1/2" STEEL FLITCH PLATES - FB	W12x14 - F
005	(2)3"x9 1/2" - H	3 1/2"x9 1/2" - H	(2)3"x9 1/2" - H	(2)2x10 + (1)3"x9 1/2" STEEL FLITCH PLATES - H	H20x10 - H
006	(2)3"x9 1/2" - F	3 1/2"x9 1/2" - F	(3)3"x9 1/2" - F	(2)2x10 + (1)3"x9 1/2" STEEL FLITCH PLATES - F	N/A
007	(2)3"x9 1/2" - F	3 1/2"x9 1/2" - F	(3)3"x9 1/2" - F	(2)2x10 + (1)3"x9 1/2" STEEL FLITCH PLATES - F	N/A
008	(2)3"x14" - F	3 1/2"x14" - F	(2)3"x14" - F	(2)2x12 + (1)3"x11 1/2" STEEL FLITCH PLATES - FB	W12x14 - F
004	(2)3"x14" - F	3 1/2"x14" - F	(2)3"x14" - F	(2)2x12 + (1)3"x11 1/2" STEEL FLITCH PLATES - FB	W12x14 - F
010	(2)3"x11 1/2" - H	3 1/2"x11 1/2" - H	(2)3"x11 1/2" - H	(2)2x12 + (1)3"x11 1/2" STEEL FLITCH PLATES - H	N/A

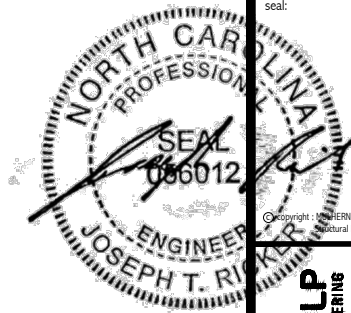
- **BEAM NOTATION:**
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/S22.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/S22.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2x STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8" O.C.



1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND	
•	INTERIOR BEARING WALL
•	BEARING WALL ABOVE
•	BEAM / HEADER
•	INDICATES SHEAR WALL & EXTENT
•	EXTENT OF OVERFRAMING
•	METAL HANGER
•	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



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M&K project number:
126-23061

project mgr: JTR
drawn by: GTK
issue date: 07-25-25

REVISIONS:

date:	initial:

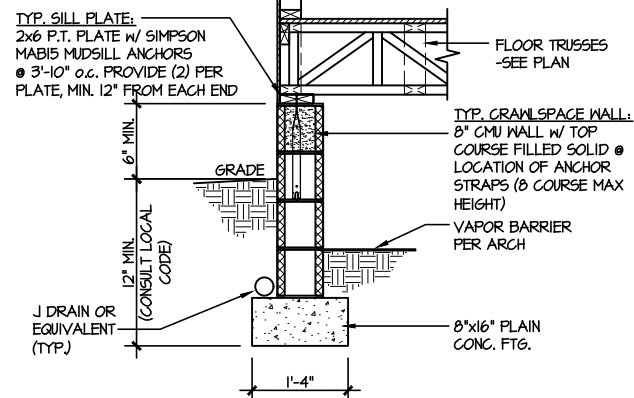
DRB
HOMES

ROOF FRAMING PLANS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

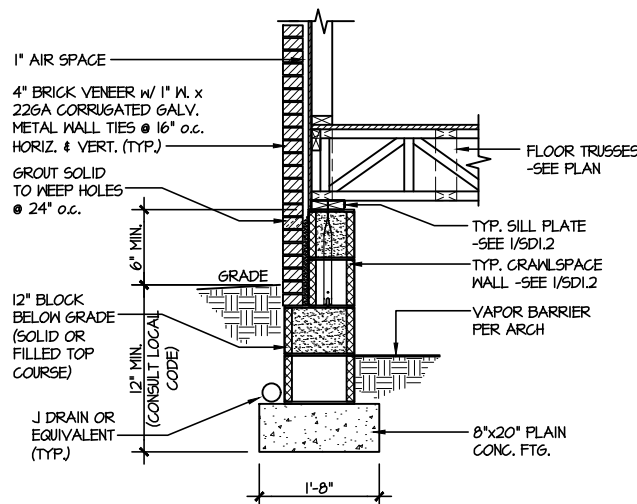
sheet:
S4.0

seal: 8/6/25

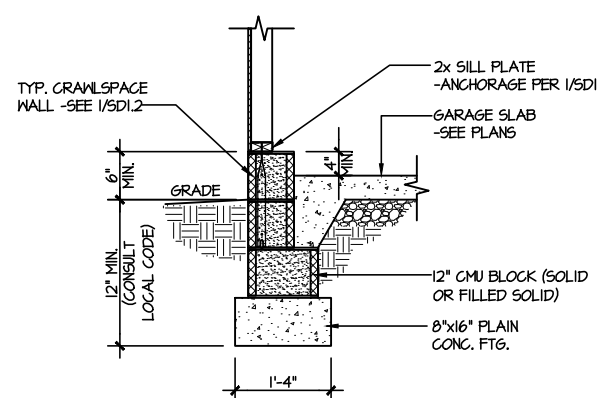
ALT. TO MIDSILL ANCHORS:
1/2" DIA. x 10" LONG A.B. @ 6'-0" o.c.



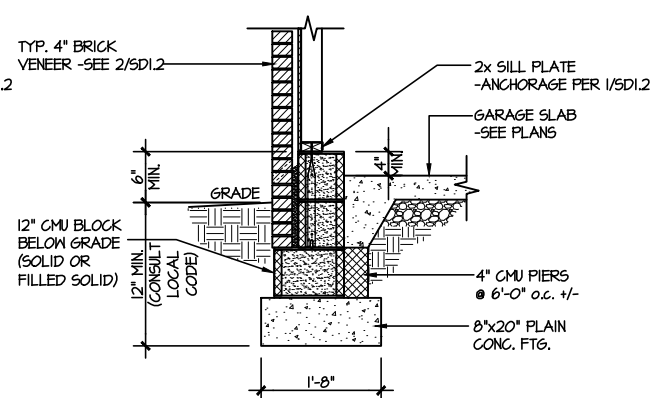
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0"



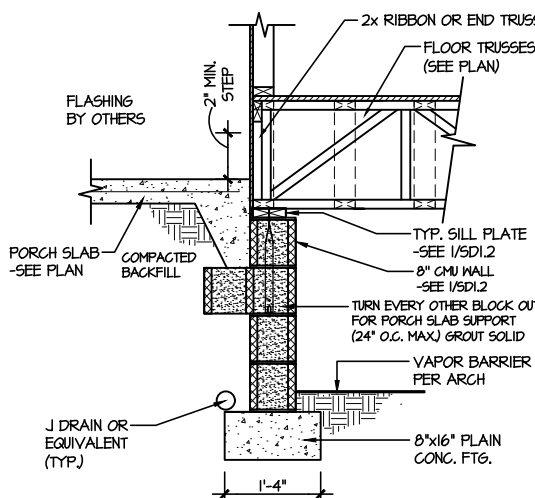
2 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



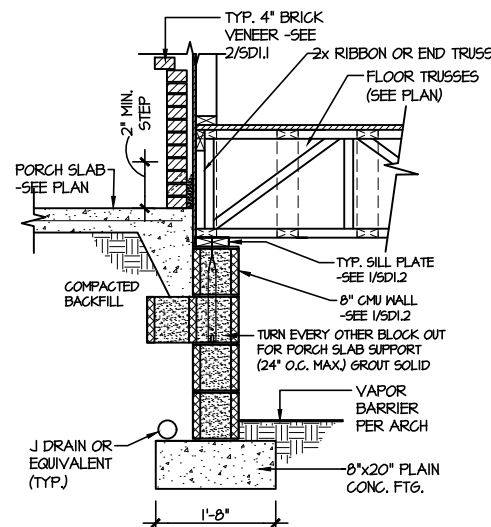
3 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0"



4 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER

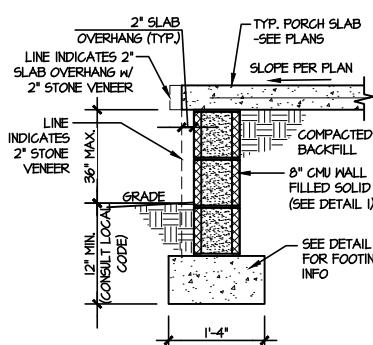


5 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0"
(REFER TO DETAIL 12 FOR WOOD PORCH OPTION)

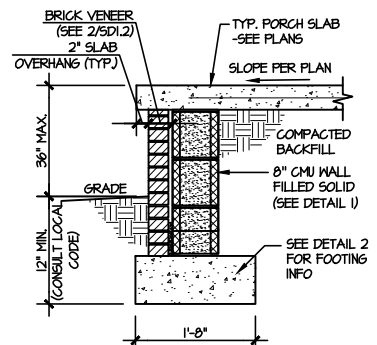


6 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER

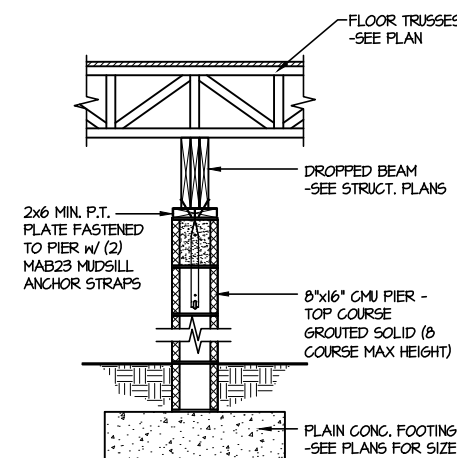
PLAIN CONC. FOOTINGS AS DIMENSIONED & SHOWN ARE MINIMUM SIZES REQUIRED & HAVE BEEN ENGINEERED. ADDITION OF CONTINUOUS REBAR OR LARGER FOOTINGS MAY BE PROVIDED AT THE DISCRETION OF THE BUILDER.



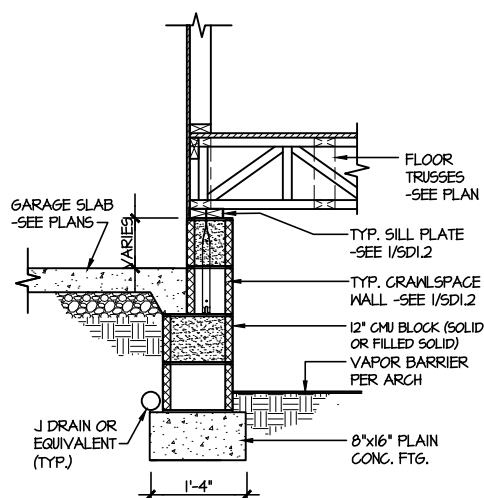
7A TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



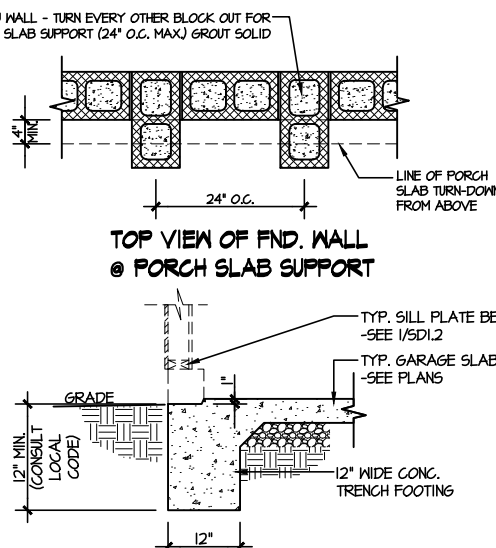
7B TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



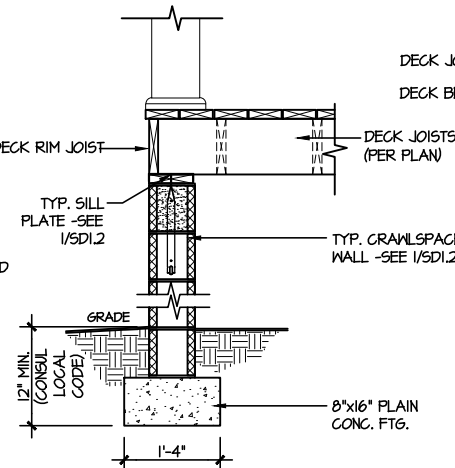
8 TYPICAL CRAWLSPACE FND. @ INTERIOR PIER
SCALE: 3/8"=1'-0"



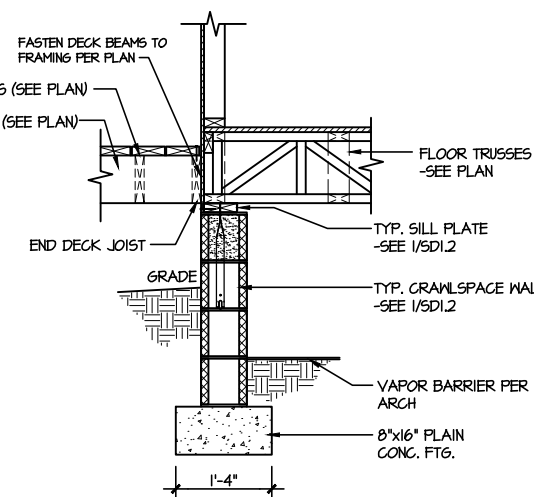
9 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/8"=1'-0"



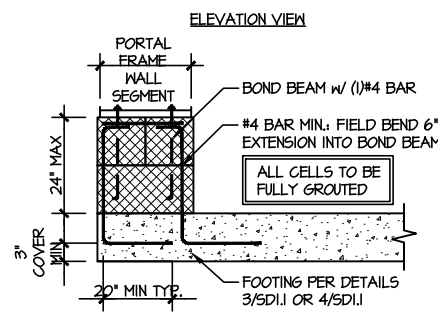
10 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



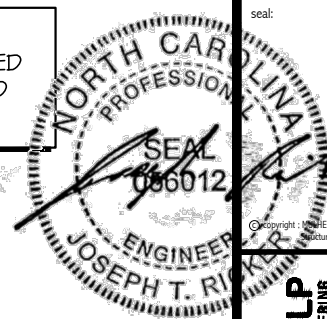
11 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK PERIMETER
SCALE: 3/8"=1'-0"



12 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK
SCALE: 3/8"=1'-0"



A GARAGE PORTAL FRAME STEM WALL REINFORCEMENT
SCALE: 3/8"=1'-0"



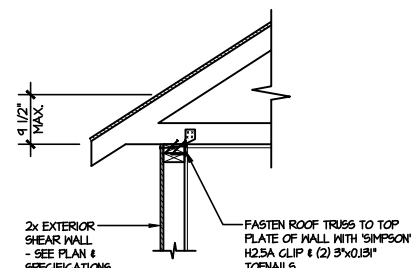
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N.C. LIC. #C-3825

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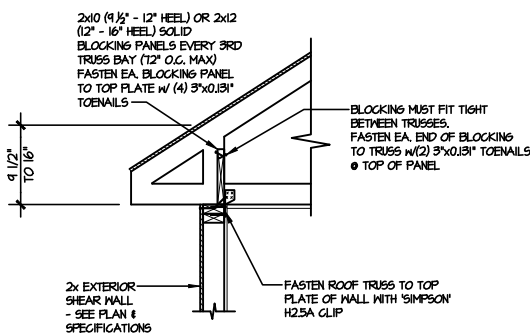
DRB
HOMES

FOUNDATION DETAILS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

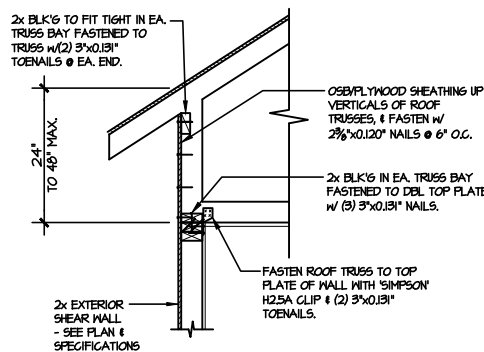
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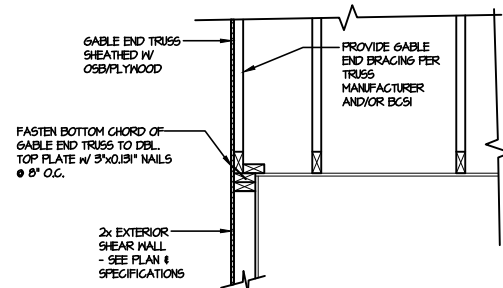
A1 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT LESS THAN 1 1/2"
NO BLOCKING REQ'D



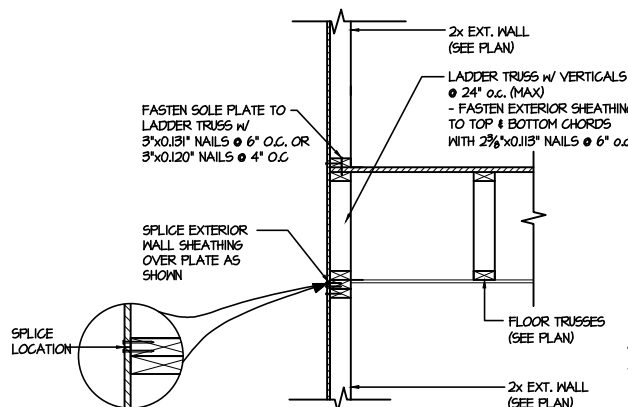
A2 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT BETWEEN 1 1/2" - 16"
BLOCKING REQ'D



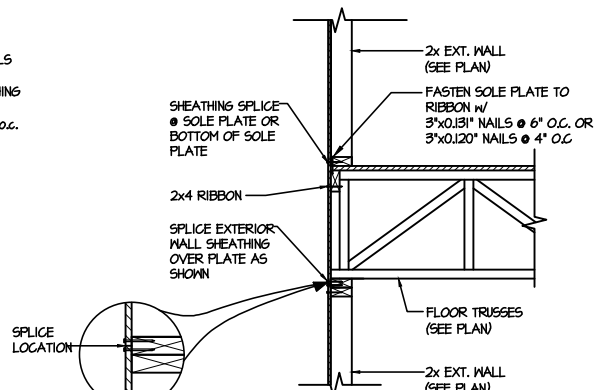
A3 TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0"
HEEL HEIGHT UP TO 48" MAX.



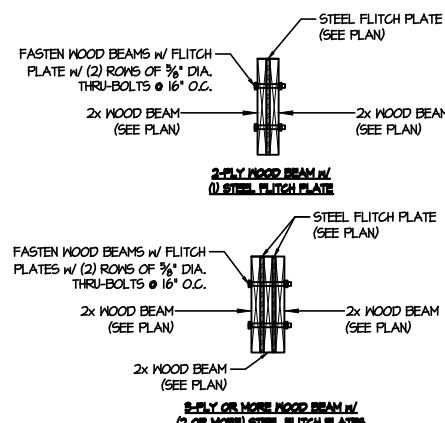
B TYPICAL GABLE END DETAIL
SCALE: 3/8"=1'-0"



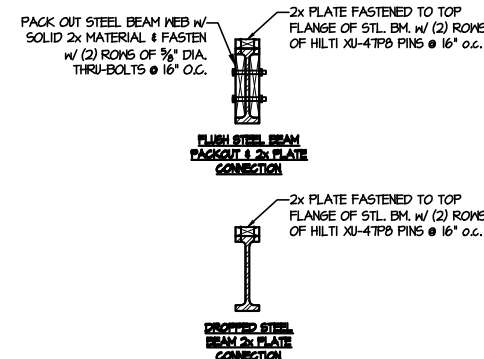
C1 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"
PARALLEL FRMS



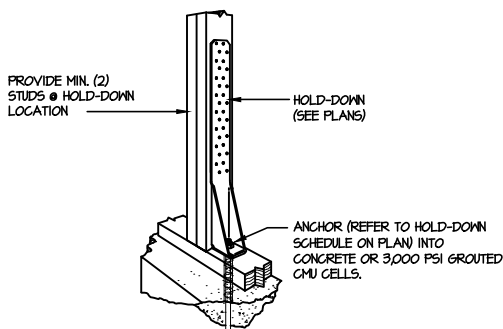
C2 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"
PERPENDICULAR FRMS



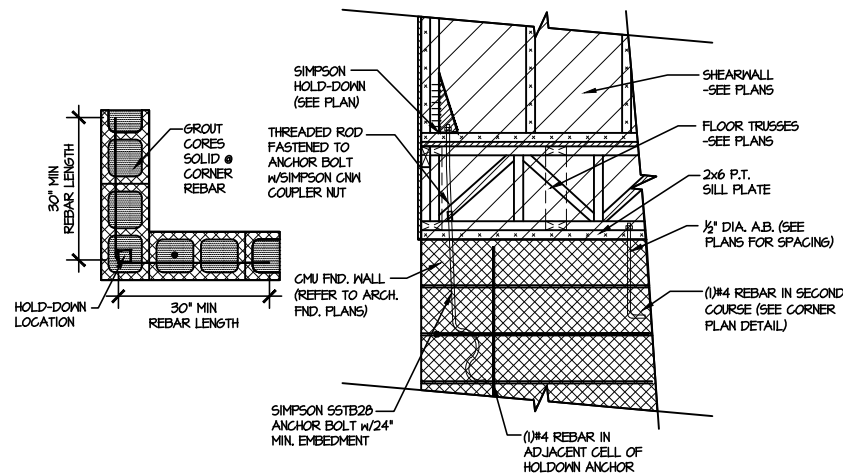
D TYPICAL FLITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



E TYPICAL STEEL BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



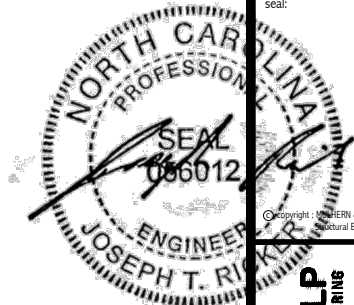
F1 TYPICAL HOLD DOWN INSTALLATION
SCALE: N.T.S.



F3 TYPICAL CORNER FOUNDATION HOLD-DOWN INSTALLATION
SCALE: N.T.S.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



MULHERN+KULP
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3800 Duneside Ave. Building 4 - Asheville, NC 28802
P: 726-596-0351 • m+k@mulhernkulp.com
NC LIC. #C-3825

M&K project number:
126-23061

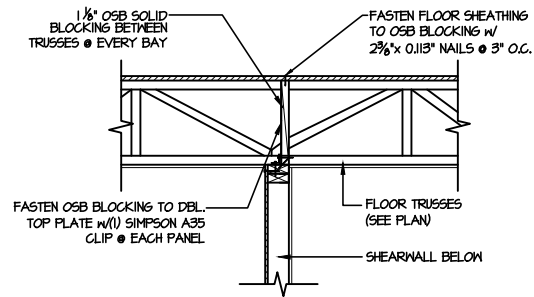
project mgr: JTR
drawn by: GTK
issue date: 07-25-25

REVISIONS:
date: initial:

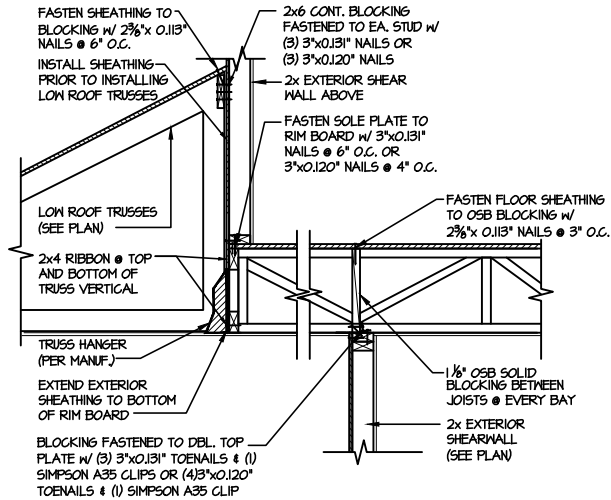
DRB
HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

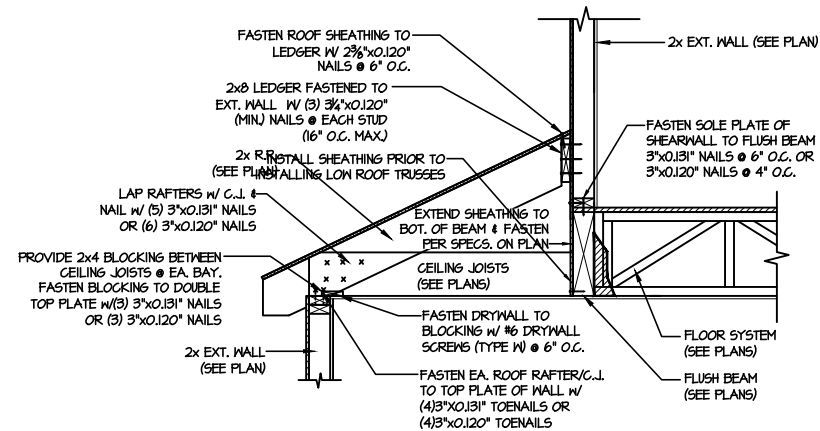
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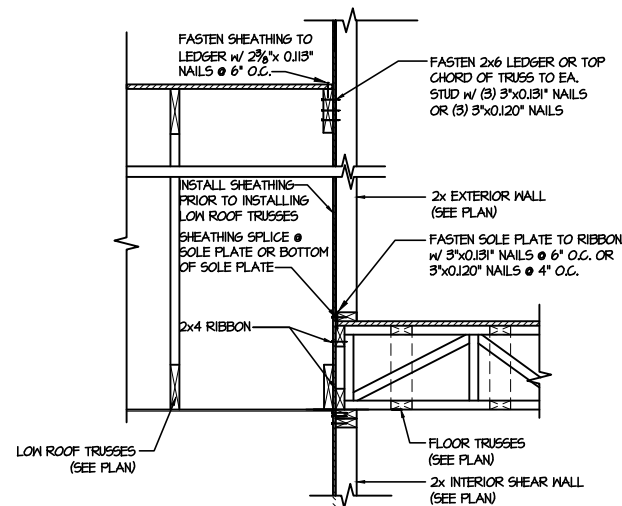
1 **SHEAR TRANSFER DETAIL**
@ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0"
PERPENDICULAR FRAMING



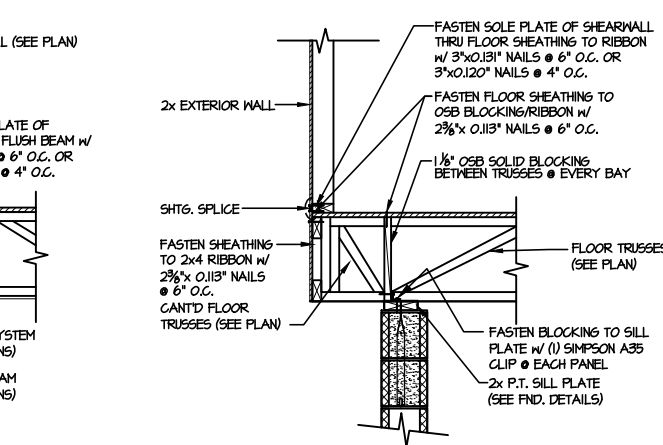
2 **TYPICAL SHEAR TRANSFER DETAIL**
@ EXTERIOR WALL ABOVE
SCALE: 3/4"=1'-0"



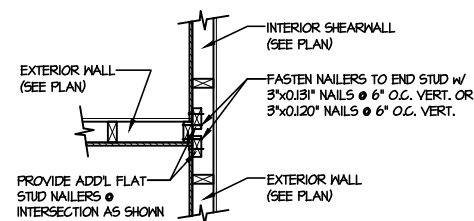
5 **TYPICAL SHEAR TRANSFER DETAIL**
BETWEEN FLOORS @ SHED ROOF
SCALE: 3/4"=1'-0"



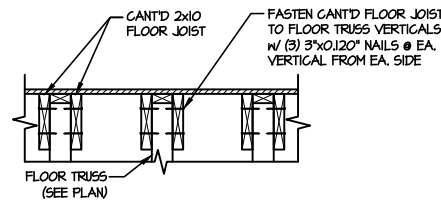
9 **TYPICAL SHEAR TRANSFER DETAIL**
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



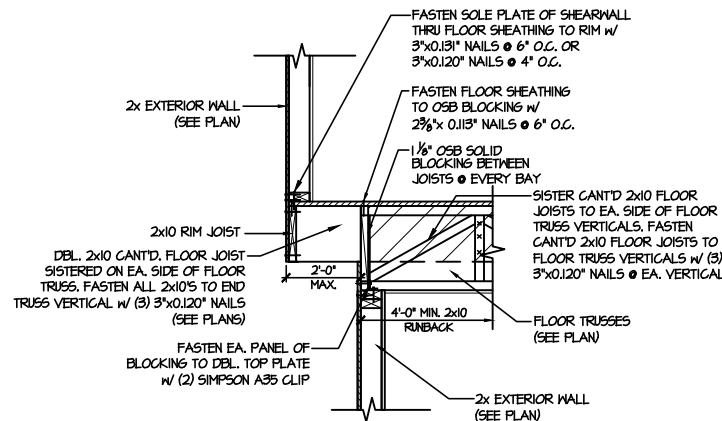
6 **SHEAR TRANSFER DETAIL BETWEEN**
FLOORS @ CANT'D EXT. WALL



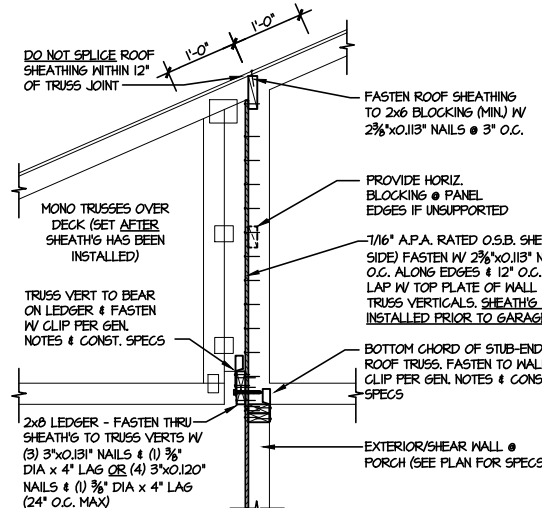
10 **SHEAR TRANSFER DETAIL @**
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0"
SHTS. ON SAME PAGE



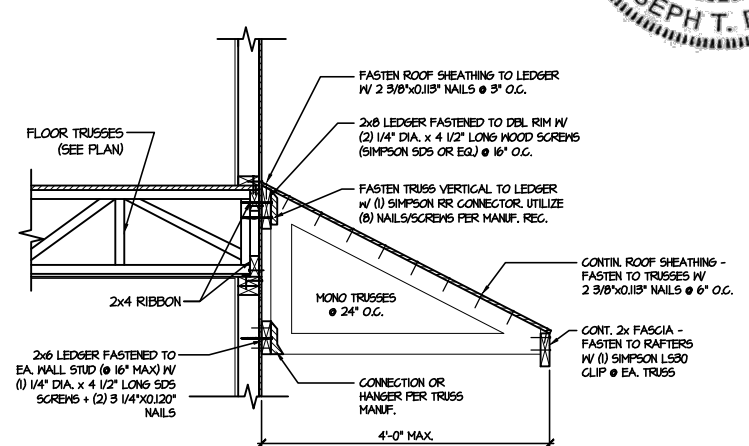
SECTION @ INTERIOR CONNECTION



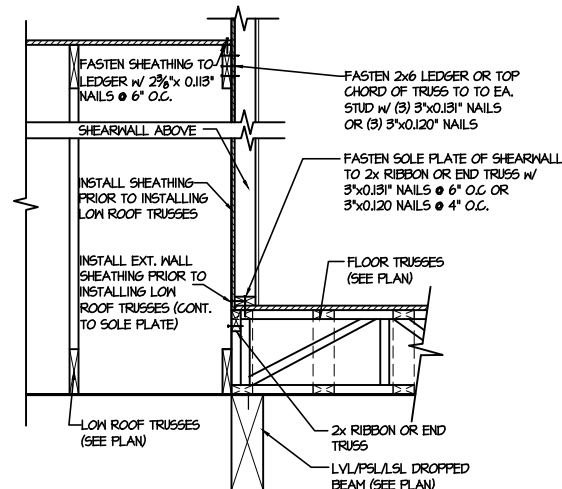
3 **SHEAR TRANSFER DETAIL BETWEEN**
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"



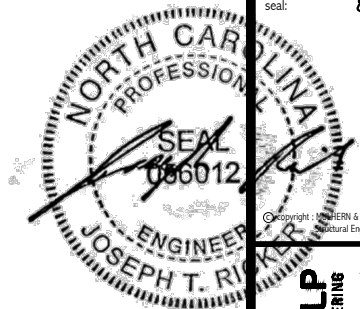
7 **SHEAR TRANSFER DETAIL @**
BREAK IN TRUSSES OVER SHEAR WALL
SCALE: 3/4"=1'-0" - 2204
3/8"=1'-0" - 1047

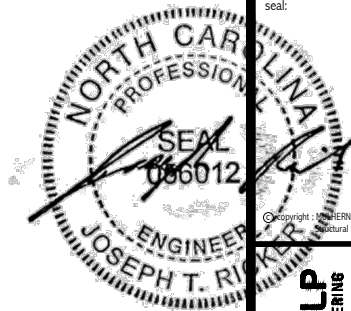


4 **DETAIL @ SHED ROOF**
SCALE: 3/8"=1'-0"



8 **SHEAR TRANSFER DETAIL @**
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"





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M&K project number:
126-23061

project mgr: JTR
drawn by: GTK
issue date: 07-25-25

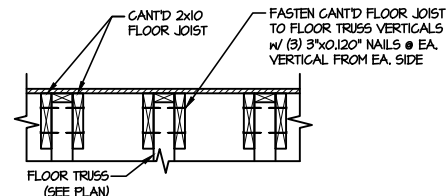
REVISIONS:
date: initial:

DRB
HOMES

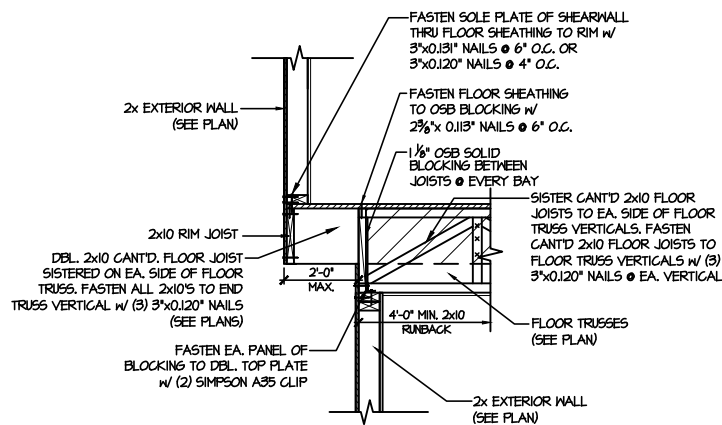
FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

sheet:

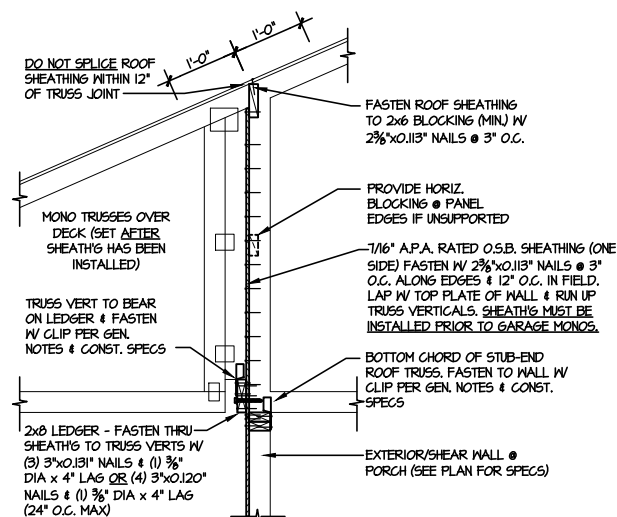
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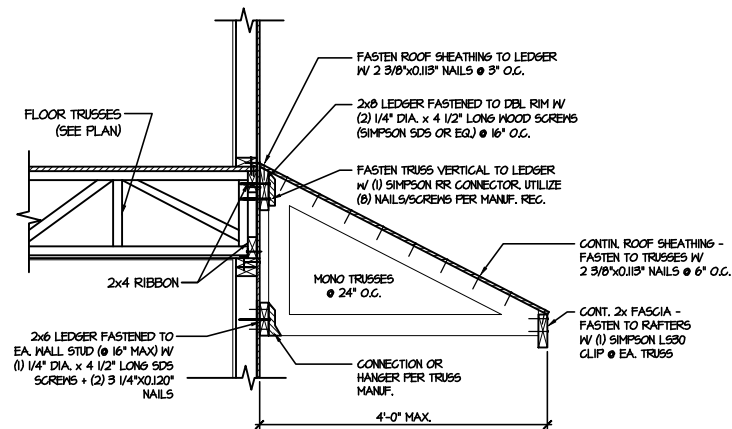
SECTION @ INTERIOR CONNECTION



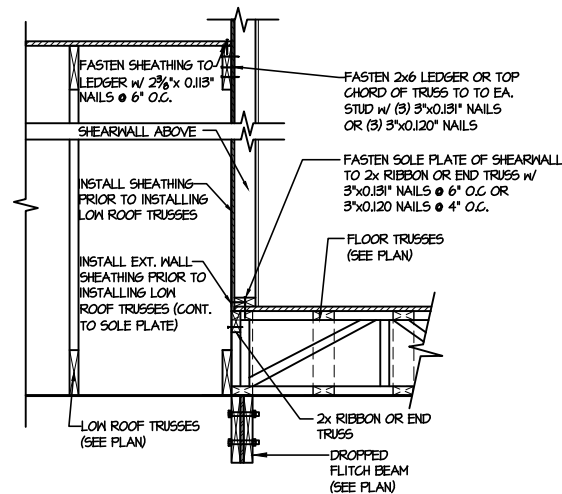
SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL



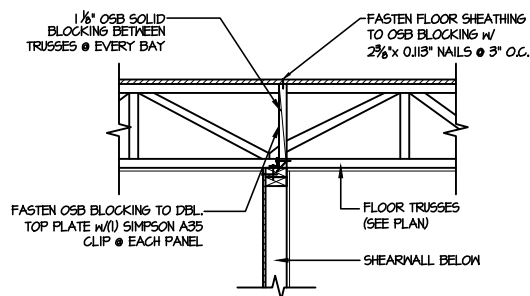
SHEAR TRANSFER DETAIL @ BREAK IN TRUSSES OVER SHEAR WALL



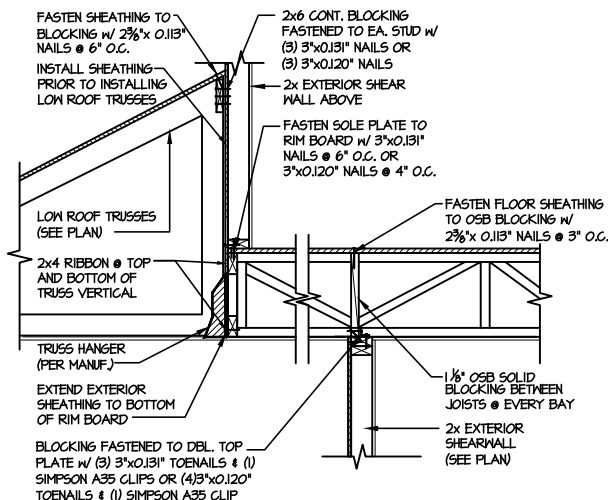
DETAIL @ SHED ROOF



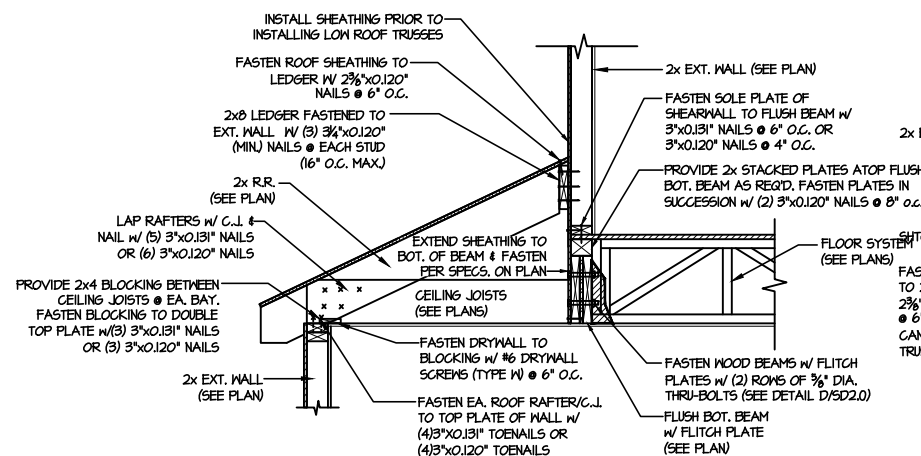
SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



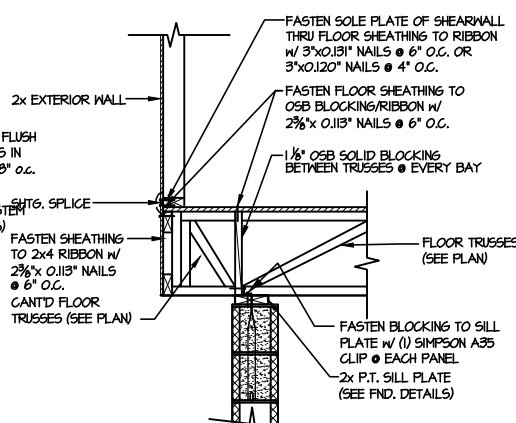
SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL



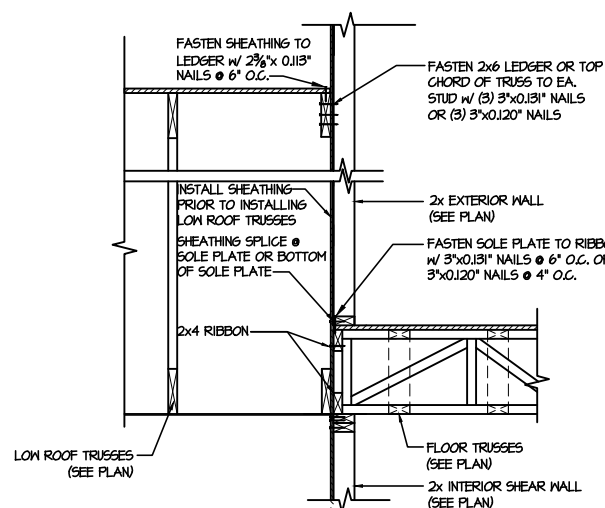
TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL ABOVE



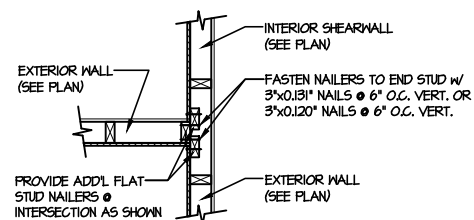
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ SHED ROOF



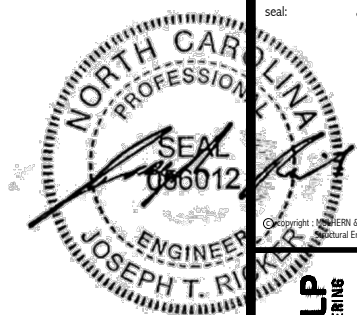
SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL



M&K project number:
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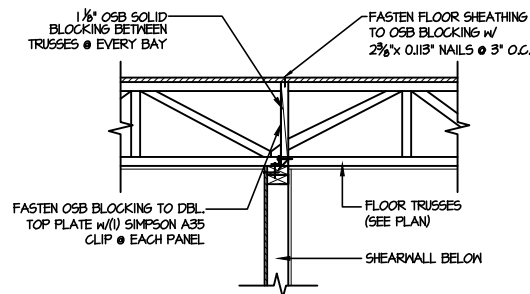
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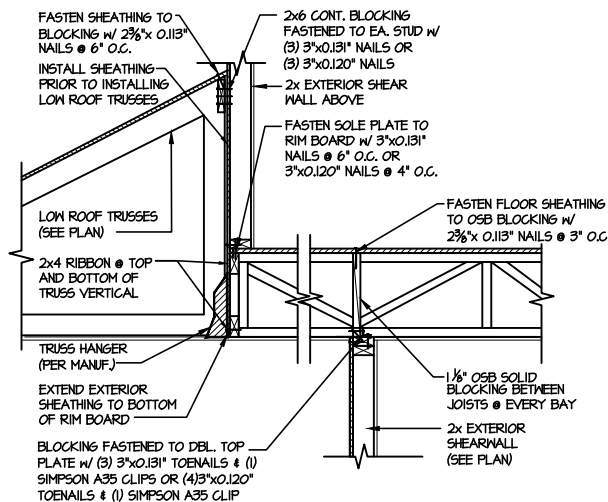
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BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

sheet:

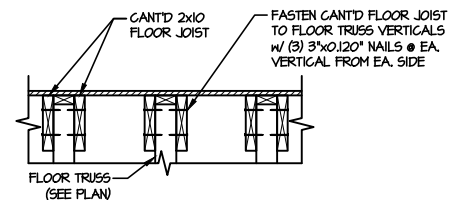
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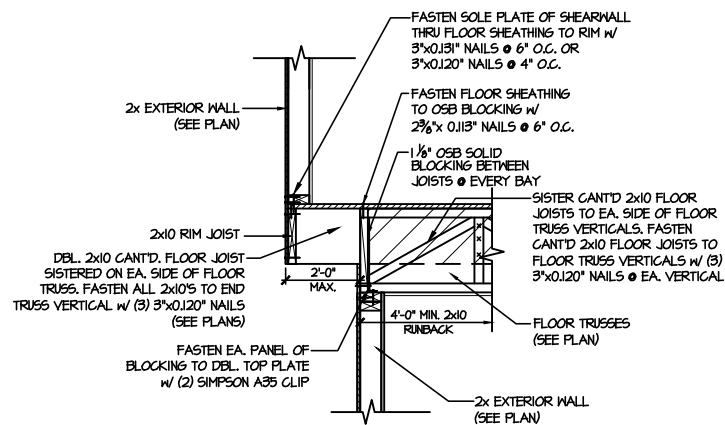
1 SHEAR TRANSFER DETAIL
@ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0"



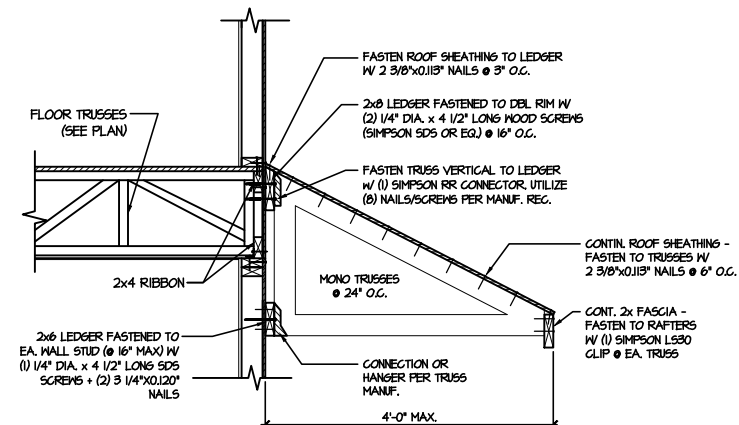
2 TYPICAL SHEAR TRANSFER DETAIL
@ EXTERIOR WALL ABOVE
SCALE: 3/4"=1'-0"



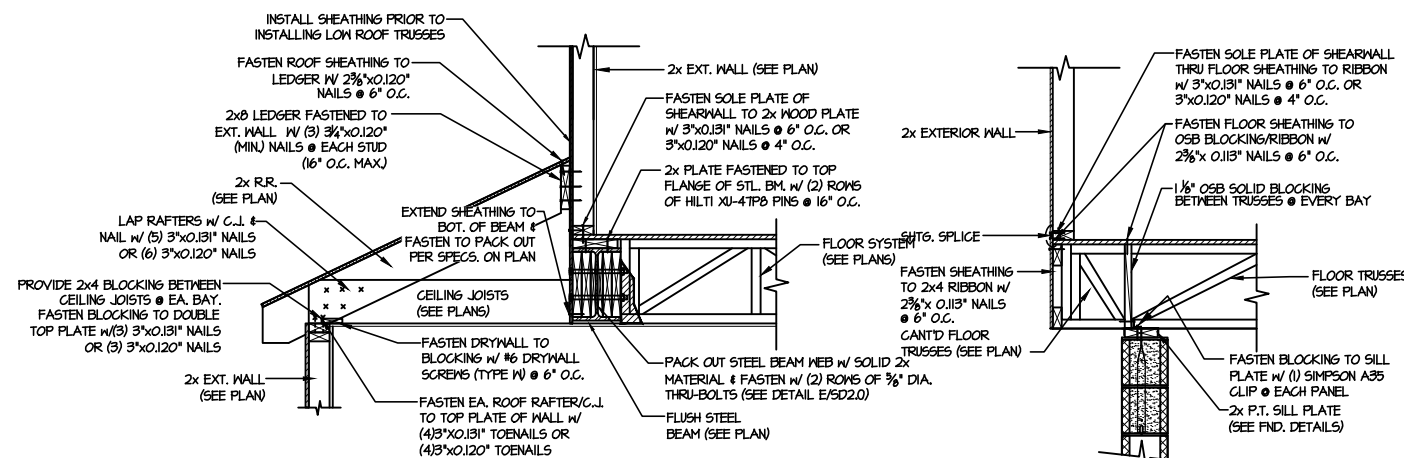
SECTION @ INTERIOR CONNECTION



3 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"

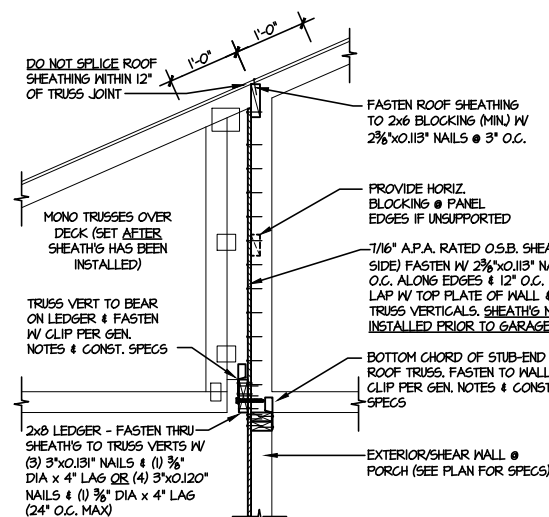


4 DETAIL @ SHED ROOF
SCALE: 3/8"=1'-0"

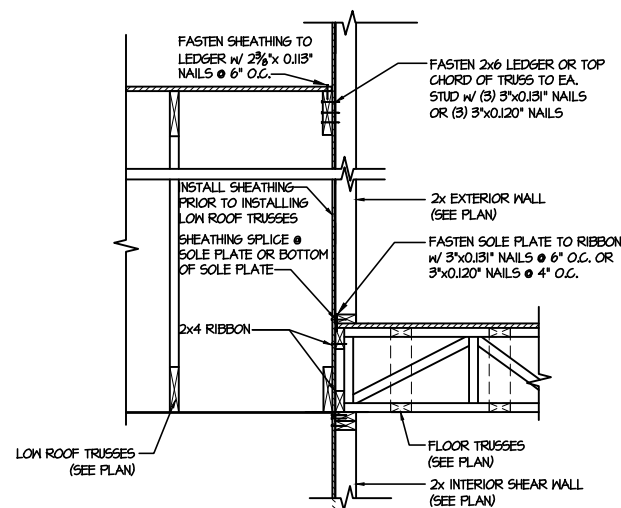


5 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ SHED ROOF
SCALE: 3/4"=1'-0"

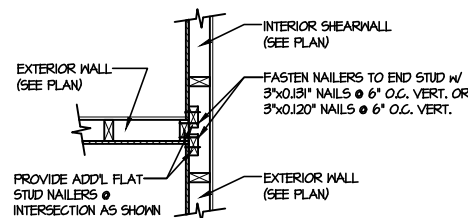
6 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"



7 SHEAR TRANSFER DETAIL @
BREAK IN TRUSSES OVER SHEAR WALL
SCALE: 3/4"=1'-0" - 22/64
3/8"=1'-0" - 11/16"

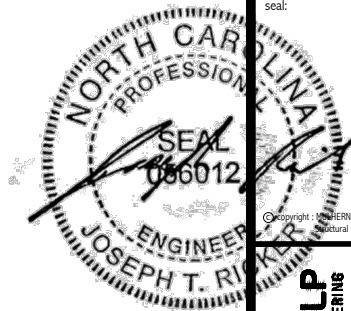


9 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



10 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEAR WALL
SCALE: 3/4"=1'-0"

SHW. ON SAME PAGE



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M&K project number:
126-23061

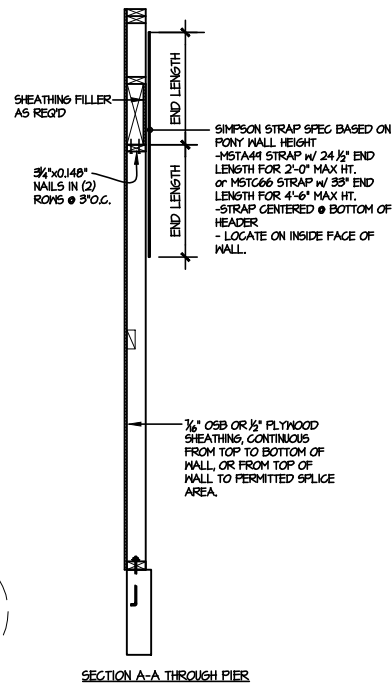
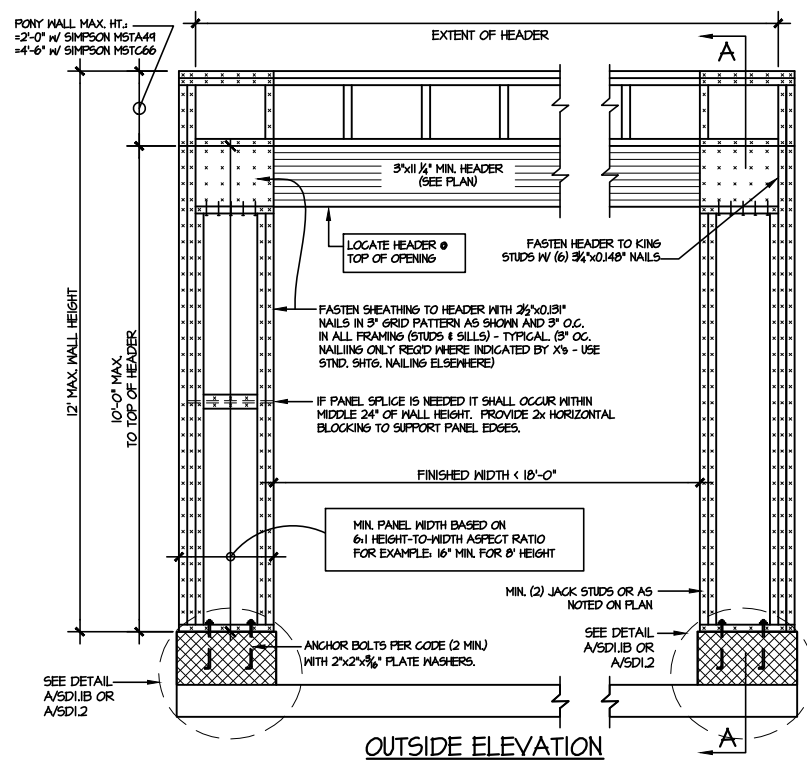
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drawn by: GTK
issue date: 07-25-25

REVISIONS:
date: initial:

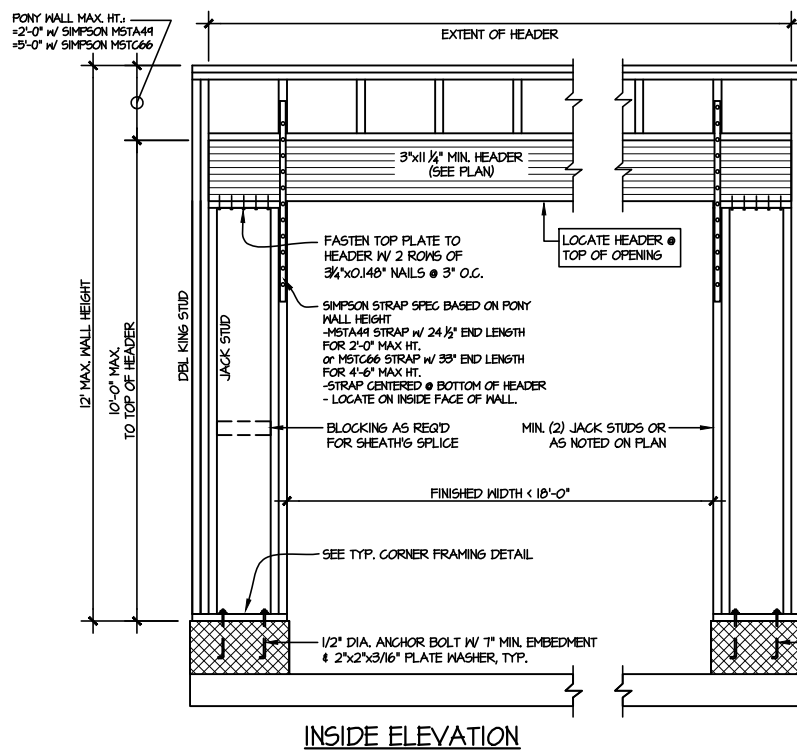
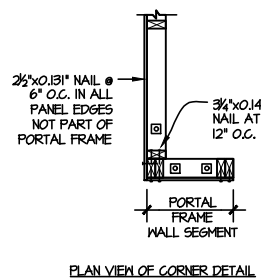
DRB
HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

sheet:
SD2.2

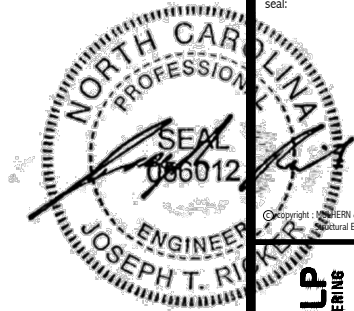


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/4" OSB



ALTERNATIVE TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. THREADED ROD EPOXY SET W/ 4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

INSIDE ELEVATION
TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CMU STEM
1 SCALE: N.T.S.



seal: 8/6/25

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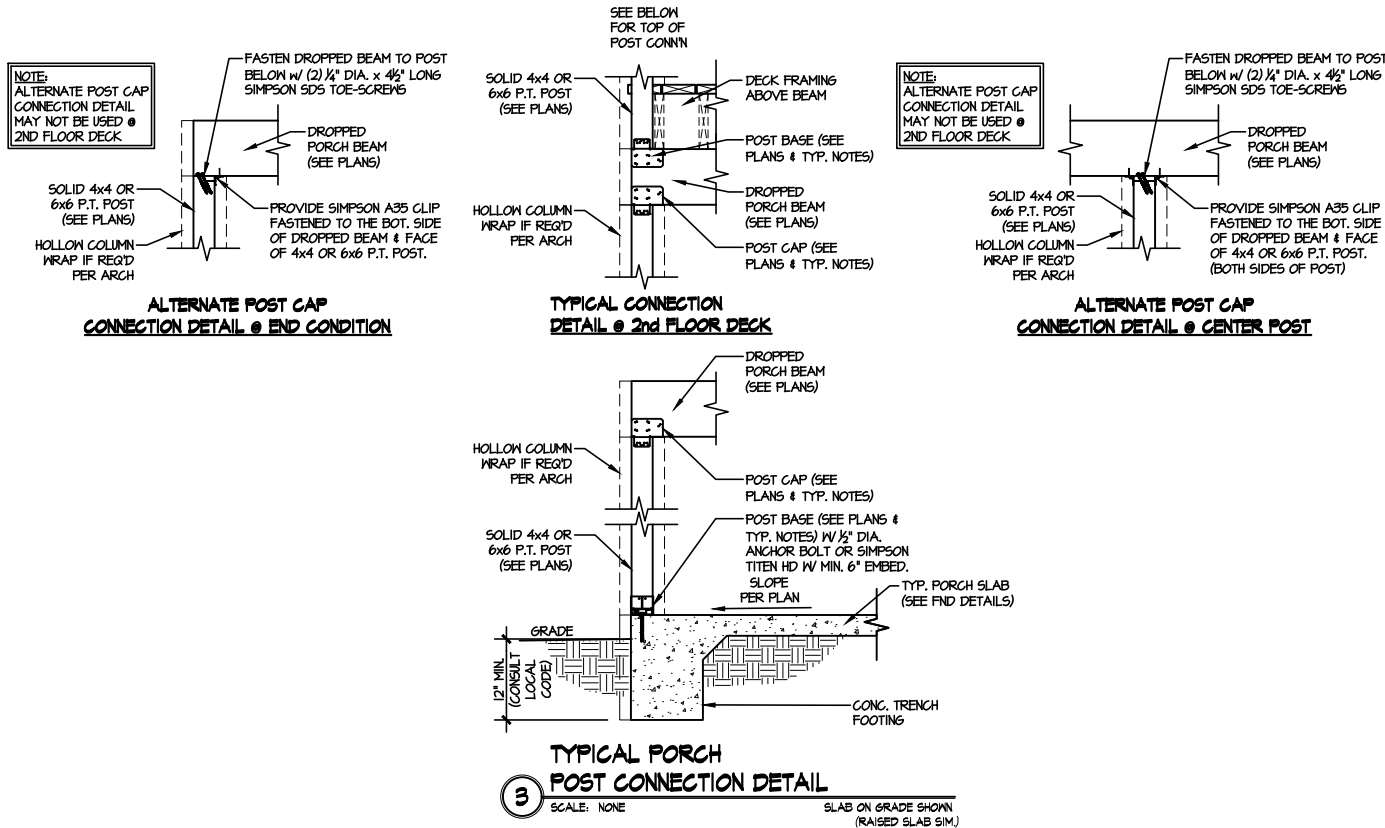
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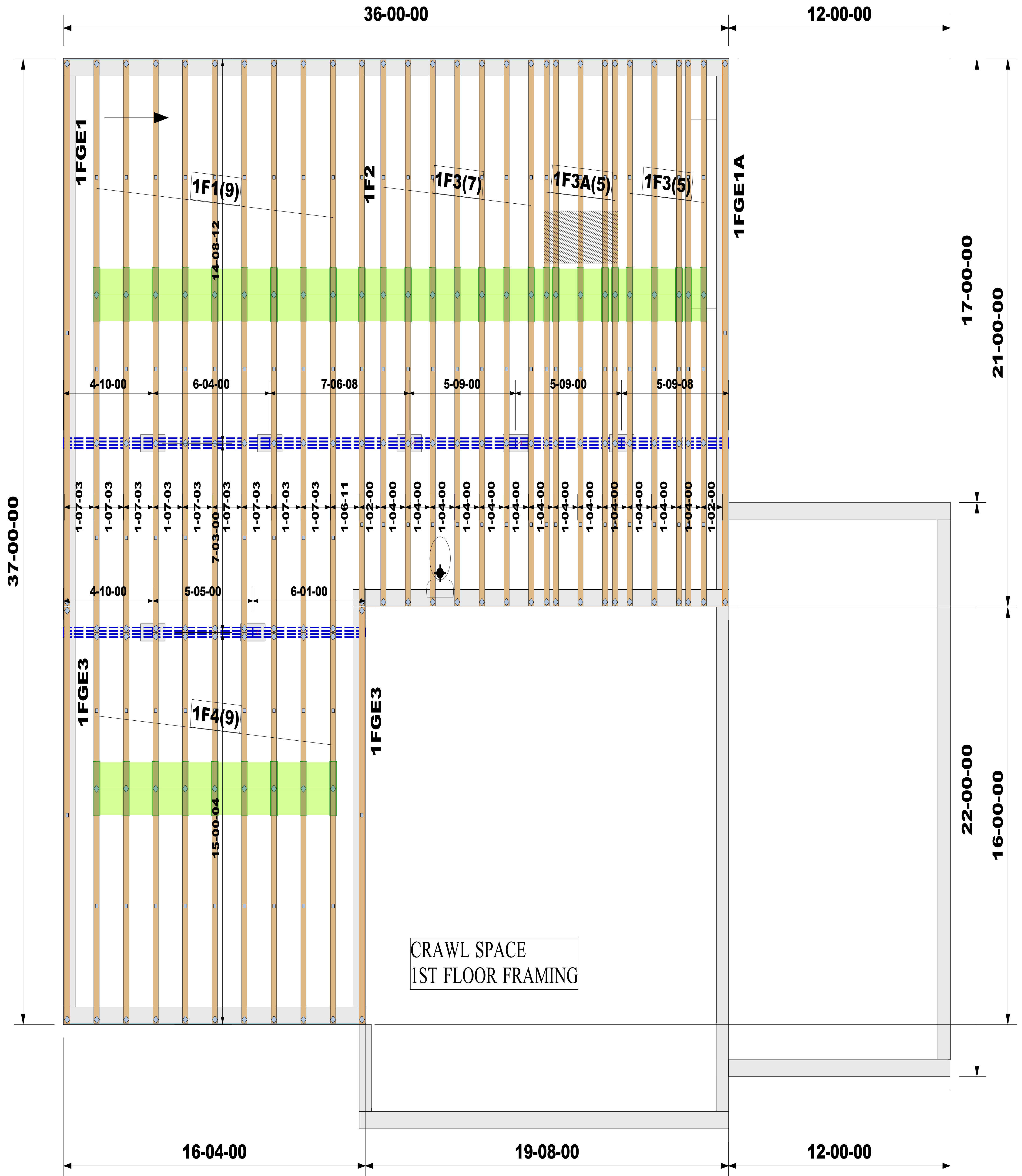
DRB
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FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 121 - DEVON 7
RALEIGH, NC

sheet:
SD3.0



OPEN WEB FLOOR TRUSS LAYOUT
SCALE: NTS



Job #:	2507-2432	WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREPARE THE TRUSS BEFORE DOMINATING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCS1 1) FOR FURTHER INFORMATION. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSSES MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION. THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTC 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.	Customer: DRB Raleigh Job Name: Blake Pond Lot 00.0121 OWF Lot #: 00.0121 Model Name: Devon	 Third-Party Quality Assurance License TPI Plant W974 Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591 
Designer:	Rajkumar yadav				
Sales Rep:	Robbie Zarobinski				

