

EMBARK  
DREAM FINDERS HOMES

PLAN REVISIONS

02-04-20 ADJUSTED THE PATIO/PAD TO MEASURE 10' X 8' AND ADJUSTED DIMENSIONS OF CONCRETE PAD/PATIO.  
VERIFIED HDR. HGT. WAS AT LEAST 7'-0" ON ALL EXTERIOR WINDOWS.  
VERIFIED ROOM SIZES AND DIMENSIONS.  
CHANGED WASHER, DRYER, AND REFRIGERATOR TO OPTIONAL COMPONENTS.  
VERIFIED MASTERS WAS CHANGED TO OWNERS THROUGHOUT PLAN.  
CHANGED FRONT DOOR ON ELEVATION C TO 2-PANEL INSTEAD OF 3-PANEL DOOR.  
ADDED ROOF VENT CALCULATIONS OF ALL ELEVATION.  
CHANGED 2X4 WALL AT REAR OF THE GARAGE TO 2X6 WALL.  
UPDATED SLAB INTERFACE PLAN AND OPTIONS.  
ADDED OPT. DBL. OVEN TO PLANS IN KITCHEN.  
ADDED INSULATION DETAIL TO PLAN SHEETS.  
ADDED 3-0 3-0 WINDOW AT OWNERS BEDROOM FOR VENTILATION PURPOSES.  
CHANGE ALL CEILING FANS TO OPTIONAL.  
REVISED CUTSHEETS.

06-01-20 REMOVED HANSEN BOX AND DRYER VENT.  
GATHERING WAS CHANGED TO FAMILY, CAFE WAS CHANGED TO CASUAL DINING, AND FLEX ROOM WAS CHANGED TO STUDY.  
CREATED NEW SHEET FOR FLOOR PLAN OPTIONS.  
UPDATED CUTSHEETS.  
CHANGED 2X4 WALL AT LEFT BACK AND FRONT GARAGE WALLS TO 2X6.  
REMOVED OUTLETS, PHONES AND TVS FROM ELECTRICAL PLANS.  
ADDED CARBON MONOXIDE DETECTOR AT BEDROOMS .  
CREATED ELEVATION ARTS AND CRAFTS 'D'.  
CHANGED CORNER BOARDS ON ELEVATIONS TO BE 1/4 TRIM BOARD.  
SHOULD COACH LIGHTS ON ELEVATIONS.  
ADDED DIAGONAL DIMENSIONS ON SLAB INTERFACE PLAN.  
REVISED ROOM DIMENSIONS FOR THE FOLLOWING ROOMS:  
GARAGE WAS 11'-4"x10'-8" NOW 11'-2"x10'-6"  
FAMILY ROOM WAS 13'-6"x14'-8" NOW 13'-6"x14'-1"  
REVISED SF. AS FOLLOWS:  
LIVING WAS 724 SF. NOW 725 SF.  
GARAGE WAS 248 SF. NOW IS 249 SF.  
FRONT PORCH AT ELEVATION B WAS 63 SF. NOW IS 73 SF.  
REMOVED ELEVATION C ON 07-09-2020  
REMOVED ROUNDING AT 50. FT. BLOCK PORCH A WAS 63 SF. NOW IS 65 SF. PORCH B WAS 73 SF. NOW IS 75 SF.  
CHANGED SHUTTERS TO BE 14" WIDE.  
REMOVED OPT. FREEZE BOARD AT REAR AND SIDE ELEVATIONS.  
CREATED LEFT HAND GARAGE VERSION

06-08-20 ADDED WINDOW SCHEDULE  
CHANGED OWNERS BATH DOOR TO 2'6"  
CHANGED GARAGE WALL FROM 2X6 TO 2X4  
ADDED DETAIL FOR DECORATIVE BRACKET ON ELEVATION A ELEVATION B, 4 ELEVATION D.  
CHANGED COLUMN TO MATCH STANDARD COLUMNS ACROSS ALL PUR. PLANS  
REMOVED COLUMN BASE FROM ELEVATION D AND CREATED FULL HEIGHT 8" SQUARE COLUMN.  
REMOVED GARAGE SHAKE FROM ELEVATION D  
CHANGED LINEN HALL DOOR FROM 2/6 Bifold TO 2/6 STD.  
CHANGED LINEN DOOR FROM 2/6 Bifold TO 2/6 STD.  
CHANGED OWNERS BATH LINEN DOOR FROM 2/6 Bifold TO 2/6 STD.  
CHANGED COATS DOOR FROM 2/6 Bifold TO 2/6 STD.  
CHANGED BED 3 CLOSET DOOR FROM 2/6 Bifold TO 2/6 STD.  
CHANGED BED 3 CLOSET DOOR FROM 2/6 Bifold TO 2/6 STD.  
CHANGED OWNERS BEDROOM DOOR FROM 2/6 STD. TO 2/6 STD.  
REMOVED OPTIONAL DOUBLE OVEN.  
REMOVED VENT FROM GABLE ON ELEVATION A (01-18-24)

12-01-22 ADDED ELEVATION D3 SHOWING BRICK COLUMN AND D3 SHOWING STONE COLUMN.  
ADDED SQUARE FOOTAGE BLOCK FOR D1 AND D3 ELEVATIONS.  
VERIFIED AND UPDATED OPTIONAL OWNERS BATH 2 4 3 LAYOUTS  
CHANGING OF FIRST FLOOR CEILING HEIGHT FROM 9'-0" TO 8'-0" CEILING HEIGHT  
SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION 'D1' CHANGED TO 136 SQ. FT.  
SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION 'D3' CHANGED TO 136 SQ. FT.  
SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION 'D3' CHANGED TO 136 SQ. FT.

12-01-22 CHANGED GARDEN TUB OF OPTIONAL OWNERS BATH 2 FROM 66" TO 60"  
CHANGED GARDEN TUB OF OPTIONAL OWNERS BATH 3 FROM 66" TO 60"  
CHANGED WINDOW HEAD HEIGHTS TO 85"  
ADDED (6) OPTIONAL LED CAN LIGHTS IN KITCHEN (06-18-24)

08-15-24 CEILING HEIGHT CHANGED FROM 8'-0" TO 9'-0"  
OPTIONAL COVERED PATIO CREATED

9' CEILING

| SQUARE FOOTAGE         |              |
|------------------------|--------------|
| HEATED AREAS           | ELEV 'A'     |
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 63 SQ. FT.   |
| UNCOVERED AREAS        |              |
| PAD                    | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

| SQUARE FOOTAGE         |              |
|------------------------|--------------|
| HEATED AREAS           | ELEV 'B'     |
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 72 SQ. FT.   |
| UNCOVERED AREAS        |              |
| PAD                    | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

| SQUARE FOOTAGE         |              |
|------------------------|--------------|
| HEATED AREAS           | ELEV 'D'     |
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 128 SQ. FT.  |
| UNCOVERED AREAS        |              |
| PAD                    | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

| SQUARE FOOTAGE         |              |
|------------------------|--------------|
| HEATED AREAS           | ELEV 'D2'    |
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 136 SQ. FT.  |
| UNCOVERED AREAS        |              |
| PAD                    | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

| SQUARE FOOTAGE         |              |
|------------------------|--------------|
| HEATED AREAS           | ELEV 'D3'    |
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 136 SQ. FT.  |
| UNCOVERED AREAS        |              |
| PAD                    | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

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DREAM FINDERS  
HOMES

JOB NUMBER 27167.03  
CUST. FILE NAME EMBARK-18  
ISSUED 11-28-21  
REVISED 11-17-21  
09-14-20  
02-24-20  
06-28-20  
12-02-20  
08-18-24

DRAWINGS ON 1/4"=1'  
SHEET ARE ONE HALF  
THE SCALE NOTED

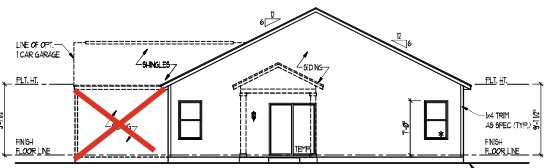
EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

REVISION LOG

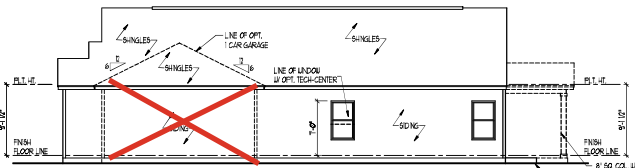
SHEET  
CS

PARKING PAD



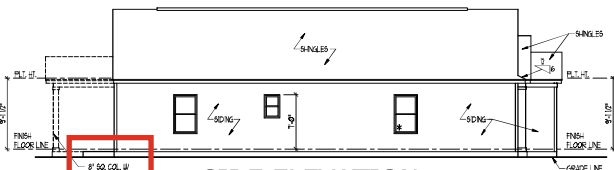
REAR ELEVATION

SCALE: 1/8" = 1'-0"



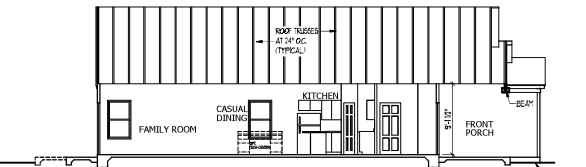
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



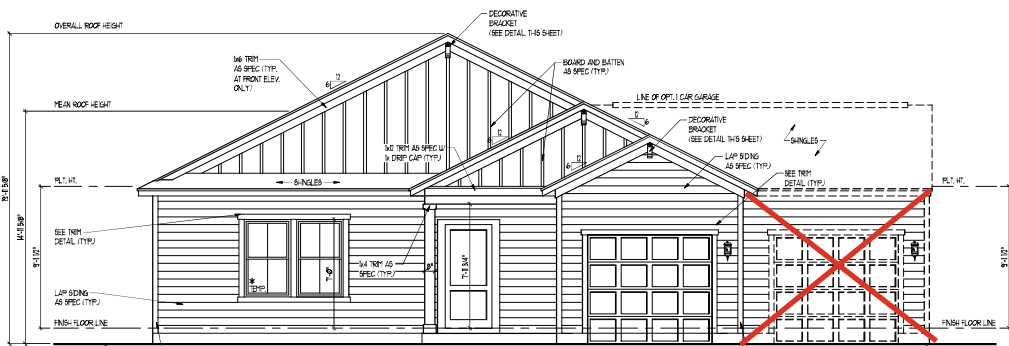
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



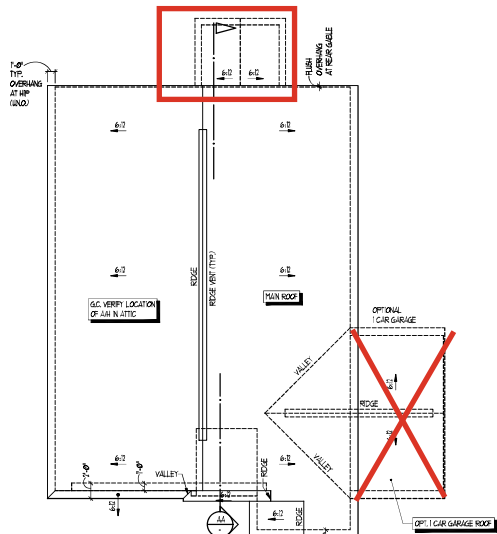
SECTION AA

SCALE: 1/8" = 1'-0"



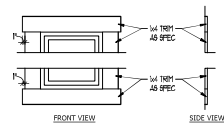
FRONT ELEVATION B

SCALE: 1/8" = 1'-0"



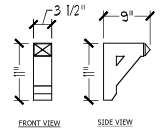
ROOF PLAN

SCALE: 1/8" = 1'-0"



TRIM DETAIL

SCALE: NTS



BRACKET DETAIL

SCALE: 1/8" = 1'-0"

|                          |  |        |         |        |         |
|--------------------------|--|--------|---------|--------|---------|
| TOTAL UNDER ROOF AREA    |  | 2045   | SQ. FT. | 2045   | SQ. FT. |
| VENTING AREA REQUIRED    |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| TOTAL REQUIREMENTS       |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| COVER AREA VENTING       |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| EXTERIOR VENT            |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| UPPER AREA VENTING       |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| BRIDGE VENT              |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| TOTAL AREA PROVIDED      |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |
| EXTERIOR AND BRIDGE VENT |  | 1022.5 | SQ. FT. | 1022.5 | SQ. FT. |

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|                |           |
|----------------|-----------|
| PROJECT NUMBER | 2767.03   |
| DRAWN BY       | EMBARK-18 |
| ISSUED         | 11-28-17  |
| REVISED        | 11-17-17  |
|                | 09-14-18  |
|                | 08-24-18  |
|                | 08-24-18  |
|                | 08-24-18  |
|                | 08-15-18  |

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

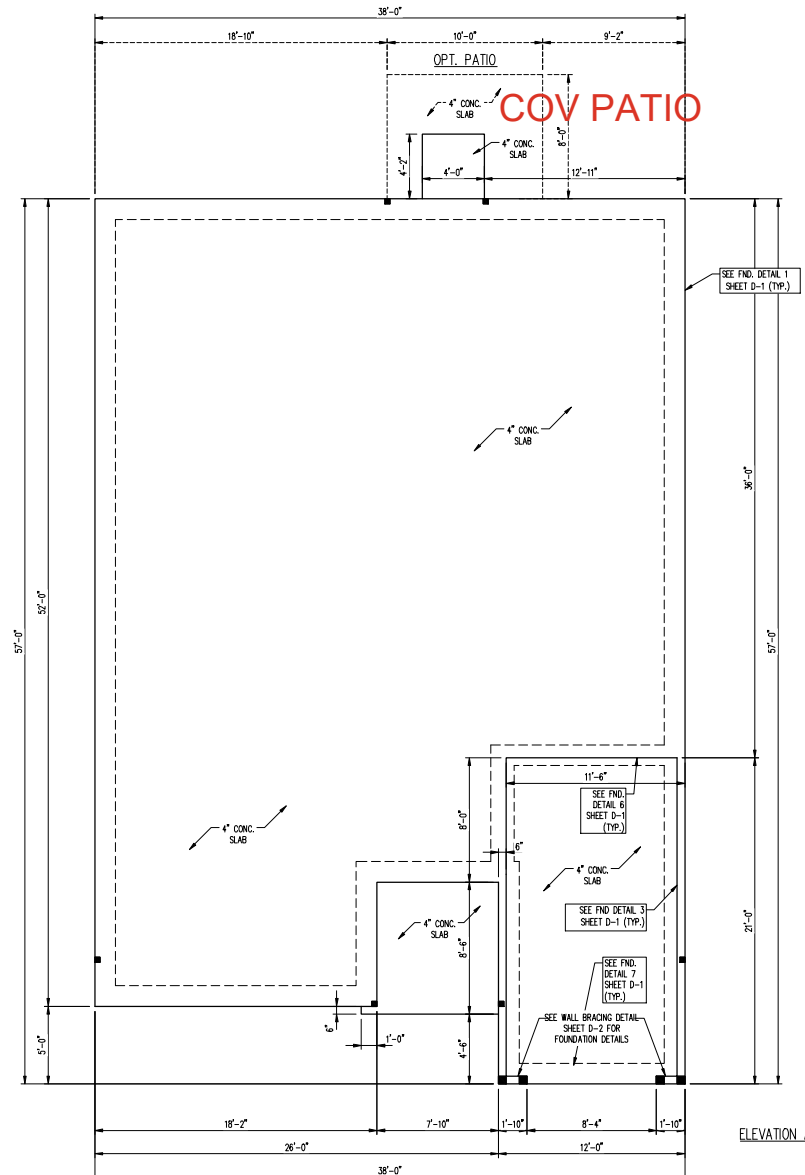
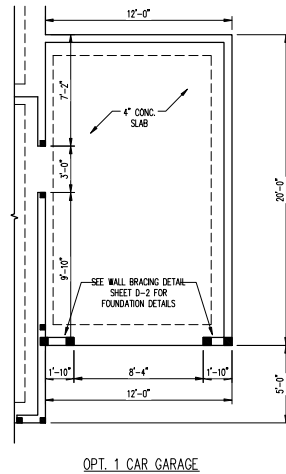
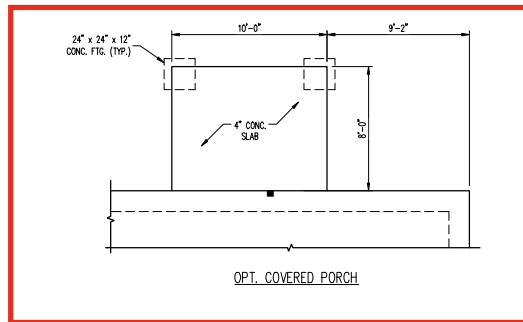
1724

FRONT ELEVATION  
REAR AND SIDE ELEVATIONS  
SECTIONAL  
ROOF PLAN  
MISC. DETAILS

SHEET  
A3.1

ELEVATION "B" - FARMHOUSE

SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.



- 150 MPH ULTIMATE DESIGN WIND SPEED.  
NOTES FOR LESS THAN  
30' MEAN ROOF HEIGHT.
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
  - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 ("HIGH WIND ZONE") FOR 150 MPH WINDS.
  - BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 ("HIGH WIND ZONE") FOR 150 MPH WINDS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - FOUNDATION ANCHORAGE TO COMPLY WITH SECTION 404 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
  - WALL CLADDING DESIGNED FOR +14.2 PSF AND -32 PSF (+/- INDICATE POSITIVE / NEGATIVE PRESSURE (TYP.)).
  - ROOF CLADDING DESIGNED FOR +12.3 PSF AND -38 PSF FOR ROOF PITCHES 7/12 TO 12/12 AND +14 PSF AND -51 PSF FOR ROOF PITCHES 2/12 TO 1/12.
  - 7/16" OSB SHEATHING IS REQUIRED ON ALL EXTERIOR WALLS.
  - WALLS TO BE BRACED IN ACCORDANCE WITH SECTION 800.2.3 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND AS NOTED ON PLANS.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.

- 120 MPH ULTIMATE DESIGN WIND SPEED.  
NOTES FOR LESS THAN  
30' MEAN ROOF HEIGHT.
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
  - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - INSTALL 1/2" ANCHOR BOLTS 8'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
  - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
  - EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
  - WALL CLADDING DESIGNED FOR +14.5 PSF AND -30 PSF (+/- INDICATE POSITIVE / NEGATIVE PRESSURE (TYP.)).
  - ROOF CLADDING DESIGNED FOR +14.2 PSF AND -18 PSF FOR ROOF PITCHES 7/12 TO 12/12 AND +10 PSF AND -38 PSF FOR ROOF PITCHES 2/12 TO 1/12.
  - INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION 800.2.3 OF THE NCRC, 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

8/29/2024

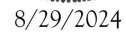
SEAL  
33736  
ENGINEER  
MATTHEW G. STROTHER

J.S. THOMPSON  
ENGINEERING, INC.  
331 EAST MAIN STREET, SUITE 200  
WILSON, NC 27157  
PHONE (919) 880-9919 FAX (919) 880-9921  
N.C. LICENSE NO. C-1133

EMBARK  
DREAM FINDERS HOMES

DATE: AUGUST 27, 2024  
SCALE: 1/4" = 1'-0"  
DRAWN BY: LOUIS BROWN DESIGN CO.  
ENGINEERED BY: WJB

S-1.2a  
MONO SLAB  
FOUNDATION PLAN



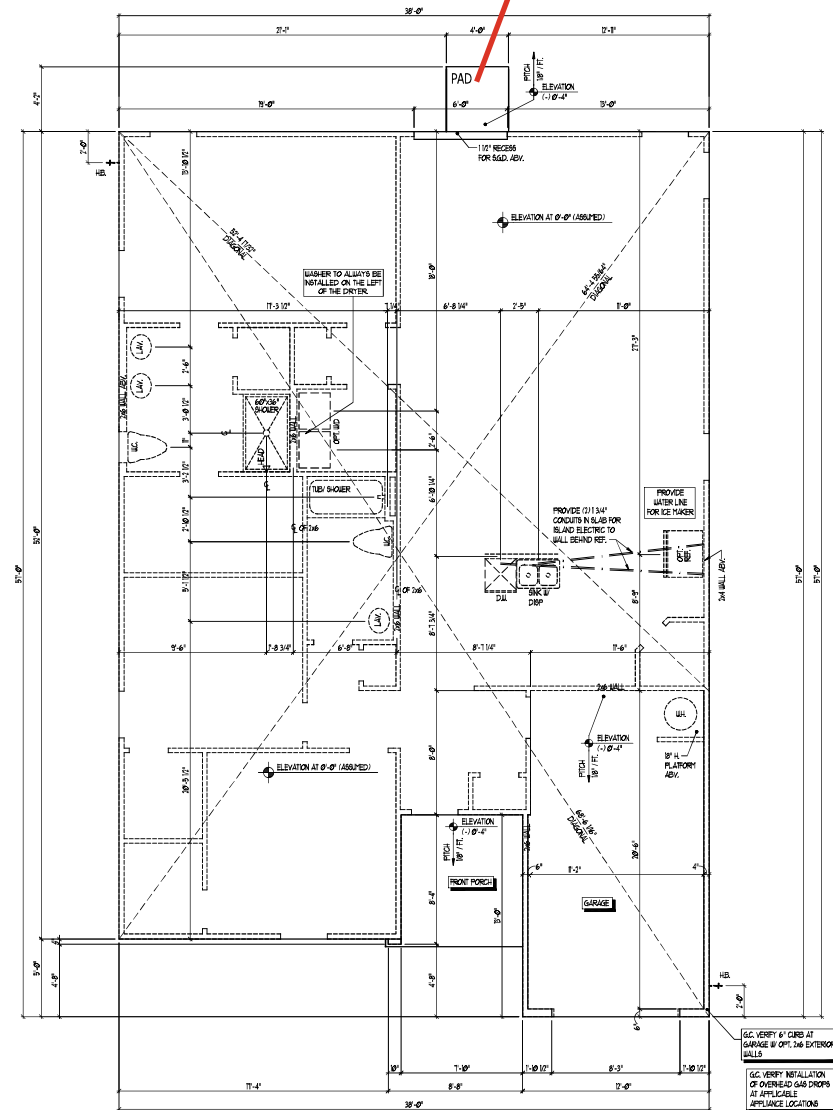
**J.S. THOMPSON**  
**ENGINEERING, INC.**  
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609  
PHONE: (919) 789-9919 FAX: (919) 789-9921  
N.C. LICENSE NO.: C-1733

EMBARK  
DREAM FINDERS HOMES

|                                   |
|-----------------------------------|
| DATE: AUGUST 27, 2024             |
| SCALE: 1/4" = 1'-0"               |
| DRAWN BY: DAVIS BREE'S DESIGN CO. |
| ENGINEERED BY: WFB                |

S-1.2b  
MONO SLAB  
FOUNDATION PLAN

COV PATIO



## FLOOR PLAN

SLAB INTERFACE PLAN A

ELEV. AS SHOWN  
SIMILAR AT ALL ELEVATIONS ( NO FLIPPING CHANGES)

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|               |          |
|---------------|----------|
| JOB NUMBER    | 27167.03 |
| CAO FILE NAME | EMBARK-R |
| ISSUED        | 11-08-17 |
| REVISED       | 11-17-17 |
|               | 09-14-18 |
|               | 02-04-20 |
|               | 06-01-20 |
|               | 06-08-20 |
|               | 12-01-22 |
|               | 12-07-22 |
|               | 08-15-24 |
|               |          |
|               |          |
|               |          |

DRAWINGS ON 11"x17"  
SHEET ARE ONE HALF  
THE SCALE NOTED

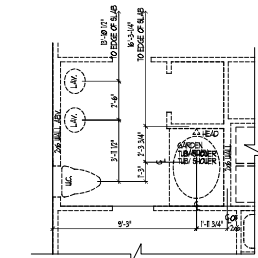
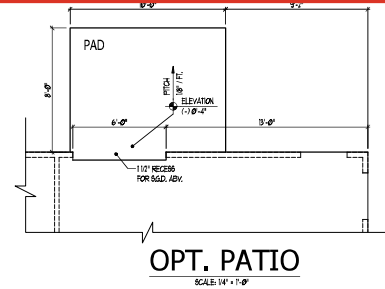
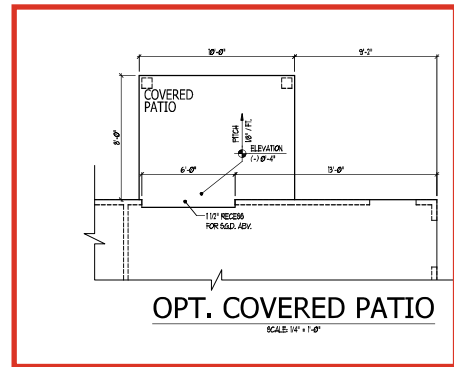
EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

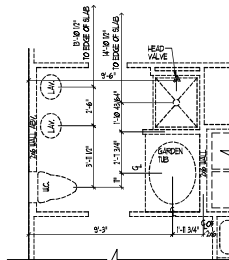
|                                                                                                    |
|----------------------------------------------------------------------------------------------------|
| <p align="center">TITLE</p> <p>SLAB INTERFACE PLAN</p> <p>---</p> <p>---</p> <p>---</p> <p>---</p> |
|----------------------------------------------------------------------------------------------------|

SHEET  
A1.0

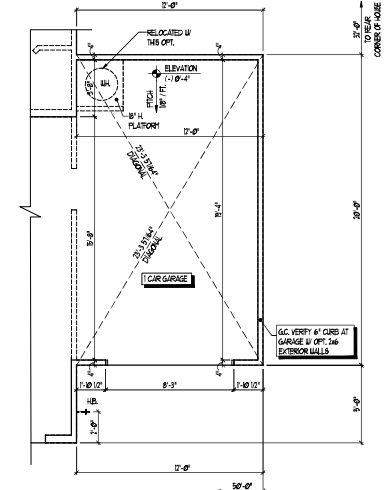
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OPT. OWNER'S BATH 3  
SCALE: 1/4" = 1'-0"



OPT. OWNER'S BATH 2  
SCALE: 1/4" = 1'-0"



OPT.1 CAR GARAGE  
SCALE: 1/4" = 1'-0"

OPT. SLAB INTERFACE PLANS



|            |          |
|------------|----------|
| JOB NUMBER | 27167.03 |
| DATE       | 11-28-17 |
| ISSUED     | 11-28-17 |
| REVISION   | 01-14-18 |
|            | 02-14-18 |
|            | 03-14-18 |
|            | 04-14-18 |
|            | 05-14-18 |
|            | 06-14-18 |
|            | 07-14-18 |
|            | 08-14-18 |

DRAWINGS ON 1/4" SHEET ARE ONE HALF THE SCALE NOTED

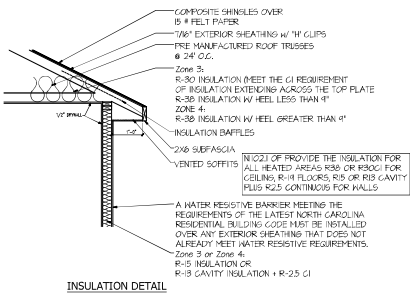
EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

TITLE  
SLAB INTERFACE PLAN

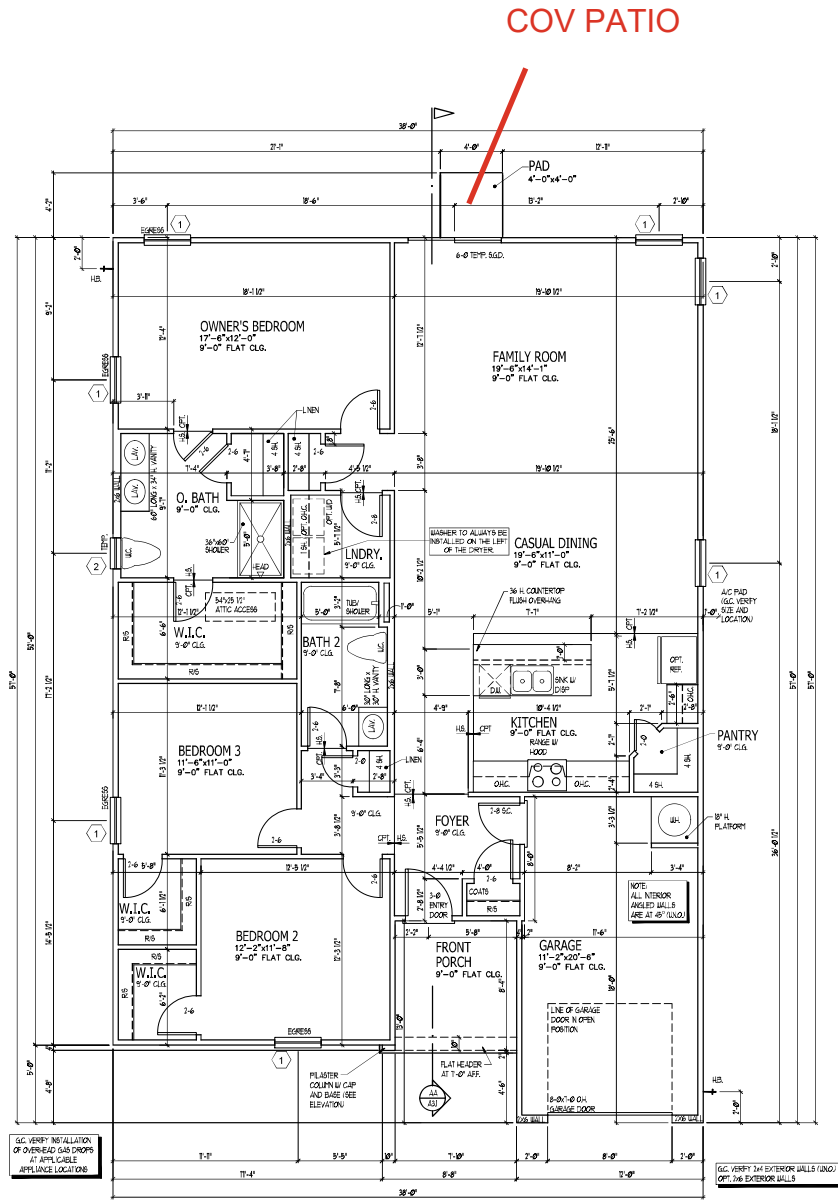
SHEET  
A1.1

| WINDOW SCHEDULE                             |       |        |             |             |
|---------------------------------------------|-------|--------|-------------|-------------|
| MARK                                        | WIDTH | HEIGHT | TYPE        | HEAD HEIGHT |
| (1)                                         | 3'-0" | 5'-0"  | SINGLE HUNG | 7'-0"       |
| (2)                                         | 2'-0" | 3'-0"  | SINGLE HUNG | 7'-0"       |
| (3)                                         | 3'-0" | 3'-0"  | SINGLE HUNG | 7'-0"       |
| SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC. |       |        |             |             |



| SQUARE FOOTAGE         |              |
|------------------------|--------------|
| HEATED AREAS           | ELEV. A'     |
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 65 SQ. FT.   |
| UNCOVERED AREAS        |              |
| PAD                    | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.  
 ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.  
 ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.  
 IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**FLOOR PLAN A**

DREAM FINDERS HOMES

JOB NUMBER: 27167.03  
 CAD FILE NAME: EMBARK-18  
 ISSUED: 11-28-17  
 REVISED: 11-17-17  
 09-14-18  
 09-21-18  
 09-28-18  
 09-29-18  
 09-29-18  
 09-15-18

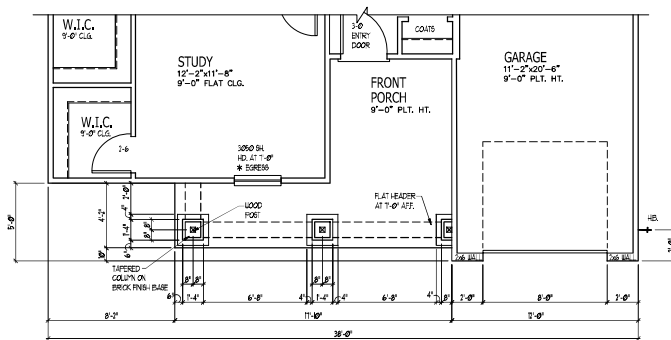
DRAWINGS ON 1/4\"/>

**EMBARC (GARAGE RIGHT)**  
**DREAM FINDERS HOMES**

1724

FLOOR PLAN

SHEET  
**A2.0**

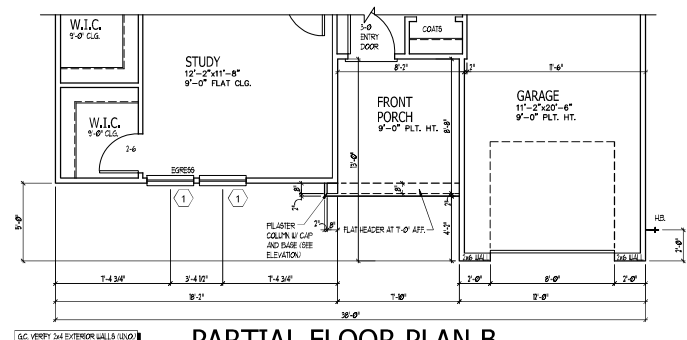


**PARTIAL FLOOR PLAN D2**

SCALE 1/4" = 1'-0"

**SQUARE FOOTAGE**

| HEATED AREAS           | ELEV 'D2'    |
|------------------------|--------------|
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 136 SQ. FT.  |
| UNCOVERED AREAS        |              |
| PATIO                  | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |



**PARTIAL FLOOR PLAN B**

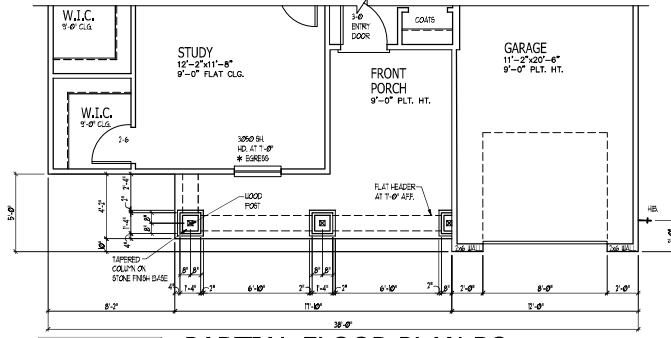
SCALE 1/4" = 1'-0"

**SQUARE FOOTAGE**

| HEATED AREAS           | ELEV 'B'     |
|------------------------|--------------|
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 72 SQ. FT.   |
| UNCOVERED AREAS        |              |
| PATIO                  | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

| WINDOW SCHEDULE |       |        |             |       |
|-----------------|-------|--------|-------------|-------|
| MARK            | SIZE  | TYPE   | HEAD HEIGHT |       |
|                 | WIDTH | HEIGHT |             |       |
| (1)             | 30"   | 50"    | SINGLE HUNG | 7'-0" |
| (2)             | 20"   | 30"    | SINGLE HUNG | 7'-0" |
| (3)             | 30"   | 30"    | SINGLE HUNG | 7'-0" |

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.

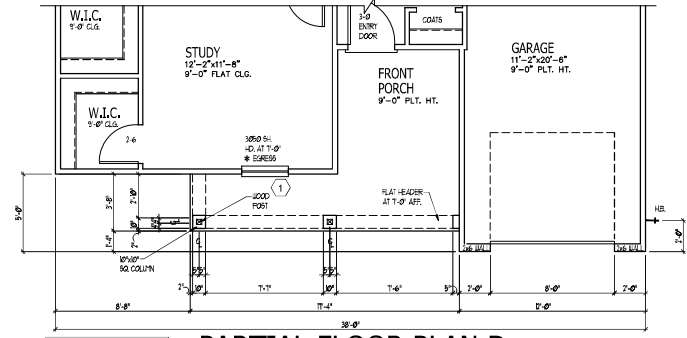


**PARTIAL FLOOR PLAN D3**

SCALE 1/4" = 1'-0"

**SQUARE FOOTAGE**

| HEATED AREAS           | ELEV 'D3'    |
|------------------------|--------------|
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 136 SQ. FT.  |
| UNCOVERED AREAS        |              |
| PATIO                  | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |



**PARTIAL FLOOR PLAN D**

SCALE 1/4" = 1'-0"

**SQUARE FOOTAGE**

| HEATED AREAS           | ELEV 'D'     |
|------------------------|--------------|
| LIVING                 | 1725 SQ. FT. |
| TOTAL HEATED SF        | 1725 SQ. FT. |
| UNHEATED AREAS         |              |
| GARAGE                 | 248 SQ. FT.  |
| COVERED AREAS          |              |
| FRONT PORCH            | 126 SQ. FT.  |
| UNCOVERED AREAS        |              |
| PATIO                  | 16 SQ. FT.   |
| HEATED OPTIONS         |              |
| UNHEATED OPTIONS       |              |
| OPTIONAL PATIO         | 80 SQ. FT.   |
| OPTIONAL COVERED PATIO | 80 SQ. FT.   |
| OPTIONAL 1-CAR GARAGE  | 240 SQ. FT.  |

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

DREAM FINDERS HOMES

|               |           |
|---------------|-----------|
| JOB NUMBER    | 27167.03  |
| DWG FILE NAME | EMBARK-08 |
| ISSUED        | 11-08-17  |
| REVISION      | 11-17-18  |
|               | 09-14-18  |
|               | 09-14-18  |
|               | 09-14-18  |
|               | 09-14-18  |
|               | 12-01-20  |
|               | 08-15-21  |

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

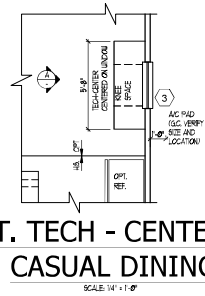
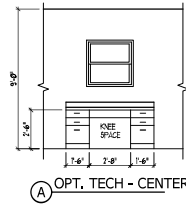
EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

TITLE  
FLOOR PLAN OPTIONS

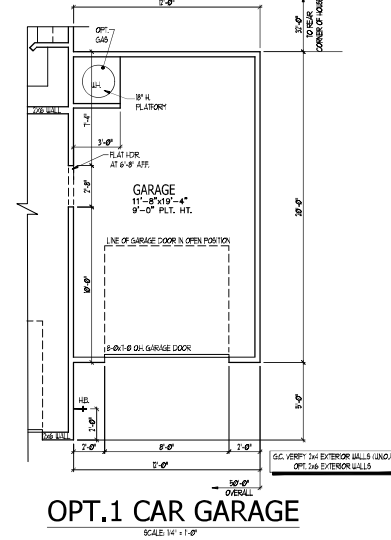
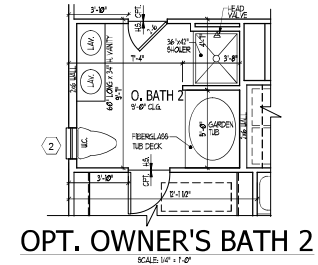
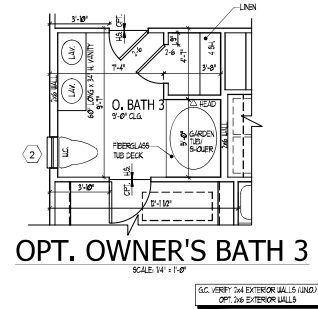
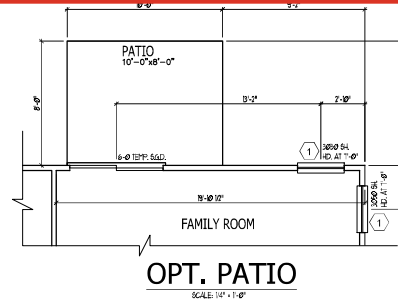
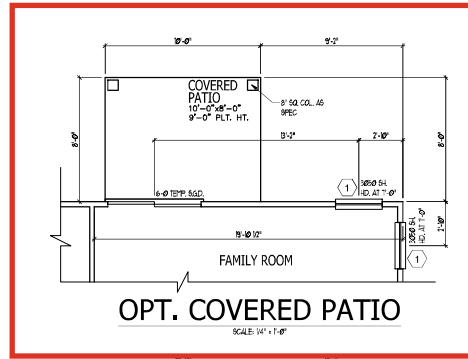
SHEET  
A2.1





| WINDOW SCHEDULE |       |        |             |             |
|-----------------|-------|--------|-------------|-------------|
| MARK            | SIZE  |        | TYPE        | HEAD HEIGHT |
|                 | WIDTH | HEIGHT |             |             |
| (1)             | 30"   | 50"    | SINGLE HUNG | 7'0"        |
| (2)             | 20"   | 30"    | SINGLE HUNG | 7'0"        |
| (3)             | 30"   | 30"    | SINGLE HUNG | 7'0"        |

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.



OPT. FLOOR PLANS



| JOB NUMBER | 27167.03 |
|------------|----------|
| DATE       | 11-28-17 |
| ISSUED     | 11-28-17 |
| REVISION   |          |
| 01         | 11-28-17 |
| 02         | 11-28-17 |
| 03         | 11-28-17 |
| 04         | 11-28-17 |
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| 08         | 11-28-17 |
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| 96         | 11-28-17 |
| 97         | 11-28-17 |
| 98         | 11-28-17 |
| 99         | 11-28-17 |
| 100        | 11-28-17 |

DRAWINGS ON 1/4" X 1/4" SHEET ARE ONE HALF THE SCALE NOTED

EMBARK (GARAGE RIGHT) DREAM FINDERS HOMES

1724

TITLE FLOOR PLAN OPTIONS

SHEET A2.2

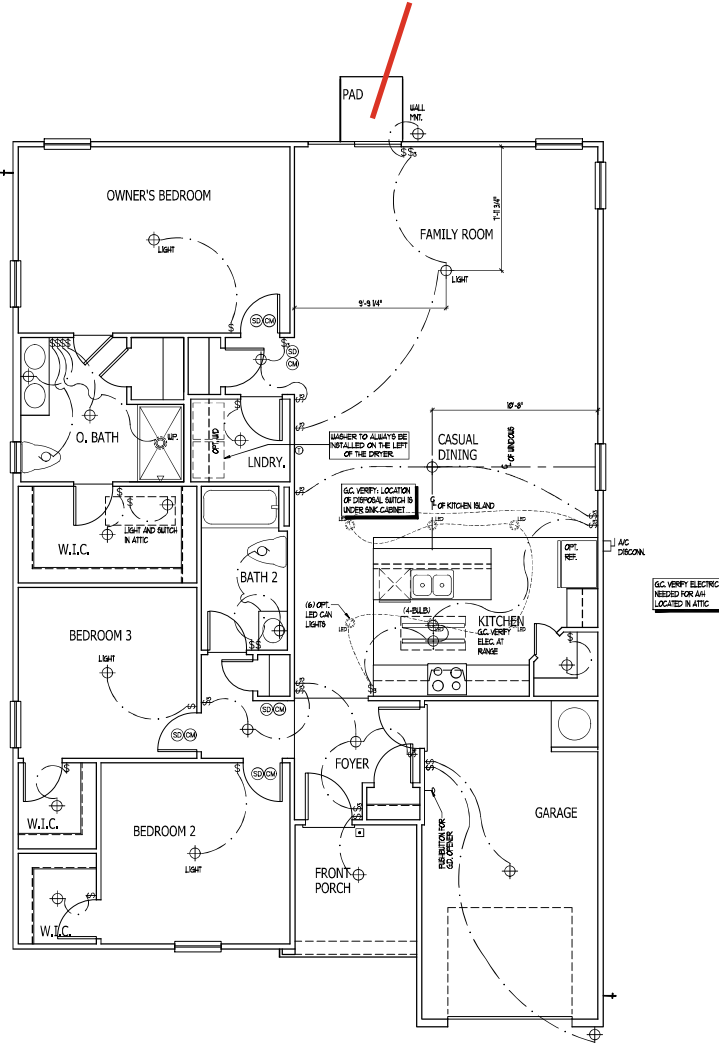
ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

COV PATIO

ELECTRICAL KEY

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-WITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ LED CAN LIGHT
- ⊕ LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/HEAT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPTIONAL)
- ⊕ CLOSET (OPTIONAL)
- ⊕ FIRE-RESISTANT SWITCH (OPTIONAL)
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE / CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE (OPTIONAL)
- ⊕ TELEVISION (OPTIONAL)
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ DISCONNECT SWITCH
- ⊕ BREAKER (OPTIONAL)
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

- NOTES:
1. PROVIDE AND INSTALL GROUND FAULT CIRCUT INTERRUPTERS (GFCI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
  2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:  
SWITCHES... 4"  
OUTLETS... 18"  
TELEPHONE... 12" (UNLESS ADV. CONTRAST)  
TELEVISION... 3"
  3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP, PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
  4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, LUNARIES, CENS, HALLWAYS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND WIPAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TYPED-PROOF RECEPTACLES FOR 15A, 20A AND 250A.
  5. ALL 15A AND 20A 150V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
  6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NEPA, 10 NEC, 20V, AND ALL APPLICABLE LOCAL STANDARDS, CODES AND ORDINANCES.
  7. EVERY BUILDING HAVING A FURNACE, BOILER, BURNING HEATER OR APPLIANCE, FURNACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
  8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN EACH WIRING IS DERIVED FROM THE LOCAL POWER UTILITY. ALL ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE-CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



FLOOR PLAN  
SCALE 1/4" = 1'-0"

ELECTRICAL PLAN A  
SHEETS AT ELEVATIONS



|            |           |
|------------|-----------|
| JOB NUMBER | 27167.03  |
| DATE NAME  | EMBARK-18 |
| ISSUED     | 11-28-17  |
| REVISED    | 11-17-17  |
|            | 09-14-18  |
|            | 02-01-20  |
|            | 06-02-20  |
|            | 06-02-20  |
|            | 06-02-20  |
|            | 06-15-21  |

DRAWINGS ON 1/4" SHEET ARE ONE HALF THE SCALE NOTED

EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES

1724

ELECTRICAL PLAN

SHEET  
E1.0

## ELECTRICAL KEY

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND WALL INTERFERER DUPLEX OUTLET
- ⊕ WALL-MOUNTED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 200 VOLT OUTLET
- 1 WALL SWITCH
- 3/4 THREE-WAY SWITCH
- 3/4 FOUR-WAY SWITCH
- 3/4 DIMMER SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ LED CAN LIGHT
- ⊕ LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FANLIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPTIONAL)
- ⊕ CHIMNEY (OPTIONAL)
- ⊕ FIBER-OPTIC SWITCH (OPTIONAL)
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE / CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE (OPTIONAL)
- ⊕ TELEVISION (OPTIONAL)
- ⊕ THERMISTOR
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER (OPTIONAL)
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

### NOTES:

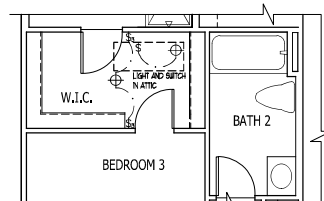
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS NOTED IN 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
  - SWITCHES... 4"
  - OUTLETS... 14"
  - TELEPHONE... 14" (UNLESS ABV COUNTERTOP)
  - TELEVISION... 34"
3. ALL SMOKE DETECTORS SHALL BE WIRING INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL BA AND DBA RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, KITCHENS, RECREATION ROOMS, CLOSET, HALLWAYS, AND OTHER AREAS SHALL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 406.3 AND 406.5.
5. ALL BA AND DBA DBA RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NEPA, TO NEC 901 AND ALL APPLICABLE LOCAL, STATE, FEDERAL, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSEL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING OR BY BATTERY BACKUP. BATTERY BACKUP SHALL BE SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LIMITED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

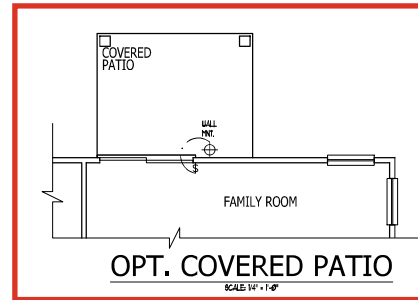
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES, NOT RELATED TO THE CORRECTION OF ERRORS THAT WERE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

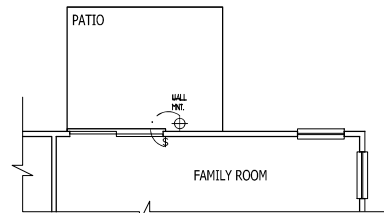
IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



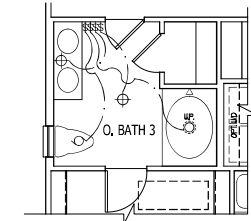
**OPT. DOOR FROM  
BEDROOM 3 TO WIC**  
SCALE 1/4" = 1'-0"



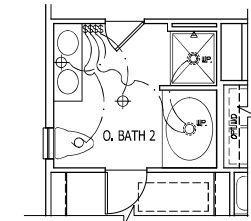
**OPT. COVERED PATIO**  
SCALE 1/4" = 1'-0"



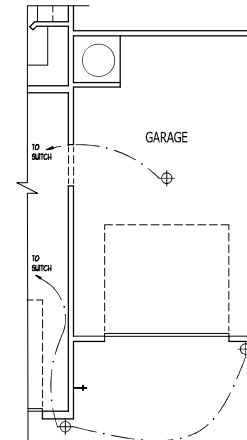
**OPT. PATIO**  
SCALE 1/4" = 1'-0"



**OPT. OWNER'S BATH 3**  
SCALE 1/4" = 1'-0"



**OPT. OWNER'S BATH 2**  
SCALE 1/4" = 1'-0"



**OPT.1 CAR GARAGE**  
SCALE 1/4" = 1'-0"

**OPT. ELECTRICAL PLANS**



|            |          |
|------------|----------|
| JOB NUMBER | 27167.03 |
| DATE       | 11-28-11 |
| ISSUED     | 11-28-11 |
| REVISED    | 09-14-10 |
|            | 02-24-10 |
|            | 02-24-10 |
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|            | 02-24-10 |
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|            | 02-24-10 |
|            | 02-24-10 |

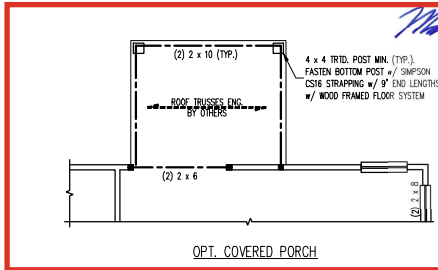
DRAWINGS ON 1/4" X 1/2" SHEET ARE ONE HALF THE SCALE NOTED

**EMBARK (GARAGE RIGHT)  
DREAM FINDERS HOMES**

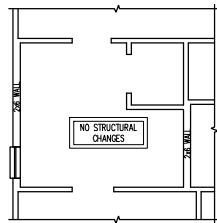
**1724**

|                         |
|-------------------------|
| ELECTRICAL PLAN OPTIONS |
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|                         |

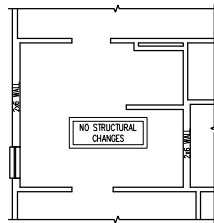
**E1.1**



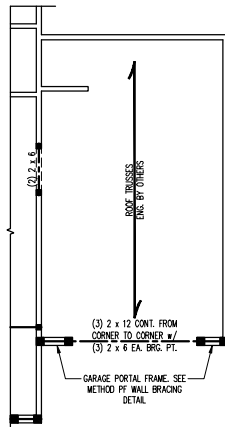
OPT. COVERED PORCH



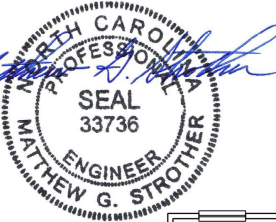
OPT. OWNER'S BATH 3



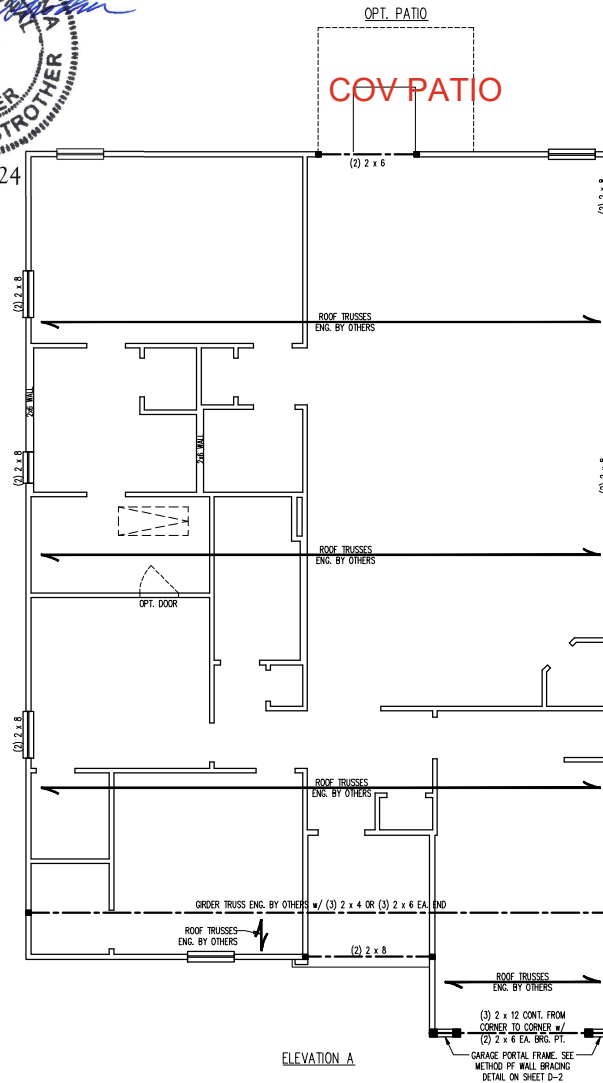
OPT. OWNER'S BATH 2



OPT. 1 CAR GARAGE



8/29/2024



ELEVATION A

OPT. PATIO  
COV PATIO

SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.

BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY ENGINEERED DESIGN" OF THE NRC 2018 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.1 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
- SHEATH ALL EXTERIOR WALLS w/ 7/16" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NRC 2018 EDITION.
- CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG #4 COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION.
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP ORDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIMPSON AB444 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ AB466 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS, FASTEN ANGLES TO COLUMNS w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

\*NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. 2 x 6 SPF #2 @ 24" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS (UNO). ALL INTERIOR LOAD BEARING AND NON-LOAD BEARING WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).

| LEGEND |                        |
|--------|------------------------|
| CONT   | CONTINUOUS             |
| XJ     | EXTRA JOIST            |
| DJ     | DOUBLE JOIST           |
| TJ     | TRIPLE JOIST           |
| EA     | EACH                   |
| ( )    | NUMBER OF STUDS        |
| DSP    | DOUBLE STUD POCKET     |
| TSP    | TRIPLE STUD POCKET     |
| OC     | ON CENTER              |
| SPF    | SPIRUE PINE FIB        |
| SYP    | SOUTHERN YELLOW PINE   |
| TRD    | PRESSURE TREATED       |
| TYP    | TYPICAL                |
| UNO    | UNLESS NOTED OTHERWISE |

TABLE R602.7.5  
MINIMUM NUMBER OF FULL HEIGHT KING STUDS  
AT EACH END OF HEADERS IN EXTERIOR WALLS

| HEADER SPAN (FEET) | MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS) |
|--------------------|---------------------------------------------|
| UP TO 3'           | 1                                           |
| > 3' TO 4'         | 2                                           |
| > 4' TO 6'         | 3                                           |
| > 6' TO 12'        | 4                                           |
| > 12' TO 15'       | 5                                           |

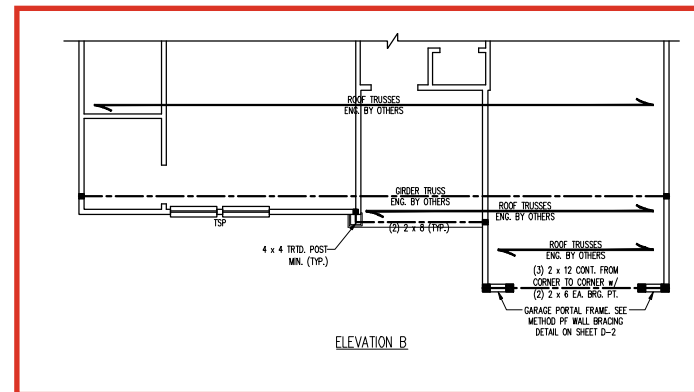
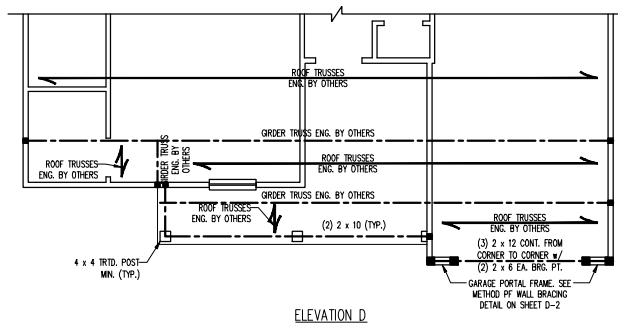
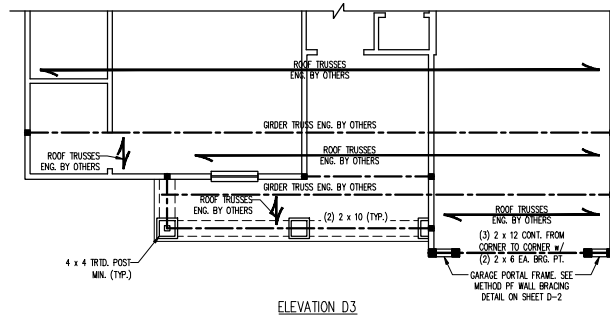
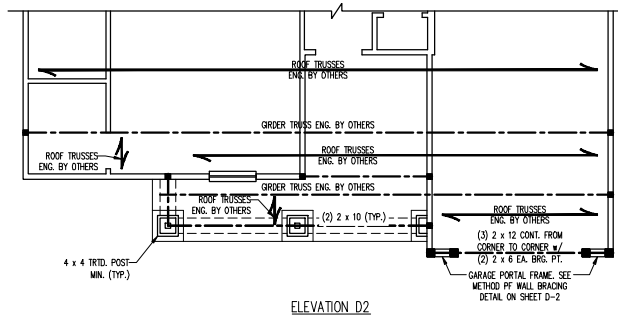
**J.S. THOMPSON  
ENGINEERING INC.**  
101 EAST MAIN STREET, SUITE 100  
FARMINGTON, NC 28731  
PHONE (813) 889-9919 FAX (813) 889-9921  
N.C. LICENSE NO. C-1133

EMBARK  
DREAM FINDERS HOMES

DATE: AUGUST 27, 2024  
SCALE: 1/4" = 1'-0"  
DRAWN BY: LOUIS BERRY DESIGN CO.  
ENGINEERED BY: WTB

S-2a  
ATTIC FLOOR  
FRAMING PLAN

SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
1" x 11" PRINTS ARE ONE HALF THE NOTED SCALE.



8/29/2024

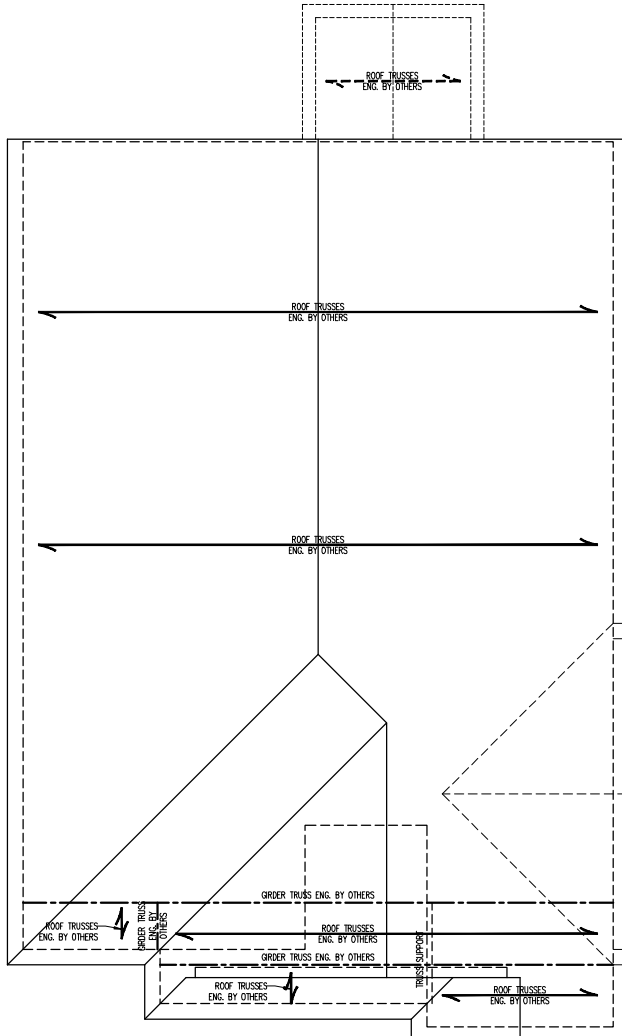
**J.S. THOMPSON  
ENGINEERING, INC.**  
331 EAST 3RD STREET, SUITE 100  
FAYETTEVILLE, NC 28404  
PHONE (919) 880-9919 FAX (919) 880-9921  
N.C. LICENSE NO. C-1133

EMBARK  
DREAM FINDERS HOMES

DATE: AUGUST 27, 2024  
SCALE: 1/4" = 1'-0"  
DRAWN BY: LOGAN BERRY DESIGN CO.  
ENGINEERED BY: WTB

S-2b  
ATTIC FLOOR  
FRAMING PLAN

OPTIONAL COVERED PORCH



ELEVATIONS D, D2 & D3

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
4. HRP STUDS ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
5. STOCK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TIE NAILS.
7. REFER TO SECTION R802.11 OF THE 2018 NIRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

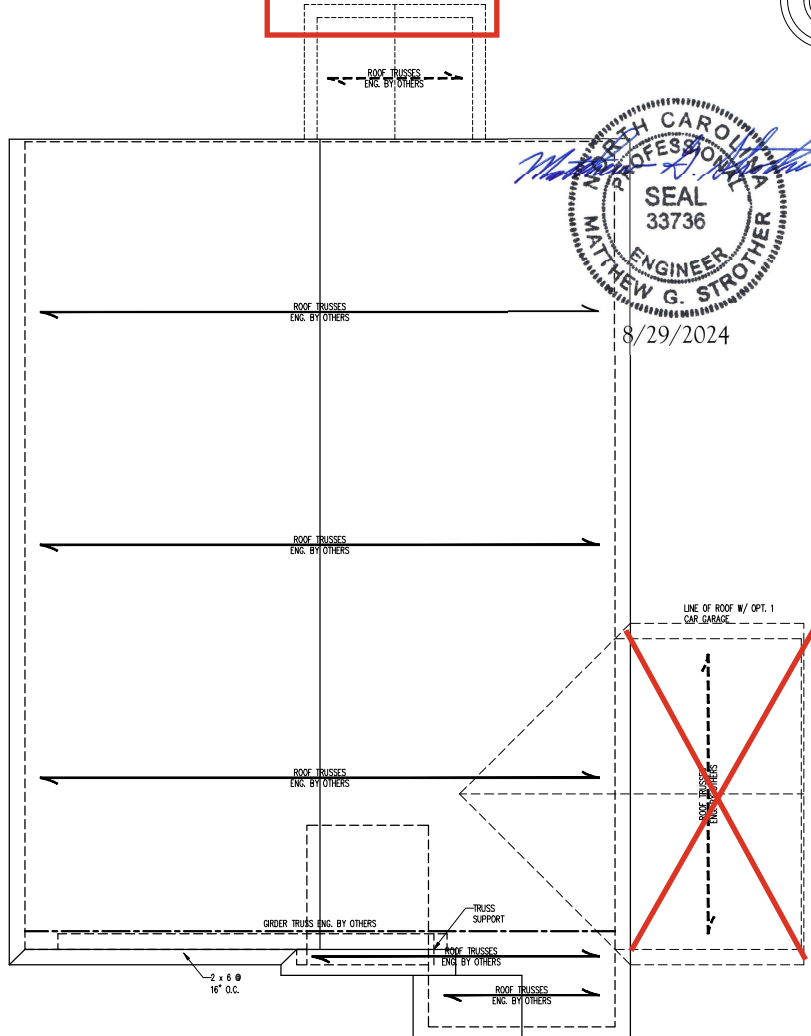
LEGEND

|      |                        |
|------|------------------------|
| XT   | EXTRA TRUSS            |
| TS   | TRUSS SUPPORT          |
| XR   | EXTRA RAFTER           |
| RS   | RAFTER SUPPORT         |
| CONT | CONTINUOUS             |
| EA   | EACH                   |
| OC   | ON CENTER              |
| SPF  | SPRUCE PINE FIR        |
| SYP  | SOUTHERN YELLOW PINE   |
| TYP  | TYPICAL                |
| UNO  | UNLESS NOTED OTHERWISE |

LINE OF ROOF W/ OPT. 1  
CAR GARAGE

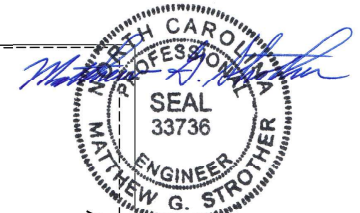
ROOF TRUSSES  
ENG. BY OTHERS

OPTIONAL COVERED PORCH



ELEVATION B

SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.



8/29/2024

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N.C. LICENSE NO. C-1133

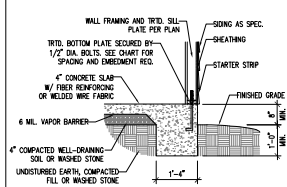
EMBARK  
DREAM FINDERS HOMES

DATE: AUGUST 27, 2024  
SCALE: 1/4" = 1'-0"  
DRAWN BY: EMBAK DESIGN GROUP, LLC  
ENGINEERED BY: WJB

S-3b  
ROOF FRAMING  
PLAN

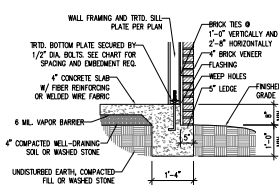
## MONOLITHIC SLAB DETAILS

DETAIL 1



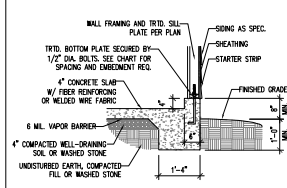
TYPICAL SLAB DETAIL

DETAIL 2



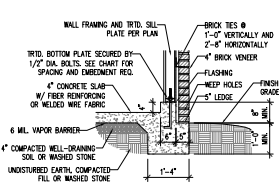
BRICK VENEER DETAIL

DETAIL 3



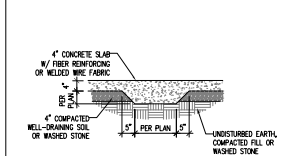
GARAGE CURB DETAIL

DETAIL 4



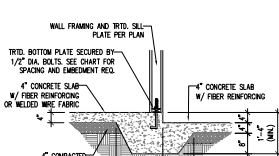
GARAGE CURB BRICK LEDGE DETAIL

DETAIL 5



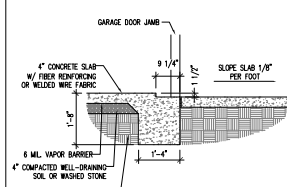
THICKENED SLAB DETAIL

DETAIL 6



STEP IN GARAGE DETAIL

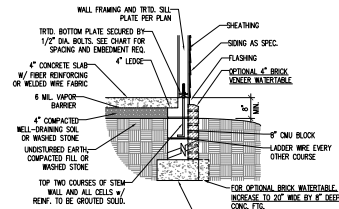
DETAIL 7



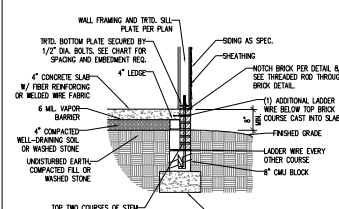
SLAB AT GARAGE DOOR DETAIL

## STEM WALL DETAILS

DETAIL 1

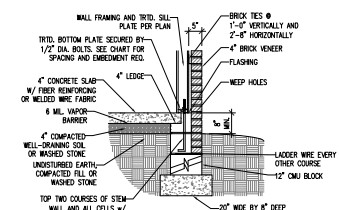
TYPICAL STEM WALL DETAIL  
(W/ OPTIONAL WATERTABLE)

OPTIONAL DETAIL 1



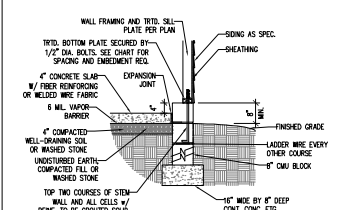
OPTIONAL STEM WALL DETAIL

DETAIL 2

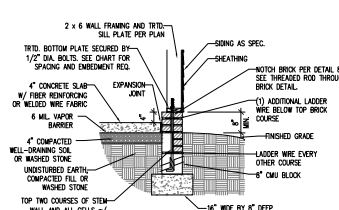


TYPICAL STEM WALL FND. W/ BRICK DETAIL

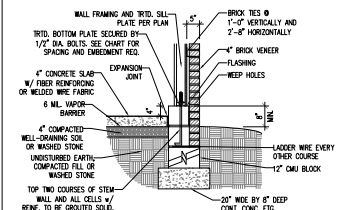
DETAIL 3

TYPICAL STEM WALL FND. DETAIL  
W/ CURB @ GARAGE

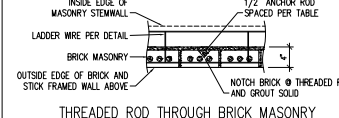
OPTIONAL DETAIL 3

OPTIONAL STEM WALL FND. DETAIL  
W/ CURB @ GARAGE

DETAIL 4

TYPICAL STEM WALL FND. DETAIL W/ BRICK  
AND CURB @ GARAGE

DETAIL 8



THREADED ROD THROUGH BRICK MASONRY

## MASONRY STEM WALL SPECIFICATIONS

| WALL HEIGHT<br>(FEET) | MASONRY WALL TYPE                          |                                       |                                       |                                       |
|-----------------------|--------------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|
|                       | 8" CMU                                     | 4" BRICK AND<br>8" CMU                | 4" BRICK AND<br>8" CMU                | 12" CMU                               |
| 2 AND BELOW           | UNGROUTED                                  | GROUT SOLID                           | UNGROUTED                             | UNGROUTED                             |
| 3                     | UNGROUTED                                  | GROUT SOLID                           | UNGROUTED                             | UNGROUTED                             |
| 4                     | GROUT SOLID                                | GROUT SOLID w/ #4<br>REBAR @ 48" O.C. | GROUT SOLID                           | GROUT SOLID w/ #4<br>REBAR @ 64" O.C. |
| 5                     | GROUT SOLID w/ #4<br>REBAR @ 36" O.C.      | NOT APPLICABLE                        | GROUT SOLID w/ #4<br>REBAR @ 36" O.C. | GROUT SOLID w/ #4<br>REBAR @ 64" O.C. |
| 6                     | GROUT SOLID w/ #4<br>REBAR @ 24" O.C.      | NOT APPLICABLE                        | GROUT SOLID w/ #4<br>REBAR @ 24" O.C. | GROUT SOLID w/ #4<br>REBAR @ 64" O.C. |
| 7 AND GREATER         | ENGINEERED DESIGN BASED ON SITE CONDITIONS |                                       |                                       |                                       |

## STRUCTURAL NOTES:

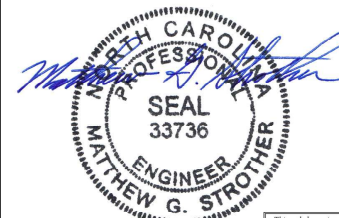
1. WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
2. THE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
4. BACKFILL OF CLEAN #57 / #57 WASHED - GRAVEL MIXTURE SOILS (AS PSF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE 4.02.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
5. BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (AS PSF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE 4.02.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
6. PREP SLAB PER 806.2.1 AND 806.2.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
7. MINIMUM 24" LAP SPLICE LENGTH.
8. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
9. WHERE REQUIRED, FULL SLOK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

## ANCHOR SPACING AND EMBEDMENT

| WIND ZONE | 120 MPH                                                                                             | 130 MPH                                                                                             |
|-----------|-----------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|
| SPACING   | 6'-0" O.C.<br>INSTALL MIN. (2) ANCHORS PER<br>PLATE SECTION AND (1) ANCHOR<br>WITHIN 12" OF CORNERS | 4'-0" O.C.<br>INSTALL MIN. (2) ANCHORS PER<br>PLATE SECTION AND (1) ANCHOR<br>WITHIN 12" OF CORNERS |
| EMBEDMENT | 7"                                                                                                  | 15" INTO MASONRY<br>7" INTO CONCRETE                                                                |

## NOTE:

THREADED ROD WITH EPOXY, SIMPSON ITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LEV OF 1/2" ANCHOR BOLTS.



8/29/2024

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ENGINEERING, INC.**  
111 EAST STATE ROAD, SUITE 100, BALABEE, NC 28009  
PHONE: (919) 789-9191 FAX: (919) 789-9191  
N.C. LICENSE #01131

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
FOUNDATION DETAILS  
DREAM FINDERS HOMES

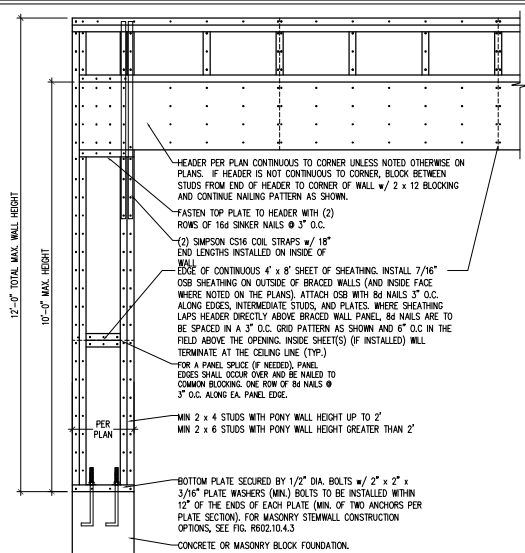
DATE: 11/29/2022  
SCALE: N/A  
DRAWN BY: JAT  
CHECKED BY: JAT

D-1  
FOUNDATION DETAILS

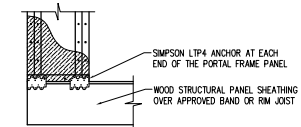


## GENERAL WALL BRACING NOTES:

- WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NRC.
- SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
- BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STORIES BELOW THE TOP FLOOR, HAVE BEEN DESIGNED PER R602.3.5 (3). WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERED PRACTICE.
- SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1.
- CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNL.O.).
- GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UNL.O.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R702.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). EXTERIOR GB TO BE INSTALLED VERTICALLY.
- REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-WSP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES .5 ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 1.5 TIMES ITS ACTUAL LENGTH.



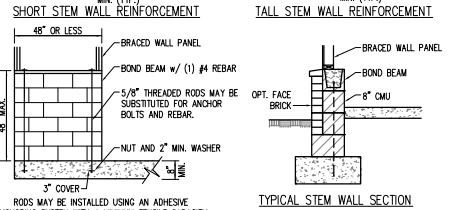
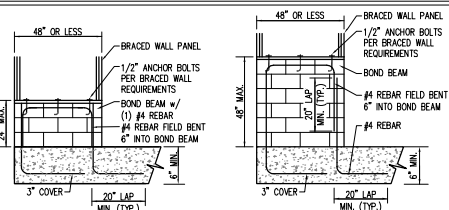
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

\* APPLICABLE w/ GREATER THAN 12" KNEE WALL HEIGHTS IN CRANK SPACE AND ABOVE FRAMED BASEMENT WALLS

## METHOD PF-PORTAL FRAME DETAIL ①

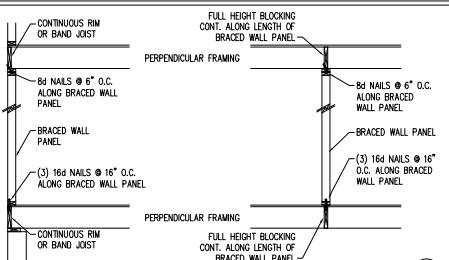


## OPTIONAL STEM WALL REINFORCEMENT

NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS

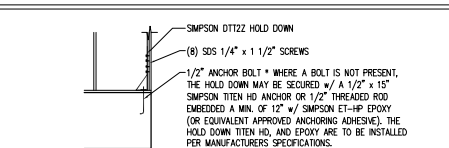
## MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS ②

PER FIGURE R602.10.4.3



## BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING ③

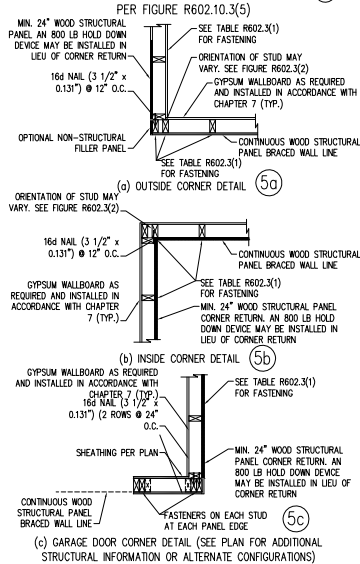
PER FIGURE R602.10.4.4(1)



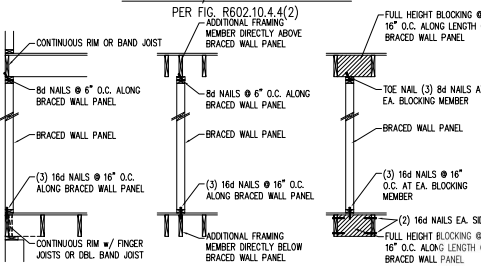
## HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB ④

\* APPLICABLE ONLY WHERE SPECIFIED ON PLAN \*

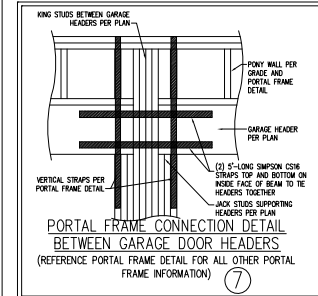
## TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING ⑤



## BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING ⑥

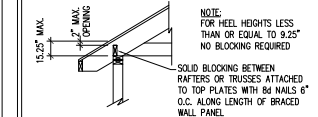


SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



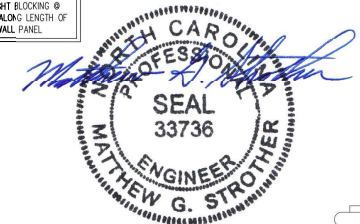
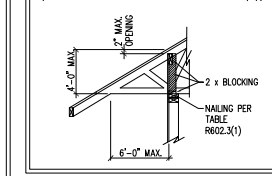
## BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS ⑧

PER FIGURE R602.10.4.5(1)



## BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES ⑨

PER FIGURE R602.10.4.5(3)  
(OR ALTERNATIVE: FIGURE R602.10.4.5(2))



8/29/2024

**J.S. THOMPSON ENGINEERING INC.**  
120-130 MPH ULTIMATE DESIGN WIND SPEED  
WALL BRACING NOTES AND DETAILS  
DREAM FINDERS HOMES

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
WALL BRACING NOTES AND DETAILS  
DREAM FINDERS HOMES

DATE: NOVEMBER 25, 2022  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JST  
ENGINEERED BY: JST

D-2  
BRACED WALL  
NOTES AND DETAILS  
AND PF DETAIL

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SCALE NOTE:  
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.  
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.

### GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, ORDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

- STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2018 EDITION (R301.4 - R301.7)

| DESIGN CRITERIA:               | LIVE LOAD (PSF)                                   | DEAD LOAD (PSF) | DEFLECTION (IN)                   |
|--------------------------------|---------------------------------------------------|-----------------|-----------------------------------|
| ATTIC WITH LIMITED STORAGE     | 20                                                | 10              | L/240 (L/360 w/ BRITTLE FINISHES) |
| ATTIC WITHOUT STORAGE          | 10                                                | 10              | L/360                             |
| DECKS                          | 40                                                | 10              | L/360                             |
| EXTERIOR BALCONIES             | 40                                                | 10              | L/360                             |
| FIRE ESCAPES                   | 40                                                | 10              | L/360                             |
| HANDRAILS/GUARDRAILS           | 200                                               | 10              | L/360                             |
| PASSENGER VEHICLE GARAGE       | 50                                                | 10              | L/360                             |
| ROOMS OTHER THAN SLEEPING ROOM | 40                                                | 10              | L/360                             |
| SLEEPING ROOMS                 | 30                                                | 10              | L/360                             |
| STAIRS                         | 40                                                | 10              | L/360                             |
| WIND LOAD                      | (BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE) |                 |                                   |
| GROUND SNOW LOAD: Pg           | 20 (PSF)                                          |                 |                                   |

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480  
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD

- FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRC, 2018 EDITION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.

### FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN BRACKED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRC, 2018 EDITION.
- PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAVED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, ACI 308-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE NRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(5) OF THE NRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

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### FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv = 175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
  - A. W AND WT SHAPES: ASTM A992
  - B. CHANNELS AND ANGLES: ASTM A36
  - C. PLATES AND BARS: ASTM A36
  - D. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
  - E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S

- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):

- A. WOOD FRAMING (2) 1/2" DIA. x 4" LONG LAG SCREWS
- B. CONCRETE (2) 1/2" DIA. x 4" WEDGE ANCHORS
- C. MASONRY (FULLY GROUTED) (2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS
- D. STEEL PIPE COLUMN (4) 3/4" DIA. A325 BOLTS OR 3/16" FILLET WELD

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.

- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- ALL BEAMS, HEADERS, OR ORDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR ORDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR ORDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- FLUTCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCES), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA: THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
- FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON H6 OR L7512 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON C516 COL. STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.



8/29/2024

**J.S. THOMPSON  
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301 CALDWAY DRIVE, SUITE 100  
FARMER, NC 27834  
PHONE: (817) 788-8919 FAX: (817) 788-8921  
N.C. LICENSE NO. C-1731

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
STANDARD STRUCTURAL NOTES  
DREAM FINDERS HOMES

DATE: 11/29/2022  
SCALE: 1/8"  
DRAWN BY: JG  
CHECKED BY: JG  
DESIGNED BY: JG

S-0  
STRUCTURAL  
NOTES