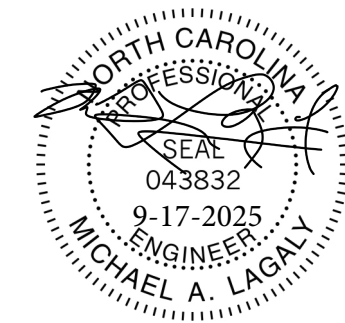
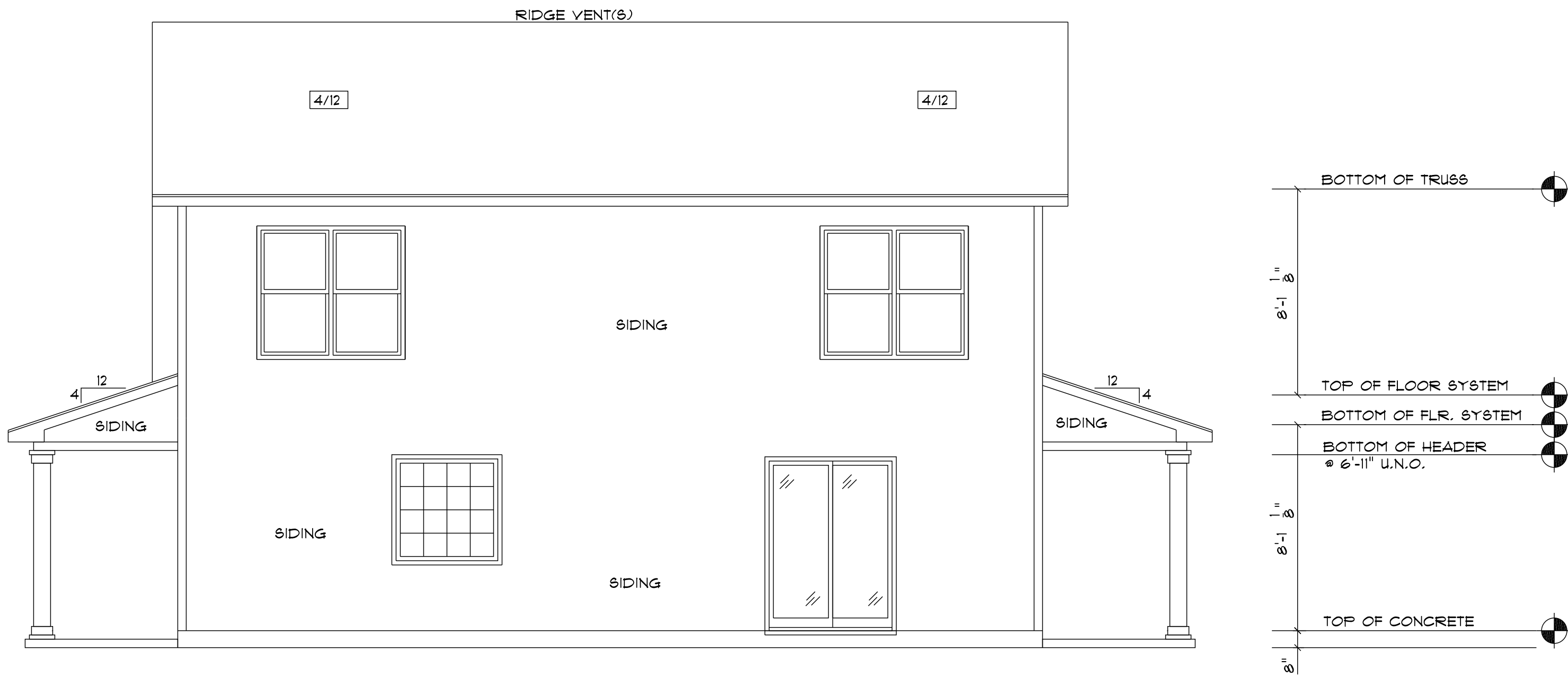


THESE PLANS, NOTES AND DETAILS ARE DESIGNED TO MEET THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

BUYER _____
BUYER _____

DATE _____
DATE _____

PERM
109-25-129 COX

GENERAL NOTES

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
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- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

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LICENSED TO RED DOOR HOMES OF:
OFFICE NAME

SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXXXX

CITY:

XXXXXXXXXXXX

PHASE:

XXXXXXXXXXXX

BLOCK:

XXXXXXXXXXXX

LOT:

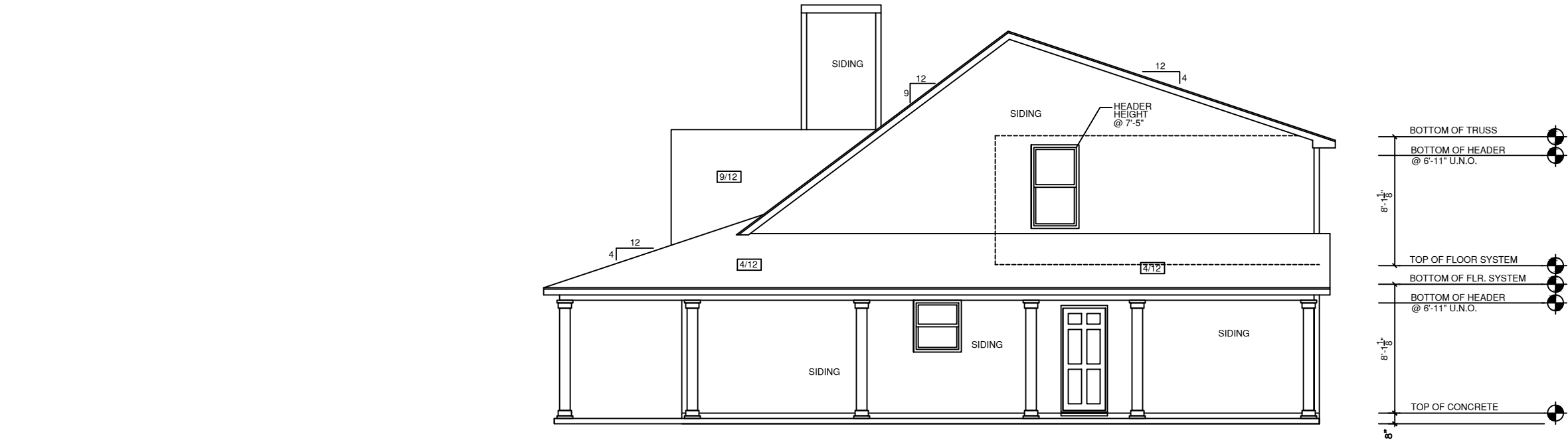
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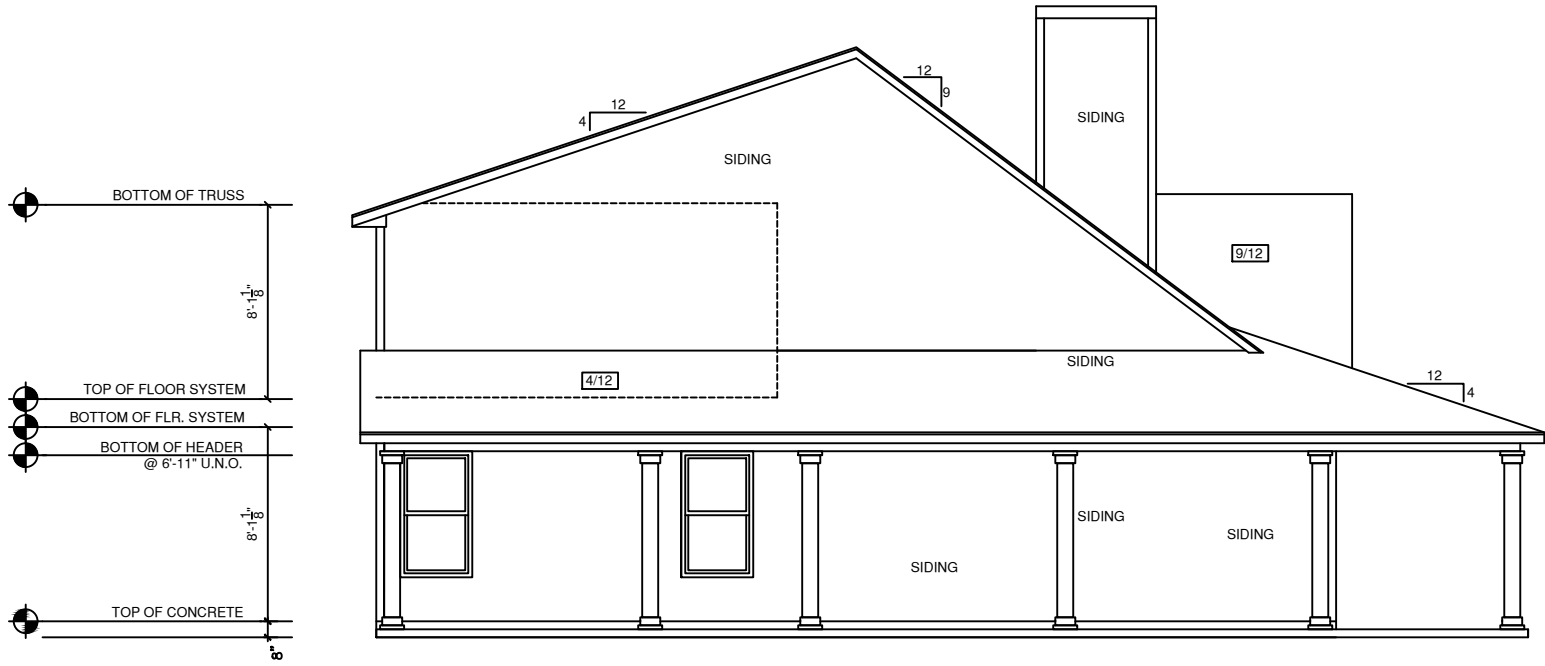
PRELIMINARY 06/24/2025 BES
PRELIMINARY 106/30/2025 BES
PERM: 07/30/2025 PJM
FINAL:

Front & Rear Elevation

BEAUFORT
"CLASSIC"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

BUYER _____ DATE _____
BUYER _____ DATE _____

PERM
109-25-129 COX

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OFFICE NAME



SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

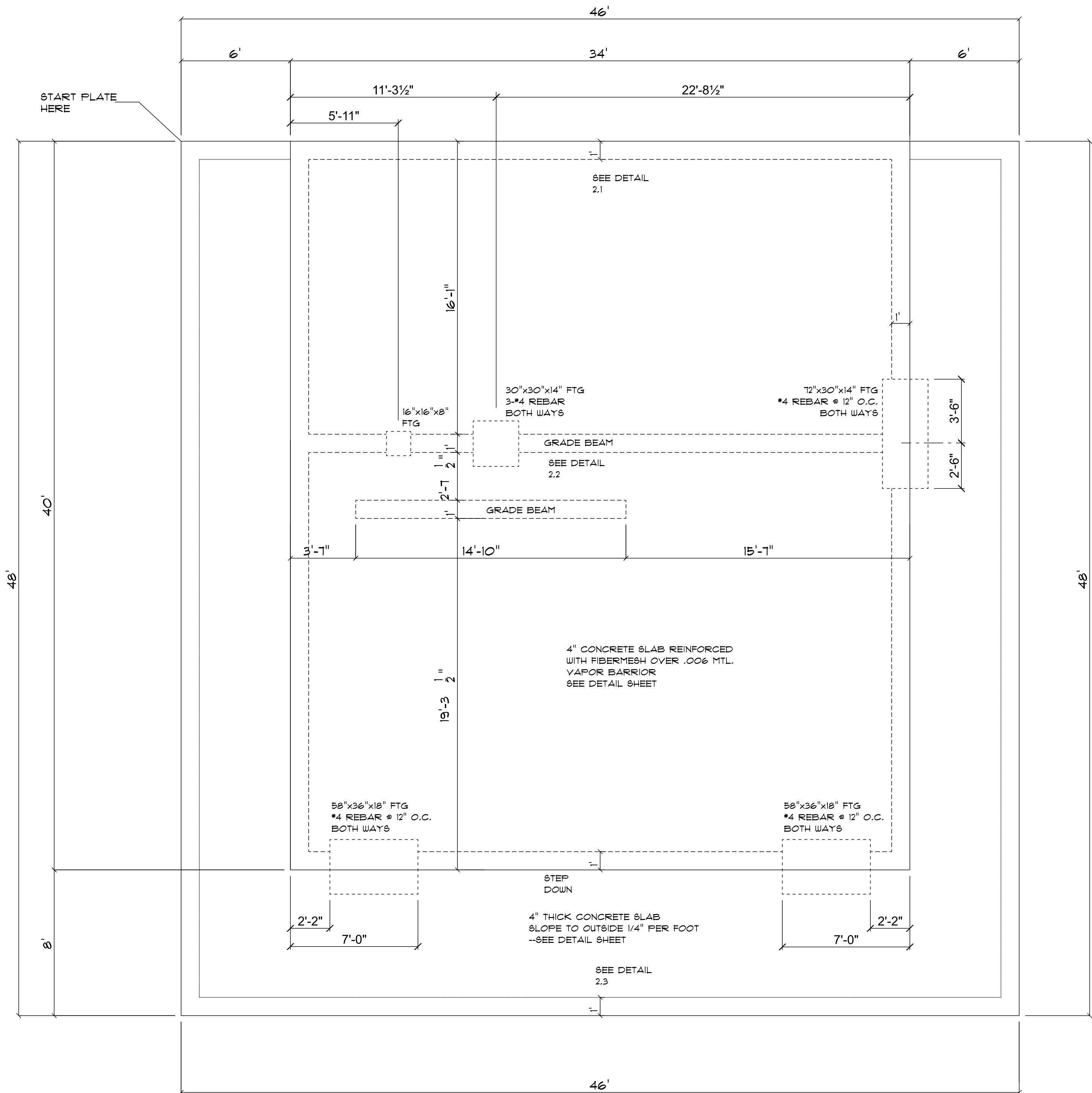
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DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*
PRELIMINARY II: 06/30/2025 BES*
PERM: 07/30/2025 PJM
FINAL:

Right & Left Elevation

BEAUFORT
"CLASSIC"



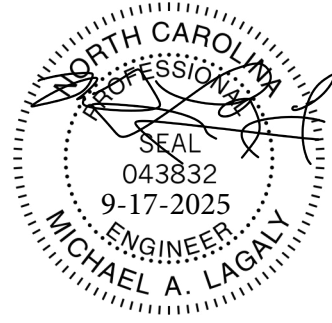
MONOLITHIC SLAB FOUNDATION PLAN
SCALE 1/8" = 1'-0"

BUYER

DATE

BUYER

DATE



GENERAL NOTES

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SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2182

SUBDIVISION NAME:

XXXXXXXXXXXX

CITY:

XXXXXXXXXXXX

PHASE:

XXXXXXXXXXXX

BLOCK:

XXXXXXXXXXXX

LOT:

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DRAFTING DATES:

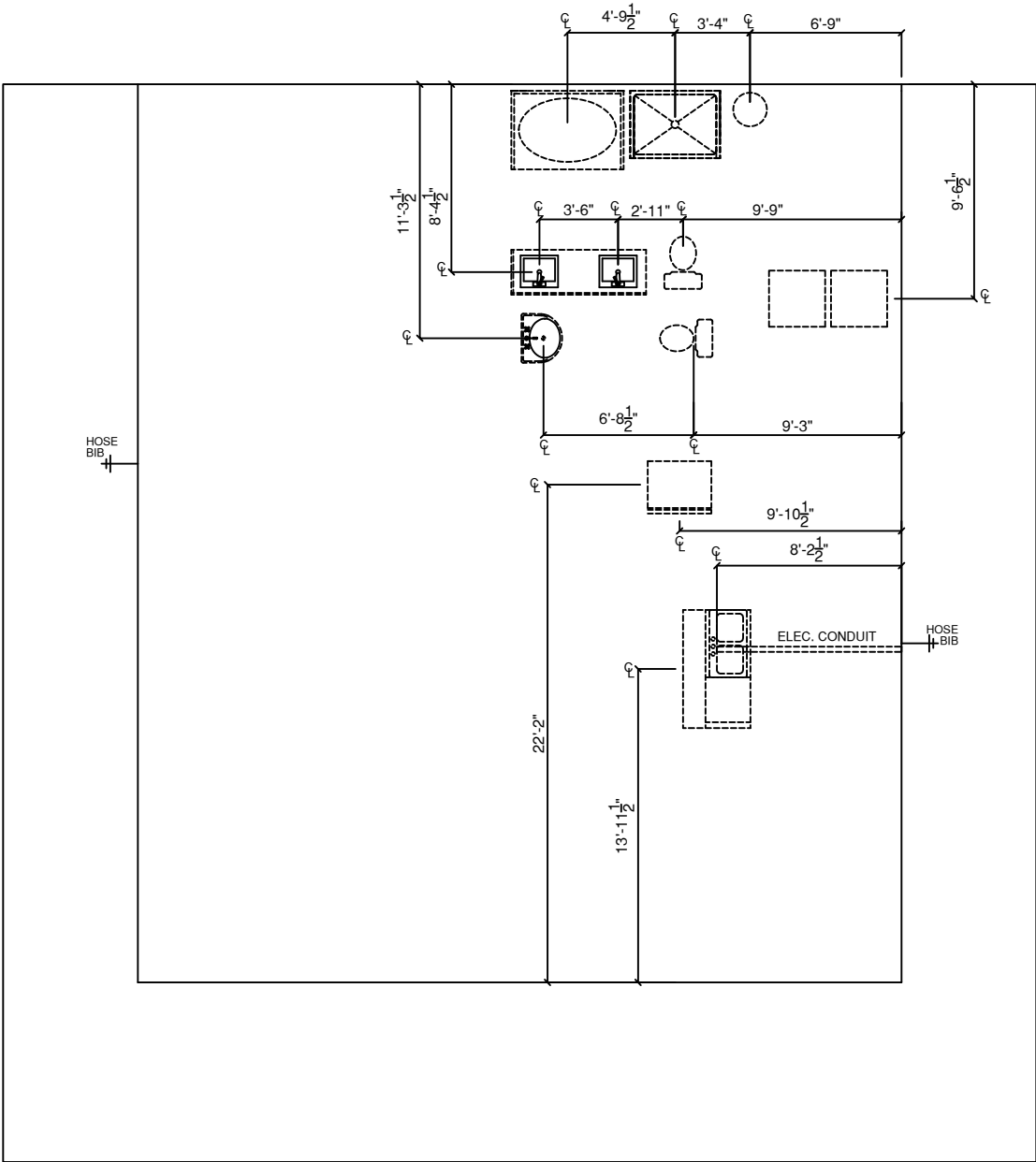
PRELIMINARY 06/24/2025 BES
PRELIMINARY 10/30/2025 BES
PERM: 01/30/2025 FJM
FINAL:

Monolithic Foundation Plan

BEAUFORT
"CLASSIC"

PERM
109-25-129 COX

NOTE: DIMENSIONS TO THE
CENTER OF PLUMBING FIXTURES



PLUMBING PLAN
SCALE 1/8" = 1'-0"

BUYER _____ DATE _____

BUYER _____ DATE _____

PERM
109-25-129 COX

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OFFICE NAME



SQUARE FOOTAGE CHART

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SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:
XXXXXXXXXX

CITY:
XXXXXXXXXX

PHASE:
XXXXXXXXXX

BLOCK:
XXXXXXXXXX

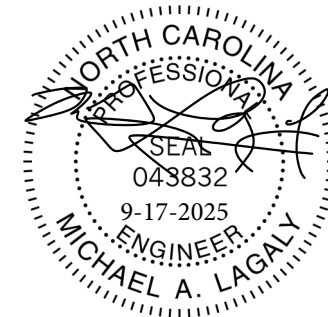
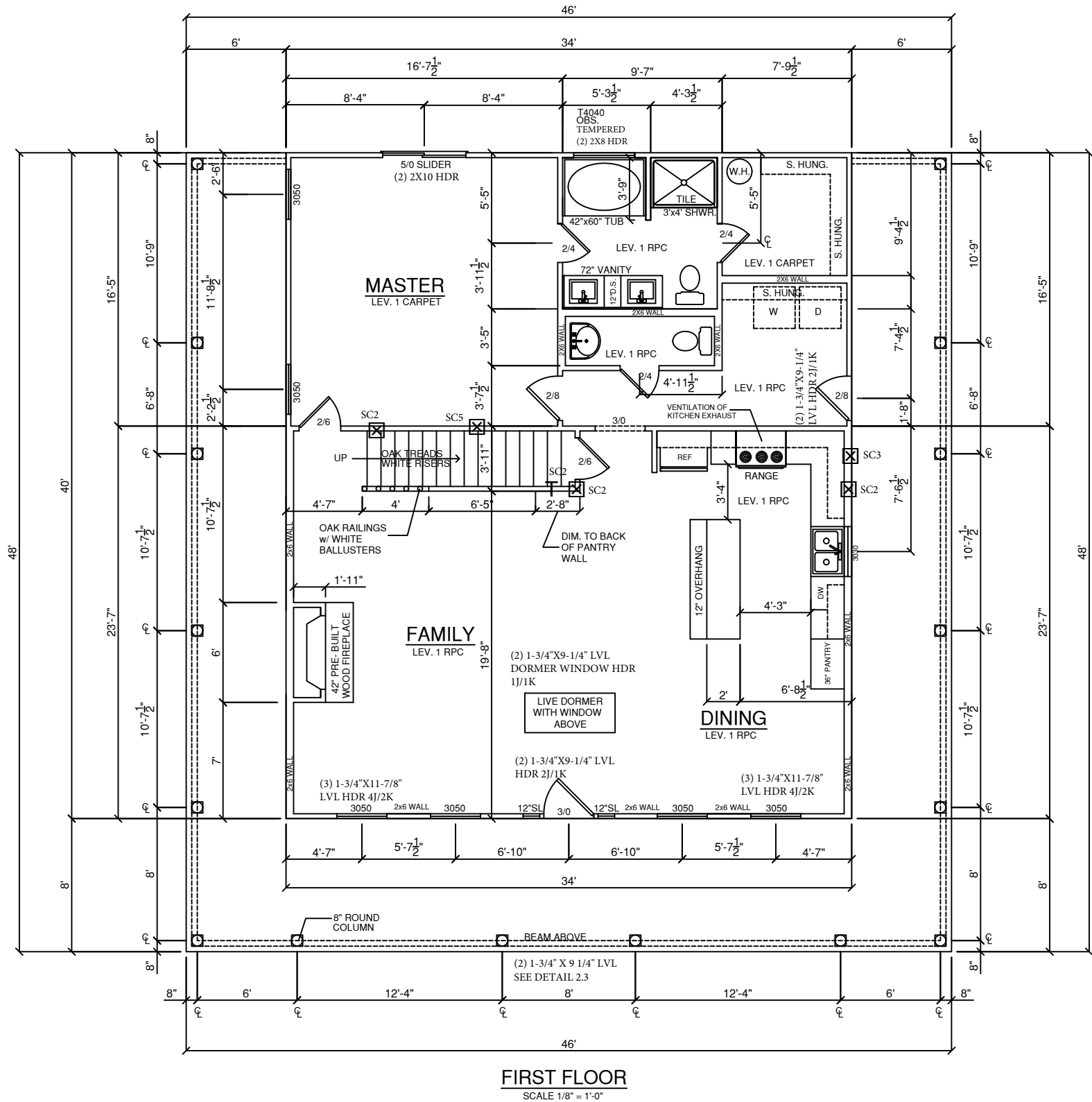
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DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*
PRELIMINARY II: 06/30/2025 BES*
PERM: 07/30/2025 PJM
FINAL:

Plumbing Plan

BEAUFORT
"CLASSIC"



GENERAL NOTES

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LICENSED TO RED DOOR HOMES OF:
OFFICE NAME



SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	848
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*
PRELIMINARY II: 06/30/2025 BES*
PERM: 07/30/2025 PJM
FINAL:

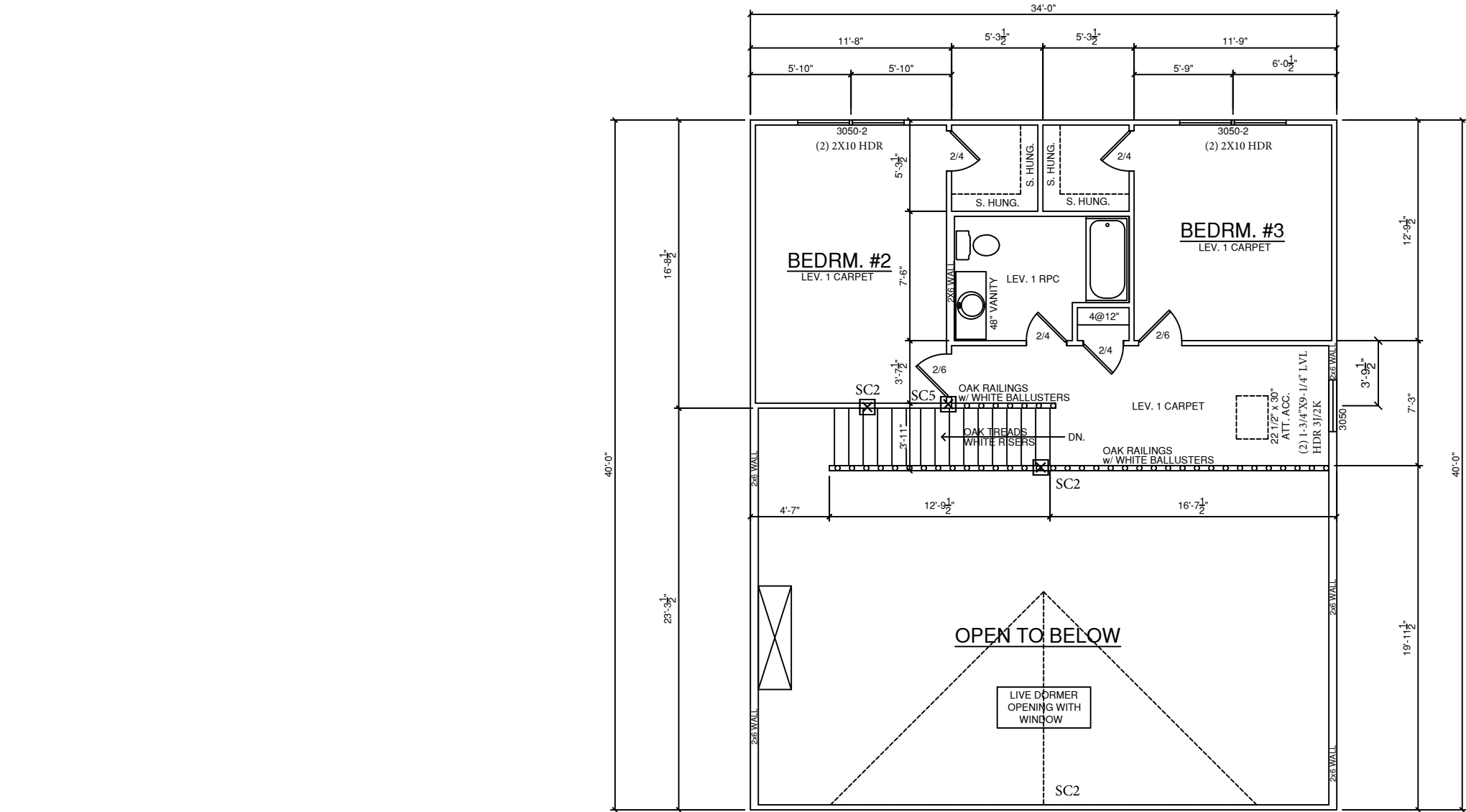
First Floor Plan

BEAUFORT
"CLASSIC"

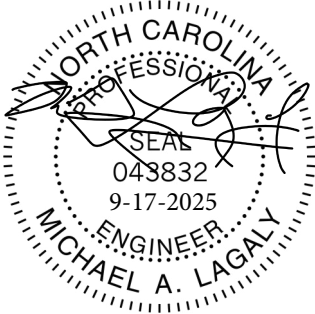
BUYER _____ DATE _____

BUYER _____ DATE _____

PERM
109-25-129 COX



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



GENERAL NOTES

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LICENSED TO RED DOOR HOMES OF:
OFFICE NAME

RED DOOR

homes

SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*

PRELIMINARY II: 06/30/2025 BES*

PERM: 07/30/2025 PJM

FINAL:

Second Floor Plan

BEAUFORT
"CLASSIC"

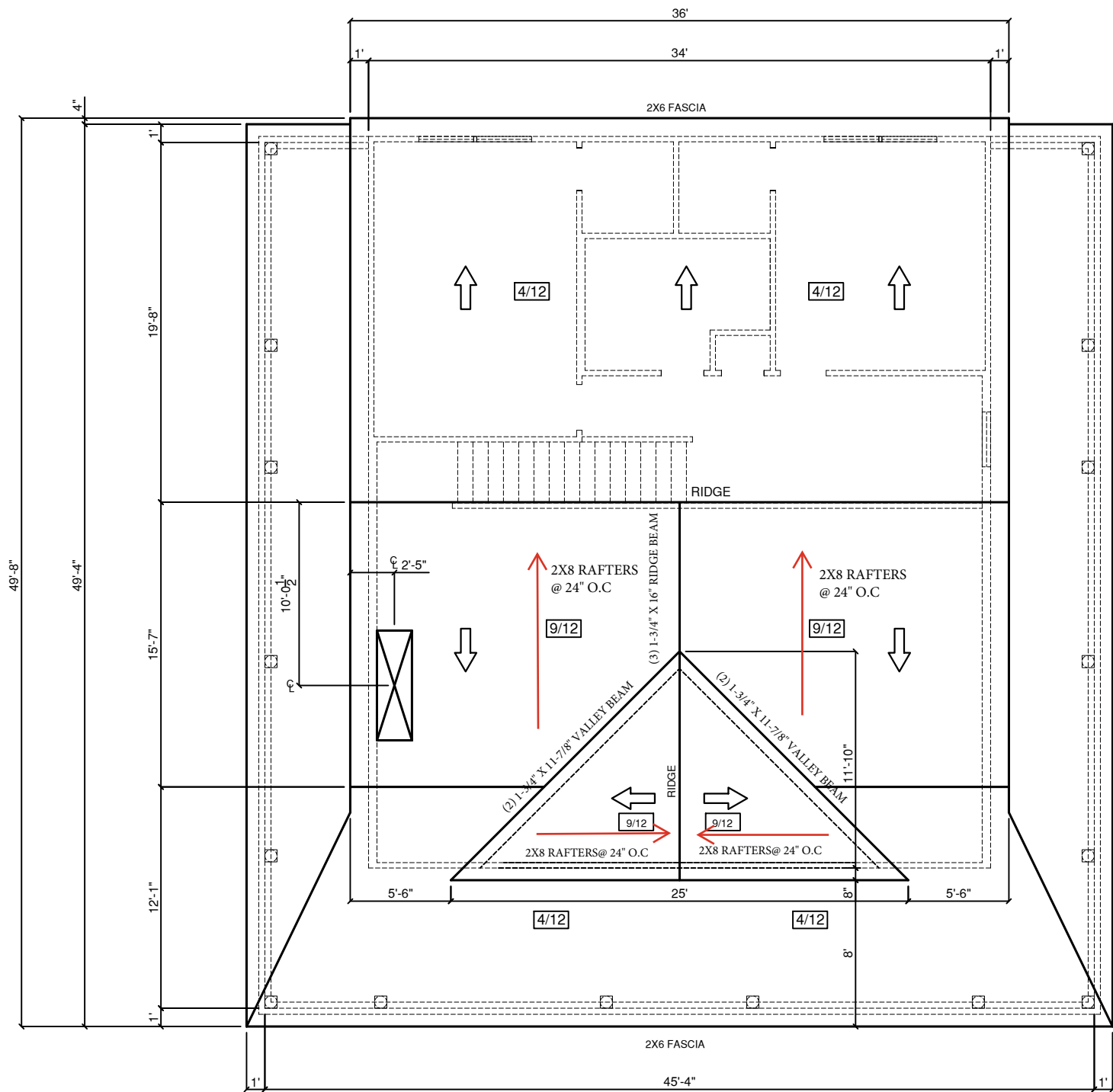
BUYER

DATE

BUYER

DATE

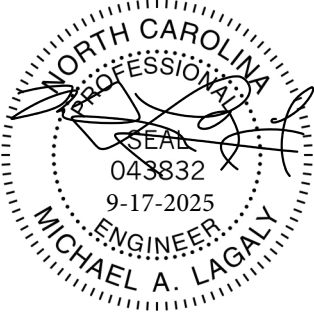
PERM
109-25-129 COX



ROOF PLAN
SCALE: 1/8" = 1'-0"

MAIN ROOF VENT AREA CALCULATION
ATTIC AREA: 2160.8 SQ. FT.
TOTAL VENT SPACE REQ'D: 14.4 SQ. FT.
SOFFIT NFA REQ'D: 7.2 SQ. FT.
RIDGE/GABLE NFA REQ'D: 7.2 SQ. FT.

NOTE:
TOTAL NET FREE VENT AREA CAN BE REDUCED BY
HALF IF 0-80 PERCENT OF VENT SPACE IS LOCATED
3' OR MORE ABOVE THE EAVE VENTS -OR-
WHEN CLASS I OR II VAPOR RETARDER IS
INSTALLED PER R806.2



GENERAL NOTES

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LICENSED TO RED DOOR HOMES OF:
OFFICE NAME

RED DOOR

homes

SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*

PRELIMINARY II: 06/30/2025 BES*

PERM: 07/30/2025 PJM

FINAL:

Roof Plan

BEAUFORT

"CLASSIC"

BUYER

DATE

BUYER

DATE

PERM
109-25-129 COX

ELECTRICAL LEGEND

	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. RECESSED MOUNTED
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL, DOOR
	EAVE LIGHT

ELECTRICAL NOTES

1. ALL ELECTRICAL TO MEET N.E.C.

2. PROVIDE 200 AMP SINGLE PHASE SERVICE

3. PROVIDE ALL COPPER WIRING

4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES

5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK

6. PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL

7. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES

8. PROVIDE AND INSTALL GROUND FAULT CIRCUIT- INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES

9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR:

SWITCHES

42"

OUTLETS

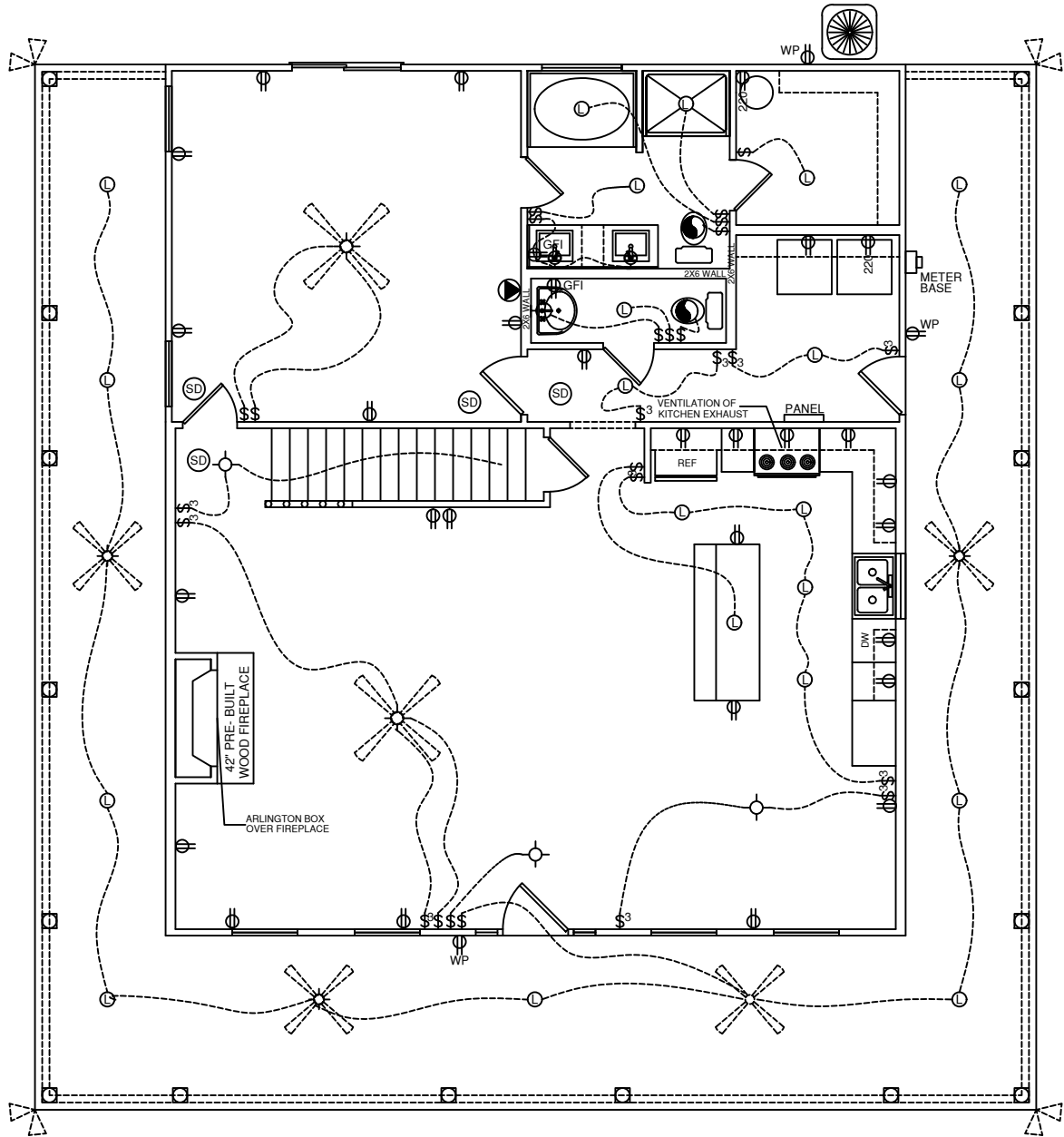
14"

TELEPHONE

14"

TELEVISION

14"



FIRST FLOOR ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

BUYER

DATE

BUYER

DATE

PERM
109-25-129 COX

GENERAL NOTES

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LICENSED TO RED DOOR HOMES OF:
OFFICE NAME

SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*

PRELIMINARY II: 06/30/2025 BES*

PERM: 07/30/2025 PJM

FINAL:

First Floor Electrical

BEAUFORT
"CLASSIC"

ELECTRICAL LEGEND

	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. RECESSED MOUNTED
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL, DOOR
	EAVE LIGHT

ELECTRICAL NOTES

1. ALL ELECTRICAL TO MEET N.E.C.

2. PROVIDE 200 AMP SINGLE PHASE SERVICE

3. PROVIDE ALL COPPER WIRING

4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES

5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK

6. PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL

7. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES

8. PROVIDE AND INSTALL GROUND FAULT CIRCUIT- INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES

9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR:

SWITCHES

42"

OUTLETS

14"

TELEPHONE

14"

TELEVISION

14"

SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

- LOCATE (4) FAN PRE-WIRES @ CEM
- LOCATE (4) FLOOD LIGHTS @ CEM

BUYER

DATE

BUYER

DATE

PERM
109-25-129 COX

GENERAL NOTES

1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.

4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.

5.) WINDOW HEADER HEIGHT TO BE SET @ 8'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.

6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.

7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.

8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING COTRACTOR OR LICENSED ENGINEER.

9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.

10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.

11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.

12.) BUILDER TO VERIFY ALL DIMENSIONS.

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RED DOOR

homes

SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*

PRELIMINARY II: 06/30/2025 BES*

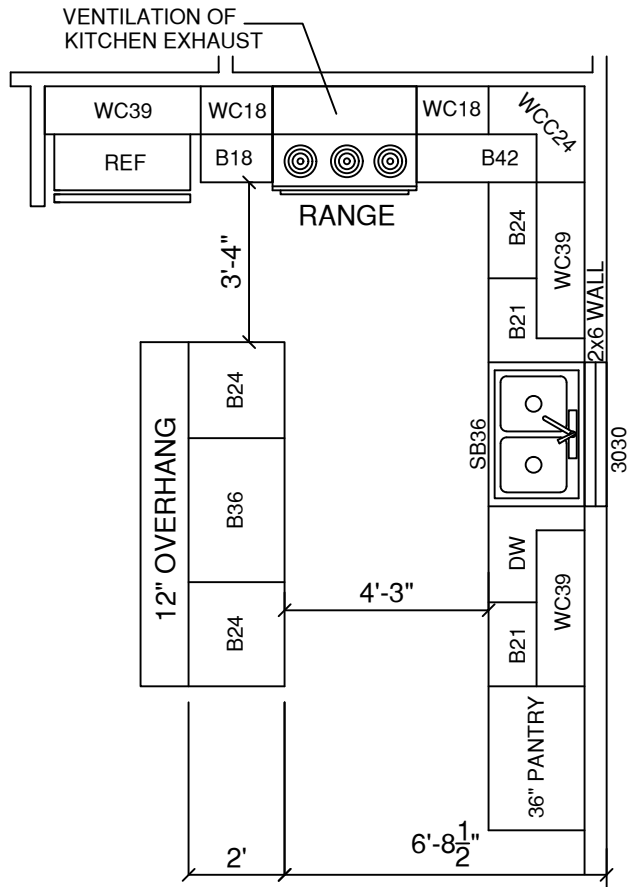
PERM: 07/30/2025 PJM

FINAL:

Second Floor Electrical

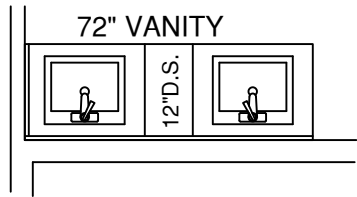
BEAUFORT

"CLASSIC"



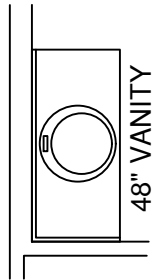
THYME KITCHEN

SCALE: = 1/4" = 1'-0"



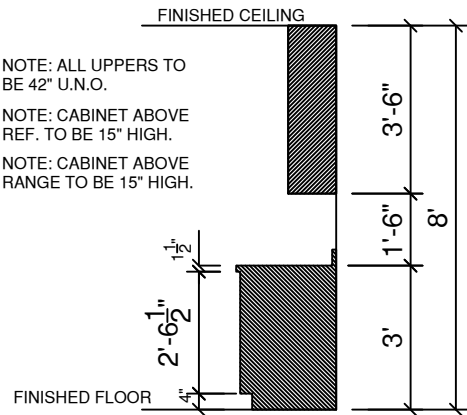
MASTER VANITY

SCALE: = 1/4" = 1'-0"



HALL VANITY

SCALE: = 1/4" = 1'-0"



OPTIONAL 42" WALL CABS.

SCALE: = 1/4" = 1'-0"

- ☐ OPTIONAL SCRIBE TRIM MLD'G.
- ☐ OPTIONAL CROWN MLD'G.

CABINET LEGEND

WC: WALL CABINET
WCC: WALL CORNER CABINET
B: BASE CABINET
SB: SINK BASE
CB: CORNER BASE

PERM
109-25-129 COX

GENERAL NOTES

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OFFICE NAME



SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAME:	1360
SECOND FLOOR AREA TO FRAME:	628
HEATED & COOLED TO FRAME:	1988
COVERED FRONT PORCH	204
TOTAL UNDER BEAM AREA	2192

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PRELIMINARY: 06/24/2025 BES*
PRELIMINARY II: 06/30/2025 BES*
PERM: 07/30/2025 PJM
FINAL:

Cabinet Layout

BEAUFORT
"CLASSIC"

BUYER _____ DATE _____

BUYER _____ DATE _____

GENERAL NOTES

1. PLANS ARE ISSUED FOR THE CONDITIONAL USE TO BUILD THE STRUCTURE ON THE LOT OR ADDRESS SPECIFIED IN THE TITLE BLOCK. PLANS MUST HAVE SIGNED SEAL AND BE CONSTRUCTED ON THE SPECIFIED LOT OR ADDRESS TO BE VALID.
2. ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF GEOMETRY. MDL ENGINEERING SERVICES ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS. ENGINEER OF RECORD TO BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.
3. ALL CONSTRUCTION WORKMANSHIP, MATERIAL QUALITY AND SELECTION SHALL BE IN ACCORDANCE WITH THE 2018 EDITION OF THE NORTH CAROLINA STATE BUILDING CODE. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE AND CODE SHALL TAKE PRECEDENCE OVER DIMENSIONS.
4. SEALED ENGINEERING DRAWINGS TAKE PRECEDENCE OVER STANDARD DETAILS AND NOTES.

CONSTRUCTION

1. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS AND SAFETY ON-SITE. NOTIFY MDL ENGINEERING IMMEDIATELY IF DISCREPANCIES ON PLANS ARE DISCOVERED.
2. ALL BEAMS TO BE CONTINUOUSLY SUPPORTED Laterally AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF THREE STUDS U.N.O.
3. SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR OTHER STRUCTURAL COMPONENTS.
4. ALL ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SHALL BE INSTALLED WITH CONNECTIONS PER MANUFACTURER SPECIFICATIONS.
5. ENGINEERED FLOOR SYSTEMS, WALL SYSTEMS AND ROOF TRUSS SYSTEMS TO BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
6. ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3'-1/2" AND FULL FLANGE WIDTH U.N.O. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 12" X 4" LAG SCREWS U.N.O.
7. STEEL FLITCH BEAMS TO BE BOLTED TOGETHER USING TWO ROWS OF 1/2" DIAMETER BOLTS (ASTM 307) WITH WASHERS AT BOTH ENDS. BOLTS TO BE SPACED AT 24" O.C. AND STAGGERED TOP AND BOTTOM OF THE BEAM (2" MIN. EDGE DISTANCE), WITH TWO BOLTS LOCATED AT 6" FROM EACH END.
8. ALL METAL HANGERS, STRAPS AND HOLD-DOWNS TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
9. SEE TABLE R602.3 NCRBC 2018 FOR STRUCTURAL MEMBER FASTENING REQUIREMENTS.

MATERIALS

1. INTERIOR FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING PROPERTIES:
Fb=875 PSI Fv=70 PSI E=1.4E6 PSI
2. FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WITH THE FOLLOWING PROPERTIES:
Fb=975 PSI Fv=95 PSI E=1.6E6 PSI
3. LVL (LAMINATED VENEER LUMBER) STRUCTURAL MEMBERS TO HAVE THE FOLLOWING PROPERTIES:
Fb=2600 PSI Fv=285 PSI E=1.9E6 PSI
4. PSL (PARALLEL STRAND LUMBER) STRUCTURAL MEMBERS TO HAVE THE FOLLOWING PROPERTIES:
Fb=2900 PSI Fv=290 PSI E=2.0E6 PSI
5. LSL (LAMINATED STRAND LUMBER) STRUCTURAL MEMBERS TO HAVE THE FOLLOWING PROPERTIES:
Fb=2250 PSI Fv=400 PSI E=1.55E6 PSI
6. STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A36, Fy=36 KSI
7. REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60.
8. POURED CONCRETE TO BE MINIMUM 3000 PSI @ 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 OR ASTM C 1157.
9. CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING AS INDICATED IN TABLE R301.2(1) SHALL BE AIR ENTRAINED AS SPECIFIED IN TABLE R402.2
10. MASONRY UNITS SHALL CONFORM TO ACI 530/ASCE 5/TMS 402 AND MORTAR SHALL COMPLY WITH ASTM C 270.

FOUNDATION MATERIALS:

1. PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS TO BE PER TABLE R401.4.1
2. FOUNDATION MATERIALS MUST HAVE A MINIMUM LOAD-BEARING CAPACITY OF 2000 PSF
3. TOP OR SUBSOILS FOUND TO BE COMPRESSIBLE OR SHIFTING TO BE REMOVED TO A DEPTH OF 12" BELOW AND DOUBLE THE WIDTH OF THE FOOTING AND REPLACED WITH COMPACTED SCREENINGS, WASHED 57 STONE OR CONCRETE. REMOVED SOILS SHALL NOT BE USED AS STRUCTURAL FILL.

DRAINAGE:

1. INSTALL AROUND FOUNDATION, DRAIN TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPES OR OTHER APPROVED SYSTEM AS REQUIRED BY GRADE.
2. FINISH GRADE OF LOT TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS AT A MINIMUM OF 6" WITHIN THE FIRST 10'.

CAVITY ACCESS:

1. ATTIC ACCESS TO BE 22" X 30" MINIMUM.
2. ACCESS SIZE MAY BE INCREASED IF MECHANICAL EQUIPMENT IS LOCATED IN CAVITY - SEE NC MECHANICAL CODE FOR SIZE REQUIREMENTS.

STAIRWAYS:

1. STAIRWAYS SHALL BE A MINIMUM OF 3' WIDE.
2. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE.
3. MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL SHALL NOT BE LESS THAN 31 1/2" WHERE THE HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE ON BOTH SIDES.
4. STAIRS NOT REQUIRED FOR EGRESS MAY BE AS NARROW AS 26"
5. MAXIMUM RISER HEIGHT SHALL BE 8-1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9".
6. NOSING SHALL BE 3/4" MINIMUM AND 1-1/4" MAXIMUM
7. MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8" PER R311.7.2
8. WINDERS MUST, AT A POINT NOT MORE THAN 12" FROM THE SIDE WHERE THE TREAD IS NARROWEST BE GREATER THAN 9" AND THE MINIMUM WIDTH OF ANY TREAD AT ANY POINT MUST BE GREATER THAN 4".

HANDRAIL AND GUARD

1. HANDRAILS SHALL HAVE A MINIMUM HEIGHT OF 34" AND A MAXIMUM HEIGHT OF 38"
2. PORCHES, BALCONIES OR RAISED FLOORS OVER 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDRAILS NO LESS THAN 36" HIGH.
3. STAIRS THAT HAVE A RISE OF 30" ABOVE THE FLOOR SHALL HAVE HANDRAILS OF 34" MIN. HEIGHT.
4. GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOORS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSERS THAT DO NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER ON VERTICAL MEMBERS OR 6" ON HORIZONTAL MEMBERS.

EMERGENCY EGRESS:

1. OPENINGS PROVIDED FOR MEANS OF ESCAPE CANNOT HAVE A SILL HEIGHT OF MORE THAN 44" ABOVE FINISHED FLOOR.
2. ESCAPE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 20".
3. ESCAPE OPENING SHALL HAVE A MINIMUM TOTAL GLASS AREA OF 5 SQ. FT. FOR A GROUND WINDOW AND 5.7 SQ. FT. FOR AN UPPER STORY WINDOW.
4. REQUIRED EXIT DOORS SHALL BE NO LESS THAN 3'0" X 6'-8".

GARAGE

1. DOOR FROM GARAGE TO HOUSE MUST BE 1-3/8" THICK SOLID WOOD, HONEYCOMBED CORE STEEL OR 20 MINUTE FIRE RATED PER R302.5.1.
2. GARAGE TO BE SEPARATED FROM THE RESIDENCE AS REQUIRED BY TABLE R302.6. 1/2" GYPSUM OR EQUIVALENT APPLIED TO GARAGE SIDE FOR WALLS AND ATTICS. 5/8" TYPE X GYPSUM OR EQUIVALENT APPLIED TO CEILINGS BELOW HABITABLE ROOMS.
3. SLOPE GARAGE SLAB TOWARDS DOOR AT 1/4" PER FOOT.

ANCHORAGE:

1. WOOD SOLE PLATE AT EXTERIOR WALLS ON MONOLITHIC SLAB FOUNDATIONS AND THE WOOD SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OD 6' O.C. AND LOCATED 12" FROM THE ENDS OF EACH PLATE SECTION. BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND EMBEDDED A MINIMUM OF 7" INTO MASONRY OR CONCRETE.
2. BOLTS MAY BE REPLACED BY ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE.
3. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLABS SHALL BE ANCHORED WITH APPROVED FASTENERS.

BRACE WALL NOTES:

1. ALL EXTERIOR WALLS CONTINUOUSLY SHEATHED WITH 7/16" OSB EXTERIOR AND 1/2" GYPSUM INSIDE UNO.
2. OSB TO BE NAILED USING 8d @ 6" O.C. ON EDGE AND 12" O.C. ON ALL INTERMEDIATE STUDS.
3. GYPSUM FASTENED USING 1-1/8" MINIMUM SCREWS SPACED @ 7" O.C. ALONG ALL EDGES AND ALL INTERMEDIATE STUDS.

ROOF TRUSS TIE SCHEDULE

UPLIFT (MAX. LBS.)	SIMPSON (OR EQUIV.)	FASTENER TO TRUSS (OR EQUIV.)	FASTENER TO TOP PLATE
400	H1	(6) 8d X 1 1/2"	(4) 8d
545	H2.5T	(5) 8d	(5) 8d
1015	H10A	(9) 10d X 1 1/2"	(9) 10d X 1 1/2"
1450	H10A +HGA10	(4) 1/4" X 1 1/2" SDS	(4) 1/4" X 1 1/2" SDS
1885	H10A +HGA10 X2	(8) 1/4" X 1 1/2" SDS	(8) 1/4" X 1 1/2" SDS
3830	HTT4	(18) SD #10 X 1 1/2"	TITEN 5/8" X 5" ON STUD
4845	HTT4 +H10A	(9) 10d X 1 1/2"	(9) 10d X 1 1/2"

DESIGN LOADS

TABLE R301.5	LIVE LOAD (PSF)
ATTICS W/O STORAGE	10
ATTICS WITH STORAGE	20
ATTICS W/ FIXED STAIRS	30
DECKS & EXTERIOR BALCONIES	40
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200
GUARG IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40
SNOW (TABLE R301.2(1))	20

ULTIMATE DESIGN WIND SPEED: 120 MPH

DESIGN POSITIVE AND NEGATIVE PRESSURE FOR DOORS AND WINDOWS SHALL BE 25 PSF

DESIGN POSITIVE AND NEGATIVE PRESSURE FOR WALL CLADDING SHALL BE 24.1 PSF

DESIGN POSITIVE AND NEGATIVE PRESSURE FOR ROOF COMPONENT AND CLADDING SHALL BE:
34.8 PSF FOR MEAN ROOF HEIGHT TO 30'
36.5 PSF FOR MEAN ROOF HEIGHT TO 35'
37.9 PSF FOR MEAN ROOF HEIGHT TO 40'

VALUES FOR ENERGY COMPLIANCE
R-VALUES ARE MINIMUM (N1102.1.2)
U-VALUES ARE MAXIMUM (N1102.1.4)
REFER TO N1102 FOR ALL OTHER

IECC CLIMATE ZONE:	4	4
CEILINGS:	R-38	U-0.030
WOOD FRAME WALLS:	R-15	U-0.077
MASS WALLS:	R-5	U-0.070
MASS WALL (INS. ON INTERIOR):	R-13	U-0.141
FLOORS:	R-19	U-0.047
BASEMENT WALLS (CONTINUOUS):	R-10	U-0.059
BASEMENT WALLS (CAVITY):	R-15	
FENESTRATION U-FACTOR:	0.35	
MAX. GLAZING U-FACTOR:	0.30	
SKYLIGHT U-FACTOR:	0.55	

HDR SIZE
(HEAD) SCHEDULE U.N.O.

	SPAN
(2) 2 X 8	0 TO 4'-8"
(2) 2 X 10	4'-8" TO 5'-6"
(2) 2 X 12	5'-6" TO 6'-5"
	6'-5" TO 7'-6"

SUPPORT COLUMN

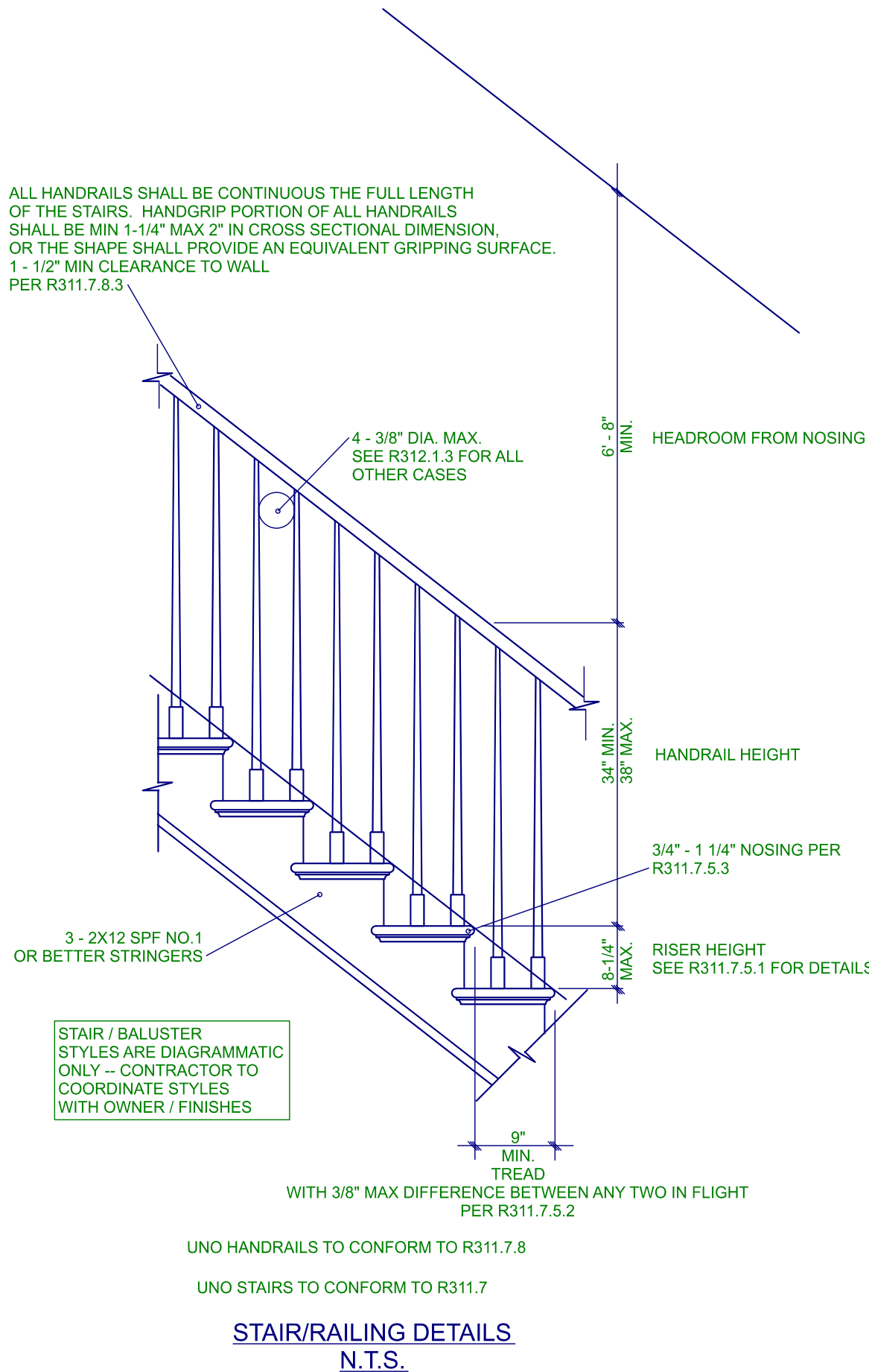
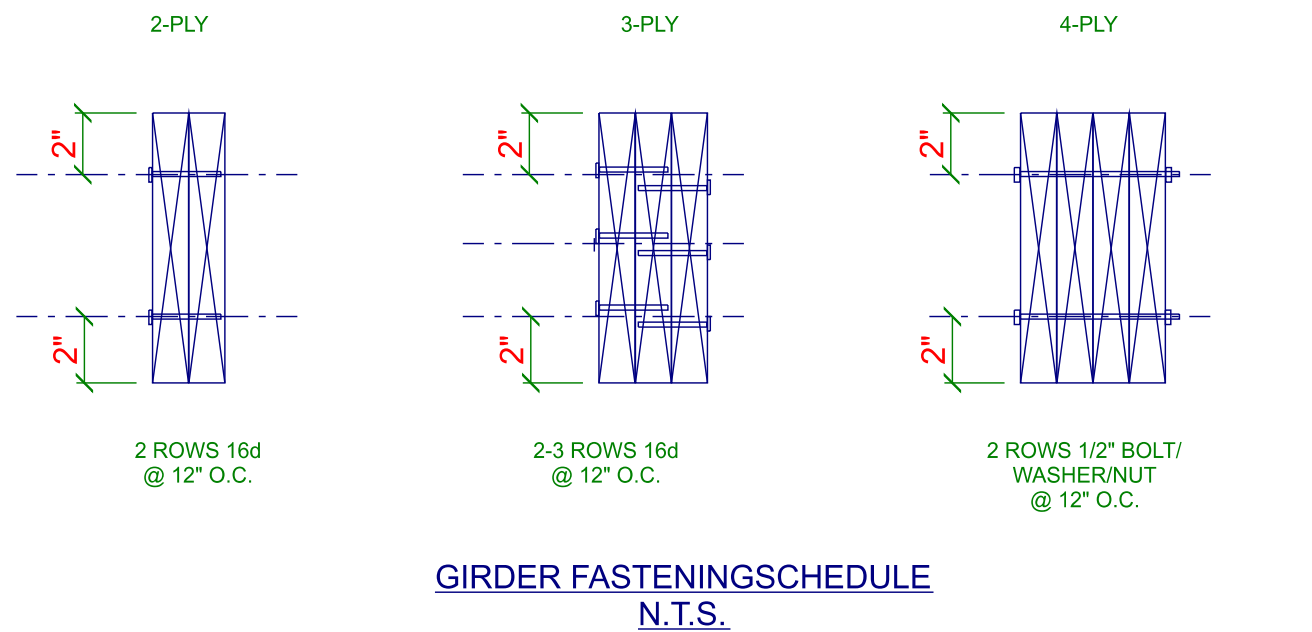


CALLOUT	USE
SC2	2 - 2 X 4
SC3	3 - 2 X 4
SC4	4 - 2 X 4
SC5	5 - 2 X 4

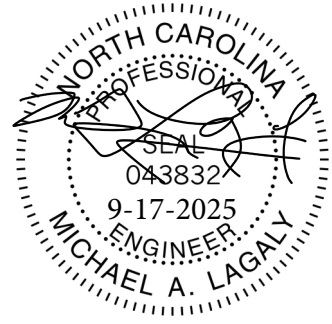
SCX - Round A500 steel steel column 3" diameter by 1/4" thick with 3-1/2"x3-1/2"x1/4" plates welded top and bottom.

PSL3 - 3-1/2 X 7 1.8e PSL

PSL5 - 5-1/4 X -1/4 1.8e PSL



THESE PLANS, NOTES AND DETAILS ARE DESIGNED TO MEET THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE. THIS DETAIL SHEET IS TO BE USED ONLY IN CONJUNCTION WITH PLANS CREATED BY RED DOOR HOMES.



MDL
ENGINEERING
SERVICES

213 Linton Banks Pl.
Cary, NC 27513
(919) 999-8153

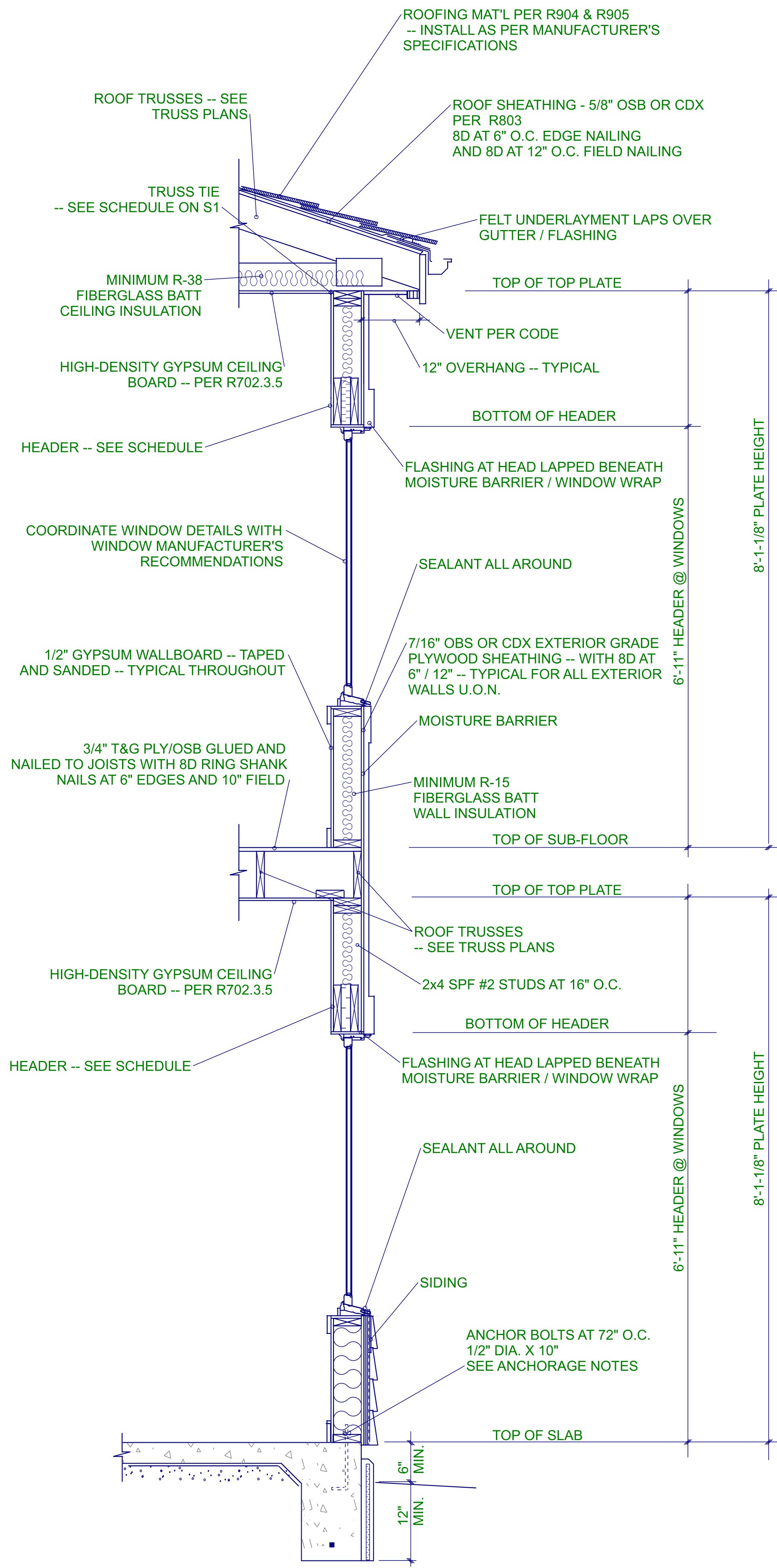
RED DOOR HOMES
1209 US Business 70 West
Clayton, NC 27520
PROJECT: 109-25-129

DRAWN BY: ML
DATE: Sept 17, 2025
FILE: SD11493
REV: A

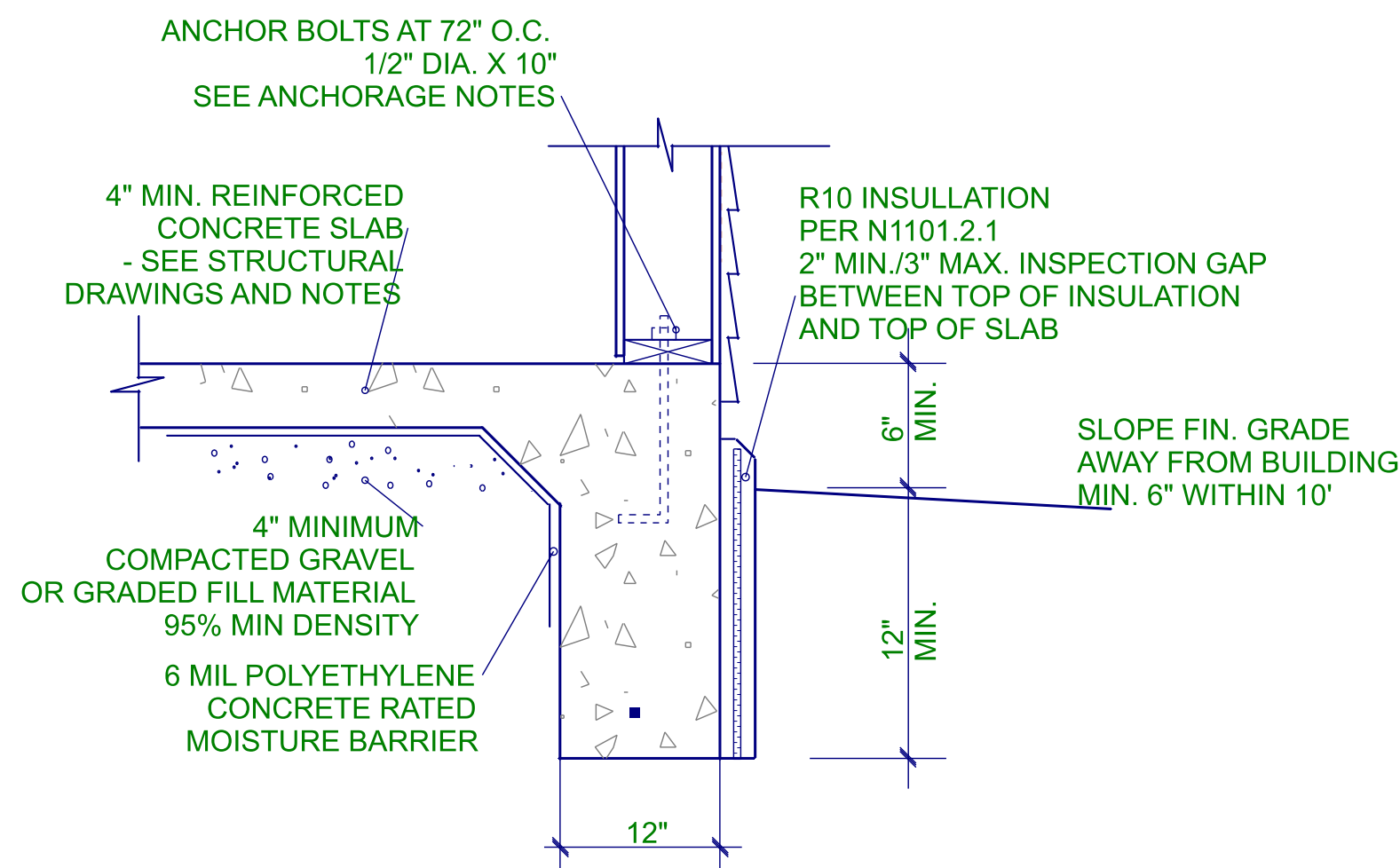
SCALE: 1/4 INCH = 1 FOOT

SHEET

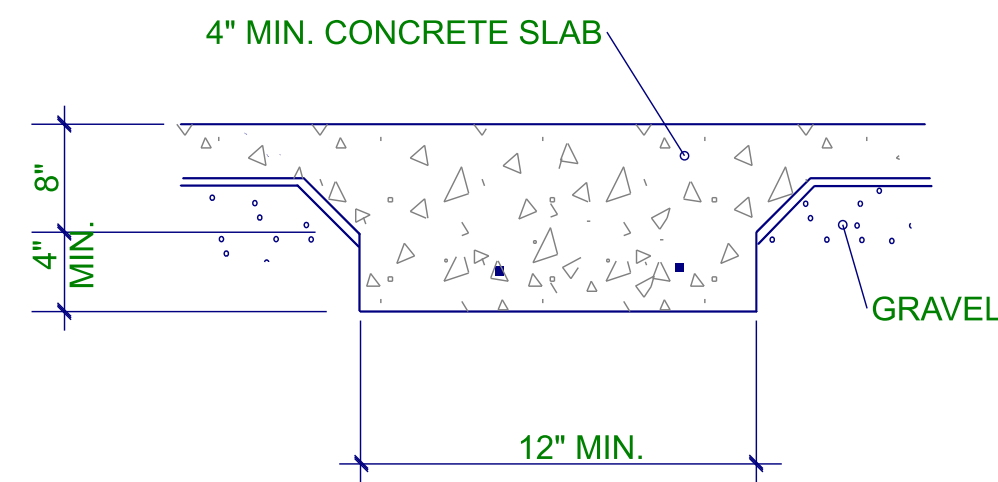
S1



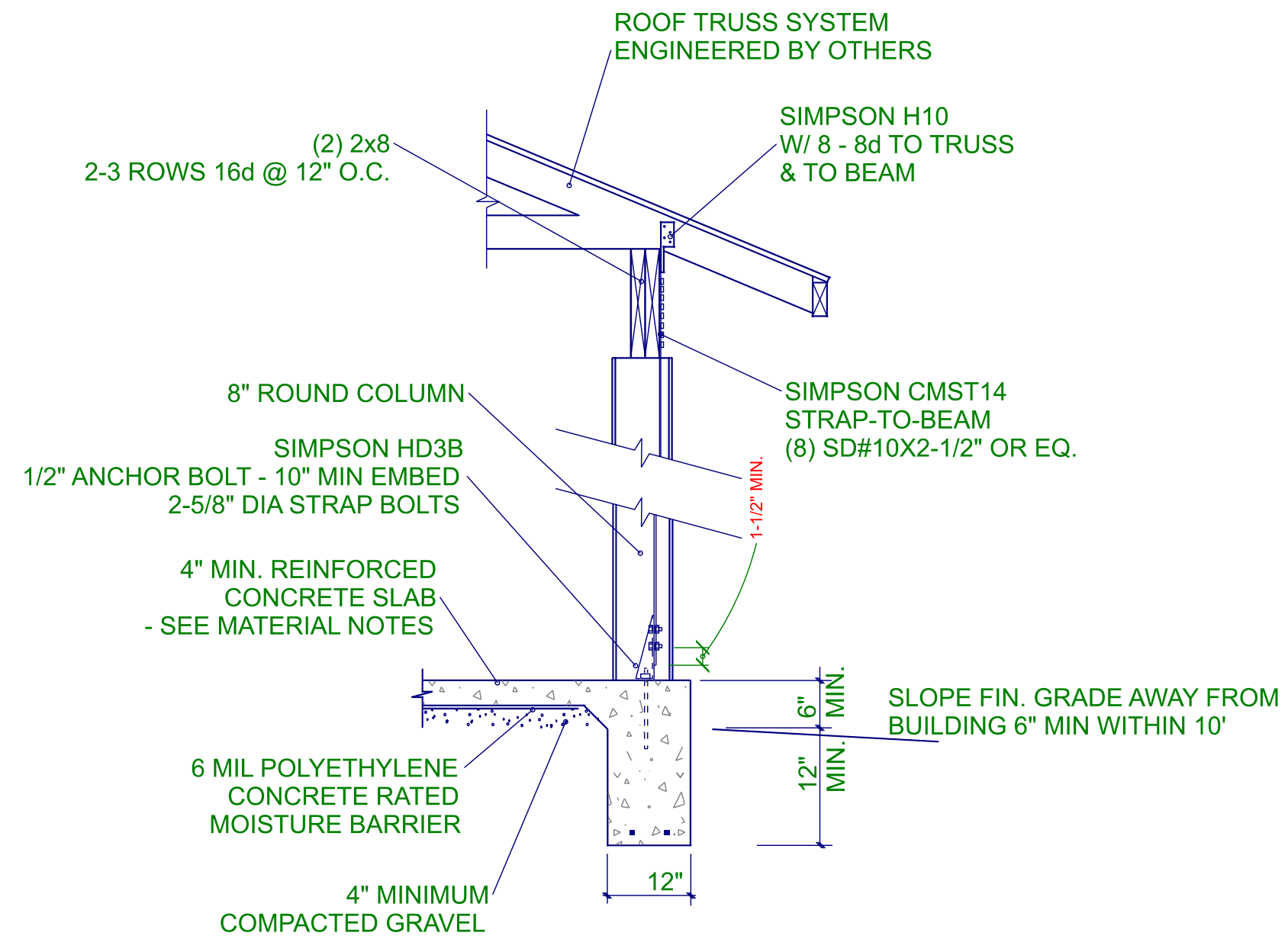
2 STOREY WALL SECTION
ON MONOSLAB FOUNDATION
DETAIL 2.0
N.T.S.



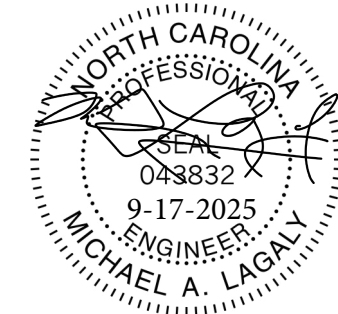
MONOLITHIC SLAB
AT SIDING
DETAIL 2.1
N.T.S.



INTEGRAL SLAB FOOTING
DETAIL 2.2
N.T.S.



FRONT PORCH
PORCH FOOTING
POST AND BEAM CONNECTION
DETAIL 2.3
N.T.S.



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MDL ENGINEERING SERVICES

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Cary, NC 27513
(919) 999-8153

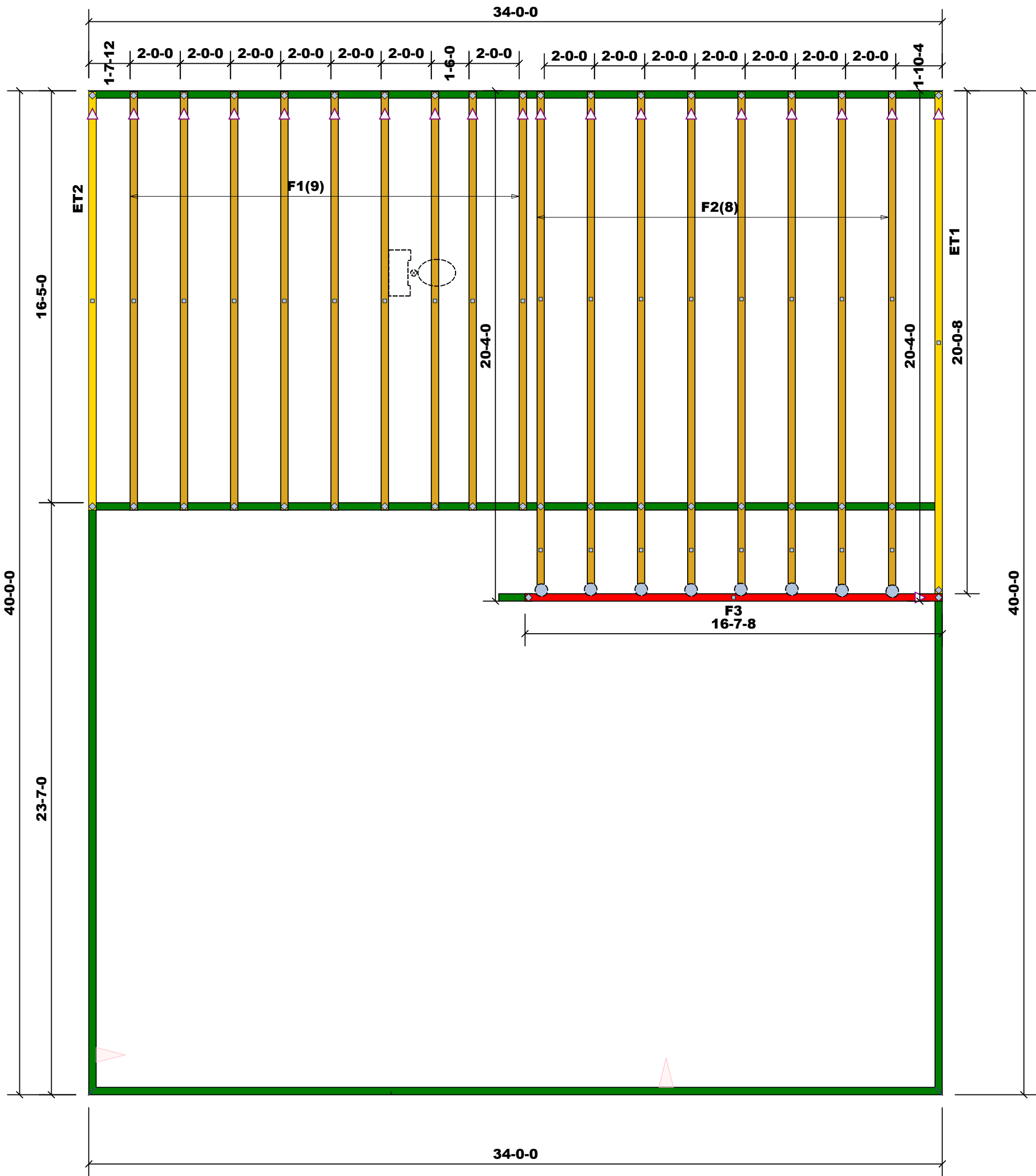
RED DOOR HOMES
1209 US Business 70 West
Clayton, NC 27520
PROJECT: 109-25-129

DRAWN BY: ML
DATE: Sept 17, 2025
FILE: SD11493
REV: A

SCALE: 1/4 INCH = 1 FOOT

SHEET

S2



	MSH422	USP	8	Varies	10d/3"	10d/3"
---	--------	-----	---	--------	--------	--------

Truss Placement Plan
SCALE: N.T.S.

PLEASE NOTE:

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.



ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

CUSTOMER (ACCOUNT)	Red Door Homes of Fayetteville	STREET	Olivia Rd
(BUILDER)		CITY	Sanford, NC
JOB NAME - LEVEL	109-25-129 COX109-25-129 COX - Floor	TAX AUTH.	NC - Harnett
PLAN NAME	Beaufort Wrap Porch	SALES REP.	Marshall Naylor ()
PLAN SEAL DATE (EOR)	7/28/2025	DESIGNER (& ASST.)	Marshall Naylor (Bruce McLaurin)
JOB # (OT REF)	250593 - B	PLAN REV. DATE	7/30/2025

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY

These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com

LOAD CHART FOR JACK STUDS			
(BASED ON TABLES R502.5(1) & (6))			
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER			
END REACTION (UP TO)	REQ'D STUDS FOR (2) FLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (3) FLY HEADER
1700	1	2550	1
3400	2	5100	2
5100	3	7650	3
6800	4	10200	4
8500	5	12750	5
10200	6	15300	6
11900	7		
13600	8		
15300	9		

