

HARRINGTON

CEDAR POINTE
LOT 22



SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

PLAN ID 040121.0501

110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATION
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLAN & DETAILS
A5.2	SECOND FLOOR PLAN & DETAILS
A6.1	ROOF PLAN
A7.2-A7.3	ELECTRICAL PLANS

AREA TABULATION	
FIRST FLOOR	1104
SECOND FLOOR	1461
TOTAL	2565
GARAGE	396
FRONT PORCH (COVERED)	91
REAR PATIO	120

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
10/12/2023	SL	REMOVE 1.5" FURR IN DOWN BATH	A3.1-A8.1
10/20/2021	AW	Prototype walk revisions - see revision sheet	A5.1, A5.2, A7.2, A7.3
4/4/2002	AW	Changed finished basement bath plumbing wall from 2x6 to 2x4	A4.2
3/10/2023	AW	PCR #5180 Added 1 outlet to optional B-5 or Study ILO Living	A7.2
9/26/2023	CLJ	Removed Shower & Tub sizes from all affected pages	A5.1.1 & A5.2
4/2/2025	CLJ	PCR #6314 Changed Kitchen Island from 48" wide to 42" wide	A3.1, A5.1, A7.2, A8.1
4/18/2025	AW	Added elevations R & T (non-cantilevered second floor)	A1.16, A1.17

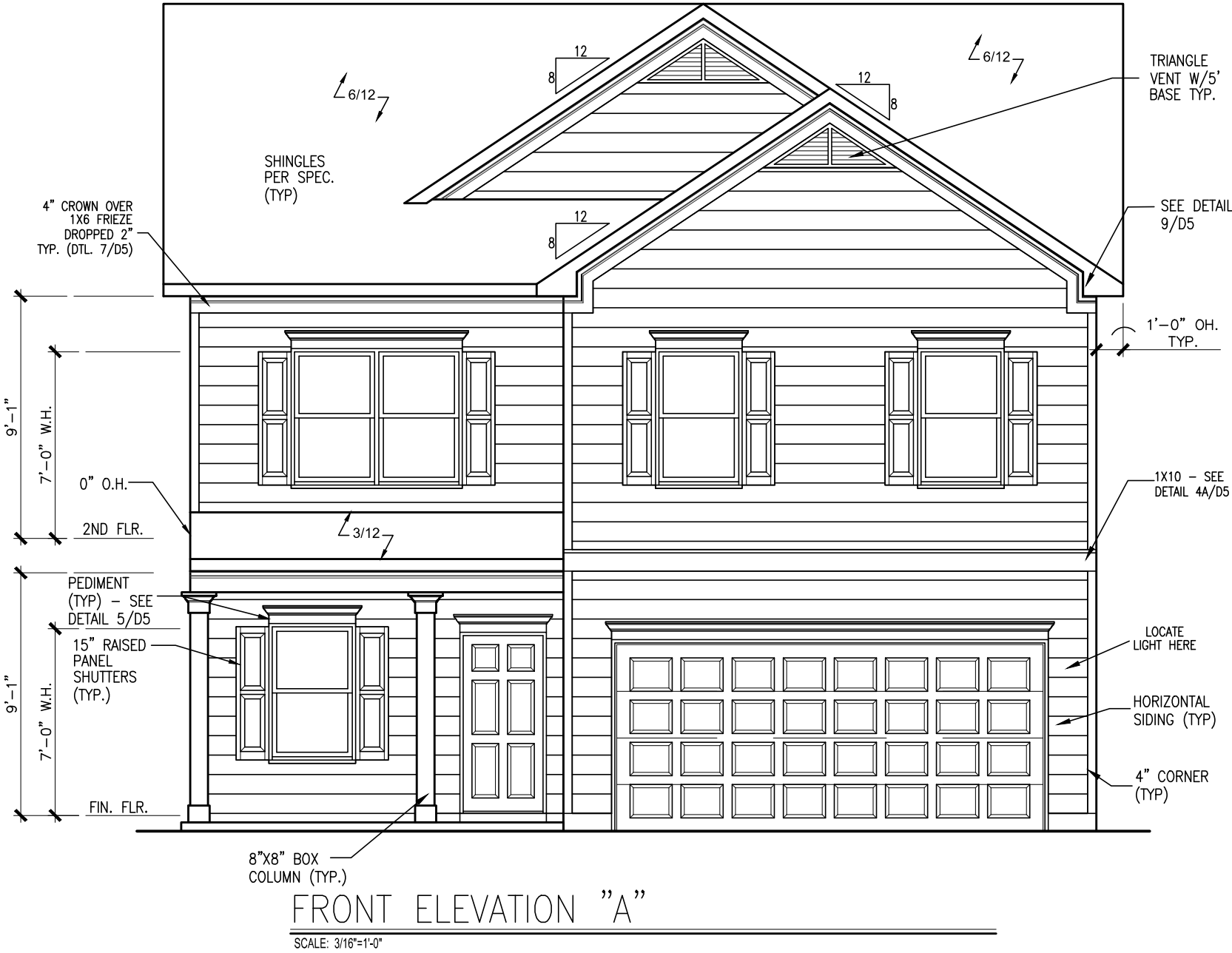
GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO
BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL
DETAILS FOR SOFFIT DETAILS PER
SOFFIT MATERIAL

CEDAR POINTE
LOT 22



DATE	BY	REVISION
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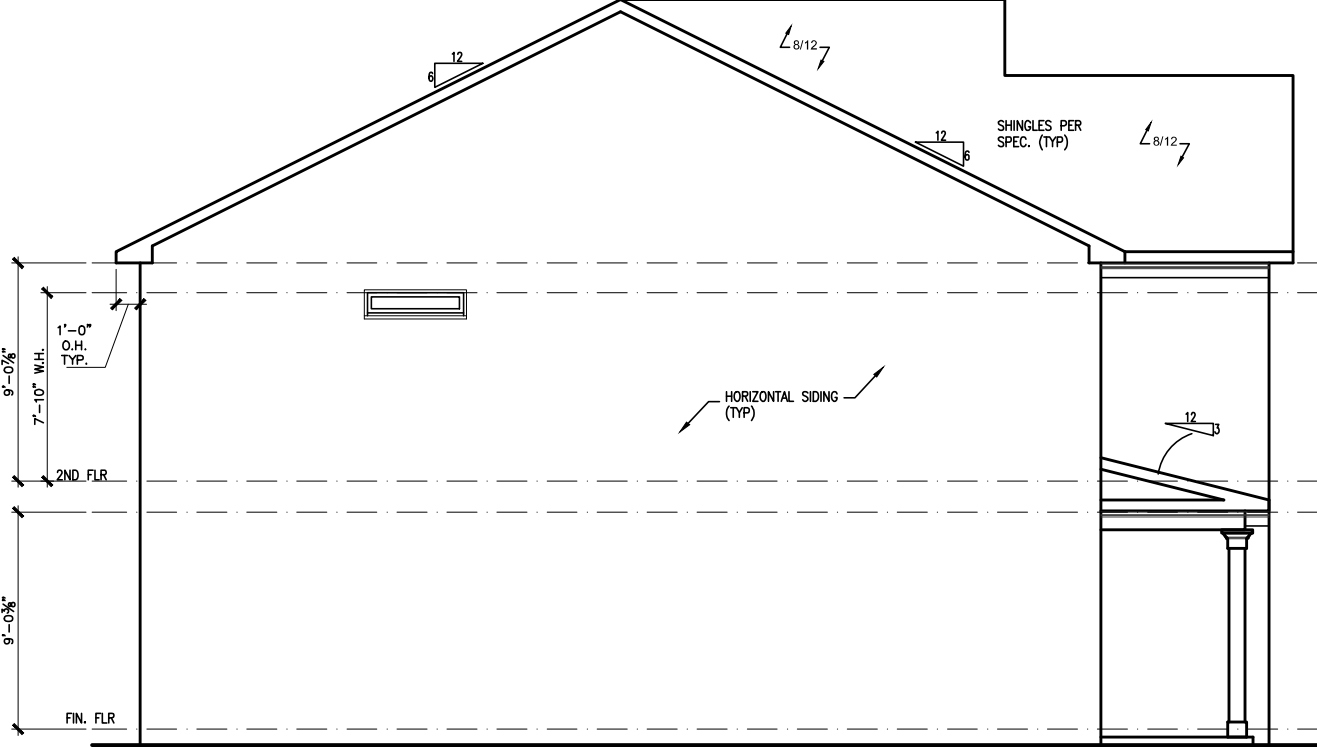
ELEVATIONS
FRONT ELEVATION
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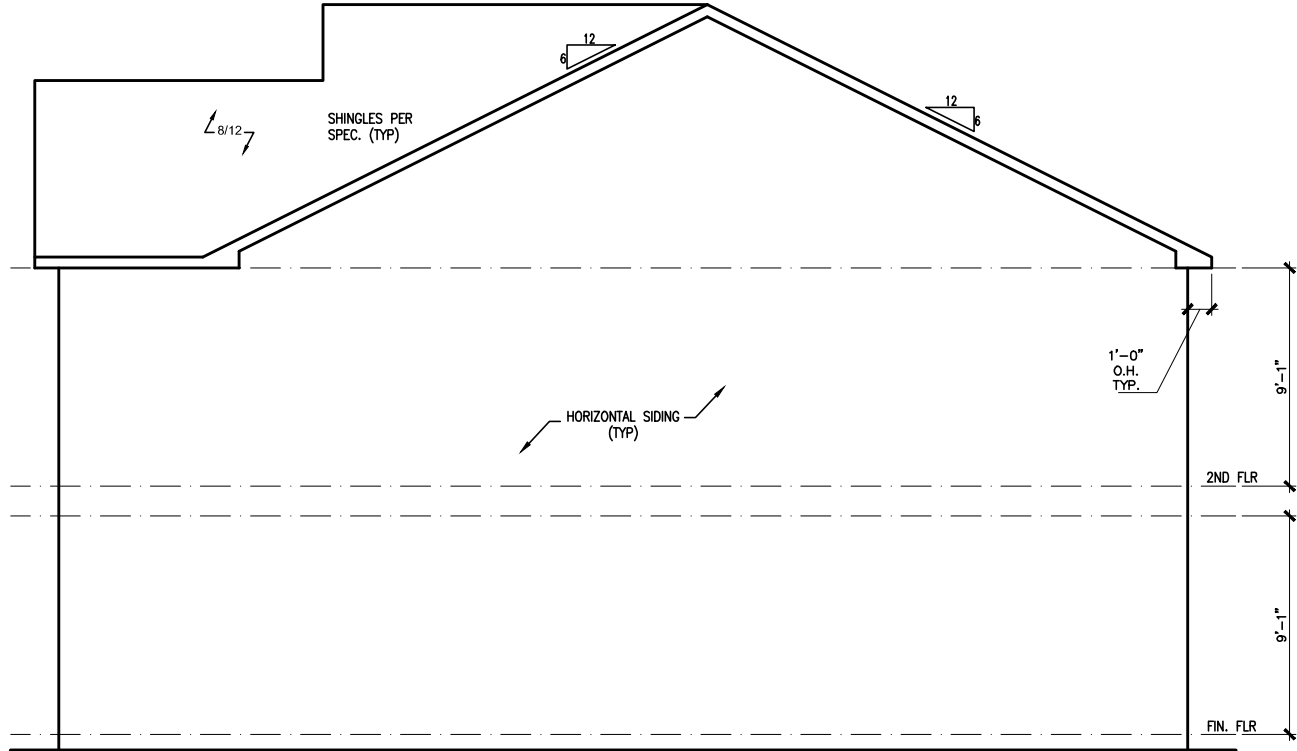
BY: CLJ	CH: AW
DATE: 7-11-25	
FACADE OPT: A	
PLAN ID:	
PND: ALL	ELEV: A
PAGE NO: A1.1	

CEDAR POINTE
LOT 22



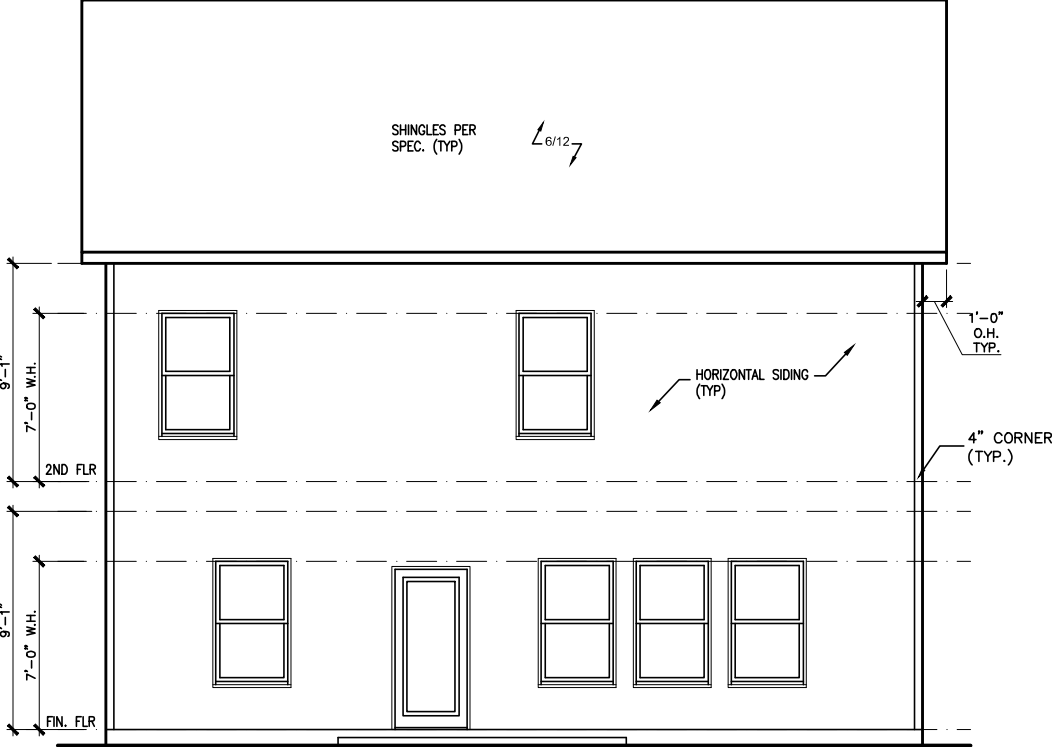
LEFT ELEVATION "A"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "A"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "A"

SCALE: 1/8" = 1'-0"

DATE	BY	REVISION
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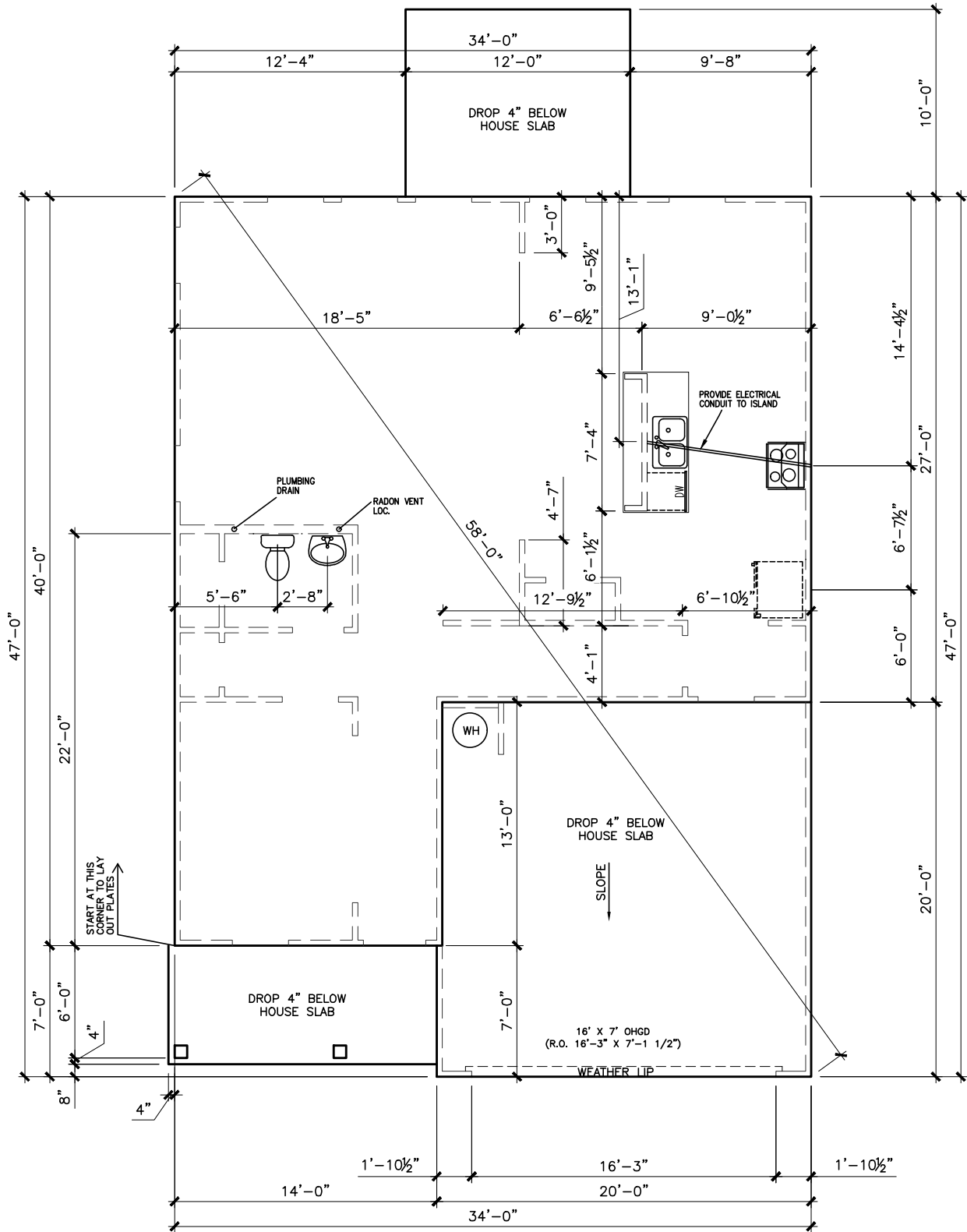
ELEVATIONS
SIDES AND REAR
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PLAN ID:	
PND: ALL	BLEV: A
PAGE NO: A2.1	

CEDAR POINTE
LOT 22



SLAB PLAN

SCALE : 1/8" = 1'-0"

*RADON VENT
PROVIDED PER
LOCAL CODE

REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN

DATE	BY	REVISION
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



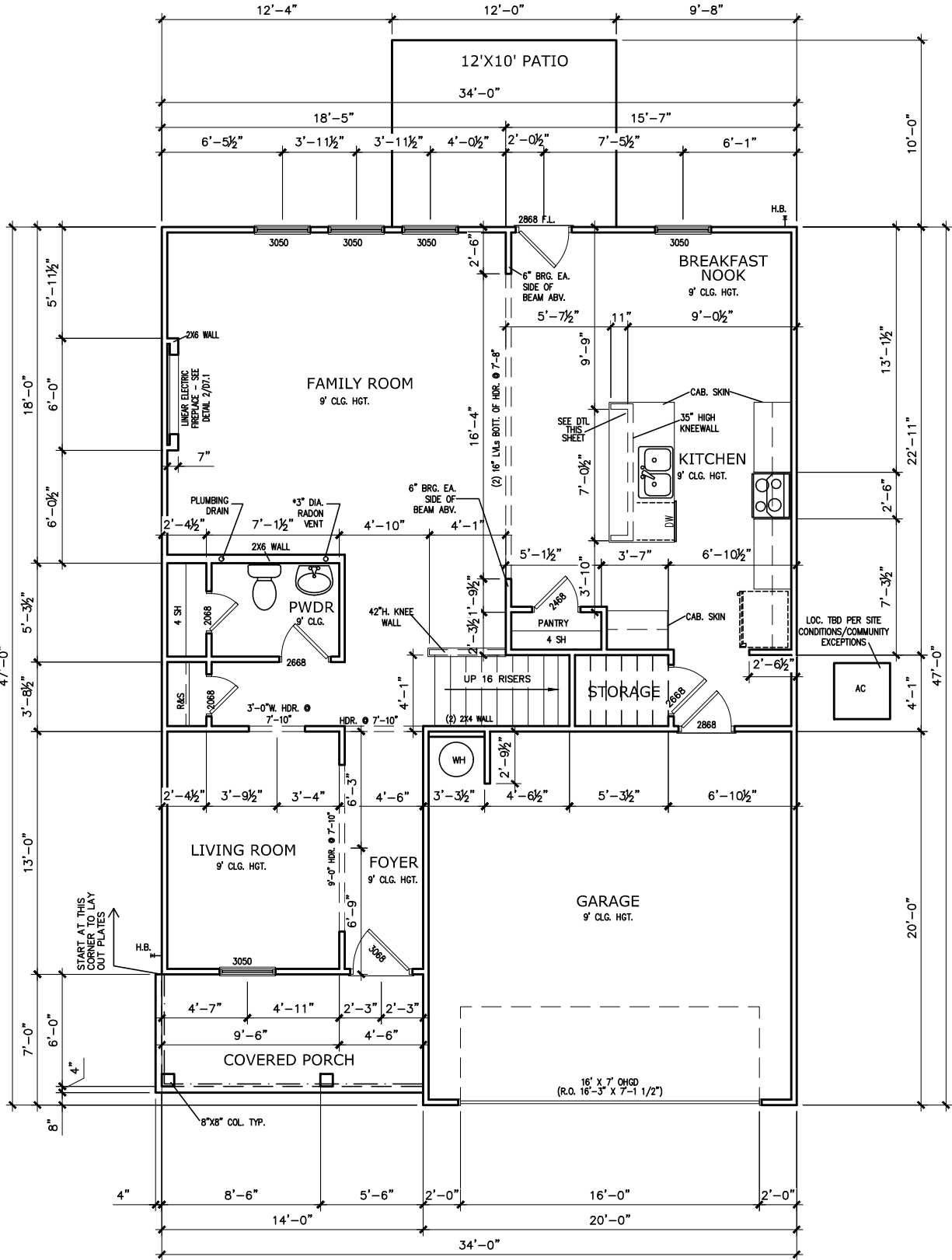
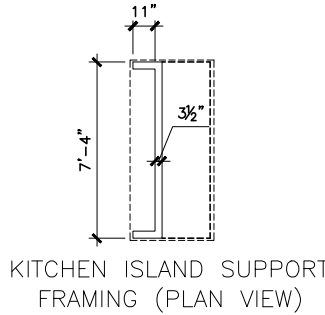
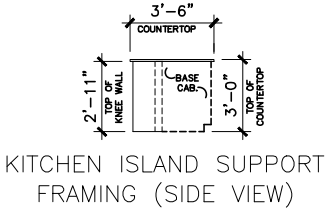
FOUNDATION PLAN
SLAB PLAN
HARRINGTON

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CEDAR POINTE
LOT 22



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

BY	#	#	#	#	#
REVISION					
DATE	#	#	#	#	#



FLOOR PLAN
FIRST FLOOR
HARRINGTON

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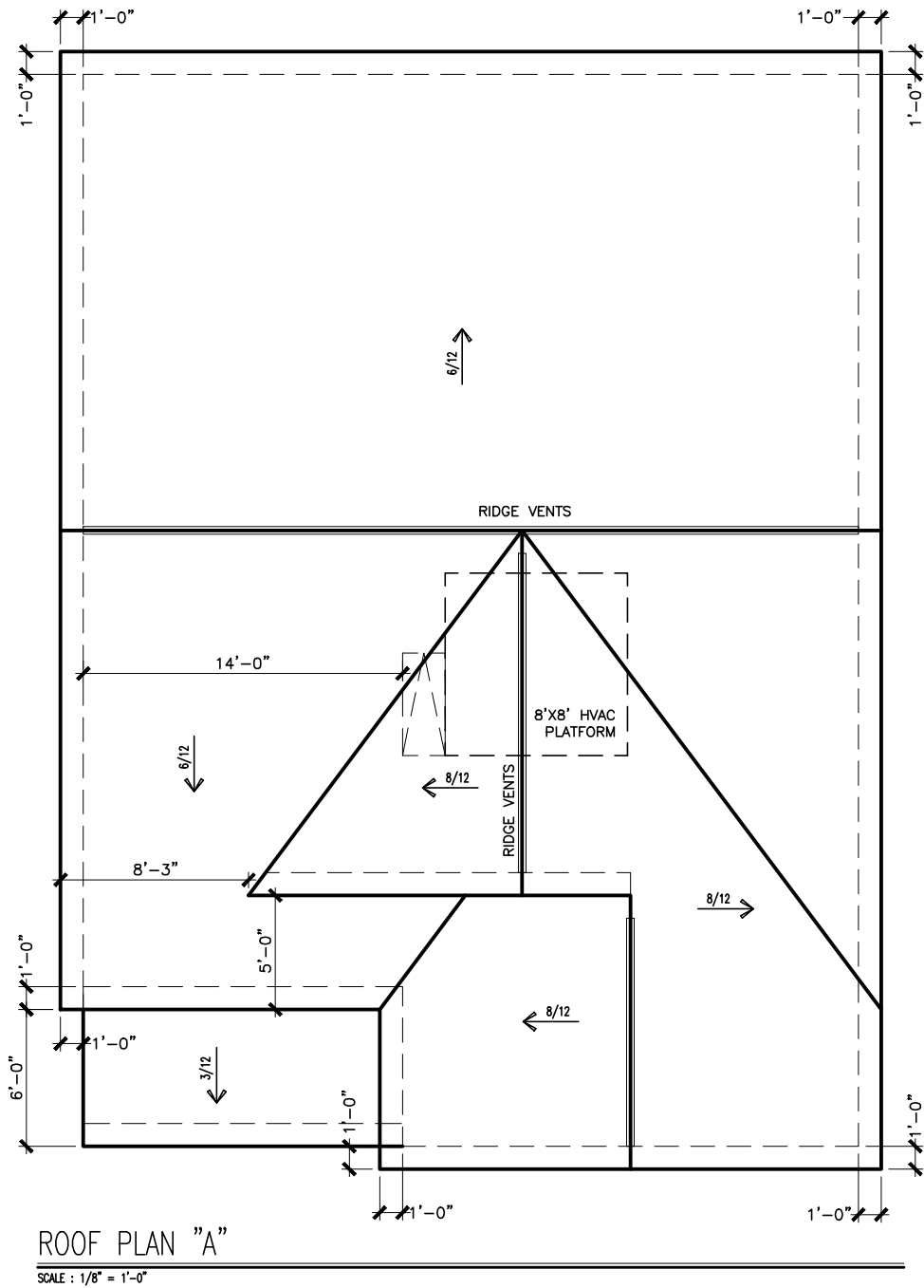
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DATE: 7-11-25	
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PLAN ID:	
END: ALL	ELEV: A
PAGE NO: A5.2	



SCALE : 1/8" = 1'-0"

REFER TO MANUFACTURER'S SPECS.
FOR DRAIN LOCATIONS ON DETAIL
SHEETS D12, D12.1, D12.2 & D12.3

CEDAR POINTE
LOT 22



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ROOF PLAN

ROOF PLAN

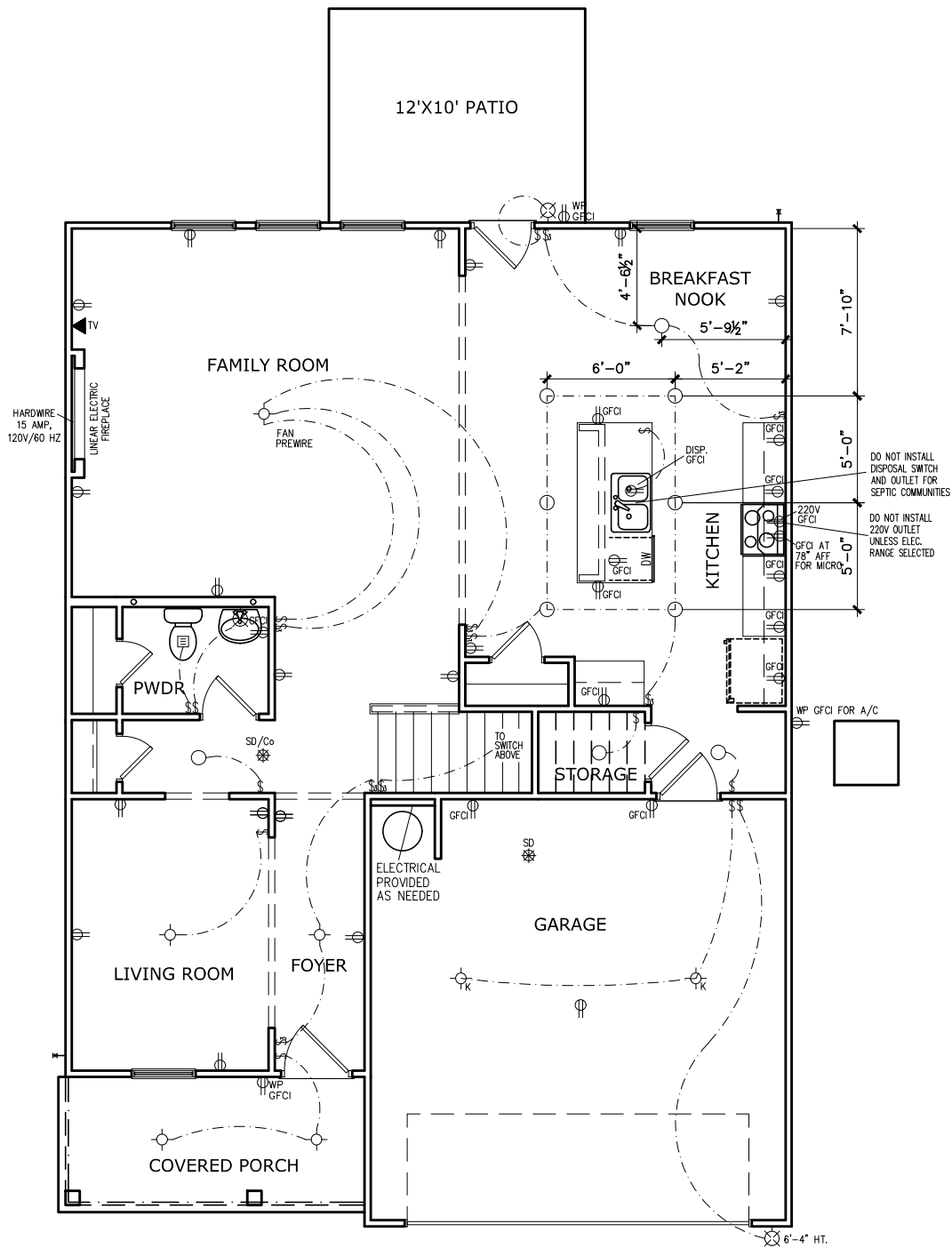
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CEDAR POINTE
LOT 22



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⦿	120V RECEPTACLE
\$4	4 WAY SWITCH	⦿	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⦿	220V RECEPTACLE
⦿ _K	KEYLESS	⦿ _{GFCI}	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⦿ _{AFCI}	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	† _{GL}	GAS LINE
●	FLEX CONDUIT	† _{WL}	WATER LINE
CH	CHIMES	⌵	HOSE BIBB
PH	TELEPHONE	⦿	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	▬	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
≡	EXHAUST FAN	⦿	CEILING FIXTURE
≡	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF
PHONE/CABLE T.B.D. ON SITE
BY THE BUILDER

DATE	#	REVISION		BY	#
		#			
	#				#
	#				#
	#				#
	#				#
	#				#

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ELECTRICAL PLAN

FIRST FLOOR

HARRINGTON

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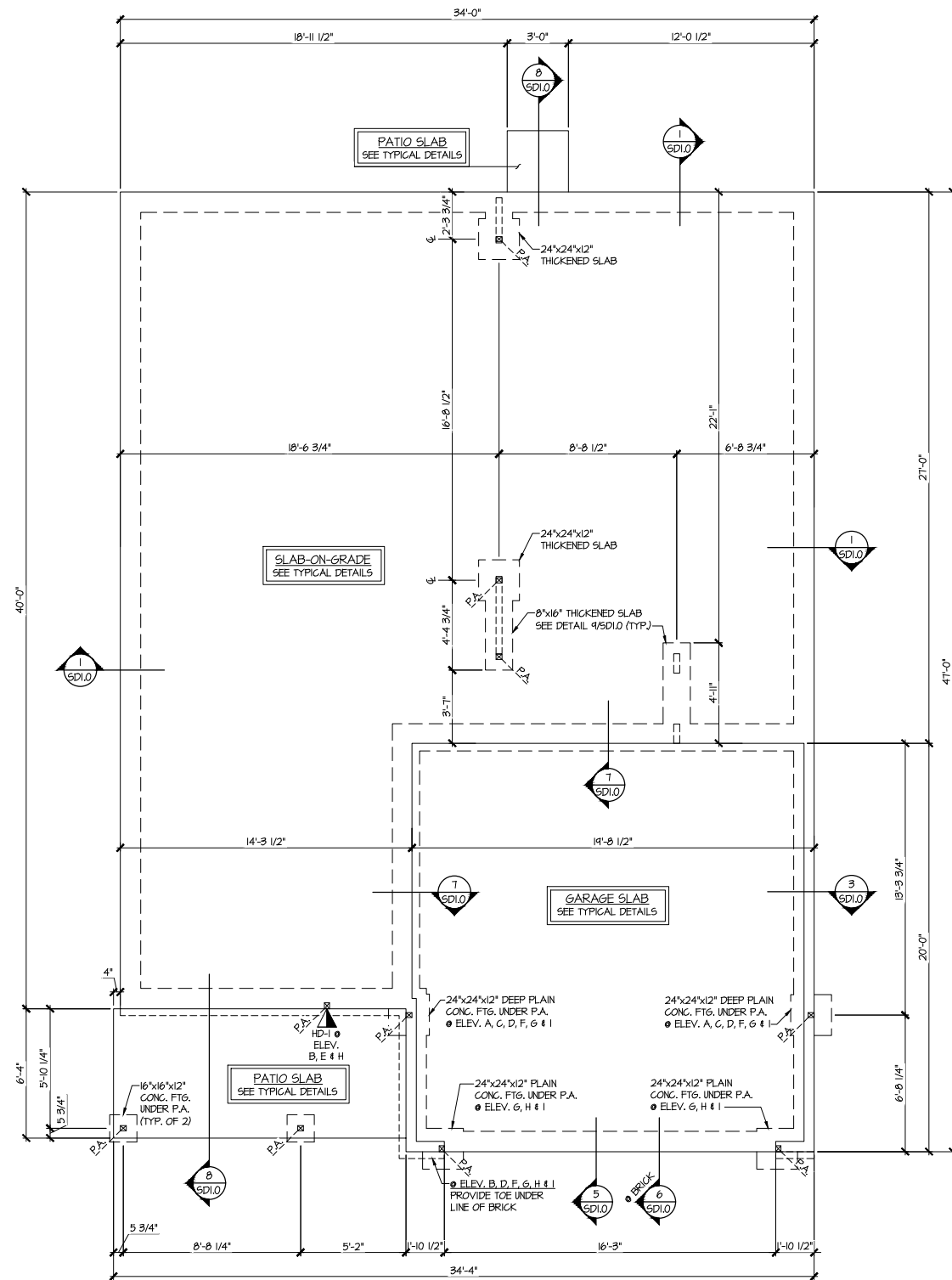
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ELECTRICAL PLAN
SECOND FLOOR
HARRINGTON

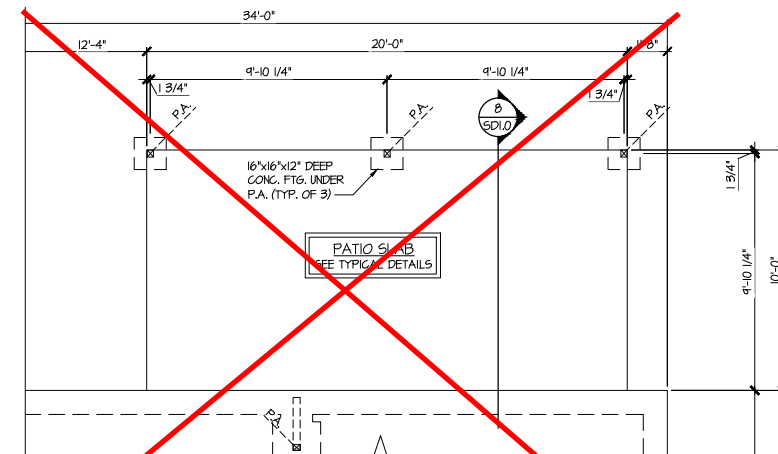
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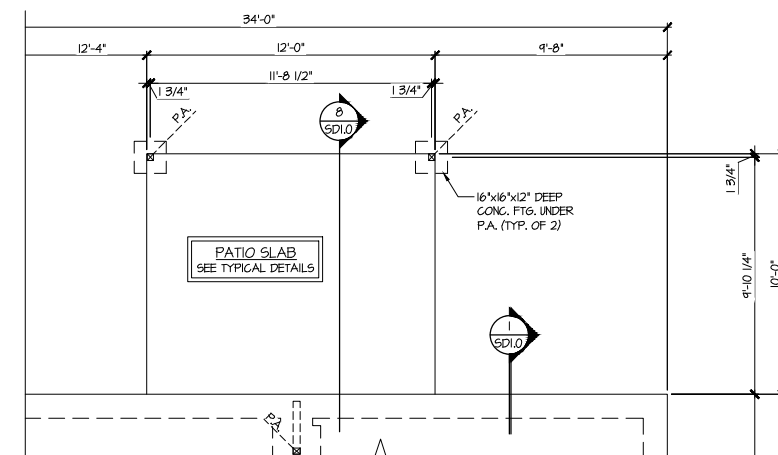
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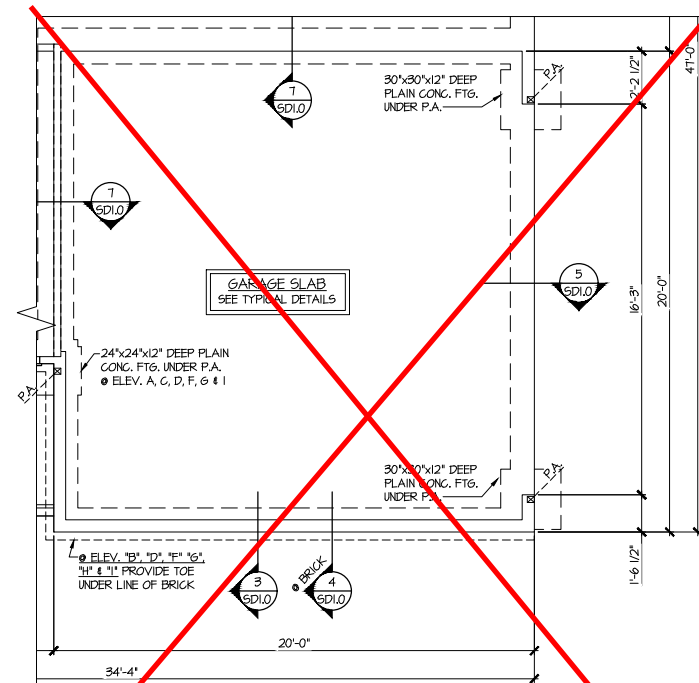
1 MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A SHOWN
ALL ELEV. SIM.



4 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. LARGE COVERED PORCH



3 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. COVERED PORCH

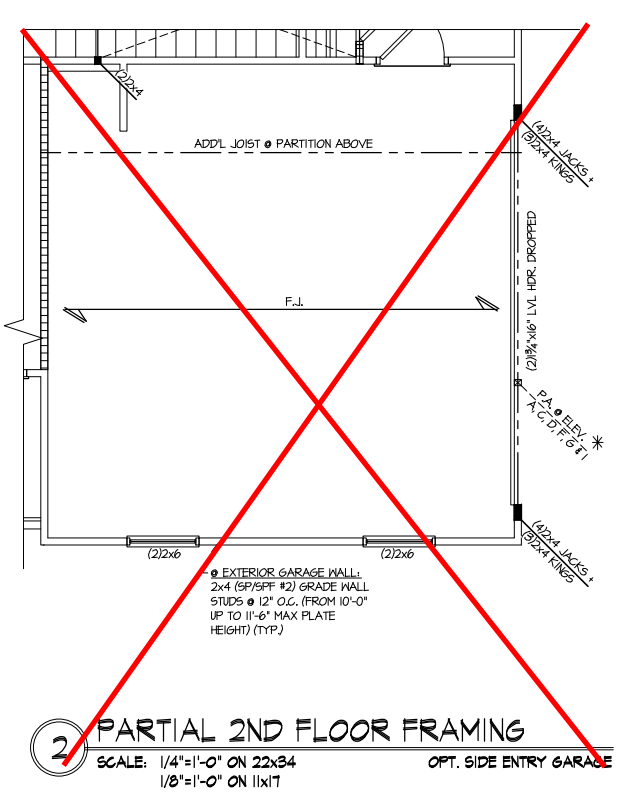
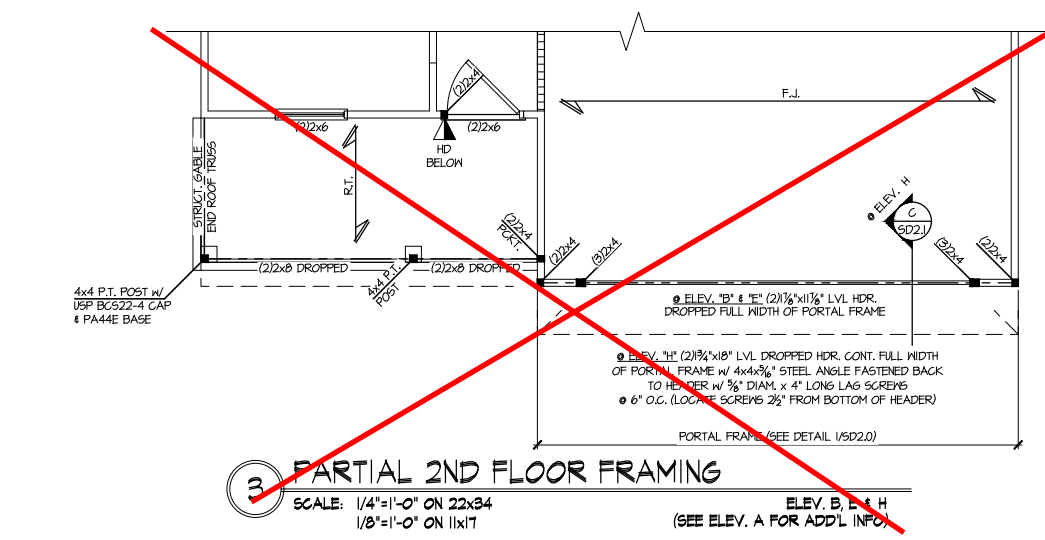
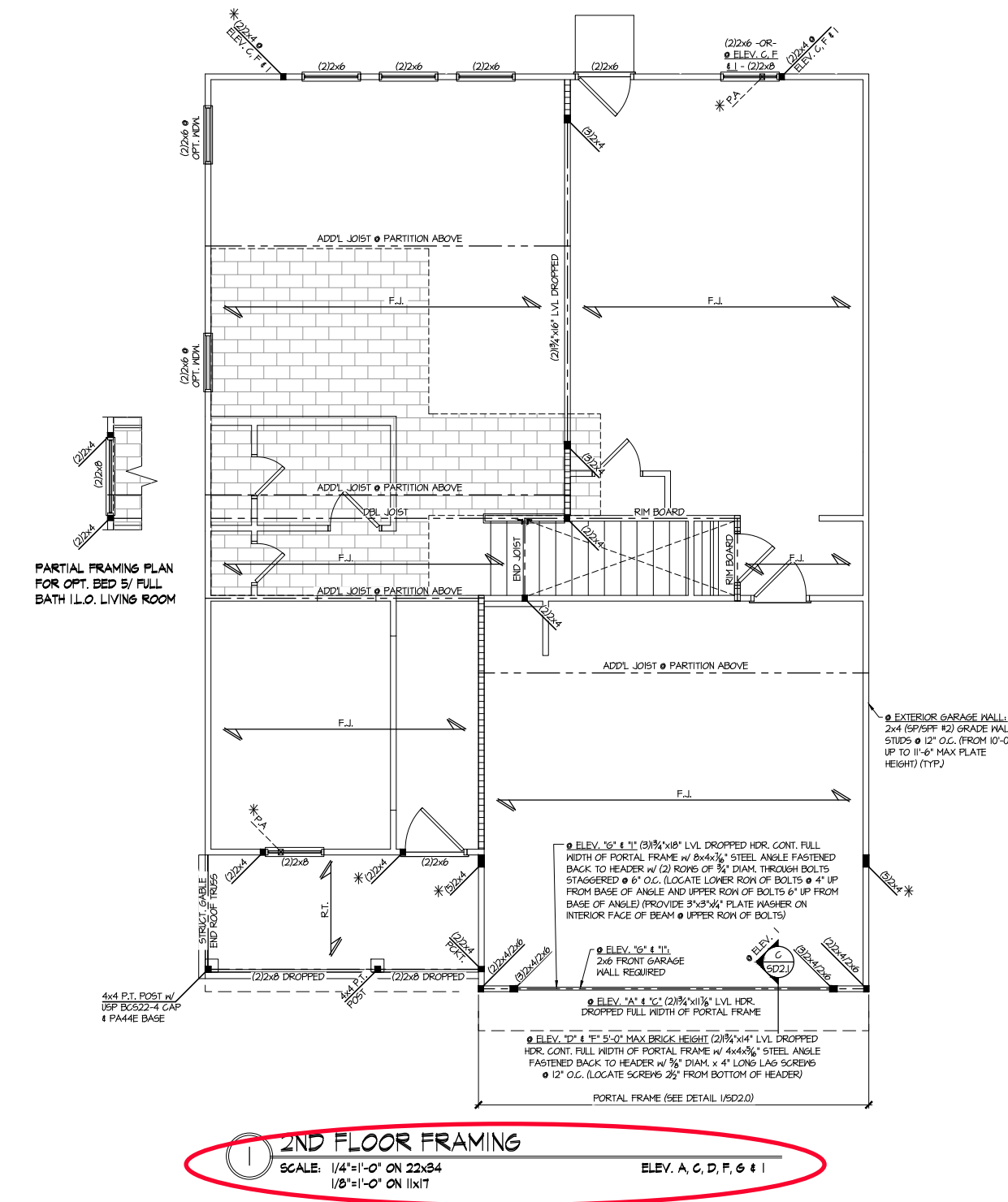
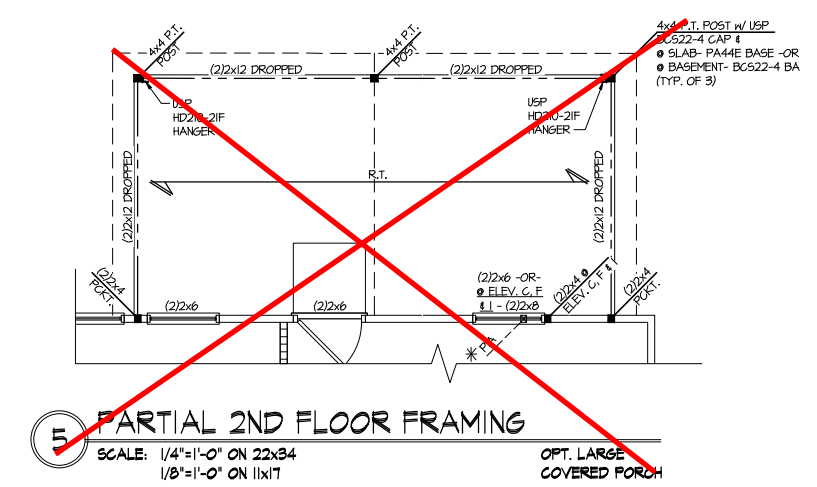
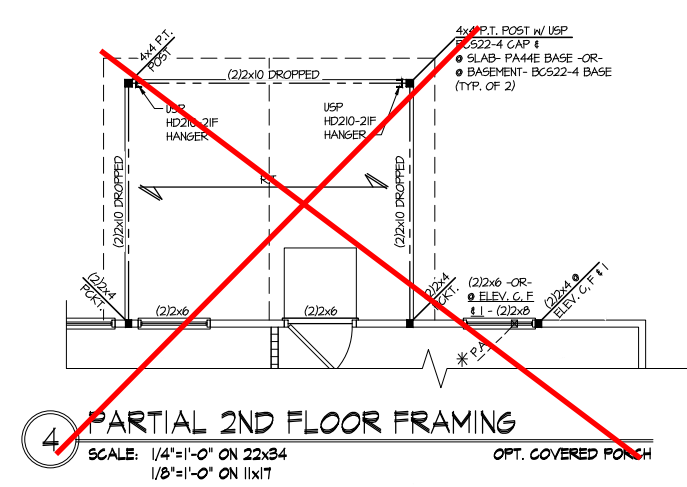


2 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. SIDE ENTRY GARAGE

**Cedar Pointe
LOT 22**

REFER TO S.D.O. FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.N.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

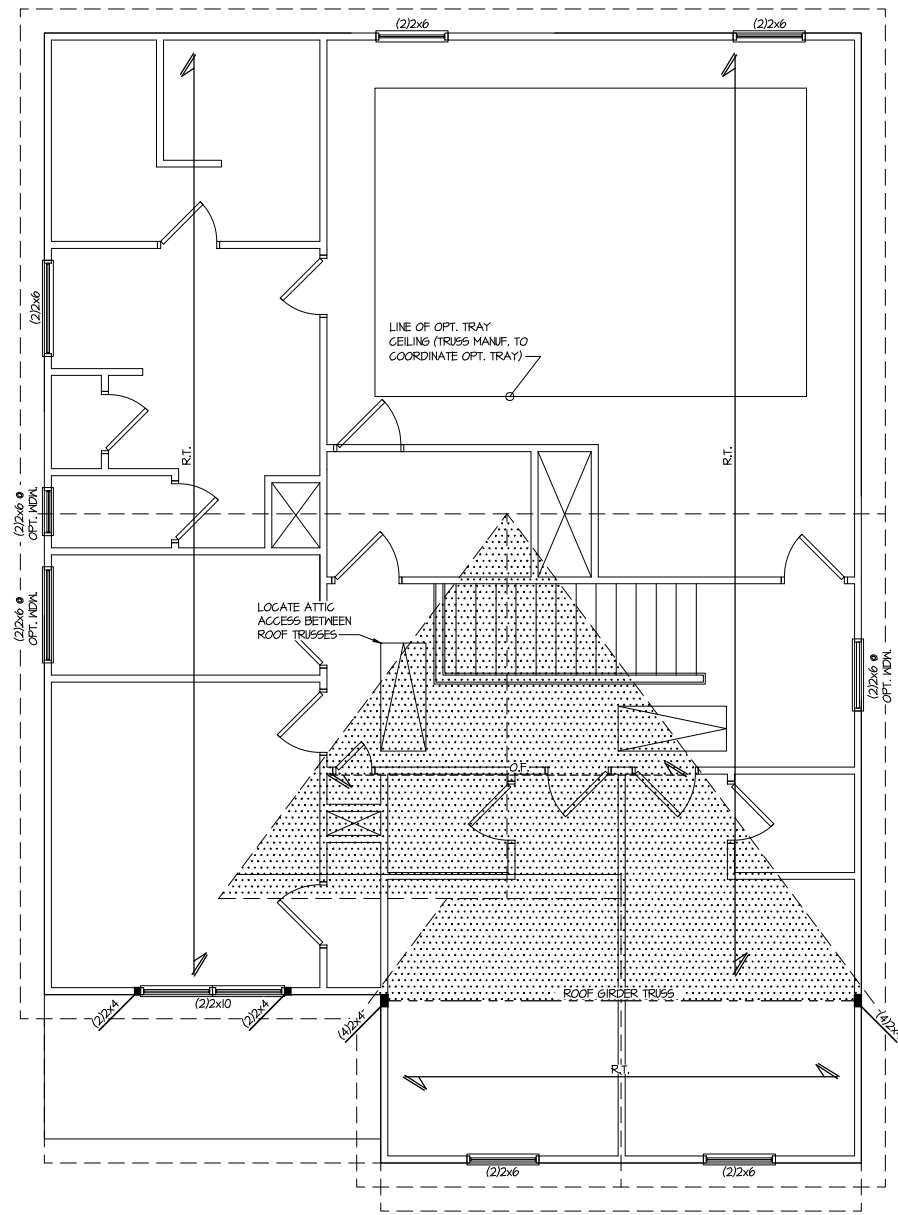


**Cedar Pointe
LOT 22**

REFER TO 50.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.N.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A, D & G

**Cedar Pointe
LOT 22**

THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

REFER TO 50.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

LEGEND	
• R.T.	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
• O.F.	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
• F.J.	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
• D.J.	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
• [Symbol]	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
• [Symbol]	INTERIOR BEARING WALL
• [Symbol]	BEARING WALL ABOVE (B.W.A.)
• [Symbol]	BEAM/HEADER
• [Symbol]	METAL HANGER
• *	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

seal

PROFESSIONAL

SEAL

REGISTERED

ENGINEER

SHAWN KREIDL

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Mulhern+Kulp project number:

256-21012

project mgr:

SMK

drawn by:

MJF

issue date:

02-21-22

REVISIONS:

date: 11/22/21 initial: MJF

MISSED PLANS ADDED

SMITH DOUGLAS
HOMES

ROOF FRAMING PLAN

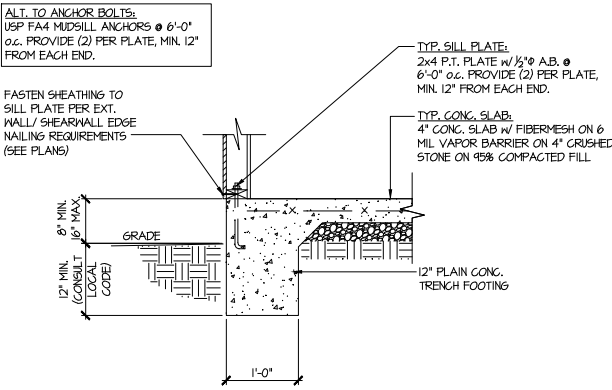
HARRINGTON MODEL

RALEIGH, NC

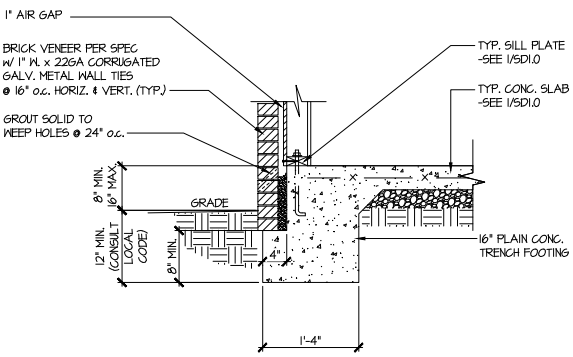
sheet:

S4.0

USE ALTERNATE GARAGE CURB
DETAIL FOR 2X4 WALLS AS NEEDED

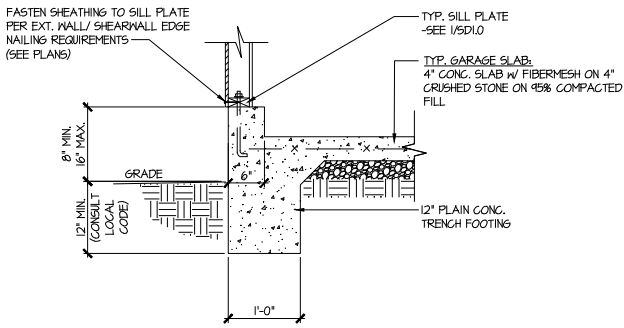


1 TYPICAL SLAB ON GRADE
PERIMETER FOOTING

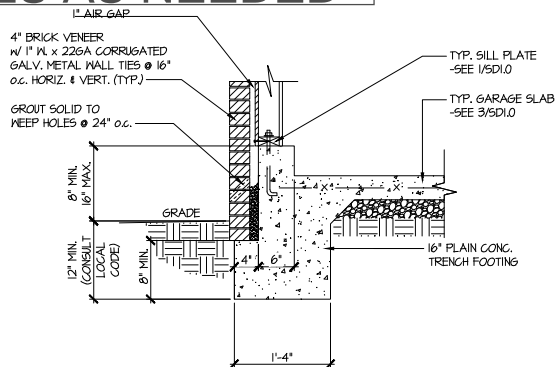


2 TYPICAL SLAB ON GRADE
PERIMETER FOOTING

w/ BRICK VENEER

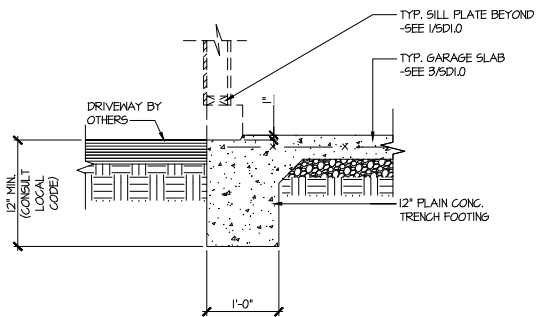


3 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING

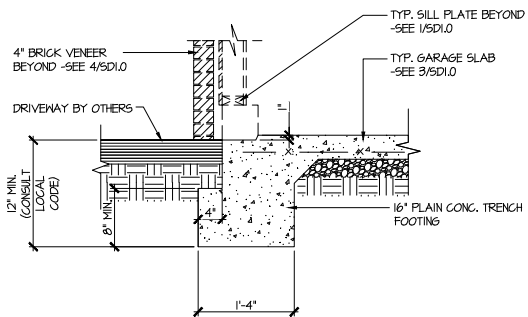


4 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING

w/ BRICK VENEER

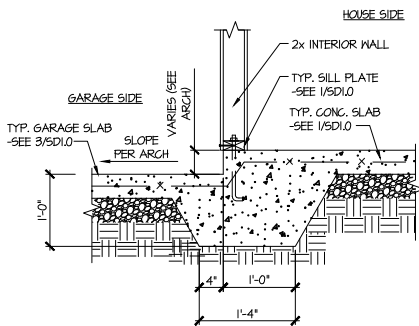


5 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING

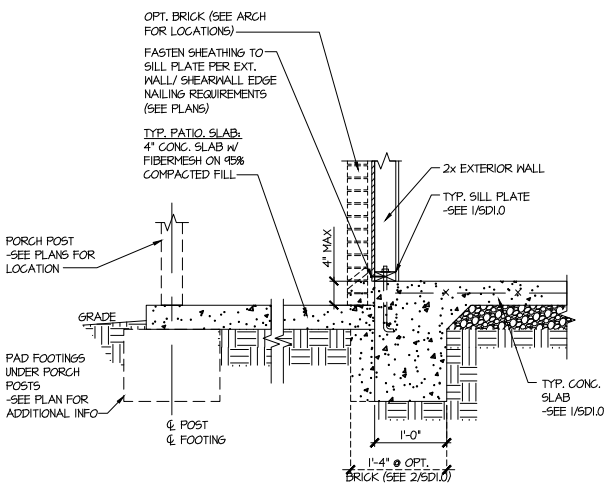


6 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING

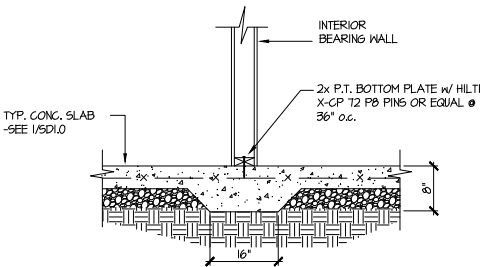
w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR
GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @
INTERIOR BEARING WALL

Cedar Pointe
LOT 22

2/24/22

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project mgr: SMK
drawn by: MJF
issue date: 02-21-22

REVISIONS:

date: 11/22/21 initial: MJF
REVISIONS ADDED

SMITH DOUGLAS
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FOUNDATION DETAILS

HARRINGTON MODEL

RALEIGH, NC

sheet:

SD1.0

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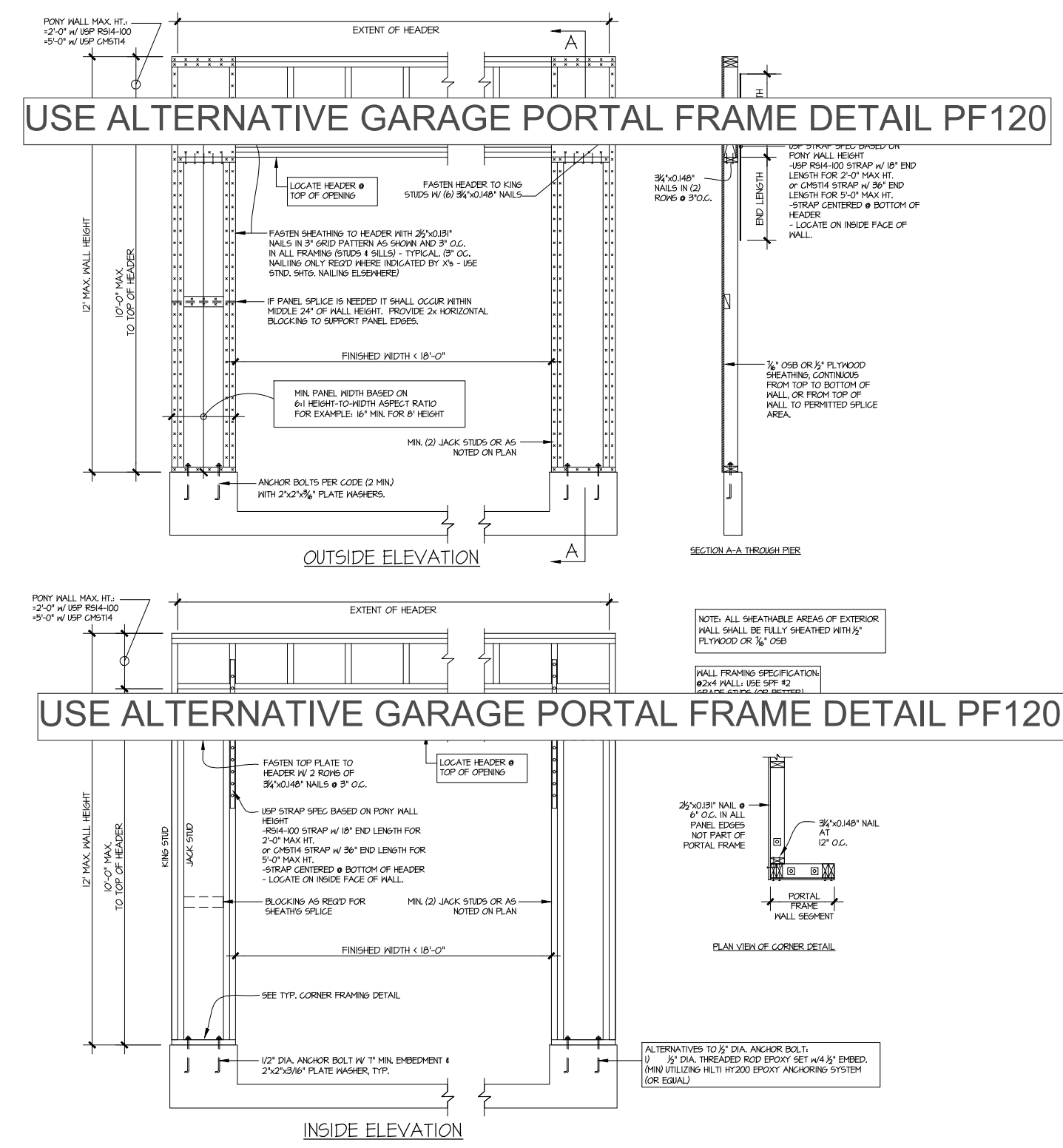
Mulhern+Kulp project number:	256-21012
project mgr:	SMK
drawn by:	MJF
issue date:	02-21-22
REVISIONS:	
date:	initial:
11/22/21	MJF
REVISIONS PLANS ADDED	

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FRAMING DETAILS

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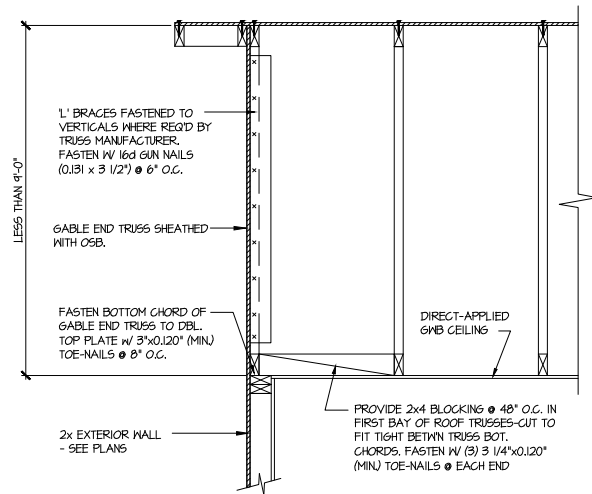
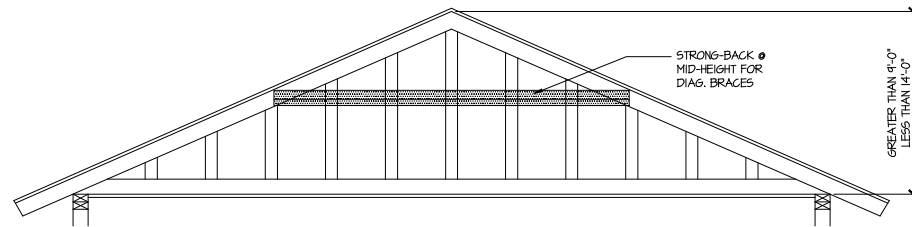
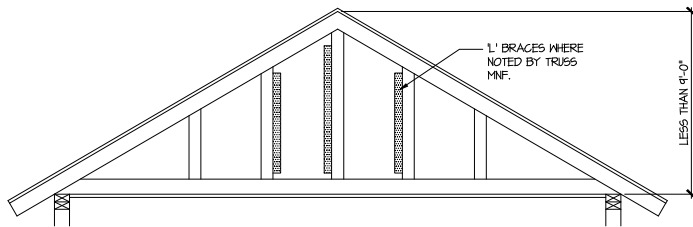


1

GARAGE PORTAL FRAME BRACING ELEVATION

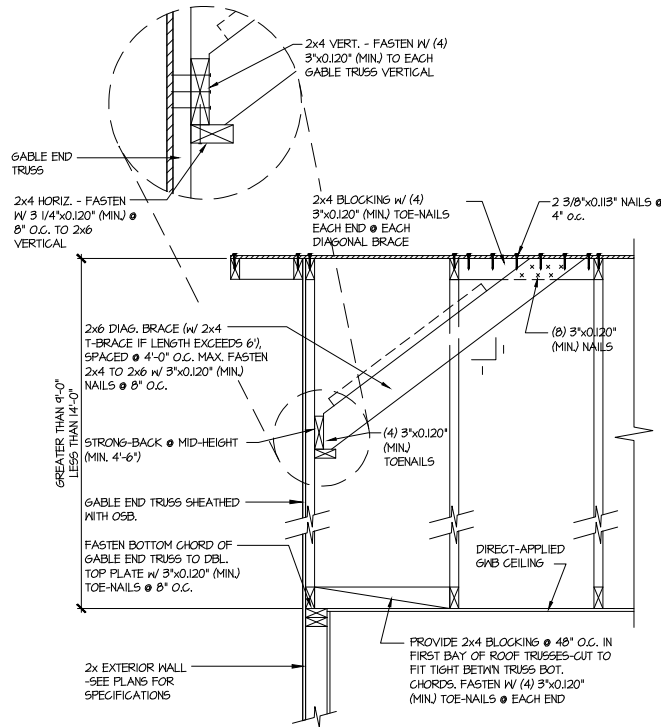
SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR
115 MPH WIND SPEED (ULT)



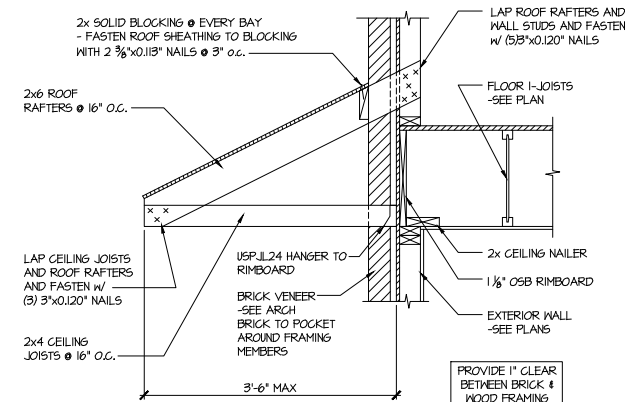
A TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D • GABLE END TRUSS
HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D • GABLE END TRUSS
HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



C DETAIL @ PENT ROOF
SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

Cedar Pointe
LOT 22

July 28, 2023

Jody Hunt

Director of Product Development

SMITH DOUGLAS HOMES

110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE PORTAL FRAME DETAIL
Smith Douglas Homes

Reference

"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern& Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. *Project Manager + Atlanta Office Director*



Signature + Seal 07/28/2023



Mulhern+Kulp project number:
 256-23000

project mgr: SMK
 drawn by: RAP
 issue date: 07.28.2023

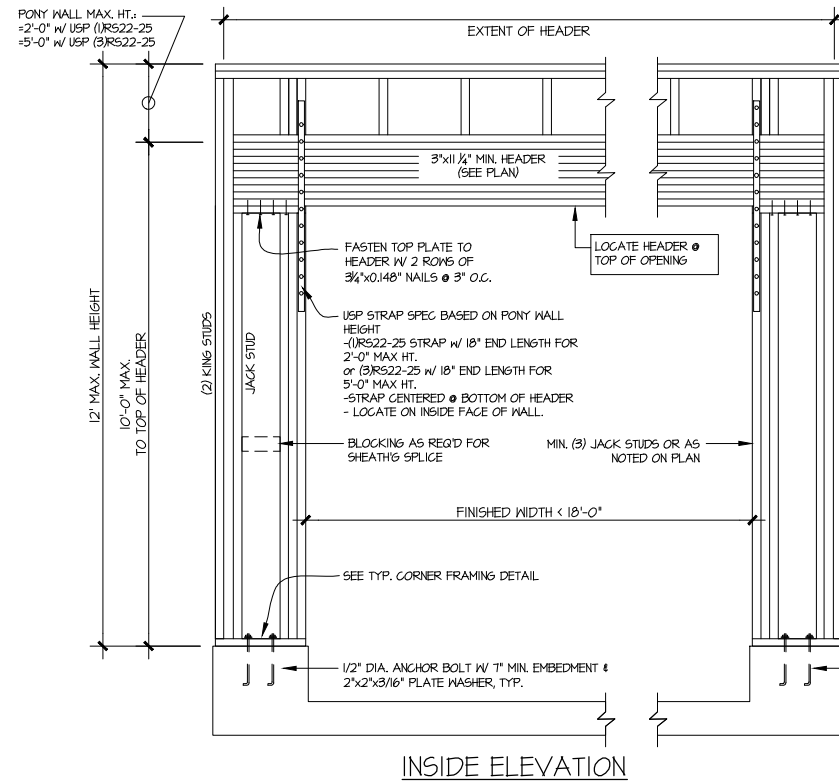
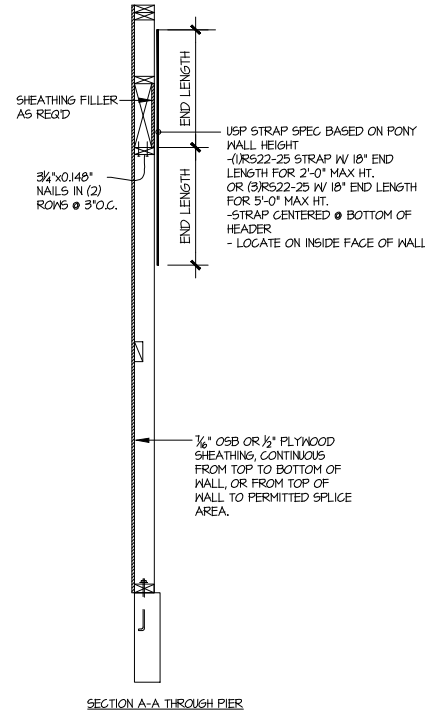
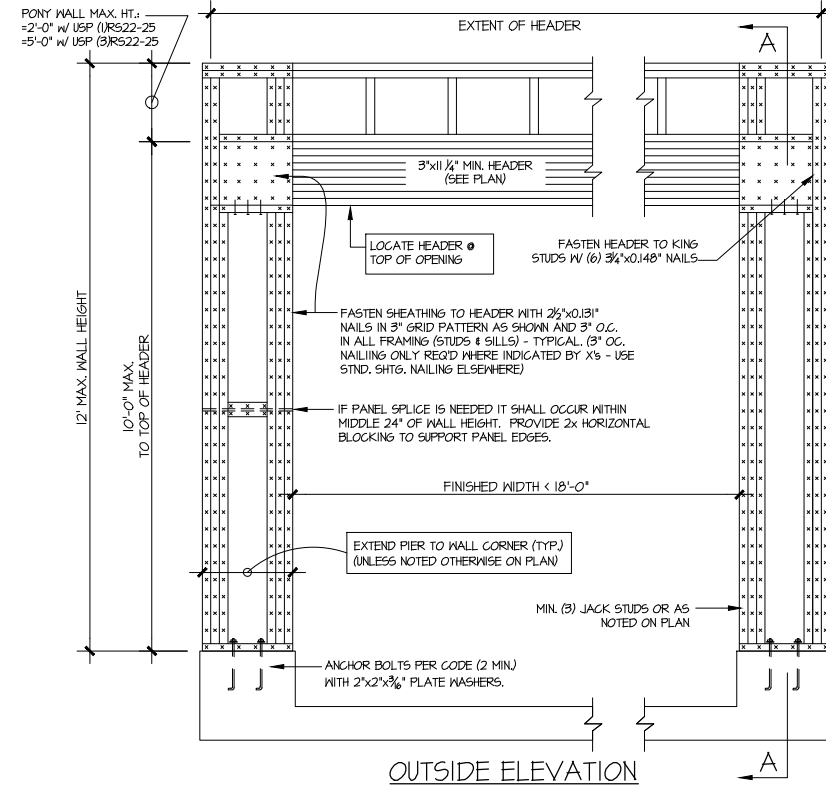
REVISIONS:
 date: initial:

SMITH DOUGLAS
 HOMES

ALTERNATE PORTAL FRAME

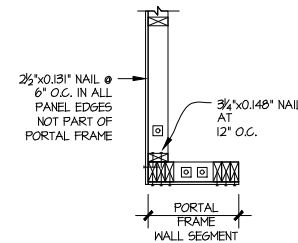
PORTAL FRAME

sheet:
 PF-120



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR
 WALL SHALL BE FULLY SHEATHED WITH 1/2"
 PLYWOOD OR 7/8" OSB

WALL FRAMING SPECIFICATION:
 02x4 WALL: USE SPF #2
 GRADE STUDS (OR BETTER)
 02x6 WALL: USE SPF 'STUD'
 GRADE STUDS (OR BETTER)



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
 1) 1/2" DIA. THREADED ROD EPOXY SET w/4 1/2" EMB.
 (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM
 (OR EQUAL)



ALTERNATE GARAGE PORTAL FRAME BRACING ELEVATION

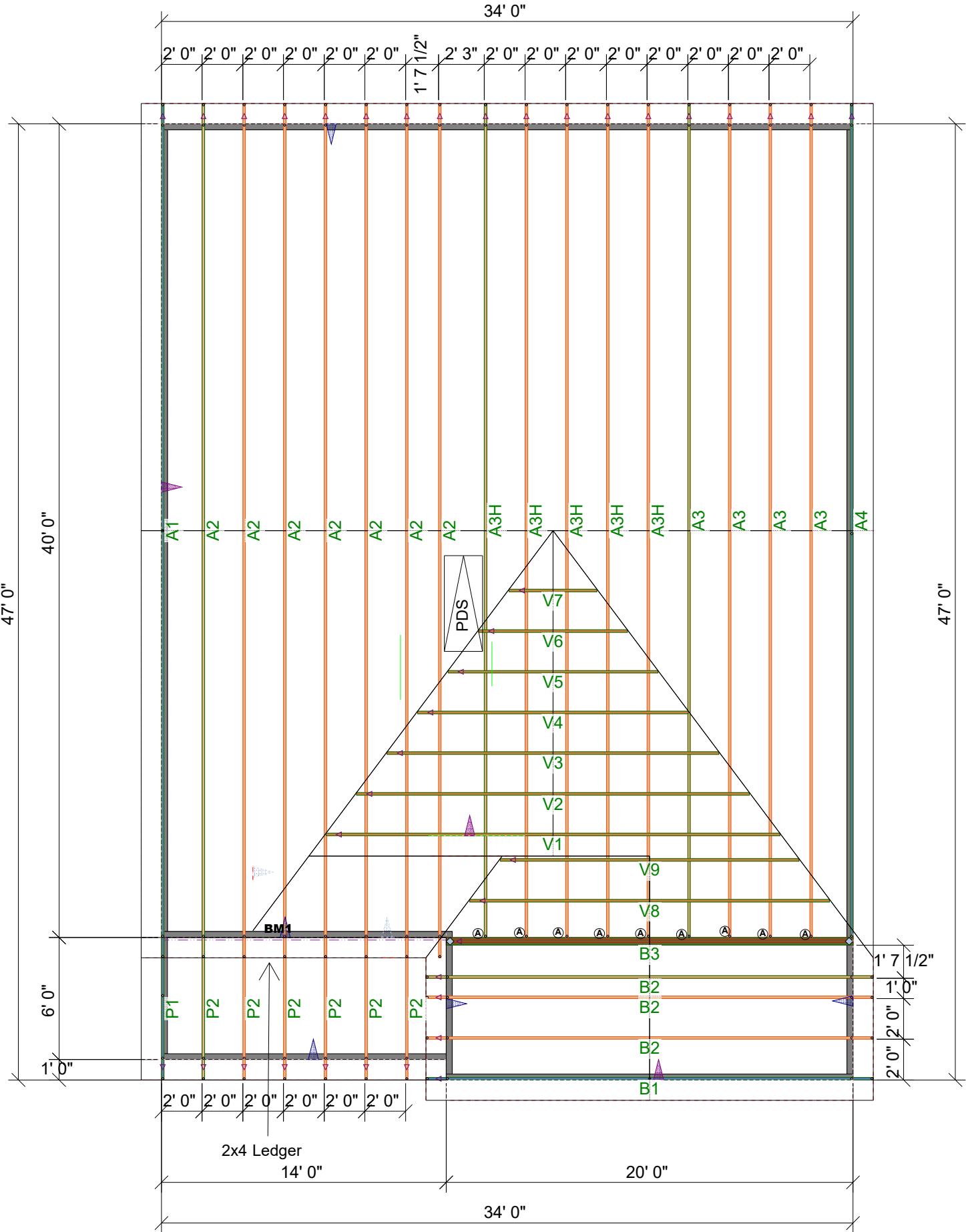
SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR
 120 MPH WIND SPEED (ULT)

Cedar Pointe
 LOT 22

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociations.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framers are responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of Plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



HARRINGTON ADG

A	HUS26	FACE MOUNT HANGER	9
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SCALE: N.T.S.

ROOF AREA: 2007.53 ft²_ RIDGE LINE: 64 ft _ VALLEY LINES: 61.48 _ HIP LINES:4.94 _ △ Indicates Left End of Truss

REVISIONS		DSN
DATE	DESCRIPTION	
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

DESIGNER	JNN
LAYOUT DATE	11/21/2021
ARCH DATE	
STRUC DATE	

JOB #:	MASTER
--------	--------

SMITH DOUGLAS RALEIGH

HARRINGTON ADG



UFP SITE BUILT
A UFP INDUSTRIES COMPANY

Burlington, NC
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Clinton, NC
Conway, SC
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Liberty, NC
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