HARRINGTON

CEDAR POINTE LOT 22



PLAN ID 040121.0501

110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

D	RAWING INDEX
A0.0	COVER SHEET
A1.1	FRONT ELEVATION
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLAN & DETAILS
A5.2	SECOND FLOOR PLAN & DETAILS
A6.1	ROOF PLAN
A7.2-A7.3	ELECTRICAL PLANS

AREA TABULATION	
FIRST FLOOR	1104
SECOND FLOOR	1461
TOTAL	2565
GARAGE	396
FRONT PORCH (COVERED)	91
REAR PATIO	120

GOVERNMENTAL	CODES	& STANI	DARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA

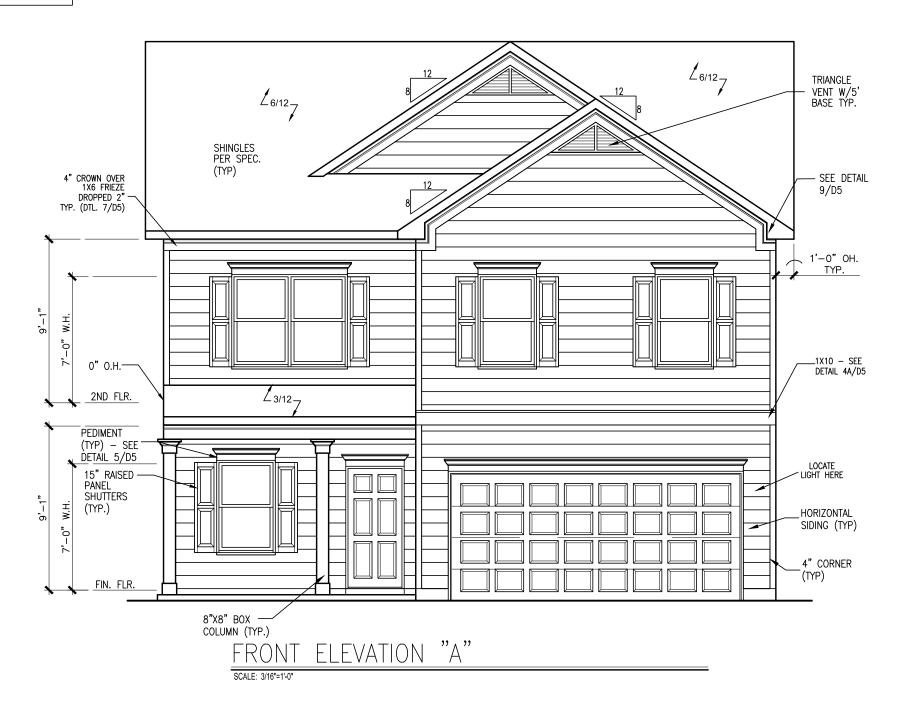
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

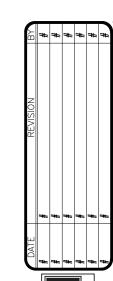
PLAN REVISIONS				
DATE	DATE BY REVISION			
10/12/2023	SL	REMOVE 1.5" FURR IN DOWN BATH	A3.1-A8.1	
10/20/2021	AW	Prototype walk revisions - see revision sheet	A5.1, A5.2, A7.2, A7.3	
4/4/2002	AW	Changed finished basement bath plumbing wall from 2x6 to 2x4	A4.2	
3/10/2023	AW	PCR #5180 Added 1 outlet to optional B-5 or Study ILO Living	A7.2	
9/26/2023	CLJ	Removed Shower & Tub sizes from all affected pages	A5.1.1 & A5.2	
4/2/2025	CLJ	PCR #6314 Changed Kitchen Island from 48" wide to 42" wide	A3.1, A5.1, A7.2, A8.1	
4/18/2025	AW	Added elevations R & T (non-cantilevered second floor)	A1.16, A1.17	

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

CEDAR POINTE LOT 22





SMITH DOUGLAS HOMES QUALITY I INTEGRITY I VALUE

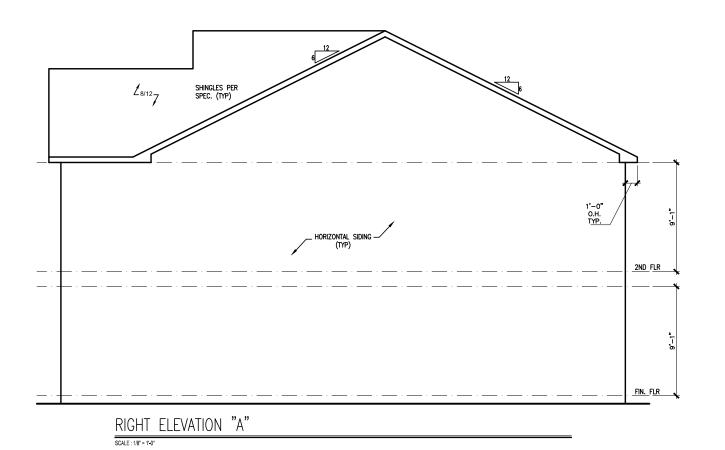
ELEVATIONS FRONT ELEVATION HARRINGTON

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

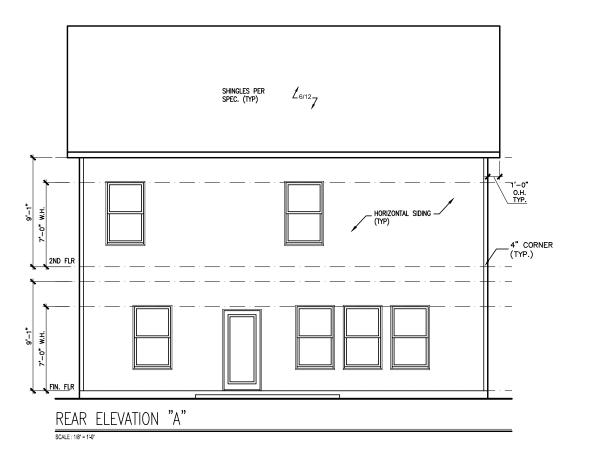
SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com



SHINGLES PER SPEC. (TYP) LEFT ELEVATION "A"



CEDAR POINTE LOT 22



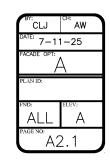




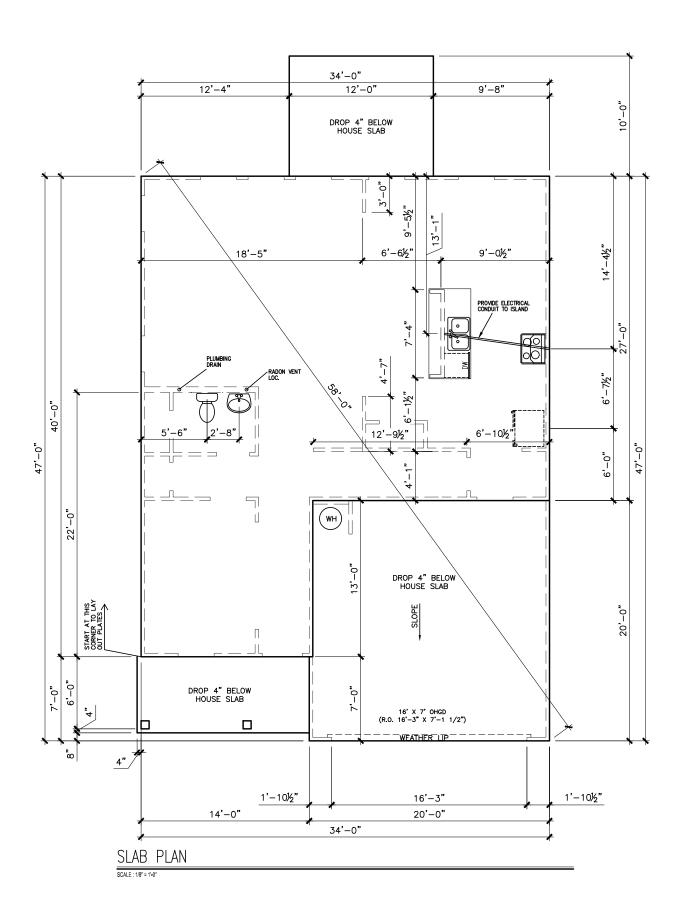
SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

AND

SIDES

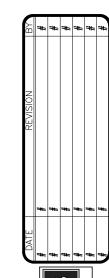


CEDAR POINTE LOT 22



*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN

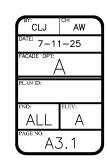




FOUNDATION PLAN SLAB PLAN HARRINGTON

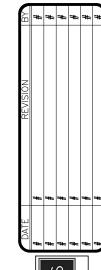
SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.



12'-4" 12'-0" 9'-8" 12'X10' PATIO 34'-0" 18'-5" 15'-7" 3'-11½" 3'-11½" 4'-0½" 6'-5½" 7'-5½" 6'-1" BREAKFAST NOOK 5'-7½" 9'-0½" FAMILY ROOM KITCHEN ISLAND SUPPORT FRAMING (SIDE VIEW) KITCHEN 9' CLG. HGT. *3" DIA. — RADON 7'—1½" VENT 4'-10" 3'-7" PWDR PANTRY 4 SH STORAGE (889) AC KITCHEN ISLAND SUPPORT FRAMING (PLAN VIEW) -4½" 3'-9½" 4'-6" 3'-3½" | 5'-3½" 6'-10½" LIVING ROOM FOYER 9' CLG. HGT. START AT THIS CORNER TO LAY OUT PLATES GARAGE 9' CLG. HGT. 9'-6" 4'-6" COVERED PORCH 16' X 7' OHGD (R.O. 16'-3" X 7'-1 1/2") `8"X8" COL. TYP. 5'-6" 16'-0" 14'-0" 20'-0" FIRST FLOOR PLAN SCALE : 1/8" = 1'-0"

CEDAR POINTE LOT 22



SMITH DOUGLAS HOMES

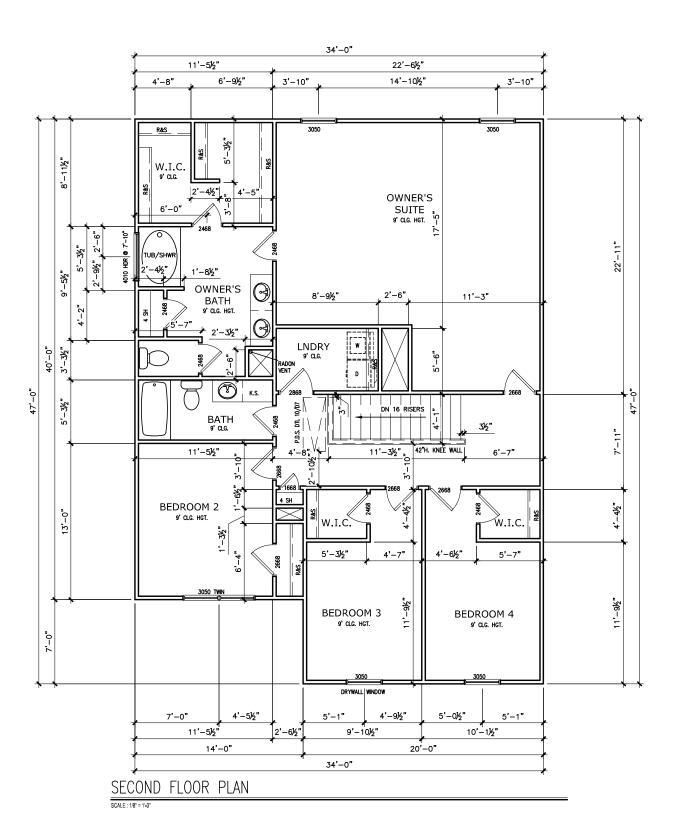
FLOOR PLAN
FIRST FLOOR
HARRINGTON

SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and relatedrawings are not to be reproduced without writte consent from SMITH DOUGLAS LOWERS.

*RADON VENT PROVIDED PER LOCAL CODE

CEDAR POINTE LOT 22



*RADON VENT PROVIDED PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, D12.2 & D12.3

SMITH DOUGLAS HOMES

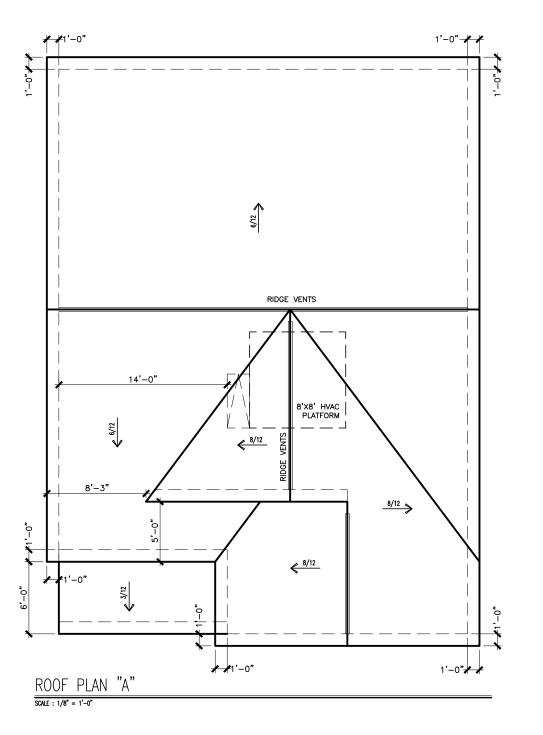
FLOOR PLAN
SECOND FLOOR
HARRINGTON

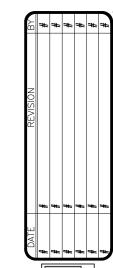
SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.



CEDAR POINTE LOT 22



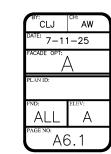




ROOF PLAN ROOF PLAN HARRINGTON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and relatedrawings are not to be reproduced without writte consent from SMITH DOUGLAS LOWERS.



12'X10' PATIO **BREAKFAST** NOOK FAMILY ROOM HARDWIRE -15 AMP, 120V/60 HZ 220V DO NOT INSTALL 220V OULET UNLESS ELEC. RANGE SELECTED KITCHEN | | | | 1 | STORAGE GARAGE FOYER LIVING ROOM φ COVERED PORCH

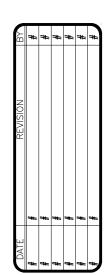
FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

CEDAR POINTE LOT 22

ELECTRICAL LEGEND					
\$	SWITCH	ŢV.	TV		
\$3	3 WAY SWITCH	ф	120V RECEPTACLE		
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE		
Ø	CEILING FIXTURE	Φ	220V RECEPTACLE		
- ∳ _K	KEYLESS	P _{GFCI}	GFCI OUTLET		
+XX	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCUIT INTERRUPTER		
0	CEILING FIXTURE	† _{GL}	GAS LINE		
•	FLEX CONDUIT	† _{wL}	WATER LINE		
СН	CHIMES	¥	HOSE BIBB		
PH	TELEPHONE	B	FLOOD LIGHT		
SD/Cd ₩	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE		
SO	SECURITY OUTLET		OFILING FAN		
	GARAGE DOOR OPENER		CEILING FAN		
	EXHAUST FAN		ELECTRICAL WIRING		
	FAN/LIGHT	-	CEILING FIXTURE		
ELEC-	TRICAL PLANS TO FOLLOW	ALL LOCAL	CODES		
APPRO	APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)				
BREA	BREAKFAST/DINING ROOM 63" ABOVE FINISHED FLOOR				
KITCHEN PENDANT LIGHTS		33" ABO	VE COUNTER TOP		
TWO	TWO STORY FOYER FIXTURE		VE FINISHED FLOOR		
CEILIN	NG FAN	96" ABO	VE FINISHED FLOOR		
FLOO	D LIGHT	10' MAX.	. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



SMITH DOUGLAS HOMES

ELECTRICAL PLAN
ELECTRICAL PLAN
FINA THOMES THOMES THOMES THO THOMES THO

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be eproduced without writter consent from SMITH DOUGLAS HOMES



W.I.C. OWNER'S 0... SUITE OWNER'S BATH LNDRY BATH W.I.C. W.I.C. BEDROOM 2 BEDROOM 3 BEDROOM 4

SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

CEDAR POINTE LOT 22

ELE	ectrical i	LEGE	ND
\$	SWITCH	T∨	TV
\$3	3 WAY SWITCH	φ	120V RECEPTACLE
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE
Ø	CEILING FIXTURE	Φ	220V RECEPTACLE
-\$ _K	KEYLESS	P _{GFCI}	GFCI OUTLET
₩X	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCUI
0	CEILING FIXTURE	† _{GL}	GAS LINE
•	FLEX CONDUIT	† _{wL}	WATER LINE
СН	CHIMES	¥	HOSE BIBB
PH	TELEPHONE	B	FLOOD LIGHT
SD/Cd ₩	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		
	GARAGE DOOR OPENER		CEILING FAN
	EXHAUST FAN		ELECTRICAL WIRING
0	FAN/LIGHT		CEILING FIXTURE
ELEC	TRICAL PLANS TO FOLLOW	ALL LOCAL	CODES
APPRO	X. FIXTURE HGTS (MEASUR	ED FROM B	OTTOM OF FIXTURE)
BREA	KFAST/DINING ROOM	63" ABO	VE FINISHED FLOOR
KITCHEN PENDANT LIGHTS		33" ABO	VE COUNTER TOP
TWO STORY FOYER FIXTURE		96" ABO	VE FINISHED FLOOR
CEILING FAN		96" ABO	VE FINISHED FLOOR
FLOO	D LIGHT	10' MAX	. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



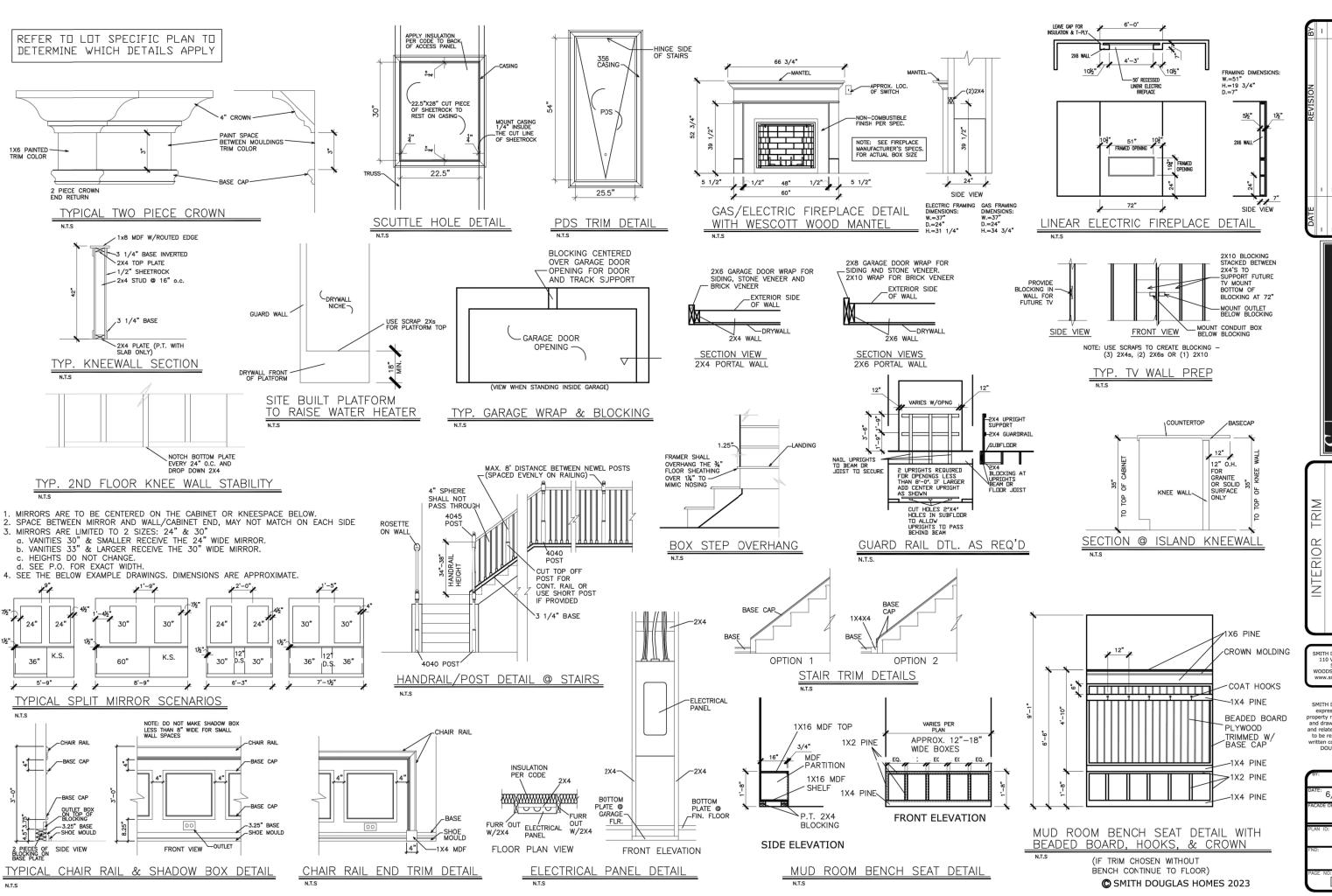
SMITH DOUGLAS HOMES

SECOND FLOOR HARRINGTON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.





SMITH DOUGLAS HOMES OUALITY | VALUE

INTERIOR TRIM
DETAILS

SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA 30188 www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

DATE: 6/13/23
FACADE OPT:

PLAN ID:

FND: ELEV:

PAGE NO: D 1.1

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.l31" NAIL5	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS ② 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS ② 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA	(15) NAILS IN LAPPED AREA
	(24" MIN.)	(24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS +	(4) TOENAILS +
	(I) SIMPSON H2.5T	(I) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2xI0 BLK EVERY 3RD BAY	2xI0 BLK EVERY 3RD BAY
	FASTENED TO DBL. TOP PLATE	FASTENED TO DBL. TOP PLATE
R.T. w/ HEEL HT. 12" TO 16"	w/ TOENAILS @ 6" O.C. 2xI2 BLK EVERY 3RD BAY	w/ TOENAILS @ 4" O.C. 2xI2 BLK EVERY 3RD BAY
K.I. W/ HEEL HI. 12" 10 16"	FASTENED TO DBL. TOP PLATE	FASTENED TO DBL. TOP PLATE
	W/ TOENAILS @ 6" O.C.	w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL.	LAP WALL SHTG, W/ DBL, TOP PL.
K.I. W HELE III. 01 10 24	& INSTALL ON TRUSS VERT	& INSTALL ON TRUSS VERT
	FASTEN W/ NAILS @ 6" O.C.	FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG, w/ DBL, TOP PL.	LAP WALL SHTG, w/ DBL, TOP PL.
	& INSTALL ON TRUSS VERT	& INSTALL ON TRUSS VERT
	FASTEN w/ NAILS @ 6" O.C.	FASTEN w/ NAILS @ 6" O.C.
	PROVIDE 2x BLK @ EA. BAY AT	PROVIDE 2x BLK @ EA. BAY AT
	TOP OF HEEL	TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. &	
	FASTENED PER SHEAR WALL	
	FASTENING SPEC.	

: 2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSI BEAMS DO NOT EXCEED THE FOLLOWING: A. ROOF TRUSSES:

- I/4" DEAD LOAD
- ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN AD IACENT TO ELOOR ERAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE	
3'-0"	20 FT. MAX	L3"x3"x¼"	
	3 FT, MAX	L3"x3"x¼"	
6'-0"	I2 FT. MAX	L4"x3"x¼"	
	20 FT. MAX	L5"x3½"x5%"	
8'-0"	3 FT, MAX	L4"x4"x½" *	
	I2 FT. MAX	L5"x3½"x¾"	
	I6 FT. MAX	L6"x3½"x¾"	
9'-6"	I2 FT. MAX	L6"x3½"x5%"	

. LINILLS: *ALL SUPPORT 2 %" - 3 ½" VENEER W/ 40 psf MAXIMUM MEIGHT 5' SHALL HAVE 4" MN. BEARING 5' SHALL HAVE 8" MIN. BEARING 5' SHALL NOT DE FASTENED BACK TO HEADER.

- 'SHALL BE FASTENED BACK TO MOOD HEADER IN WALL @48°O.C. w/ ½" DIA. x 3 ½" DIA SCREYS IN 2" LONG VERTICALLY SLOTTED HOLES X. VENEER H. APPLIES TO ANY PORTION OF BRICK OVER THE OPENINS.
- LL LINTELS SHALL BE LONG LEG VERTICAL. HEN SUPPORTING VENEER < 3" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 ¼" WIDE OVER THE BEARING LENGTH ONLY. THIS TO ALLOW FOR MORTAR JOINT FINISHING.
- TRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE
- TAKAMETERS. EN VENEER DEFT 4x3x½".

GENERAL STRUCTURAL NOTES

FOUNDATION

DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE

FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.

FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING

 I/2" DIA. ANCHOR BOLTS @ 6'-0" O.C.7" MIN. EMBEDMENT FA4 ANCHOR STRAPS @ 6'-0" O.C

● FASTEN 2xIO SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAX. FROM PLATE ENDS - UTILIZING: • I/2" DIA, BOLTS @ 2'-0" O.C

ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.

 BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.

 CONCRETE DESIGN BASED ON ACL 318, CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:

3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE = 60,000 psi

BASEMENT FOUNDATION WALL DESIGN BASED ON:

 8' OR 9' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED

 BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:

30 PCF TYPE (GW, GP, SW, SP) 45 PCF TYPE (GM, GC, SM, SM-SC, ML)

• IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL. CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN

BASEMENT WAI LS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.

• ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.

ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW

• FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.

PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.

. JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)

 JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL

PICAL REINFORGEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST FARTH LI/2" MIN CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24) FOR #4 BARS) & BEND BARS AND LAP AT CORNERS PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT

DIMENSIONS BY OTHERS, BUILDER TO VERIEY

LEGEND

R.T. NINDICATES ROOF TRUSSES @ 24" O.C. PER ROOF.

MANUF. (TYP. U.N.O.) OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)

GRADE

FJ. 🔪 INDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING) LOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.) INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.

- JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L IO PSF DEAD LOAD AT THESE LOCATIONS

INTERIOR BEARING WALL

► □□□□□ BEARING WALL ABOVE (B.W.A.)

• JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

_ATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: MPH WIND IN 2018 NCSBC:R

115 MPH WIND IN 2018 IRC (II5 MPH WIND SPEED IN ASCE 7 WIND MAP PER IRC R301211) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 \$ 2018 IBO SECTION (609) & ASCE 7, AS PERMITTED BY R30113 OF THE 2018 NCSBC:RC & 2018 IRC. IF THE PARAMETERS OF SECTION R602.12 COMPLY ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NGSBG:RG & 2018 IRG SECTION R802.ILLL THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

• 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3 "x0.II3 NAILS @ 6" O.C. AT EDGES ¢ @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)

ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE

ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.

 ALT, STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3 × 0.113 NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. FDGE FASTENING.

NOTES

• SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.

DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O

ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

PRE-MANUFACTURED PANELIZED WALLS FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120 NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
HD-I	SIMPSON HTT4 HOLD-DOWN *

UTILIZE SIMPSON "SET" EPOXY SYSTEM TO FASTEN % DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 12" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF, RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF FOUNDATION

FLOOR FRAMING

• I- IDISTS SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED. L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)

 PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS")

FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE) HOWEVER IT SHALL BE THE FLOOR FINISH INSTALLERS RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).

AT I-JOIST FLOORS, PROVIDE I" MIN. OSB RIM BOARD.

 METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. I-JOIST SHOP DWGS, SHALL BE SUBMITTED TO ARCH, & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.

FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND

2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES \$ @ 12"o.c. FIELD. - 2 🖁 × 0.120" NAILS 🛭 4" O.C. 🗗 PANEL EDGES 🛭 🗗 8" O.C. FIELD

- 2 3 x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS

w/ 2 1 x 0.131 NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD. - w/ 2 3" x 0.120" NAILS @ 4"a.c. @ PANEL EDGES & @ 8" O.C. FIELD. - W 2 3 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES \$ @ 6" O.C. FIELD.

WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.

FASTEN EACH ROOF TRUSS TO TOP PLATE W/ USP RTTA CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RTTA CLIPS AT 2-PLY GIRDER TRUSSES, (3) RTTA CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS

METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.

• ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING W/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION, THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS SLABS ON GRADE BEAMS WALLS AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIF LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

DESIGN IS BASED ON 2018 NGSBG-RESIDENTIAL CODE

• WOOD FRAME ENGINEERING IS BASED ON NDS. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

DESIGN LOADS: ROOF

DEAD = 7 PSE T.C. 10 PSE B.C. LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = IO PSF (I-JOISTS)

ADD'L IO PSF @ CERAMIC TILE IN BATHS & LAUND.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL

EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O. WALLS OVER 12' TALL SHALL BE PER PLAN.

ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.

ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x

- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O., ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED

WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.) • HEADERS IN NON-LOAD BEARING WALLS SHALL BE:

ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).

ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0xl0^6 psi

(I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.

• ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi

FOR 2 & 3 PLY BEAMS OF FOUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"XO.120" NAILS @ 8" O/C OR 2 ROWS IMP WS35 SCREWS (OR 3K" TRUSSLOK SCREWS) @ 16" O/C, USE A APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 & 2x8

FOR 4 PLY BEAMS OF FOUAL 13/11 MAX WIDTH FASTEN PLIES TOGETHER WITH 3 ROWS OF USP MG6 SCREWS (OR 6 3/4 TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.

PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.

◆ ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP & PA44E BASE, U.N.O.

+KULL AL ENGINEERIN C-3825

MULHERN-RESIDENTIAL STRUCTURA

Julhern+Kulp project numbe 256-21012

SMK roject maj M.JF ssue date: 02-21-22

REVISIONS

initial: MJF

> S SMITH DOUGL HOMES

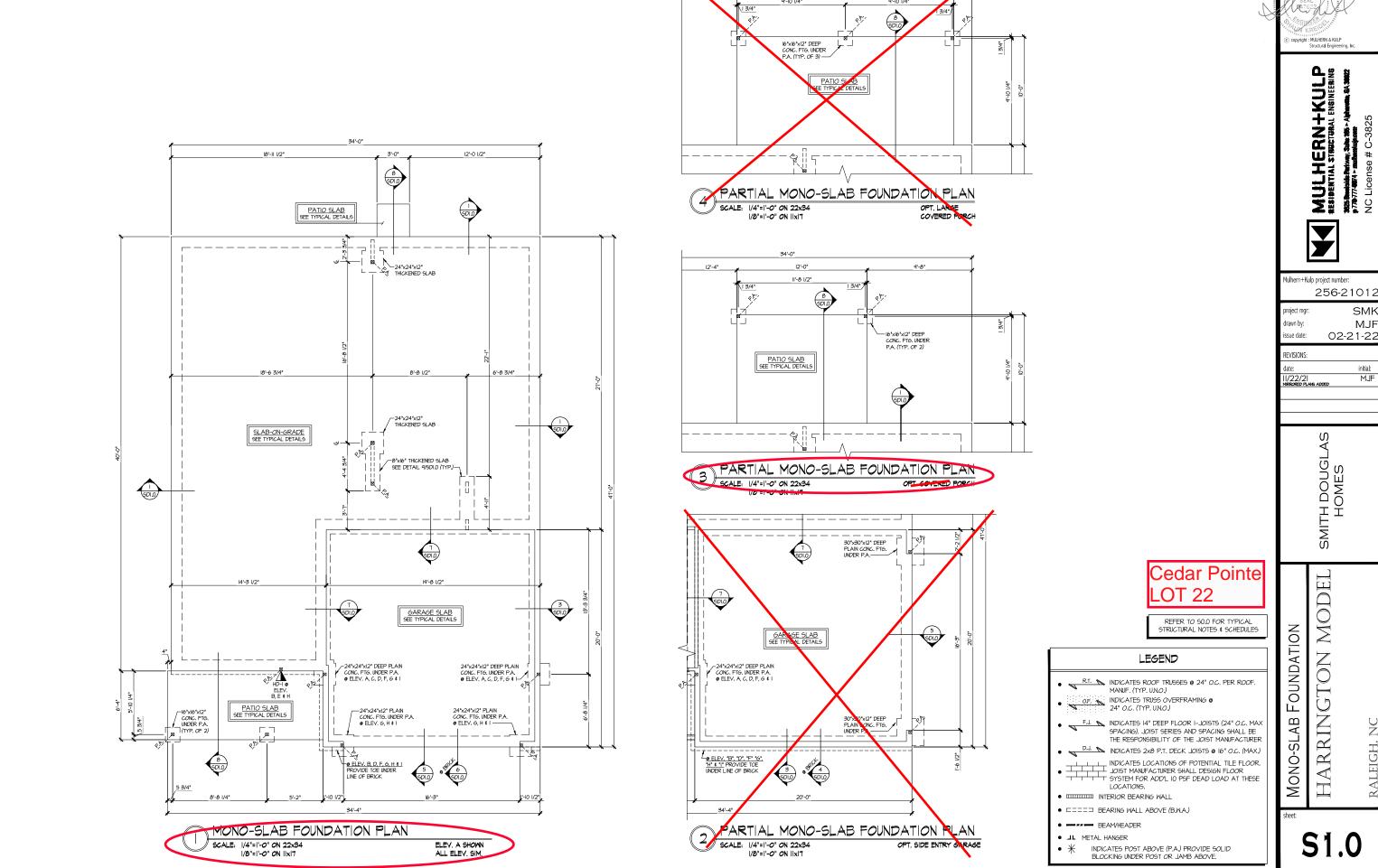
MODE NOTES GION STRUCTURAL

RRIN I

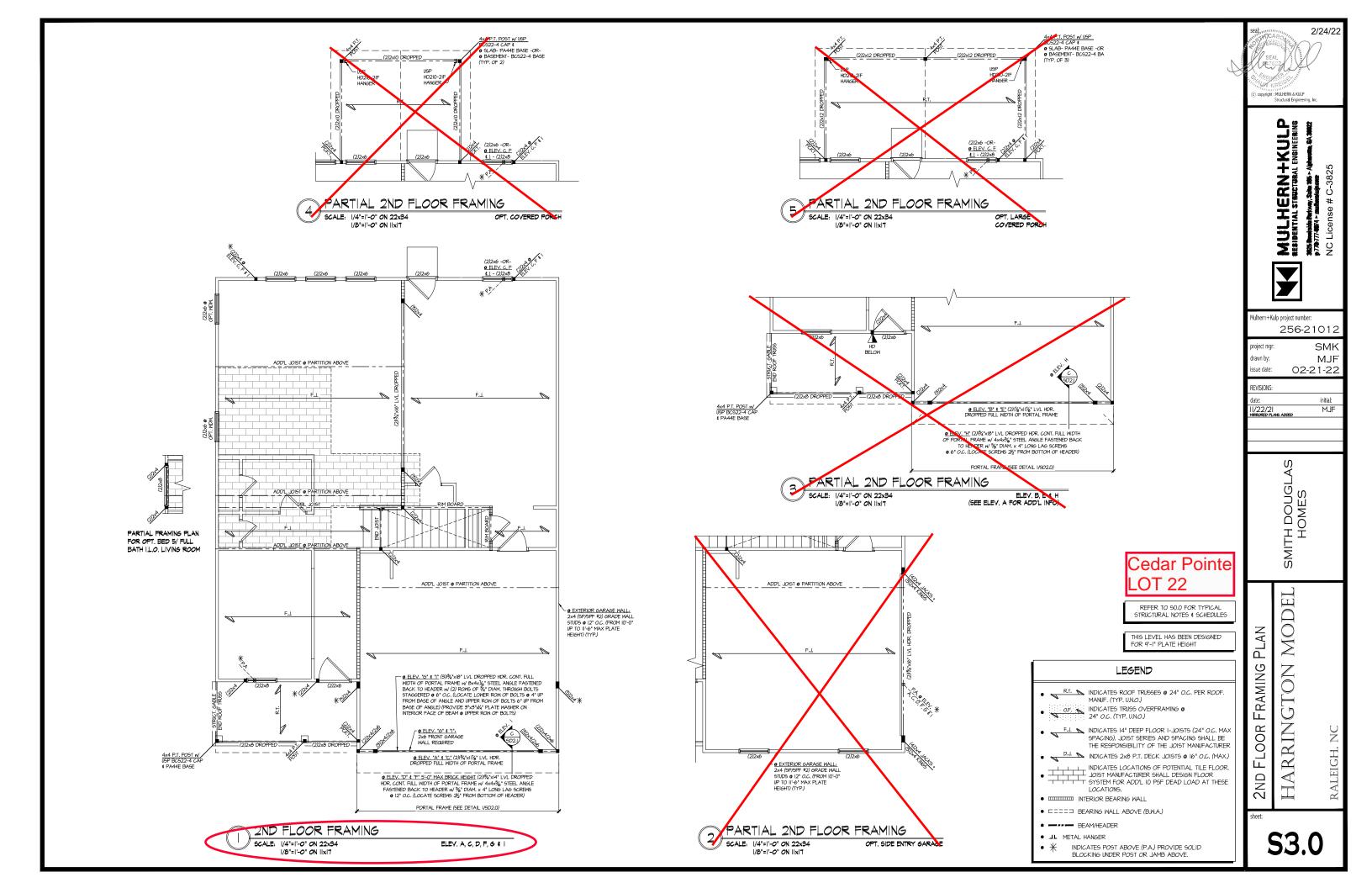
RALEIGH

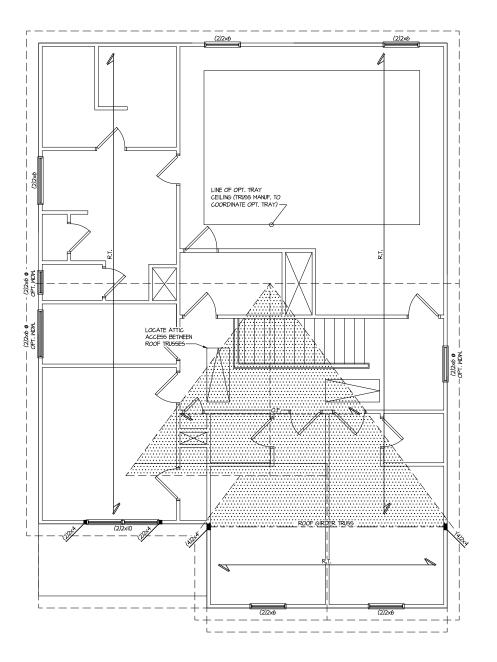
GENERAL

Cedar Pointe



MJF 02-21-22







ELEV. A, D & G

2/24/22

MULHERNHAL ENGINERING
RESIDENTIAL STRUCTURAL ENGINERING
RESIDENTIAL STRUCTURAL ENGINERING
RESIDENTIAL STRUCTURAL ENGINEERING
RESIDENTIAL ENGINEERING



Mulhern+Kulp project number:

256-21012

SMK MJF issue date: 02-21-22

REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

HARRINGTON MODEL

REFER TO SO.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

F.J. NDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING), JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

Cedar Pointe

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LOT 22

• --- BEAM/HEADER

• JL METAL HANGER

• RT. INDICATES ROOF TRUSSES • 24" O.C. PER ROOF.
MANUF. (TYP. UN.O.)
• OF INDICATES TRUSS OVERFRAMING •
24" O.C. (TYP. UN.O.)

D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE
LOCATIONS.

• IIIIIII INTERIOR BEARING WALL

• □===□ BEARING WALL ABOVE (B.W.A.)

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

ROOF

FRAMING PLAN

S4.0

RALEIGH,

ALT. TO ANCHOR BOLTS: USP FA4 MUDSILL ANCHORS @ 6'-0' o.c. PROVIDE (2) PER PLATE, MIN. 12" FROM EACH END. - <u>TYP. SILL PLATE:</u> 2x4 P.T. PLATE w/½"Ф A.B. **©** 6'-0" O.C. PROVIDE (2) PER PLATE, FASTEN SHEATHING TO SILL PLATE PER EXT. WALL/ SHEARWALL EDGE NAILING REQUIREMENTS — (SEE PLANS) MIN, 12" FROM EACH END. - <u>TYP, CONC, SLAB;</u> 4" CONC, SLAB W FIBERMESH ON 6 MIL VAPOR BARRIER ON 4" CRUSHED STONE ON 95% COMPACTED FILL ARRODAG 2" PLAIN CONC. TRENCH FOOTING

TYPICAL SLAB ON GRADE PERIMETER FOOTING

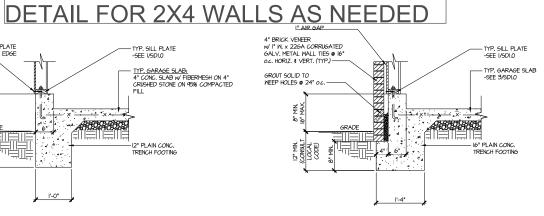
I" AIR GAP BRICK VENEER PER SPEC GALV. METAL WALL TIES • 16" O.C. HORIZ. & VERT. (TYP.) -- TYP. CONC. SLAB -SEE I/SDI.0 GROUT SOLID TO WEEP HOLES @ 24" o.c A4600A600 16" PLAIN CONC. TRENCH FOOTING

TYPICAL SLAB ON GRADE 2 PERIMETER FOOTING W BRICK VENEER

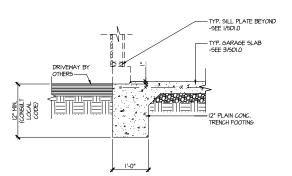
FASTEN SHEATHING TO SILL PLATE PER EXT. WALL/ SHEARWALL EDGE NAILING REQUIREMENTS - TYP. GARAGE SLAB. 4" CONC. SLAB W FIBERMESH ON 4" CRUSHED STONE ON 45% COMPACTED FILL (SEE PLANS) A6028600 CONSULT LOCAL CODE) 2" PLAIN CONC

USE ALTERNATE GARAGE CURB

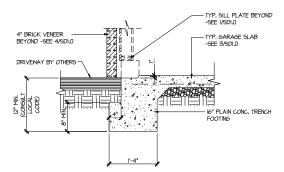
TYPICAL SLAB ON GRADE GARAGE 3 PERIMETER FOOTING



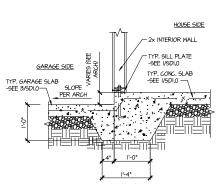
TYPICAL SLAB ON GRADE GARAGE 4 PERIMETER FOOTING W/ BRICK VENEER



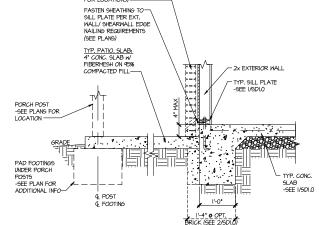
TYPICAL SLAB ON GRADE GARAGE 5 ENTRY @ PERIMETER FOOTING



TYPICAL SLAB ON GRADE GARAGE 6 ENTRY @ PERIMETER FOOTING

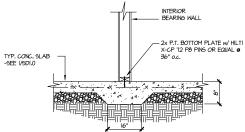


TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



OPT. BRICK (SEE ARCH FOR LOCATIONS)

TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



TYPICAL THICKENED SLAB @ 9 INTERIOR BEARING WALL



Cedar Pointe

2/24/22

MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS # C-3825

Mulhern+Kulp project number 256-21012

SMK drawn by: MJF issue date: 02-21-22

REVISIONS: initial: MJF

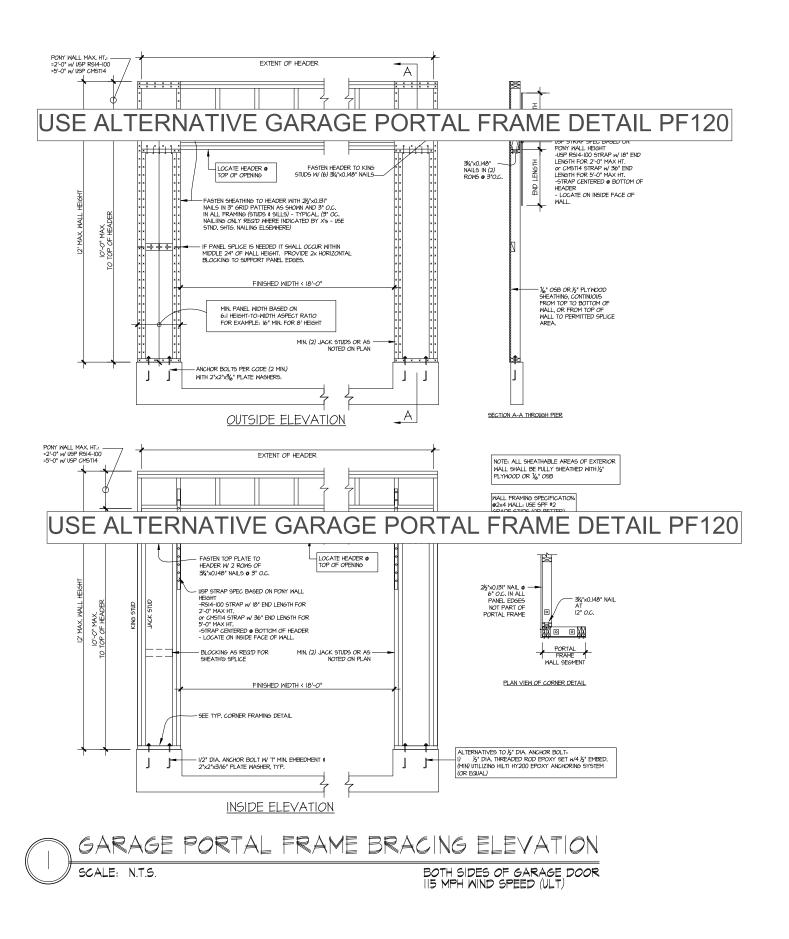
SMITH DOUGLAS HOMES

MODEL HARRINGTON FOUNDATION DETAILS

SD1.0

 \sum_{N}

RALEIGH,



2/24/22

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

SES ENGLISHENS, Sen 26 - Aphren, 84 3822

\$778-774 - Ambrengeen

NC License # C-3825



Mulhern+Kulp project number: 256-21012

SMK project mgr drawn by: MJF issue date: 02-21-22

REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

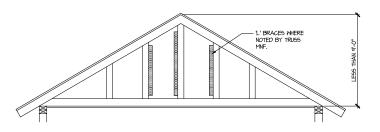
HARRINGTON MODE \sum_{N}

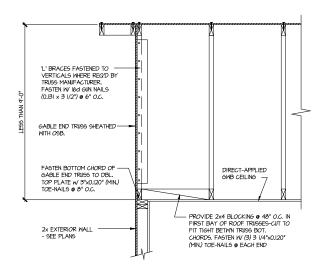
FRAMING DETAILS

SD2.0

RALEIGH,

Cedar Pointe _OT 22



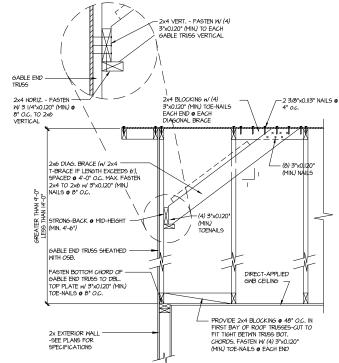


BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9-0'. L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

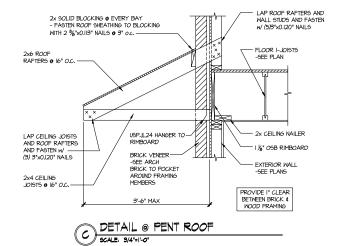
TYPICAL GABLE END BRACING DETAIL
SCALE: NONE REGID & GABLE END TRUSS

REQ'D e GABLE END TRUSS HEIGHT UP TO 9'-0"

- STRONG-BACK @ MID-HEIGHT FOR DIAG. BRACES



TYPICAL GABLE END BRACING DETAIL SCALE, NONE REGID & GABLE END TRUSS REQ'D & GABLE END TRUSS HEIGHT BETWIN 4'-0" TO 14'-0"



LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

> Cedar Pointe _OT 22

2/24/22

MULHERN + KULP

RESIDENTIAL STRUCTURAL ENSINERING

WAS Busined Parking, Size We - Aphrens, SA, WEZ

#704777 474 - Instruction

NC License # C-3825

Aulhern+Kulp project number 256-21012

SMK MJF issue date: 02-21-22

REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

HARRINGTON MODE FRAMING DETAILS $\sum_{i=1}^{N}$

SD2.

RALEIGH,



3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ► p 770-777-0074 ► *mulhernkulp.com*

July 28, 2023

Jody Hunt

Director of Product Development

SMITH DOUGLAS HOMES

110 Village Trail, Suite 215 Woodstock, GA 30188

ALTERNATE GARAGE PORTAL FRAME DETAIL

Smith Douglas Homes

Reference "Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached

Kulp for Smith Douglas Homes. Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern &

Mulhern& Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. department that matches the jurisdiction's wind speed requirements. or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than The "Alternate Garage Portal Frame

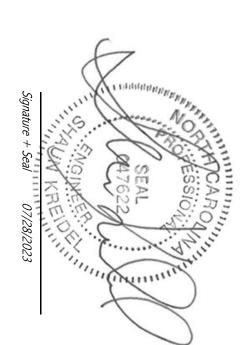
Please feel free to call if you have any questions.

Respectfully,

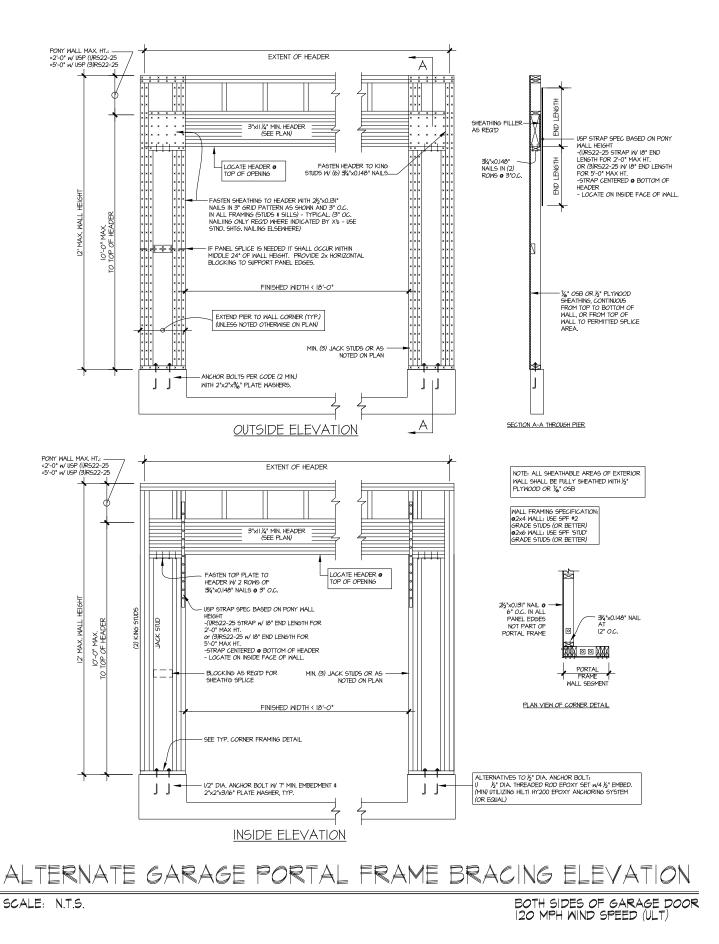
MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



P:|Client Files|256 - Smith Douglas Homes|2023|23000 - 2023 Client Admin|2023-07-28 - Alternate Portal Frame Letter|Alternate Garage Portal Frame Detail -Letter - RLH.docx



Cedar Pointe LOT 22

③ copyright: MULHERN & KULP Structural Engineering, Inc.

Mulhern+Kulp project number: 256-23000

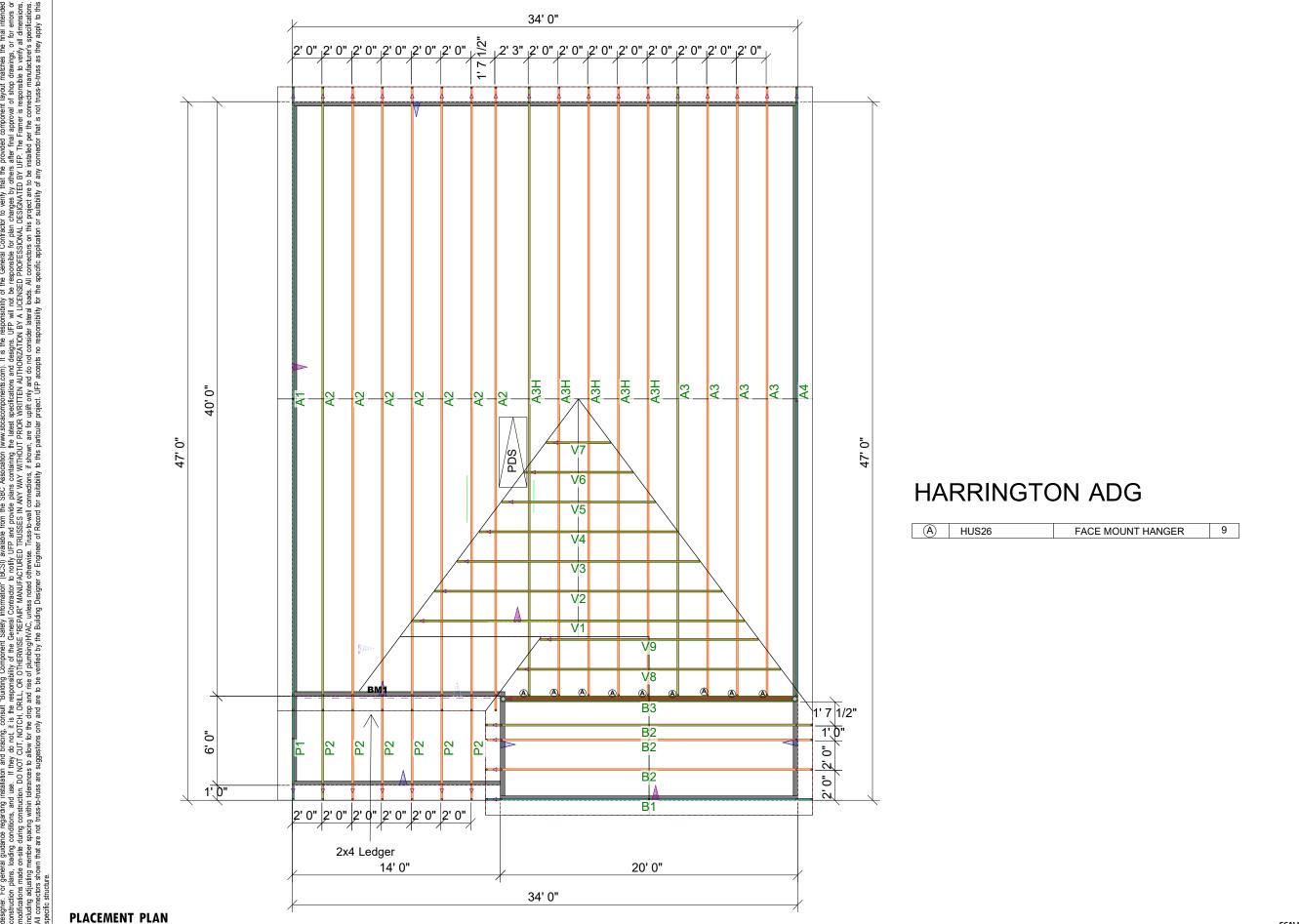
project mgr: SMK drawn by: RAP issue date: 07.28.2023

REVISIONS:
date: initial:

SMITH DOUGLAS HOMES

ALTERNATE PORTAL FRAME
PORTAL FRAME

PF-120



UFP SITE BUILT A UPP INDUSTRIES COMPANY

LINES:4.94 를

RALEIGH

61.48

LINES:

VALLEY

¥

94

LINE

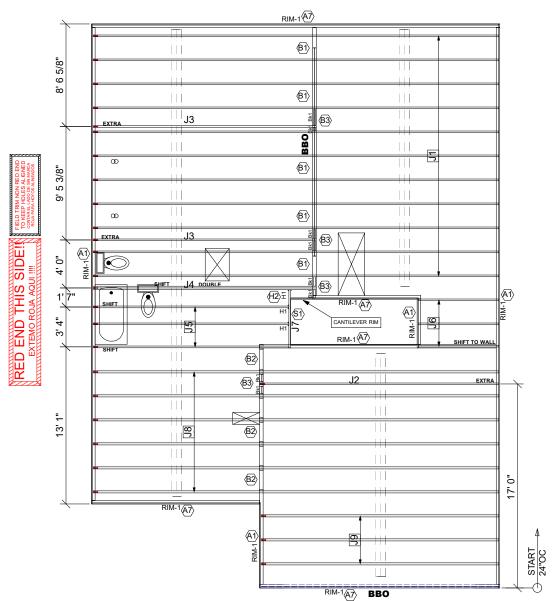
2007.53 ft²_RIDGE

AREA:

DESIGNER JNN LAYOUT DATE 11/21/2021 ARCH DATE

JOB #: MASTER

SCALE: N.T.S



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	34' 0"	14" TJI® 110	1	11	MFD
J2	20' 0"	14" TJI® 110	1	1	MFD
J3	19' 0"	14" TJI® 110	1	2	MFD
J4	19' 0"	14" TJI® 110	2	2	MFD
J5	17' 0"	14" TJI® 110	1	3	MFD
J6	7' 0"	14" TJI® 110	1	3	MFD
J7	5' 0"	14" TJI® 110	1	1	MFD
J8	34' 0"	14" TJI® 210	1	6	MFD
J9	20' 0"	14" TJI® 210	1	3	MFD
RIM-1	16' 0"	1 1/8" x 14" TJ® Rim Board	1	12	FF
Bk1	2' 0"	14" TJI® 110	1	8	MFD

	Connec	tor Summ	nary
PlotID	Qty	Manuf	Product
H1	3	MiTek	TFL1714

GENERAL NOTES:

1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS

NOTED ON PLAN.
2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS

AS SHOWN ON PLAN.
3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM

AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.

FOUNDATION:

(a) LOCATE CRIPPLE STUDS IN JOIST SPACE
DIRECTLY BELOW HEADER JACKS AT ALL FIRST
FLOOR EXTERIOR DOOR LOCATIONS.

FLOOR EXTERIOR DOUGH LOCATIONS.
7) INSTALL NAILS IN ALL HOLES PROVIDED IN
JOIST HANGERS EXCEPT AT BOTTOM CHORD
SEAT. PLACE A DAB OF GLUE IN THE HANGER
SEAT BEFORE SETTING JOISTS.
8.) IMPORTANT NOTE! NO STRUCTURAL
ANALYSIS OF CONVENTIONAL HEADERS HAS

BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT

FRAMER NOTE

GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE. 2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN

CRITICAL!!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

PLAN LEGEND

1B-, 2B-

H-, 1H-, GDH- INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)

SINGLE PLY BEAM (ADD LINE FOR EACH ADDITIONAL PLY)

SHIFT JOIST TO MISS PLUMBING, ALIGN WWALL OR SUPPORT FURNITURE

A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS DOUBLE

DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

Avoid Plumbing Drops

FRAMER NOTE

1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND

HANGER. FILL ROUND HOLES WITH NAILS.

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR **TO JOIST SECUREMENT TO AVOID INTERFERENCE**

LAYOUT FOR 19.2" O/C

F	1= 19-3/16"	9=	172-13/16"
	2= 38-3/8"	10=	192"
	3=57-5/8"	11=	211-3/16"
k	4= 76-13/16"	12=	230-3/8"
ļ	5= 96"	13=	249-13/16"
	6= 115-3/16"	14=	268-13/16"
ŀ	7= 134-3/8"	15=	288"
1	8= 153-5/8"		

FIELD VERIFY DIMENSIONS TO **JOISTS LOCATED UNDER WALLS!!** 2ND FLOOR LAYOUT

2ND FLOOR PLACEMENT PLAN SCALE: 1/8"=1'





Lot 22 Cedar Pointe

Smith Douglas Homes

Harrington A 2nd Floor

DESIGNER PB2 LAYOUT DATE 6/4/2025 ARCH DATE 11/12/2021 STRUC DATE 2/24/2022

JOB #: 25060248F2