

LOT 544 CREEKSIDE OAKS NORTH

PRELUDE
DREAM FINDERS HOMES

PLAN REVISIONS

02-11-20 VERIFIED AND UPDATED DIMENSIONS FOR PAD AND PATIO.
REVISED ROOM DIMENSIONS FOR THE FOLLOWING ROOMS:
GATHERING ROOM WAS 16'-0" X 11'-0", NOW IT IS 18'-0" X 11'-0".
CHANGE WASHER, DRYER, AND REFRIGERATOR TO OPTIONAL COMPONENTS.
CHANGE LOCATIONS OF HOSE BIBBS TO BE ON HEATED WALLS.
VERIFIED 140R VENTS ARE AT LEAST 1'-0".
VERIFIED MASTERS WAS CHANGED TO OWNERS.
CHANGED 2X4 WALL AT REAR GARAGE WALL TO 2X6.
ADDED ROOF VENT CALCULATIONS.
ADDED THERMOSTAT TO FIRST FLOOR ELECTRICAL PLAN.
DIMENSION CEILING FAN IN GATHERING ROOM ON ELECTRICAL PLAN.
UPDATED FOR NC RC 2008 AND SC IRC 2008.
UPDATED SLAB INTERFACE PLAN AND OPTIONS.
ADDED OPTIONAL FULL BATH 3 (LO POR-I)
ADDED INSULATION DETAIL TO PLANS.
VERIFIED AND ADDED 5'-0" X 9'-0" WINDOW FOR VENTILATION REQ'TS IN OWNERS BEDROOM.
ADDED OPTIONAL DEL OVEN AT KITCHEN.
CHANGE ALL CEILING FANS TO OPTIONAL.
CREATED AND REVISED OUTSHEETS.

04-01-20 GATHERING WAS CHANGED TO FAMILY.
CAFE WAS CHANGED TO CASUAL DINING.
REMOVED HANSEN BOX AND DRYER VENT.
CREATED NEW SHEETS FOR FIRST FLOOR PLAN AND SECOND FLOOR PLAN OPTIONS.
UPDATED OUTSHEETS.
ADDED (2) HOSE BIBBS RIGHT AND LEFT SIDE OF THE HOUSE.
CHANGED 2X4 WALL AT LEFT GARAGE WALL TO 2X6.
REMOVED OUTLETS, PHONES AND 1/8" FROM ELECTRICAL PLANS.
ADDED CARBON MONOXIDE DETECTOR AT BEDROOMS.
CREATED ELEVATION FARMHOUSE 'B'.
CREATED ELEVATION ARTS AND CRAFTS 'D'.
CHANGED CORNER BOARDS ON ELEVATIONS TO BE 1X4 TRIM BOARD.
SHOULD COACH LIGHTS ON ELEVATIONS.
ADDED DIAGONAL DIMENSIONS ON SLAB INTERFACE PLAN.
REVISED ROOM DIMENSIONS FOR THE FOLLOWING ROOMS:
CASUAL DINING WAS 9'-0"X16'-0", NOW 9'-1"X15'-10"
FAMILY ROOM WAS 18'-0"X11'-0", NOW 11'-10"X11'-0"
REVISED FRONT PORCH AREA AS FOLLOWS:
ELEVATION A, IT WAS 32' 9", NOW 34' 9".
ELEVATION C, IT WAS 21' 9", NOW 43' 9".
CREATED LEFT HAND GARAGE VERSION.
REMOVED ELEVATION C.
UPDATED 80 FT. LOS TO ELIMINATE ROUNDING. FIRST FLOOR WAS 1040 SF, NOW 1099 SF. SECOND FLOOR WAS 1939 SF, NOW 1934 SF. FRONT PORCH AT ELEV. B WAS 43' 9", NOW 42' 9".
CHANGED SHUTTERS TO BE 1/4" WIDE.

04-08-20 ADDED WINDOW SCHEDULE.
CHANGED GARAGE WALL FROM 2x6 TO 2x4
CHANGED POWDER ROOM DOOR TO 7'6"
LAUNDRY DOOR CHANGED TO 7'8"
CHANGED 1X10 TRIM ON ELEVATION A TO 1X8 TRIM
ADDED DETAIL FOR DECORATIVE BRACKET ON ELEVATION A
CHANGED 1X10 TRIM ON ELEVATION B TO 1X8 TRIM
FIXED PORCH CONCRETE TO KEEP COLUMN FROM OVERHANGING. SQUARE FOOTAGE CHANGED FROM 34 SQ. FT. TO 36 SQ. FT. ELEVATION A
ADDED DETAIL FOR DECORATIVE BRACKET ON ELEVATION B
ADDED DETAIL FOR DECORATIVE CABLE ON ELEVATION B
CHANGED 1X10 TRIM ON ELEVATION D TO 1X8 TRIM
FIXED PORCH CONCRETE TO KEEP COLUMN FROM OVERHANGING. SQUARE FOOTAGE CHANGED FROM 41 SQ. FT. TO 44 SQ. FT. ELEVATION B
REMOVED 1X10 TRIM ABOVE GARAGE ON ELEVATION D
ADDED DETAIL FOR DECORATIVE BRACKET ON ELEVATION D
FIXED PORCH CONCRETE TO KEEP COLUMN FROM OVERHANGING. SQUARE FOOTAGE CHANGED FROM 86 SQ. FT. TO 78 SQ. FT. ELEVATION D
REMOVED COLUMN BASE FROM ELEVATION D AND MADE COLUMN 8" SQ FULL COLUMN HEIGHT.
REMOVED OPTIONAL CEILING FAN FROM FAMILY ROOM.
CHANGED ALL TRIM AROUND WINDOWS, DOORS, 1 GARAGES TO 4" TRIM.
RESIZED CHASE IN OWNERS WIC.
RELOCATED CONDUIT TO GO FROM ISLAND TO CLOSEST EXTERIOR WALL.
CHANGED COAT CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD.
CHANGED OWNERS BATH LINEN CLOSET FROM 2/6 BIFOLD TO 2/6 STD.
CHANGED UPSTAIRS LINEN CLOSET FROM 2/6 BIFOLD TO 2/6 STD.
CHANGED BED 3 CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD.
CHANGED BED 6 CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD.
CHANGED STUDY CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD.
CHANGED POWDER ROOM LINEN FROM 2/6 BIFOLD TO 2/6 STD.

07-01-22 CHANGED STUDY DOOR FROM 2/4 STD. TO 2/6 STD.
EXTENDED POWDER ROOM 7 1/2" INTO FOYER HALLWAY
RECENTERED 4/0 OPENING FROM FOYER TO FAMILY ROOM

D-01-22 ADDED ELEVATION D1 SHOWING BRICK COLUMN AND D3 SHOWING STONE COLUMN.
ADDED SQUARE FOOTAGE BLOCK FOR D1 AND D3 ELEVATIONS.
VERIFIED AND UPDATED THE SF AS FOLLOWS:
SECOND FLOOR WAS 1934. NOW IT IS 1899
TOTAL SF WAS 2433. NOW IT IS 2428
ADDED SF FOR D1 AND D3
UPDATED GARAGE DOOR WALL OF 1 CAR CARRIAGE GARAGE TO 2X6
VERIFIED AND UPDATED OPTIONAL OWNERS BATH 2 1/3 LAYOUTS
WINDOW HEAD HEIGHT CHANGED TO 7'-1" ON SECOND FLOOR
ADDED (6) OPTIONAL LED CUB LIGHTS IN KITCHEN (06-5-23)

02-01-24 *BATH 6 INCLUDED W/ OPT BEDROOM 6 ONLY ILO BATH 2" CHANGED TO STAND ALONE
OPTIONAL BATH 6 ILO BATH 2 AND STANDARD WHEN OPTIONAL BEDROOM 6 IS SELECTED
OPTIONAL COVERED PATIO CREATED
CREATION OF 9' CEILING HEIGHT

9' CEILING

SQUARE FOOTAGE		SQUARE FOOTAGE		SQUARE FOOTAGE	
HEATED AREAS	ELEV 'A'	HEATED AREAS	ELEV 'B'	HEATED AREAS	ELEV 'D'
FIRST FLOOR	1039 SQ. FT.	FIRST FLOOR	1039 SQ. FT.	FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.	SECOND FLOOR	1389 SQ. FT.	SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.	TOTAL HEATED SF	2428 SQ. FT.	TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS		UNHEATED AREAS		UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.	2-CAR GARAGE	394 SQ. FT.	2-CAR GARAGE	394 SQ. FT.
COVERED AREAS		COVERED AREAS		COVERED AREAS	
FRONT PORCH	56 SQ. FT.	FRONT PORCH	44 SQ. FT.	FRONT PORCH	79 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.	OPTIONAL COVERED PATIO	80 SQ. FT.	OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS		UNCOVERED AREAS		UNCOVERED AREAS	
PAD	16 SQ. FT.	PAD	16 SQ. FT.	PAD	16 SQ. FT.
HEATED OPTIONS		HEATED OPTIONS		HEATED OPTIONS	
OPTIONAL BEDRM. 4	0	OPTIONAL BEDRM. 4	0	OPTIONAL BEDRM. 4	0
OPTIONAL BEDRM. 5	0	OPTIONAL BEDRM. 5	0	OPTIONAL BEDRM. 5	0
OPTIONAL BEDRM. 6	0	OPTIONAL BEDRM. 6	0	OPTIONAL BEDRM. 6	0
UNHEATED OPTIONS		UNHEATED OPTIONS		UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.	OPTIONAL 1-CAR GARAGE	240 SQ. FT.	OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE		SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D2'	HEATED AREAS	ELEV 'D3'
FIRST FLOOR	1039 SQ. FT.	FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.	SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.	TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS		UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.	2-CAR GARAGE	394 SQ. FT.
COVERED AREAS		COVERED AREAS	
FRONT PORCH	86 SQ. FT.	FRONT PORCH	86 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.	OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS		UNCOVERED AREAS	
PAD	16 SQ. FT.	PAD	16 SQ. FT.
HEATED OPTIONS		HEATED OPTIONS	
OPTIONAL BEDRM. 4	0	OPTIONAL BEDRM. 4	0
OPTIONAL BEDRM. 5	0	OPTIONAL BEDRM. 5	0
OPTIONAL BEDRM. 6	0	OPTIONAL BEDRM. 6	0
UNHEATED OPTIONS		UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.	OPTIONAL 1-CAR GARAGE	240 SQ. FT.

INFLUENCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



JOB NUMBER	05-19150319
CAD FILE NAME	PRELUDE-19
ISSUED	11-28-19
REVISION	11-16-19
	02-11-20
	04-01-20
	04-08-20
	07-01-22
	10-01-24

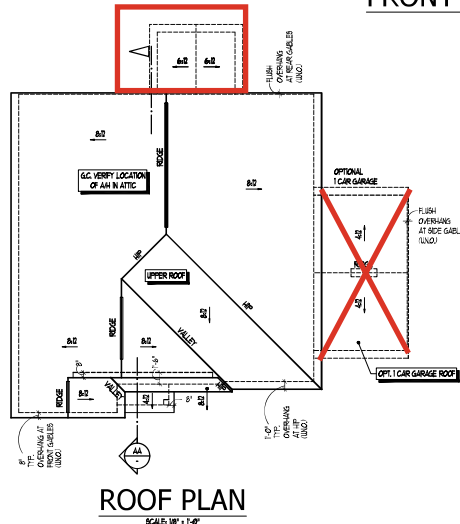
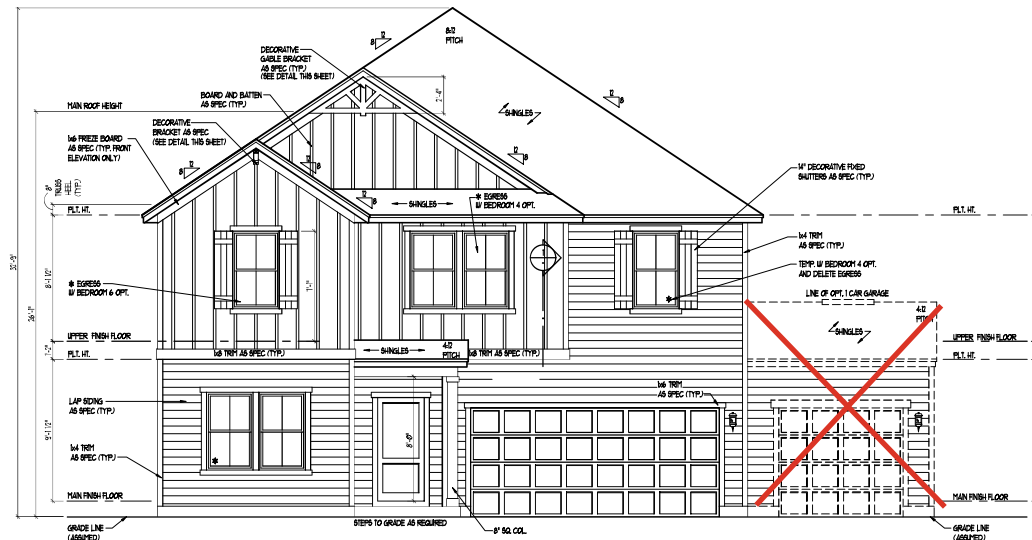
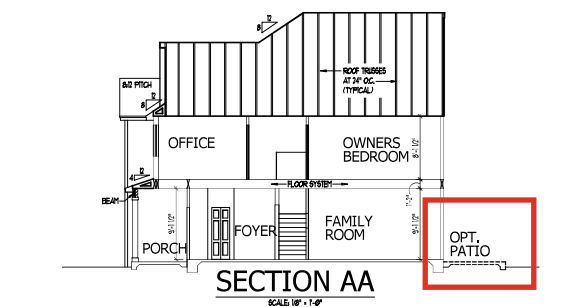
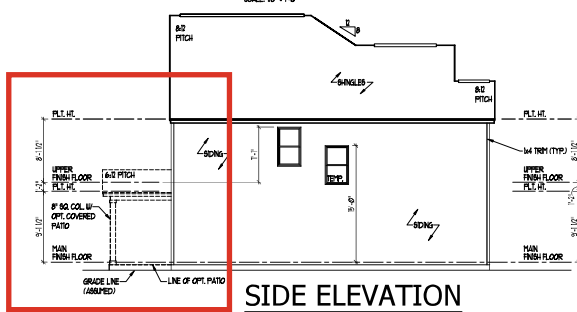
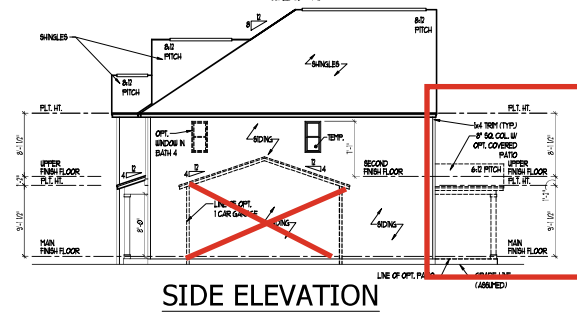
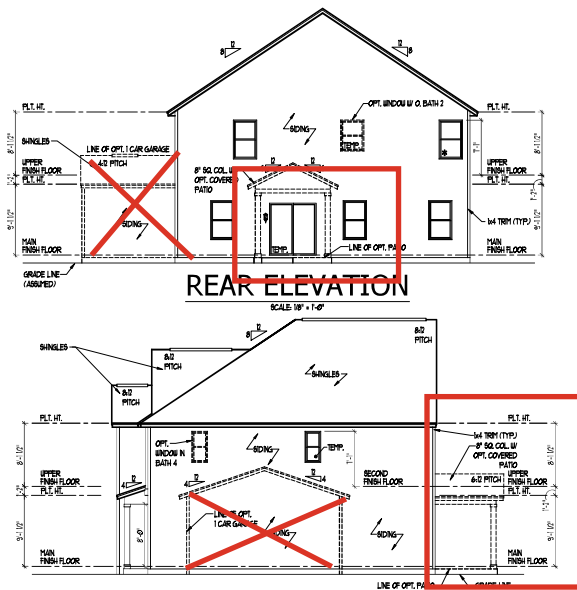
DRAWINGS ON 1/4"=1' SHEET ARE ONE HALF THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

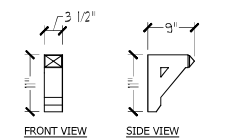
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REVISION LOG

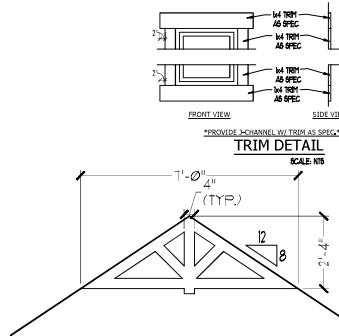
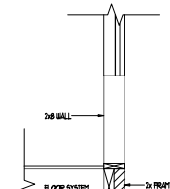
SHEET
CS



TOTAL UNDER ROOF AREA:			
VENTING AREA REQUIRED:	1461 SQ. FT. / 300 -	1461 SQ. FT.	
TOTAL REQUIREMENTS:	LOWER: 2.44	UPPER: 2.44	
LOWER AREA VENTING:			
SCOTT VENT	SIZE:	PER UNIT	4 UNITS
	1/2" x 1/2"	1/2"	1/2"
UPPER AREA VENTING:			
EDGE VENT	SIZE:	PER UNIT	4 UNITS
	1/2" x 1/2"	1/2"	1/2"
TOTAL AREA PROVIDED:			
SCOTT AND EDGE VENT			7.31



PRE-FAB BRACKET DETAIL "B"
SCALE 1/8" = 1'-0"



DECORATIVE PRE-FAB GABLE BRACKET DETAIL
SCALE 1/8" = 1'-0"

ELEVATIONS, ROOF PLAN, & SECTION - TRADITIONAL 'B'

INANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY CONSPIRACY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEE. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



JOB NUMBER	B-1815531P
DWG FILE NAME	PRELUDE-11
ISSUED	11-28-17
REVISED	11-16-17
	02-11-18
	02-28-18
	03-08-18
	10-01-18
	10-01-18

DRAWINGS ON 1/4" X 1/4" SHEET ARE ONE HALF THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

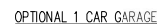
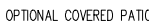
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TITLE
FRONT ELEVATION
REAR ELEVATION
RIGHT AND LEFT ELEVATIONS
SECTIONAL
ROOF PLAN
WIND DETAILS

SHEET
A3.1



ELEVATION A



130 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN 30" WIND
ROOF HEIGHT

ENGINEER'S SEAL APPLIES ONLY TO
STRUCTURAL COMPONENTS. ENGINEER'S SEAL
DOES NOT CERTIFY DIMENSIONS, ACCURACY OF
INFORMATION, LOCATION, INCLUDING ROOF
SYSTEM.

STRUCTURAL DESIGN PER 2018 NORTH CAROLINA
BUILDING CODE, 2018 EDITION

INSTALL 1/2" ANCHOR BOLTS @ 6" O.C. AND
WITH 1'-0" FROM EDGE OF EACH CORNER.

CONCRETE MUST BE SET AGAINST A BEAM OF
1/2" MASONRY OR 7" W/IN CONCRETE.

LOCATE BOLTS WITHIN MIDDLE THIRD OF PLATE
WITH

MEAN ROOF HEIGHT IS LESS THAN 30" FEET.

EXTERIOR WALLS DESIGNED FOR 130 MPH WIND.
ROOF AND WALL CLADDING DESIGNED FOR WIND
PRESSURE PER TABLE 6-2.2(2) OF THE
2018 NCBC.

INSTALL 7/8" O.D. SHEATHING ON ALL
ELEVATIONS OF ALL STRUCTURES.

ACCORDANCE WITH SECTION 602.0.2 OF THE
2018 NCBC. SEE THE WALL BRACING
NOTES FOR DETAILS SHEET FOR MORE
INFORMATION.

1. ENERGY EFFICIENCY COMPLIANCE AND
QUALITY CONTROL OF ALL STRUCTURES
ACCORDANCE WITH CHAPTER 11.1 OF THE NCBC,
2018 EDITION.

2. REVISIONS AND DETAILS SHEETS FOR
ADDITIONAL STRUCTURE INFORMATION.

- 150 MPH ULTIMATE DESIGN WIND SPEED
NOTES: SEE LESS THAN
150 MPH ROOF AREA
- ENGINEER'S SEAL APPLICABLE TO STRUCTURAL
COMPONENTS; ENGINEER'S SEAL DOES NOT
CERTIFY DRAINAGE, ACCESSORY OR
ARCHITECTURAL LAYOUT INCLUDING ROOF
DRAIN
- STRUCTURAL DESIGN PER NORTH CAROLINA
RESIDENTIAL CODE, 2024 EDITION WITH SPECIAL
CORRECTIONS TO CHAPTER 19 "HIGH WIND
ZONES" FOR 150 MPH WIND
- BUILDER TO PROVIDE FRAMING CONNECTIONS
AS REQUIRED BY CHAPTER 4 OF "HIGH WIND
ZONES" FOR 150 MPH WIND, NORTH CAROLINA
RESIDENTIAL CODE, 2024 EDITION
- FOUNDATION ANCHORAGE TO COMPLY WITH
SECTION 4.06 OF THE NORTH CAROLINA
RESIDENTIAL CODE, 2024 EDITION
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET
- 150 MPH CLASS 1 WIND SPEED AND WIND
PRESSURES PER TABLE R301.2(1) OF THE 2023
IRC
- 7/8" OD SHEATHING IS REQUIRED ON ALL
EXTERIOR WALLS
- WALLS TO BE BRACED IN ACCORDANCE WITH
CHAPTER 45 OF THE NORTH CAROLINA
RESIDENTIAL CODE, 2024 EDITION AND AS NOTED
ON PLANS
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION
VARIABLE WALLING TO COMPLY WITH CHAPTER 11
OF THE NCRC, 2024 EDITION

120 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL, ACCURACY OR ARCHITECTURAL, LAYOUT INCLUDING ROOF SYSTEM.
2. STRUCTURAL DESIGN PER 2014 INTERNATIONAL BUILDING CODE, 2014 CAROLINA REVISIONS, SECTION 602.4.2.
3. INSTALL 1"x10" ANCHOR BOLTS @ 6'-0" O.C. AND MIN. 1'-0" FROM EDGE OF EACH CORNER.
4. INSTALL 1"x10" ANCHOR BOLTS @ 6'-0" O.C. WITH WAGONER OR CONCRETE. LOCATE BOLT WITHIN MINIMUM 1/3RD OF PLATE WIDTH.
5. ANCHOR BOLTS TO BE EMBEDDED AT LEAST 30 FEET.
6. EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
7. EXTERIOR WALL GLAZING DESIGNED FOR WIND PRESSURES PER TABLE 1-2.1(1) OF THE 2014 IRC.
8. INSTALL 7/16" O.D. SHEATHING ON ALL EXTERIOR WALLS OF ALL STOREYS IN ACCORDANCE WITH SECTION 602.4.2 OF THE 2014 CAROLINA REVISIONS. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
9. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE 2014 CAROLINA REVISIONS. SEE THE ENERGY AND INSULATION REQUIREMENTS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
FDN	FOUNDATION
FTG	FOOTING
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

DATE: NOVEMBER 19, 2024

SCALE 1/4" = 1'-0"

DRAWN BY: PURL HONG

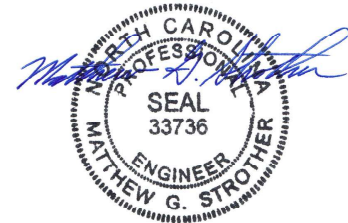
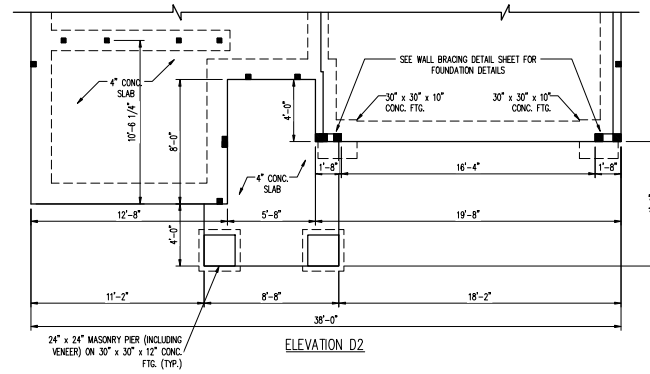
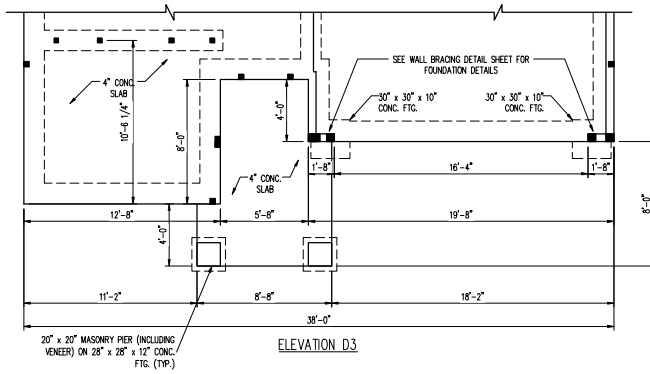
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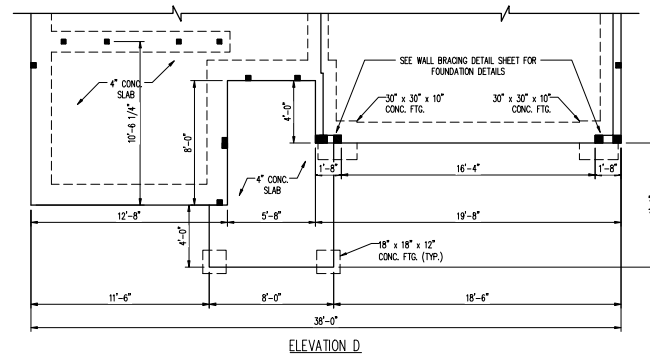
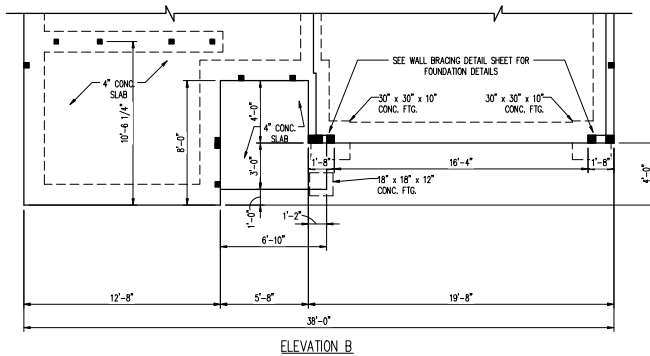
S-1.2a
MONO SLAB
FOUNDATION PLAN

11/20/2024

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.



11/20/2024



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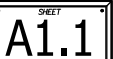
PRELUDE
DREAM FINDERS HOMES

DATE: NOVEMBER 19, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: PUELLERHES
CHECKED BY: WBS

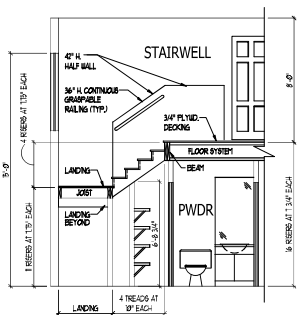
S-1.2b
MONO SLAB
FOUNDATION PLAN



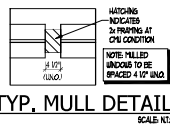
SLAB INTERFACE PLAN OPTIONS



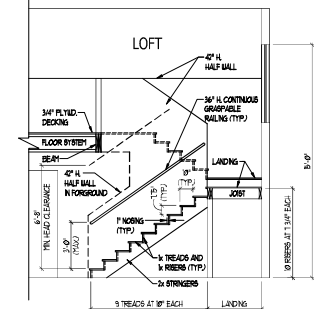
COV PATIO



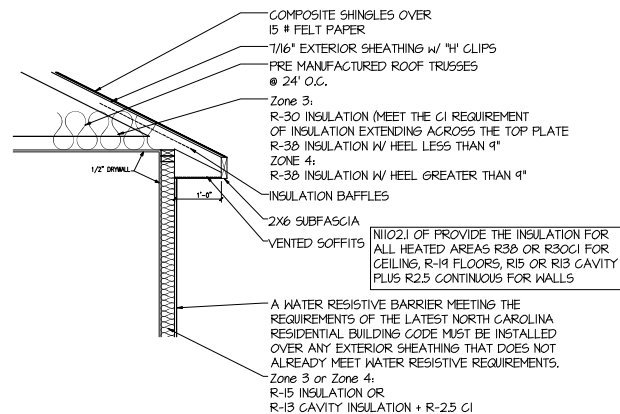
STAIR NOTES:
BUILDING
BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.
THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.
OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 X 8 INCHES TO PASS THROUGH.
HANDRAILS/HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWER RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN RISER, POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAIL.
CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA.



TYP. MULL DETAIL
SCALE 1/8\"/>

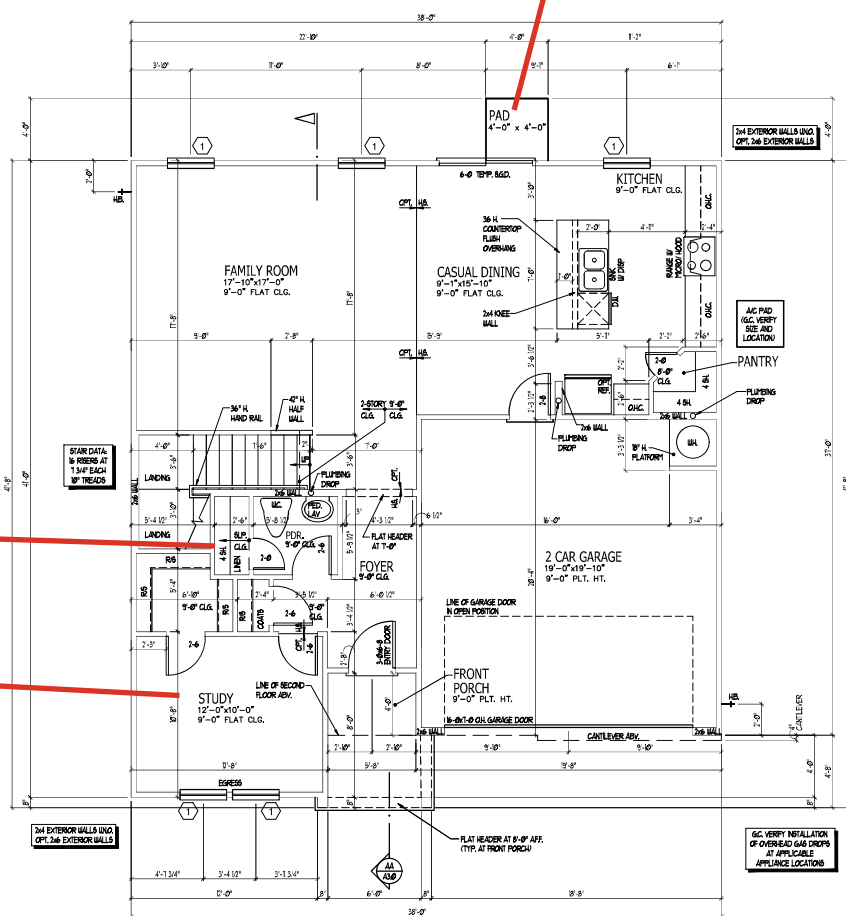


STAIR SECTION



INSULATION DETAIL

INSURANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
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IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2 INCH (1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE GARAGE WINDSHIELD/STAIRS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8 INCH (5/8 INCH TYPE 1/2 GYPSUM BOARD OR EQUIVALENT) (WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2 INCH (1/2 INCH GYPSUM BOARD OR EQUIVALENT).

WINDOW SCHEDULE				
MARK	SIZE		TYPE	HEAD HEIGHT
	WIDTH	HEIGHT		
(1)	3'-0"	5'-0"	SINGLE HUNG	7'-0"
(2)	2'-0"	4'-0"	SINGLE HUNG	7'-0"
(3)	3'-0"	4'-0"	SINGLE HUNG	7'-0"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'A'
FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.
COVERED AREAS	
FRONT PORCH	56 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
OPTIONAL BEDRM. 4	0
OPTIONAL BEDRM. 5	0
OPTIONAL BEDRM. 6	0
UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

FIRST FLOOR PLAN - A
SCALE 1/8\"/>



JOB NUMBER	05-1815537
DWG. FILE NAME	PRELUDE-17
ISSUED	11-28-17
REVISED	11-16-17
	02-11-18
	02-11-18
	02-11-18
	02-11-18
	02-11-18
	02-11-18

DRAWINGS ON 1/4\"/>

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
MAIN FLOOR PLAN
STAIR SECTION
DETAILS

SHEET
A2.0

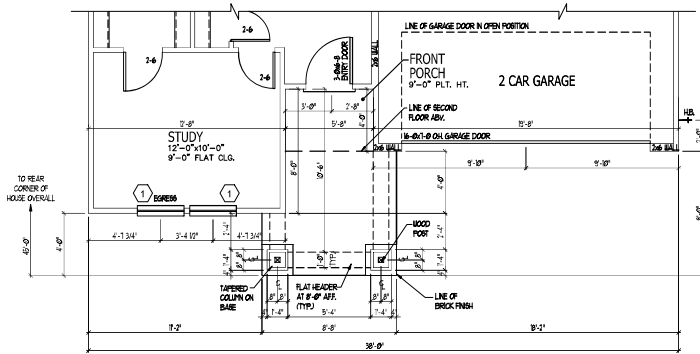
SQUARE FOOTAGE	
HEATED AREAS	ELEV 'B'
FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.
COVERED AREAS	
FRONT PORCH	44 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
OPTIONAL BEDRM, 4	0
OPTIONAL BEDRM, 5	0
OPTIONAL BEDRM, 6	0
UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D'
FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.
COVERED AREAS	
FRONT PORCH	79 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
OPTIONAL BEDRM, 4	0
OPTIONAL BEDRM, 5	0
OPTIONAL BEDRM, 6	0
UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

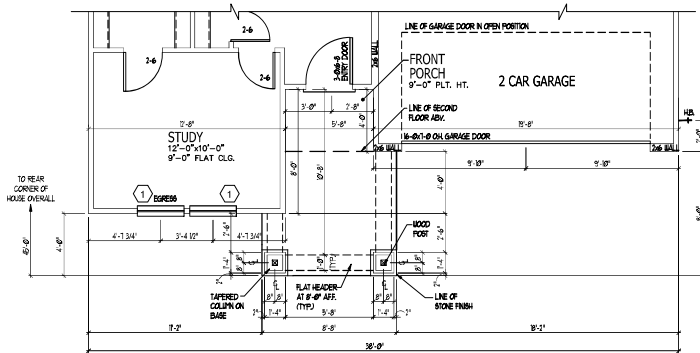
SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D2'
FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.
COVERED AREAS	
FRONT PORCH	86 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
OPTIONAL BEDRM, 4	0
OPTIONAL BEDRM, 5	0
OPTIONAL BEDRM, 6	0
UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D3'
FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.
COVERED AREAS	
FRONT PORCH	86 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
OPTIONAL BEDRM, 4	0
OPTIONAL BEDRM, 5	0
OPTIONAL BEDRM, 6	0
UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

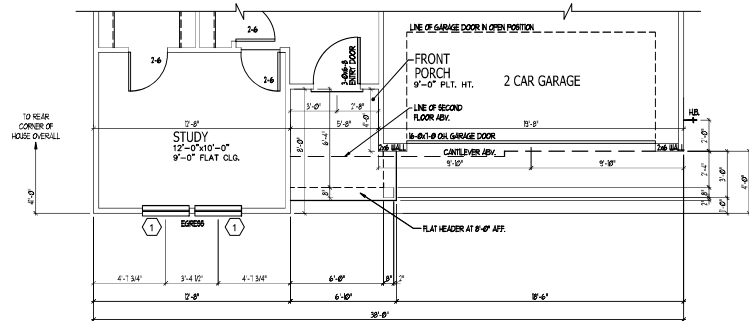
DISCLAIMER: PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, CONDITIONS AND AGREEMENT TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, CONDITIONS OR AGREEMENT TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



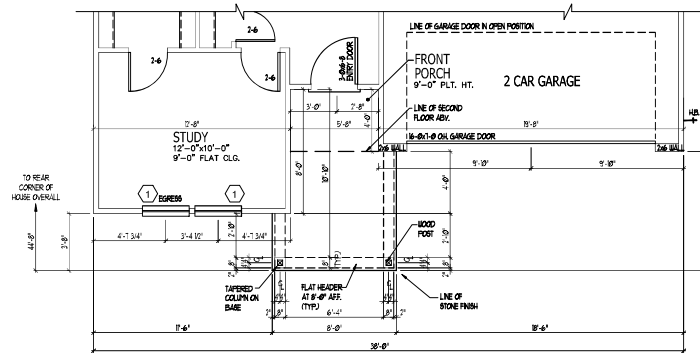
PARTIAL FIRST FLOOR D2
SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR D3
SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR B
SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR D
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
1	3'-0"	5'-0"	SINGLE HUNG	7'-0"
2	2'-0"	4'-0"	SINGLE HUNG	7'-0"
3	3'-0"	4'-0"	SINGLE HUNG	7'-0"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.



JOB NUMBER	0-1815833
DRAWN BY	PRELUDE-11
ISSUED	11-16-17
REVISED	11-16-17
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20

DRAWINGS ON 1/4" x 11" SHEET ARE ONE HALF THE SCALE NOTED

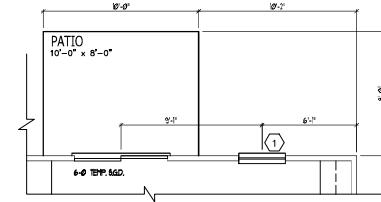
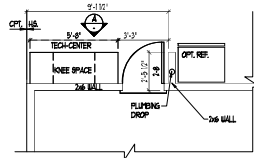
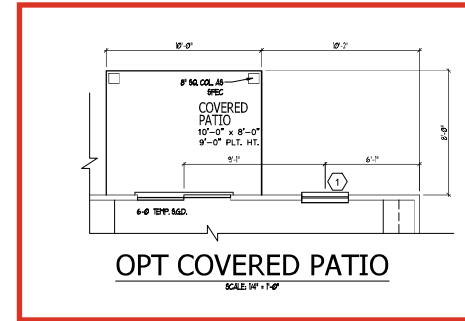
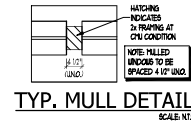
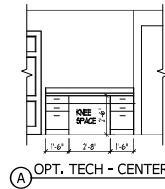
PARTIAL - Garage Right
DREAM FINDERS HOMES

2435

TITLE
PLAN OPTIONS

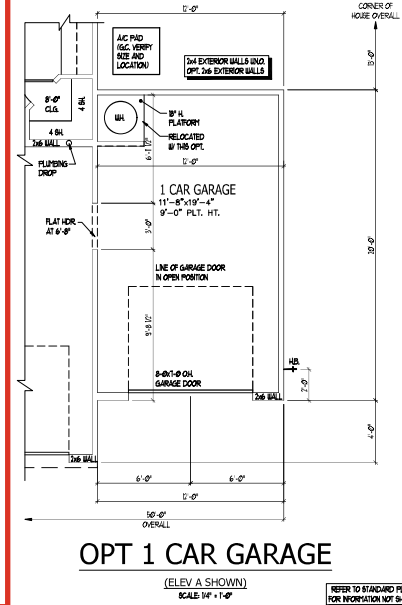
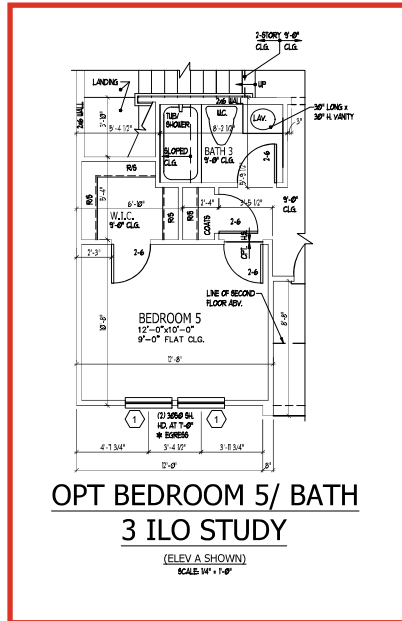
SHEET
A2.1

FIRST FLOOR PLAN OPTIONS



WINDOW SCHEDULE				
MARK	SIZE		TYPE	HEAD HEIGHT
	WIDTH	HEIGHT		
(1)	30"	50"	SINGLE HUNG	70"
(2)	20"	40"	SINGLE HUNG	70"
(3)	30"	40"	SINGLE HUNG	70"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.



JOB NUMBER	PRELUDE - 1A
CAD FILE NAME	11-20-17
ISSUED	11-20-17
REVISED	11-20-17

DRAWINGS ON 8"x11" SHEET ARE ONE HALF THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
PLAN OPTIONS

SHEET
A2.2

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
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FIRST FLOOR PLAN OPTIONS

[illegible]

HATCHING INDICATES 2x FRAMING AT CHU CONDITION

NOTE: MILLED UNDOES TO BE SPACED 4 1/2" UNO.

TYP. MULL DETAIL

SCALE: NT

WINDOW SCHEDULE				
MARK	SIZE		TYPE	HEAD HEIGHT
	WIDTH	HEIGHT		
①	3'0"	5'0"	SINGLE HUNG	7'1"
②	2'0"	4'0"	SINGLE HUNG	7'1"
③	3'0"	4'0"	SINGLE HUNG	7'1"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'A'
FIRST FLOOR	1039 SQ. FT.
SECOND FLOOR	1389 SQ. FT.
TOTAL HEATED SF	2428 SQ. FT.
UNHEATED AREAS	
2-CAR GARAGE	394 SQ. FT.
COVERED AREAS	
FRONT PORCH	56 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
OPTIONAL BEDRM. 4	0
OPTIONAL BEDRM. 5	0
OPTIONAL BEDRM. 6	0
UNHEATED OPTIONS	
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION.

ANY CHANGES TO THE PLANS MUST BE SUBMITTED TO THE DRAFTERS OFFICE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE CONSTRUCTION OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



DREAM FINDERS
HOMES

JOB NUMBER	B-1815932
CAD FILE NAME	PRELUDE-R
ISSUED	11-08-17
REVISED	11-16-17
	09-21-18
	02-11-20
	04-01-20
	04-08-20
	07-01-22
	12-01-22
	10-01-24

DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

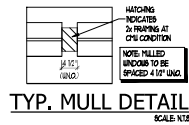
PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

The diagram shows a rectangular drawing board with a double-line border. Inside the board, there is a title block in the top-left corner. The title block is a rectangle with a single-line border. Inside the title block, the word "TITLE" is written in a large, bold, sans-serif font. Below "TITLE", the words "UPPER FLOOR PLAN" are written in a smaller, bold, sans-serif font. To the right of the title block, there are four horizontal dimension lines, each with a tick mark at the end closest to the title block. These lines are labeled with the numbers 1, 2, 3, and 4 from left to right. The entire drawing board is labeled with the number 1 in the bottom-left corner.

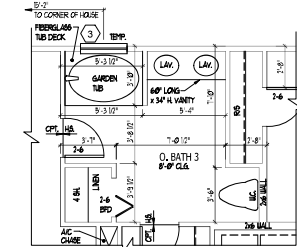
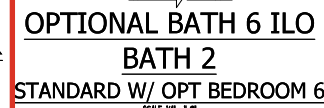
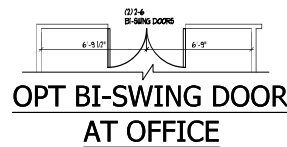
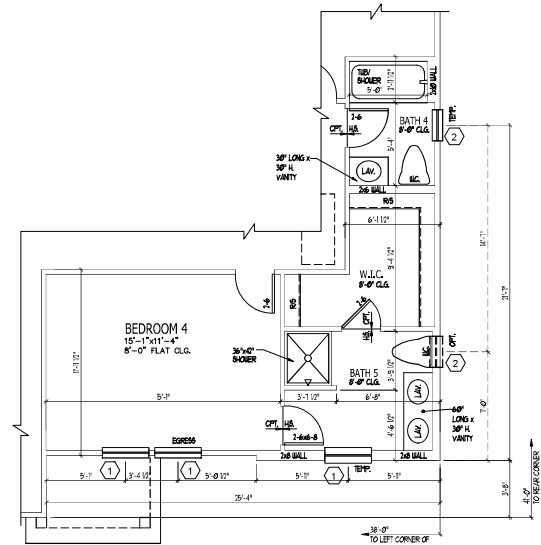
SHEET
A2.3

SECOND FLOOR PLAN - A
SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
(1)	3'-0"	5'-0"	SINGLE HUNG	7'-1"
(2)	2'-0"	4'-0"	SINGLE HUNG	7'-1"
(3)	3'-0"	4'-0"	SINGLE HUNG	7'-1"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.



JOB NUMBER	8-1815833
CAD FILE NAME	PRELUDE-14
ISSUED	11-26-17
REVISED	11-26-17
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	10-01-24

DRAWINGS ON 8"x11" SHEET ARE ONE HALF THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
PLAN OPTIONS

SHEET
A2.5

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEE.
IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

SECOND FLOOR PLAN OPTIONS

[illegible]

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.

2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
- | | |
|-----------------|-----------------------------|
| SWITCHES..... | 42" |
| OUTLETS..... | 14" |
| TELEPHONE..... | 14" (UNLESS ABV COUNTERTOP) |
| TELEVISION..... | 14" |

3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.

4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER N.E.C. 301.406.12 AND 406.13

5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN ALL ROOMS SHALL BE GFCI PROTECTED (GFI).

6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NEPA, 10, NEC, 201, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.

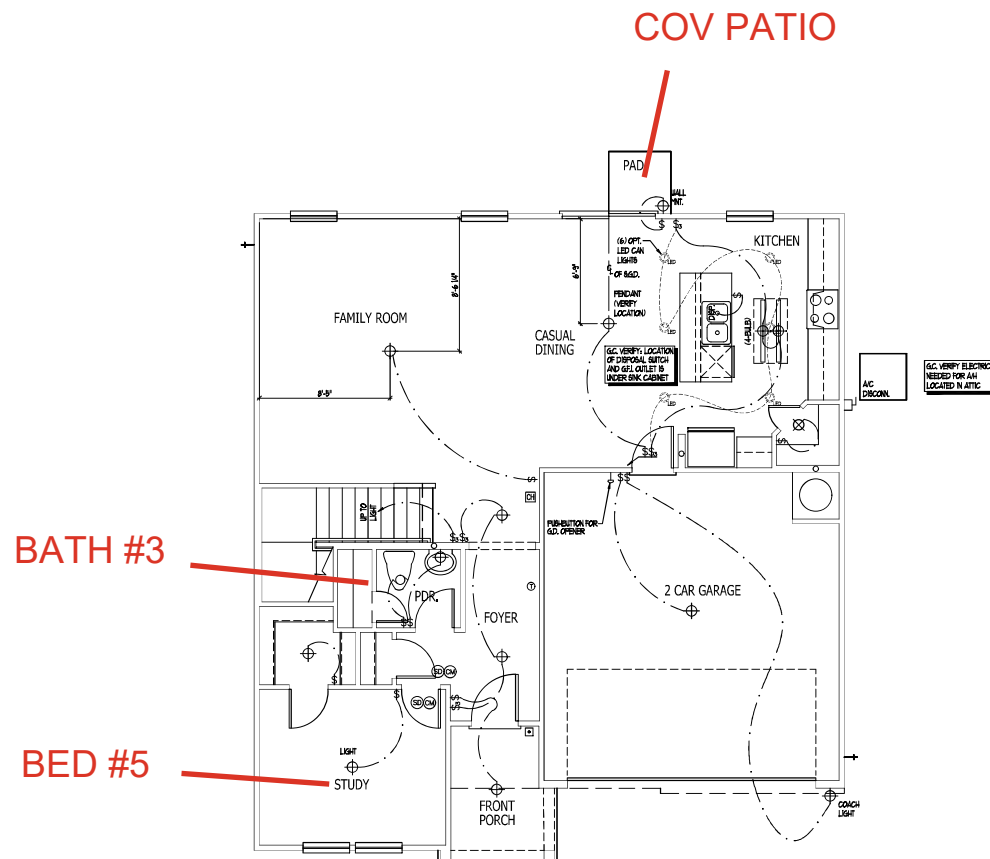
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND AGREEMENT TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR AGREEMENT TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



JOB NUMBER	B-181593
CAD FILE NAME	PRELUDE
ISSUED	11-08-17
REVISED	11-16-17
	09-21-18
	02-11-20
	04-01-20
	04-08-20
	07-01-22
	12-01-22
	10-01-24

DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
MAIN FLOOR ELEC. PLAN

FIRST FLOOR ELECTRICAL PLAN A

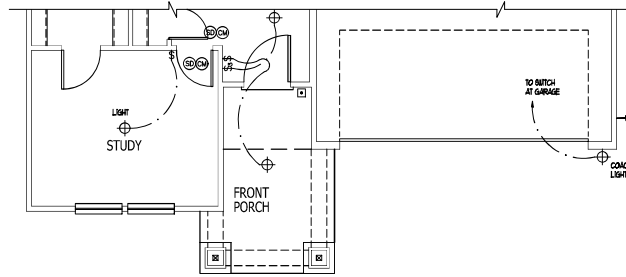
SHEET
E1.0

ELECTRICAL KEY

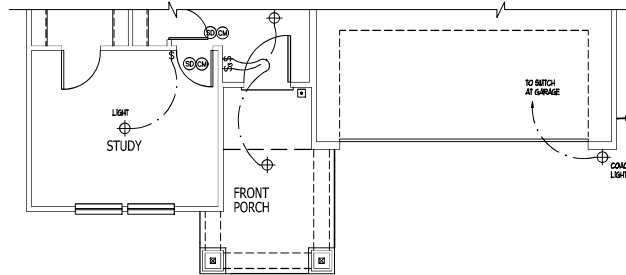
- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 250 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ LED CAN LIGHT
- ⊕ LIGHT FIXTURE WITH FULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPTIONAL)
- ⊕ CIRCLES (OPTIONAL)
- ⊕ PUSHBUTTON SWITCH (OPTIONAL)
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE / CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE (OPTIONAL)
- ⊕ TELEVISION (OPTIONAL)
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER (OPTIONAL)
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

NOTES:

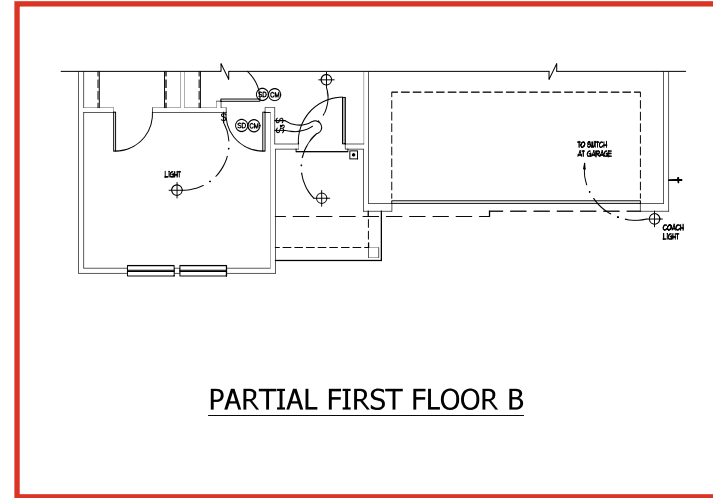
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INITIAL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 - SWITCHES... 4'
 - OUTLETS... 18"
 - TELEPHONE... 36" (UNLESS ABV. COUNTERTOP)
 - TELEVISION... 36"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED BRIDGE DEVICES.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, HALLWAYS, KITCHENS, CLOSET, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AECI DEVICE AND TAMPER-PROOF RECEPTACLES PER I.E.C. 301.406.1.5 AND 406.1.5.
5. ALL 15A AND 20A RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH I.E.C., N.E.C., I.B.C., AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FURNACE-BURNING HEATER OR APPLIANCE, FURNACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALWAYS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE-CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



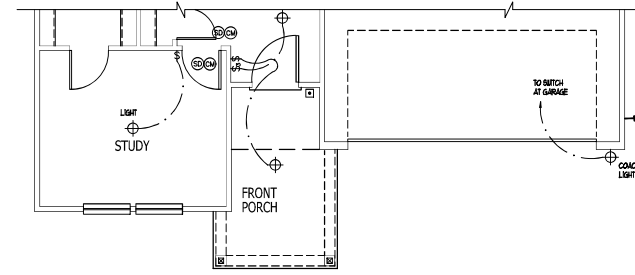
PARTIAL FIRST FLOOR D2



PARTIAL FIRST FLOOR D3



PARTIAL FIRST FLOOR B



PARTIAL FIRST FLOOR D

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REQUESTS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

FIRST FLOOR ELECTRICAL PLAN OPTIONS



JOB NUMBER	05-181553-13
CAD FILE NAME	PRELUDE-13
ISSUED	11-28-17
REVISED	11-16-17
	02-11-18
	02-14-18
	02-20-18
	10-09-18
	10-09-18

DRAWINGS ON 8 1/2" X 11" SHEET ARE ONE HALF THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
ELECTRIC AT PLAN OPTIONS

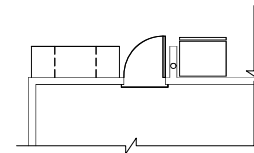
SHEET
E1.1

ELECTRICAL KEY

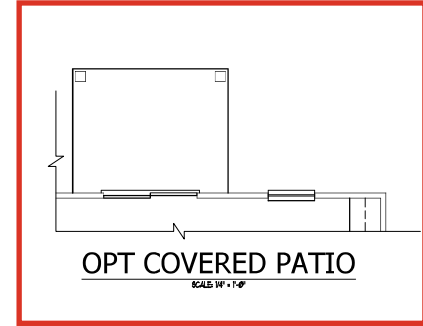
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- HO- DUPLEX OUTLET ABOVE COUNTER
- HO- WEATHERPROOF DUPLEX OUTLET
- HO- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HO- HALF-SWITCHED DUPLEX OUTLET
- HO- SPECIAL PURPOSE OUTLET
- HO- DUPLEX OUTLET IN FLOOR
- HO- 250 VOLT OUTLET
- HO- WALL SWITCH
- HO- THREE-WAY SWITCH
- HO- FOUR-WAY SWITCH
- HO- DIMMER SWITCH
- HO- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- HO- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- HO- RECESSED INCANDESCENT LIGHT FIXTURE
- HO- LED CAN LIGHT
- HO- LIGHT FIXTURE WITH FULL CHAIN
- HO- TRACK LIGHT
- HO- FLUORESCENT LIGHT FIXTURE
- HO- EXHAUST FAN
- HO- EXHAUST FAN/LIGHT COMBINATION
- HO- ELECTRIC DOOR OPERATOR (OPTIONAL)
- HO- COPIER (OPTIONAL)
- HO- FURNITURE SWITCH (OPTIONAL)
- HO- CARBON MONOXIDE DETECTOR
- HO- SMOKE DETECTOR
- HO- SMOKE / CARBON MONOXIDE DETECTOR
- HO- TELEPHONE (OPTIONAL)
- HO- TELEVISION (OPTIONAL)
- HO- THERMOSTAT
- HO- ELECTRIC METER
- HO- ELECTRIC PANEL
- HO- DISCONNECT SWITCH
- HO- SPEAKER (OPTIONAL)
- HO- ROUGH-IN FOR OPT. CEILING FAN
- HO- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

- NOTES:**
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
 2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 - SWITCHES... 4'
 - OUTLETS... 18"
 - TELEPHONE... 34" (UNLESS ABV. COUNTERTOP)
 - TELEVISION... 34"
 3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED BRIDGE DEVICES.
 4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, HALLWAYS, KITCHENS, CLO. HALLWAYS, RECREATION ROOMS, CLOSET, HALLWAYS, AND SIMILAR AREAS SHALL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TYPED-PROOF RECEPTACLES PER NEC 201.406.1.2 AND 406.1.2.
 5. ALL 15A AND 20A RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
 6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH THE 2017 NEC, ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
 7. EVERY BUILDING HAVING A FOSSEL-BURNING HEATER OR APPLIANCE, PREHEATER, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALWAYS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALWAYS SHALL HAVE BATTERY BACKUP CORRELATION PROTECT CARBON MONOXIDE ALWAYS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

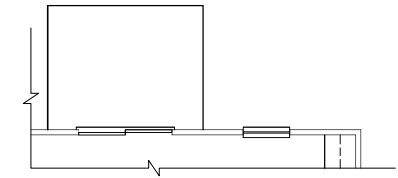
ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, CONDITIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, CONDITIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEE. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTERS OFFICE SHALL NOT BE HELD RESPONSIBLE.



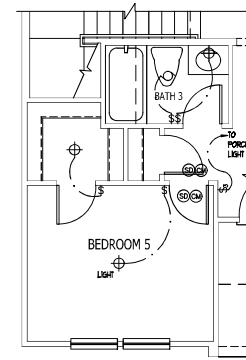
OPT TECH-CENTER
SCALE 1/4" = 1'-0"



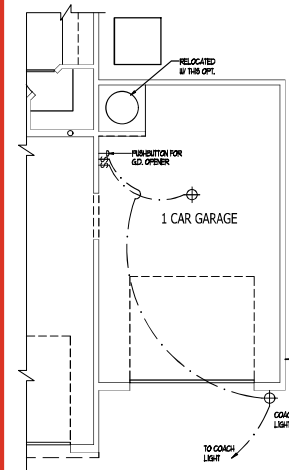
OPT COVERED PATIO
SCALE 1/4" = 1'-0"



OPT PATIO
SCALE 1/4" = 1'-0"



OPT BEDROOM 5/ BATH
3 ILO STUDY
(ELEV. A SHOWN)
SCALE 1/4" = 1'-0"



OPT 1 CAR GARAGE
(ELEV. A SHOWN)
SCALE 1/4" = 1'-0"



JOB NUMBER	0-1815531
CAD FILE NAME	PRELUDE-14
ISSUED	11-20-17
REVISED	11-16-17
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20

DRAWINGS ON 8 1/2" X 11" SHEET ARE ONE HALF THE SCALE NOTED

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
ELECTRIC AT PLAN OPTIONS

SHEET
E1.2

FIRST FLOOR ELECTRICAL PLAN OPTIONS

ELECTRICAL KEY

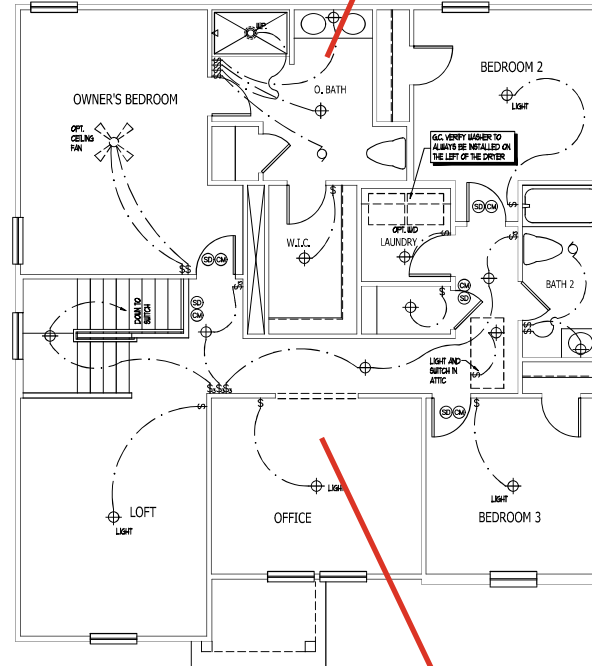
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- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 200 VOLT OUTLET
- 1/2 WALL SWITCH
- 3/4 THREE-WAY SWITCH
- 1/4 FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ LED CANDLELIGHT
- ⊕ LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPTIONAL)
- ⊕ CHIMNEY (OPTIONAL)
- ⊕ PUSH-BUTTON SWITCH (OPTIONAL)
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE / CARBON MONOXIDE COMBO DETECTOR
- ⊕ TELEPHONE (OPTIONAL)
- ⊕ TELEVISION (OPTIONAL)
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER (OPTIONAL)
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING MINIMUM ABOVE FINISHED FLOOR:
 - SWITCHES... 4"
 - OUTLETS... 16"
 - TELEPHONE... 16" (UNLESS ABOVE COUNTERTOP)
 - TELEVISION... 16"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP; PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLOORS, LIBRARIES, CLOsets, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND STYLING AREAS SHALL REQUIRE A COMBINATION TYPE AFCI, GFI, AND WEATHER-PROOF RECEPTACLES PER NEC 210.8(A)(2) AND (A)(3).
5. ALL 15A AND 20A RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A BOILER, FUEL-BURNING HEATER OR APPLIANCE, FRICTION PLATE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL, COMBINATION MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH EACH WIRING IS PROVIDED THAT THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP, COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

OWNER'S BATH #2



BI SWING DOORS

DREAM FINDERS HOMES

JOB NUMBER	B-181583
CAD FILE NAME	PRELUDE-18
ISSUED	11-28-17
REVISION	11-16-17
	02-11-18
	02-14-18
	02-20-18
	10-01-18

DRAWINGS ON 8 1/2" X 11" SHEET ARE ONE HALF THE SCALE NOTED

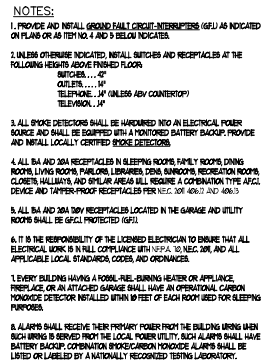
PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
UPPER FLOOR ELEC. PLAN

SHEET
E1.3

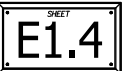
SECOND FLOOR ELECTRICAL PLAN A



PARTIAL SECOND FLOOR D3



SECOND FLOOR ELECTRICAL PLAN OPTIONS

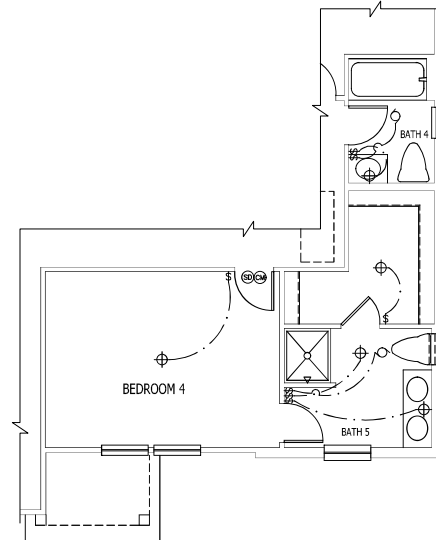


ELECTRICAL KEY

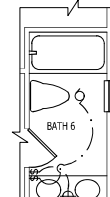
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 250 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LED CAN LIGHT
- LIGHT FIXTURE WITH PULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FANLIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL)
- GIRTS (OPTIONAL)
- PUSHBUTTON SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- TELEPHONE
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE w/
- ROUGH-IN FOR OPT. CEILING FAN

- NOTES:
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS NOTED IN A AND 3 BELOW INDICATES.
 2. UNLESS OTHERWISE NOTICED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES... 4"
OUTLETS... 18"
TELEPHONE... 18" (ON LESS ADV. COUNTERTOP)
TELEVISION... 18"
 3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
 4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND OTHER AREAS WILL REQUIRE A COMBINATION TYPE AFCI, DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 100, 400.2, AND 400.3.
 5. ALL 15A AND 20A 250V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
 6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC 200, AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
 7. EVERY BUILDING HAVING A FURNACE, HEATING SYSTEM OR APPLIANCE, PREHEAT, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING MAIN BRANCH CIRCUIT. IF A BATTERY BACKUP COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



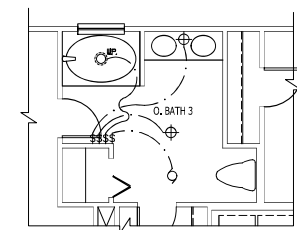
OPT BEDROOM 4/ BATH
5 ILO BEROOM 3 AND
OFFICE
SCALE 1/4\"/>



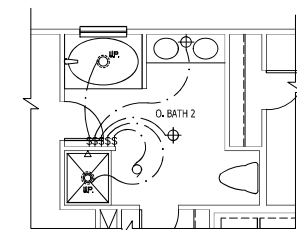
OPTIONAL BATH 6 ILO
BATH 2
STANDARD W/ OPT BEDROOM 6
SCALE 1/4\"/>



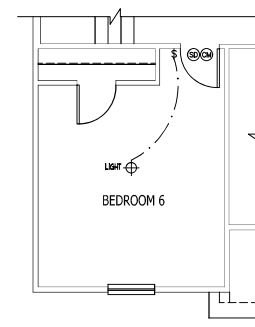
OPT BI-SWING DOOR
AT OFFICE
SCALE 1/4\"/>



OPT OWNER'S BATH 3
SCALE 1/4\"/>



OPT OWNER'S BATH 2
SCALE 1/4\"/>



OPT BEDROOM 6
ILO LOFT
ELEV. A SHOWN
SCALE 1/4\"/>

DREAM FINDERS
HOMES

JOB NUMBER	D-18155313
CAD FILE NAME	PRELUDE-17
ISSUED	11-28-17
REVISED	11-28-17
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20
	02-11-20

DRAWINGS ON 1/4\"/>

PRELUDE - Garage Right
DREAM FINDERS HOMES

2435

TITLE
ELECTRIC AT PLAN OPTIONS

SHEET
E1.5

SECOND FLOOR ELECTRICAL PLAN OPTIONS

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
3. INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
4. WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE KING STUD TABLE FOR ADDITIONAL KING STUD REQUIREMENTS.
5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GROUND OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
6. FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/8" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
7. FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING TO DOUBLE TOP PLATES, BANDS, JOISTS, AND ORDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP ORDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
8. ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP. OR IN HIGH WIND ZONES, 1000 LB CAPACITY UPLIFT CONNECTORS AT TOP. (UNO).
9. FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
10. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

BRACED WALL DESIGN NOTES:

1. WALL BRACING IS BY ENGINEERED DESIGN PER SECTION R301.1.3 "ENGINEERED DESIGN" OF THE NIRC 2024 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.4 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PREScriptive.
2. SHEATH ALL EXTERIOR WALLS W/ 7/8" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NIRC 2024 EDITION.
3. CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/8" OSB ON ALL EXTERIOR WALLS WITH HORIZONTAL JOINTS BLOCKED. ATTACH SHEATHING W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
4. CB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL (UNO) WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #8 SCREWS OR 1 5/8" LONG 5d COOLER WALLS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES. WHERE METHOD CB PANELS ARE INSTALLED HORIZONTALLY, BLOCKING OF HORIZONTAL JOINTS IS NOT REQUIRED.
5. BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NIRC 2024 EDITION.
6. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

*NOTE: ALL FIRST FLOOR EXTERIOR WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO). 2 x 6 @ 16" O.C. FIRST FLOOR EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS (UNO). ALL INTERIOR LOAD BEARING AND NON-LOAD BEARING WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).

TABLE R602.7.5

MINIMUM NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS IN 120/130 MPH WIND ZONES

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 4'	1
> 4' TO 8'	2
> 8' TO 14'	3
> 14' TO 18'	4

OPTIONAL MINIMUM NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS IN 140/150 MPH WIND ZONES

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 4'	2
> 4' TO 8'	3
> 8' TO 14'	4
> 14' TO 18'	5

LEGEND

CONT.	CONTINUOUS
KJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
OSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SUPRISE PINE FIR
SYP	SOUTHERN YELLOW PINE
WTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

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N.C. LICENSE NO. C-1133

PRELUDE
DREAM FINDERS HOMES

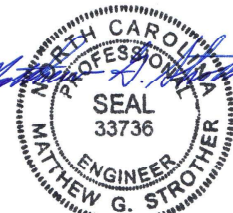
DATE: NOVEMBER 19, 2024

SCALE: 1/8" = 1'-0"

DRAWN BY: PELLECHONES

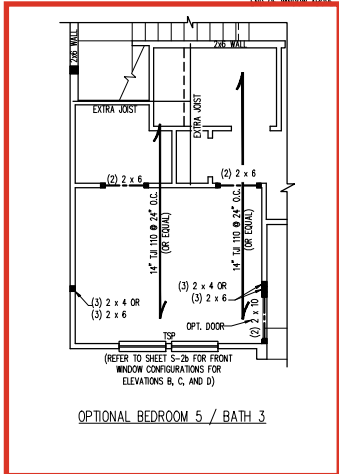
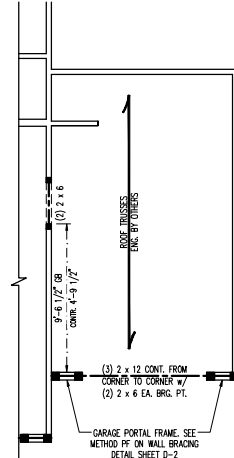
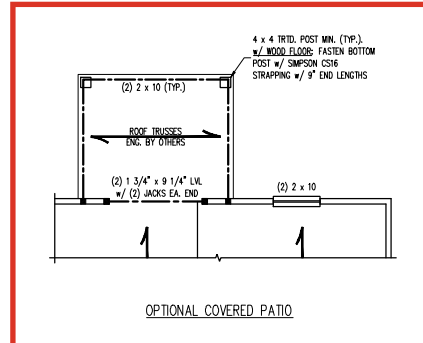
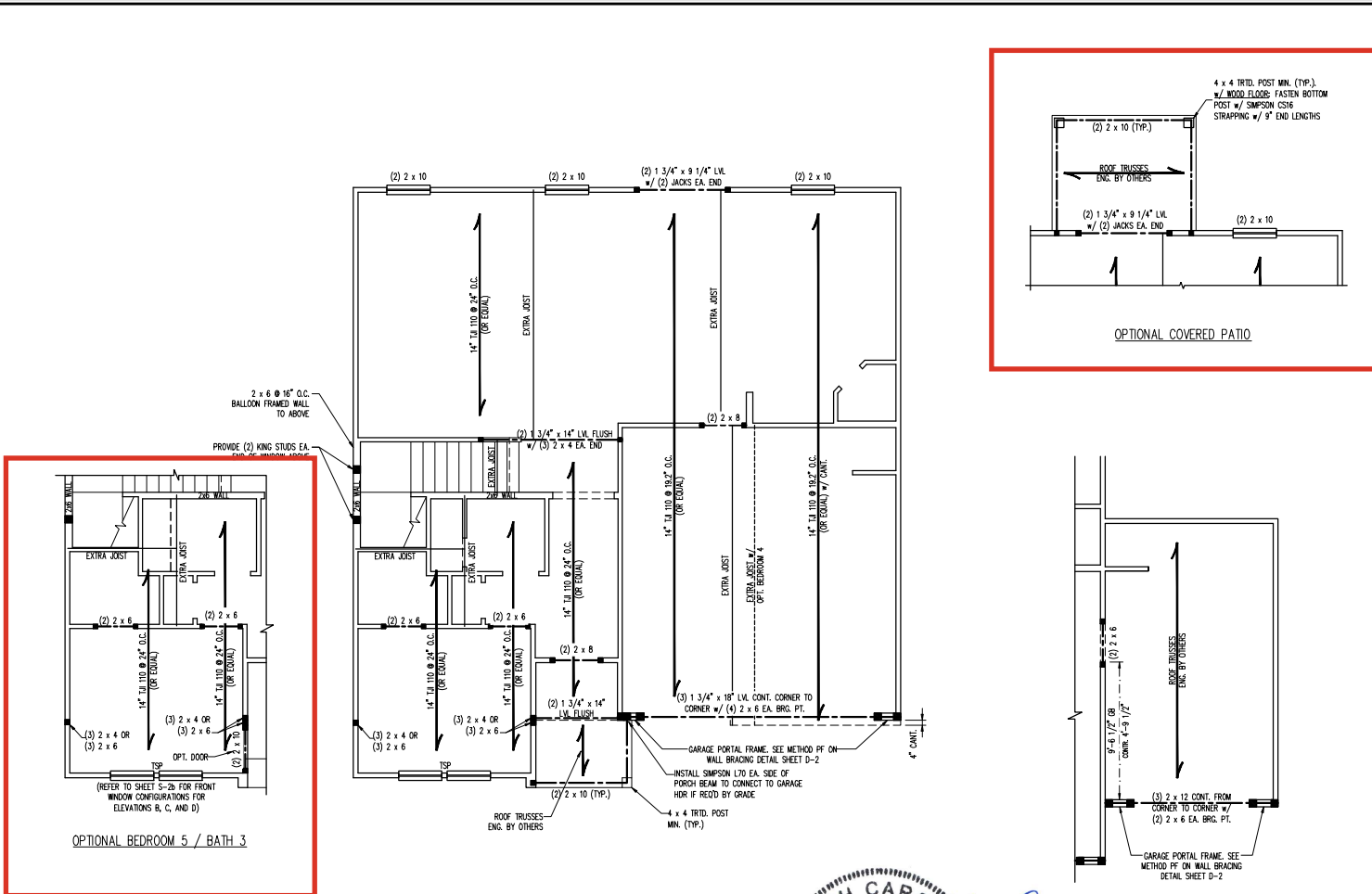
DESIGNED BY: WBS

S-2a
SECOND FLOOR
FRAMING PLAN

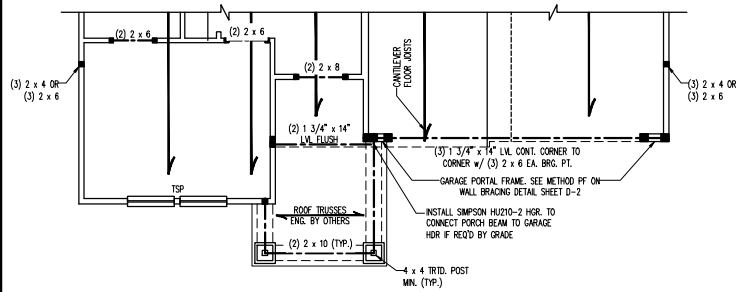


11/20/2024

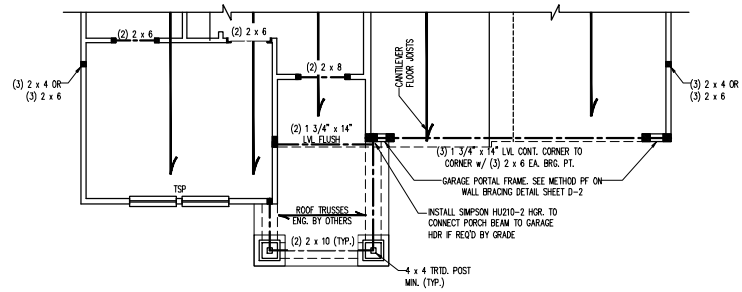
ELEVATION A



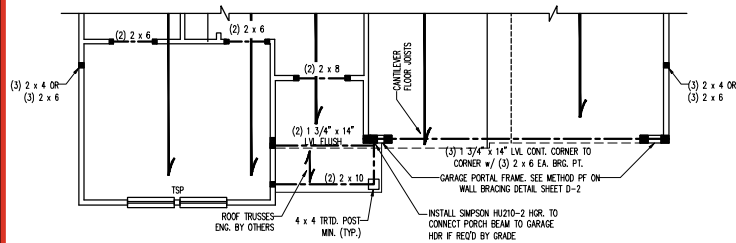
SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.



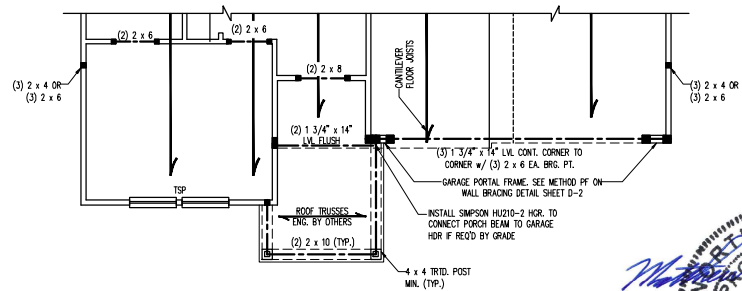
ELEVATION D3



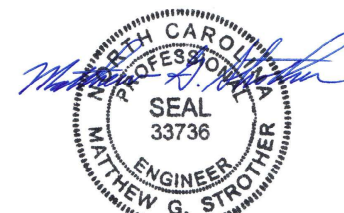
ELEVATION D2



ELEVATION B



ELEVATION D



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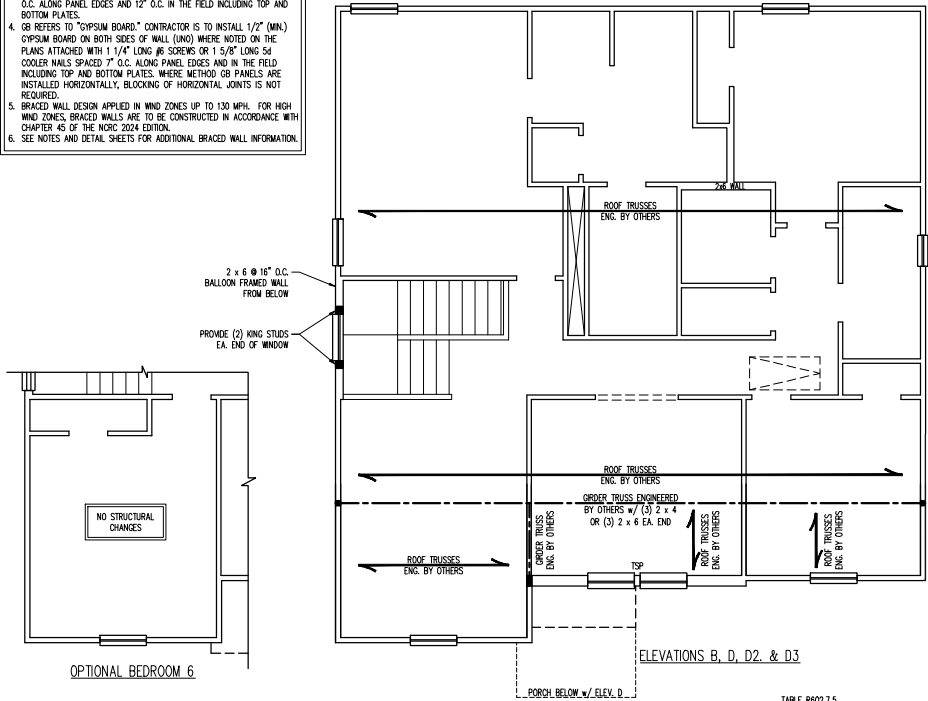
PRELUDE
DREAM FINDERS HOMES

DATE: NOVEMBER 19, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: PUELBACH
ENGINEERED BY: WBS

S-2b
SECOND FLOOR
FRAMING PLAN

11/20/2024

- BRACED WALL DESIGN NOTES:**
1. WALL BRACING IS BY ENGINEERED DESIGN PER SECTION R301.1.3. "ENGINEERED DESIGN" OF THE IBC 2024 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.4 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
 2. SHEATH ALL EXTERIOR WALLS w/ 7/8" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE IBC 2024 EDITION.
 3. CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/8" OSB ON ALL EXTERIOR WALLS WITH HORIZONTAL JOINTS BLOCKED. ATTACH SHEATHING w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
 4. GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL (UNO) WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG SD COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES. WHERE METHOD GB PANELS ARE INSTALLED HORIZONTALLY, BLOCKING OF HORIZONTAL JOINTS IS NOT REQUIRED.
 5. BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6.5 OF THE IBC 2024 EDITION.
 6. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.



OPTIONAL BEDROOM 6

*NOTE: ALL SECOND FLOOR EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO). 2 x 6 SPF #2 @ 24" O.C. SECOND FLOOR EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS (UNO). ALL INTERIOR LOAD BEARING AND NON-LOAD BEARING WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
3. WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE KING STUD TABLE FOR ADDITIONAL KING STUD REQUIREMENTS.
4. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GROUND OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
5. FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/8" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
6. FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND ORDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP ORDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
7. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

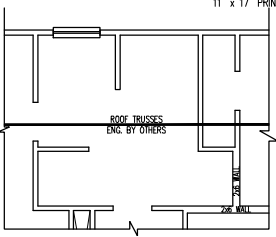
TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS
AT EACH END OF HEADERS IN EXTERIOR WALLS
IN 120/130 MPH WIND ZONES

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 4'	1
> 4' TO 8'	2
> 8' TO 14'	3
> 14' TO 18'	4

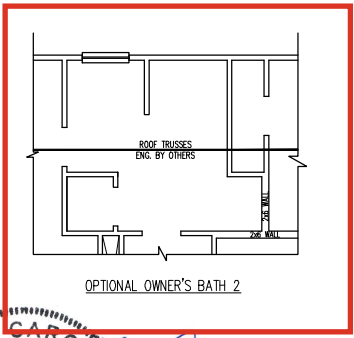
MINIMUM NUMBER OF FULL HEIGHT KING STUDS
AT EACH END OF HEADERS IN EXTERIOR
WALLS IN 140/150 MPH WIND ZONES

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 4'	2
> 4' TO 8'	3
> 8' TO 14'	4
> 14' TO 18'	5

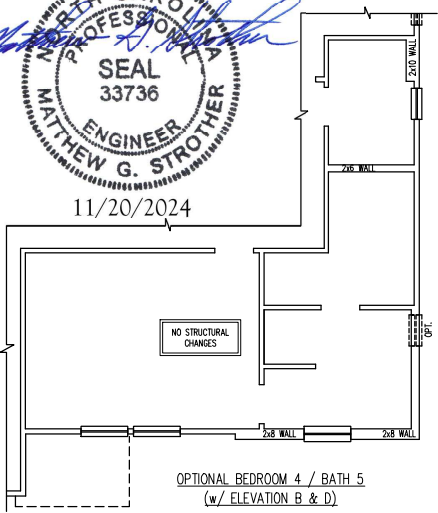
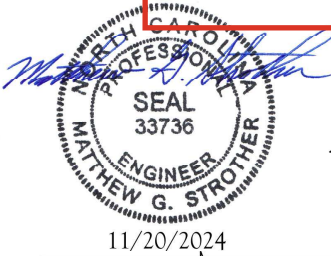
SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.



OPTIONAL OWNER'S BATH 3



OPTIONAL OWNER'S BATH 2



OPTIONAL BEDROOM 4 / BATH 5
(w/ ELEVATION B & D)

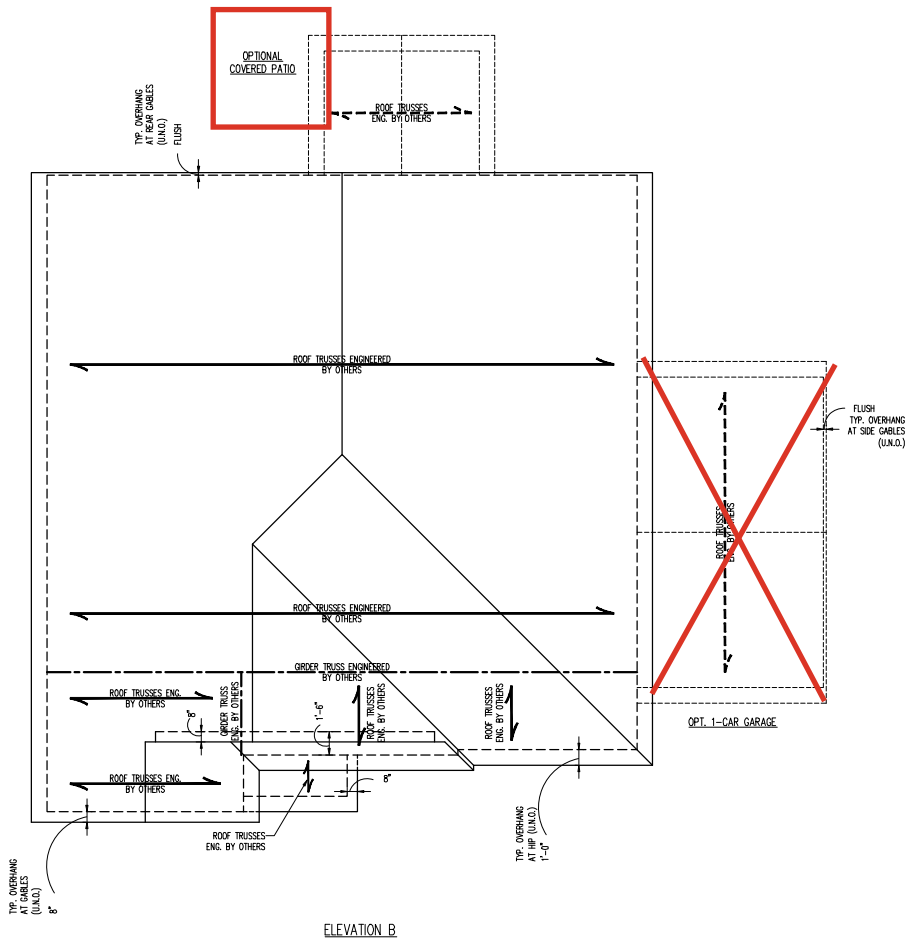
LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
RTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

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N.C. LICENSE NO. C-1133

PRELUDE
DREAM FINDERS HOMES

DATE: NOVEMBER 19, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: JELLEN HUGHES
BUSINESSMAN: J.S. THOMPSON

S-3b
CEILING FRAMING
PLAN



SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.

- STRUCTURAL NOTES:
1. ALL FRAMING LUMBER TO BE #2 SPF (U.N.D.).
 2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
 3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
 4. HIP SPIKES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
 5. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 6 RIDGES, 2 x 4 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
 6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H23A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
 7. REFER TO SECTION R802.11 OF THE 2024 NIRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES. IN HIGH WIND ZONES, SECURE EA. RAFTER OR TRUSS TO BEARING WALL WITH SIMPSON H10 HURRICANE TIE (OR EQUAL) UNLESS NOTED OTHERWISE BY TRUSS ENGINEER BASED ON DESIGN UPLIFT FOR EA. TRUSS. REFER TO SECTION R402.6 OF THE 2024 NIRC TO ENSURE COMPLIANCE WITH REQUIRED UPLIFT AND LATERAL CONNECTIONS.
 8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

NOTE: REFER TO ARCHITECTURAL DRAWINGS FOR ROOF PITCHES, PLATE HEIGHTS, DIMENSIONS, OVERHANG WIDTHS, AND ATTIC VENT CALCS.

LEGEND	
XR	EXTRA RAFTER
XT	EXTRA TRUSS
DR	DOUBLE RAFTER
TR	TRIPLE RAFTER
RS	RAFTER SUPPORT
TS	TRUSS SUPPORT
CONT	CONTINUOUS
EA	EACH
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYN	SOUTHERN YELLOW PINE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE



11/20/2024

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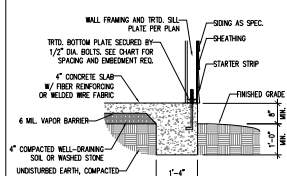
PRELUDE
DREAM FINDERS HOMES

DATE: 11/20/2024
SCALE: 1/4" = 1'-0"
DRAWN BY: PUELLICHES
ENGINEERED BY: WBS

S-4b
ROOF FRAMING
PLAN

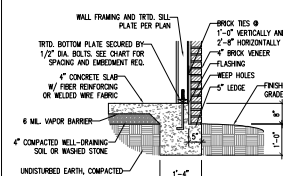
MONOLITHIC SLAB DETAILS

DETAIL 1



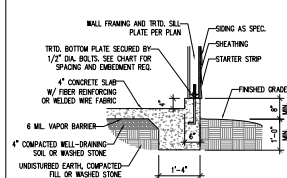
TYPICAL SLAB DETAIL

DETAIL 2



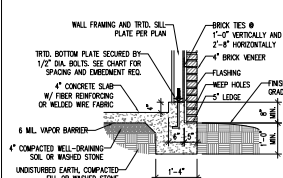
BRICK VENEER DETAIL

DETAIL 3



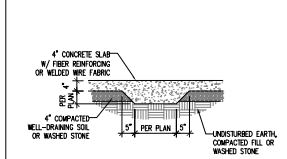
GARAGE CURB DETAIL

DETAIL 4



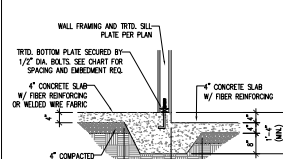
GARAGE CURB BRICK LEDGE DETAIL

DETAIL 5



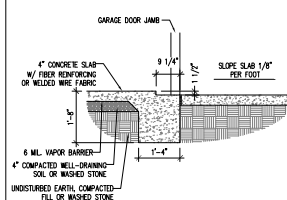
THICKENED SLAB DETAIL

DETAIL 6



STEP IN GARAGE DETAIL

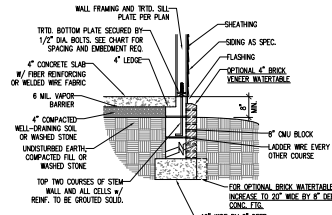
DETAIL 7



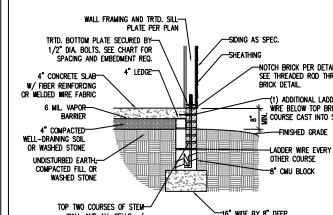
SLAB AT GARAGE DOOR DETAIL

STEM WALL DETAILS

DETAIL 1

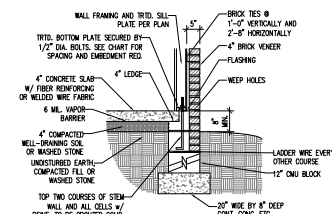
TYPICAL STEM WALL DETAIL
(w/ OPTIONAL WATERBARRIER)

OPTIONAL DETAIL 1



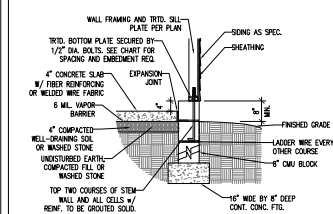
OPTIONAL STEM WALL DETAIL

DETAIL 2

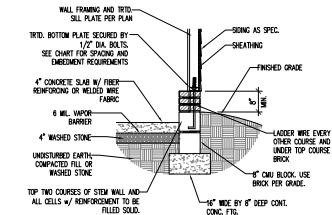


TYPICAL STEM WALL FND. W/ BRICK DETAIL

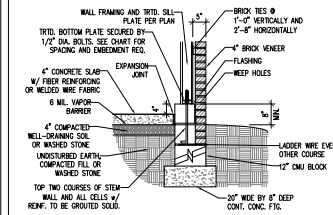
DETAIL 3

TYPICAL STEM WALL FND. DETAIL
w/ CURB @ GARAGE

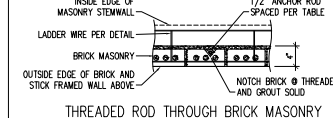
OPTIONAL DETAIL 3

OPTIONAL STEM WALL FND. DETAIL
w/ CURB @ GARAGE

DETAIL 4

TYPICAL STEM WALL FND. DETAIL W/ BRICK
AND CURB @ GARAGE

OPTIONAL DETAIL 8



THREADED ROD THROUGH BRICK MASONRY

MASONRY STEM WALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
3	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
4	GROUT SOLID w/ #4 REBAR @ 64" O.C.	GROUT SOLID w/ #4 REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 64" O.C.
5	GROUT SOLID w/ #4 REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 36" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
6 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

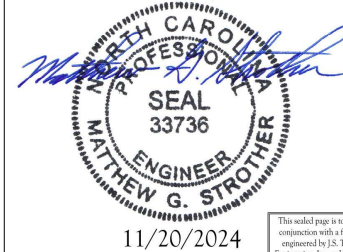
STRUCTURAL NOTES:

- 1) WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- 2) THE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
- 3) CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE w/ GREATER THAN 3' OF FILL AS MEASURED FROM THE TOP OF THE FOOTING.
- 4) BACKFILL OF CLEAN #57 @ 16" WASHED STONE IS ALLOWABLE.
- 5) BACKFILL OF WELL DRAINED OR SAND - GRAVEL MORTURE SOILS (46 P.S.F./FT. BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE B.6.01 OF THE 2024 NORTH CAROLINA RESIDENTIAL CODE ARE ALLOWABLE.
- 6) PREP SLAB PER RS&S.2.1 AND RS&S.2.2 BASE AND DIRECTION OF 2024 NORTH CAROLINA RESIDENTIAL CODE.
- 7) MINIMUM 24" LAP SPICE LENGTH.
- 8) LOCATE REBAR IN CENTER OF FOUNDATION WALL.
- 9) WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 P.S.I. GROUT. USE "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 3' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	120 MPH	130 MPH
SPACING	6"-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4"-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE

NOTE:
THREADED ROD WITH EPOXY, SIMPSON ITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.



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S.C. LICENSE #801-0151

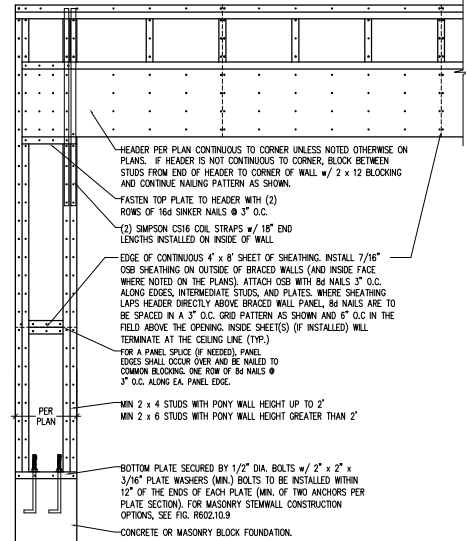
120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
FOUNDATION DETAILS
DREAM FINDERS HOMES

DATE: 20/NOVEMBER 2024
SCALE: STD
DRAWN: JST
CHECKED: JST
DESIGNED BY: JST

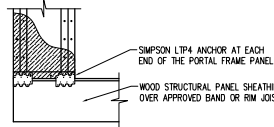
D-1
FOUNDATION DETAILS

GENERAL WALL BRACING NOTES:

1. WALL BRACING IS BY ENGINEERED DESIGN PER SECTION R301.1.3 "ENGINEERED DESIGN" OF THE NRC 2024 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.4 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2024 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
3. BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STORES BELOW THE TOP FLOOR, HAVE BEEN DESIGNED PER R602.3.5 (3). WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.
4. SEE STRUCTURAL SHEETS FOR HOLD DOWN TYPE AND LOCATIONS WHERE REQUIRED AND ANY SPECIAL NOTES OR REQUIREMENTS.
5. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10 UNLESS NOTED OTHERWISE.
6. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" OYSPUM INSTALLED, WHEN NOT USING METHOD "GB", OYSPUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.4
7. CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS WITH JOINTS BLOODED. ATTACH SHEATHING w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (U.N.O.).
8. GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (U.N.O.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" OYSPUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R702.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.X(1). WHERE METHOD GB PANELS ARE INSTALLED HORIZONTALLY, BLOODED OF HORIZONTAL JOINTS IS NOT REQUIRED. EXTERIOR GB TO BE INSTALLED VERTICALLY.



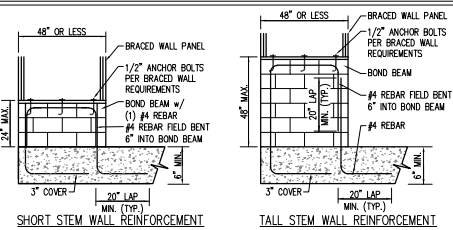
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



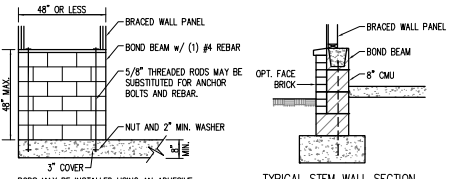
OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

* APPLICABLE w/ GREATER THAN 12" KNEE WALL HEIGHTS IN CRANK, SPACE AND ABOVE FRAMED BASEMENT WALLS *

METHOD PF-PORTAL FRAME DETAIL ①



SHORT STEM WALL REINFORCEMENT



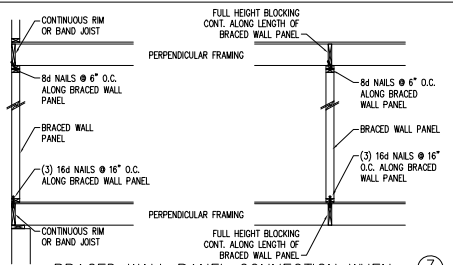
TYPICAL STEM WALL SECTION

OPTIONAL STEM WALL REINFORCEMENT

NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS

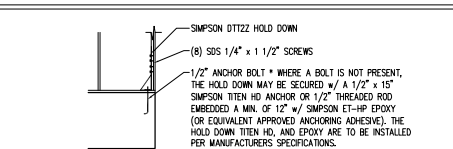
MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS ②

PER FIGURE R602.10.9



BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING ③

PER FIGURE R602.10.8(1)

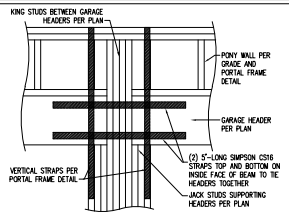
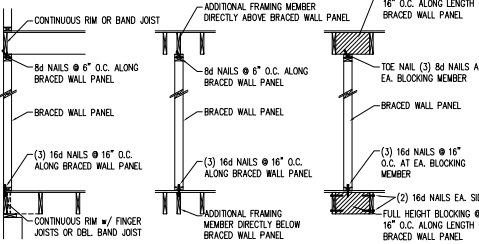


HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB ④

* APPLICABLE ONLY WHERE SPECIFIED ON PLAN *

BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING ⑤

PER FIG. R602.10.8(2)

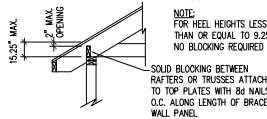


PORTAL FRAME CONNECTION DETAIL BETWEEN GARAGE DOOR HEADERS ⑥

(REFERENCE PORTAL FRAME DETAIL FOR ALL OTHER PORTAL FRAME INFORMATION)

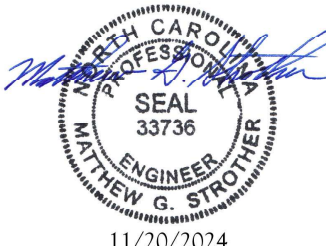
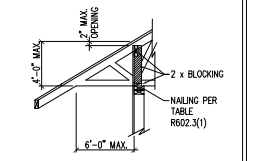
BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS ⑦

PER FIGURE R602.10.8.2(1)



BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES ⑧

PER FIGURE R602.10.8.2(3) (OR ALTERNATIVE: FIGURE R602.10.8.2(2))



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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
WALL BRACING NOTES AND DETAILS
DREAM FINDERS HOMES

DATE: NOVEMBER 7, 2024
SCALE: N/A
DRAWN: DS/JST
ENGINEERED BY: JST

D-2
BRACED WALL
NOTES AND DETAILS
AND PF DETAIL

GENERAL NOTES

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, ORDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NORC), 2024 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NORC, 2024 EDITION (R301.4 - R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
TIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD (BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE)			
GROUND SNOW LOAD: P _g	20 (PSF)		
SEISMIC DESIGN CATEGORY:	B		

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD

- CLADDING DESIGNED FOR:

120 MPH WIND ZONE			
		POS. (PSF) PRESSURE	NEG. (PSF) PRESSURE
GABLE ROOF CLADDING	FLAT ROOF	+ 6.3	- 44.5
	2.25 TO 5/12	+ 9.6	- 49.8
	5 TO 7/12	+ 11.6	- 41.9
	7 TO 12/12	+ 14.2	- 35.3
	12.25 TO 5/12	+ 11.6	- 38.6
HP ROOF CLADDING	5 TO 7/12	+ 11.6	- 28.7
	7 TO 12/12	+ 11.1	- 35.6
WALL CLADDING		+ 15.5	- 20.8

130 MPH WIND ZONE			
		POS. (PSF) PRESSURE	NEG. (PSF) PRESSURE
GABLE ROOF CLADDING	FLAT ROOF	+ 7.4	- 52.2
	2.25 TO 5/12	+ 11.3	- 58.4
	5 TO 7/12	+ 13.6	- 49.2
	7 TO 12/12	+ 16.7	- 41.4
	12.25 TO 5/12	+ 13.6	- 43
HP ROOF CLADDING	5 TO 7/12	+ 13.6	- 33.7
	7 TO 12/12	+ 13	- 41.7
WALL CLADDING		+ 18.2	- 24.4

4. FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NORC, 2024 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NORC, 2024 EDITION.
5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORC, 2024 EDITION.

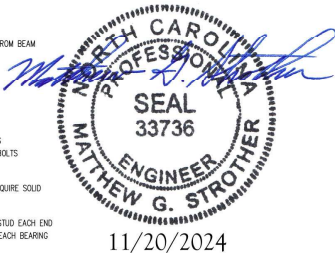
FOOTING AND FOUNDATION NOTES

1. FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
2. FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF COMPACTED AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL, EXCEPTED, #57 OR #67 STONE MAY BE USED AS FILL FOR MAXIMUM DEPTH OF 4 FEET WITHOUT CONSOLIDATION. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R403.1 OF THE NORC, 2024 EDITION.
3. PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAVED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
4. CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NORC, 2024 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60, WELDED WIRE FABRIC TO BE ASTM A185, MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
6. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
7. THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH ORDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NORC, 2024 EDITION OR IN ACCORDANCE WITH AD 318, AD 332, NOMA TR88-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE NORC, 2024 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.2(8) OF THE NORC, 2024 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

FRAMING NOTES

1. ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (F_b = 875 PSI, F_v = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (F_b = 875 PSI, F_v = 175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
2. LAMINATED VENER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b = 2600 PSI, F_v = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b = 2325 PSI, F_v = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b = 2800 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
3. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS
- A. W AND WT SHAPES: ASTM A992
- B. CHANNELS AND ANGLES: ASTM A36
- C. PLATES AND BARS: ASTM A36
- D. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
- E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S
4. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):
- A. WOOD FRAMING (2) 1/2" DIA. x 4" LONG LAG SCREWS
- B. CONCRETE (2) 1/2" DIA. x 4" WEDGE ANCHORS
- C. MASONRY (FULLY GROUTED) (2) 1/2" DIA. x 4" LONG SIMPSON ITEN HD ANCHORS
- D. STEEL PIPE COLUMN (4) 3/4" DIA. A325 BOLTS OR 3/4" FLLET WELD
- LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILED ON TOP OF THE STEEL BEAM, AND THE 2x NAILED IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILED, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 3/8" DIAMETER HOLES @ 16" O.C.
5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. SHADER SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
6. ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NORC, 2024 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
7. ALL BEAMS, HEADERS, OR ORDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR ORDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR ORDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
8. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
9. ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
10. BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2024 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
11. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER STRUCTURAL PLAN. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
12. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 12d NAILS E.A. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.8.2.1 OF THE NORC, 2024 EDITION.
13. FOR STICK FRAMED ROOFS, CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
14. FOR TRUSSED ROOFS, FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
15. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED TO WOOD FRAMING WITH SIMPSON CSE6 CBL STRAPPING WITH 9" END LENGTHS OR (2) 4" LONG SIMPSON SDS SCREWS (OR EQUAL) DRIVEN AT AN ANGLE FROM OPPOSITE SIDES. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.
16. CONSTRUCT ALL WOOD DECKS ACCORDING TO CHAPTER 47-WOOD DECKS.

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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
STANDARD STRUCTURAL NOTES
DREAM FINDERS HOMES

DATE: 10/15/2024
SCALE: N/A
DRAWN BY: JET
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S-0
STRUCTURAL
NOTES