

LOT 578 CREEKSIDE OAKS NORTH

INVENTORY MARKED

ENGAGE

DREAM FINDERS HOMES

9' CEILING

PLAN REVISIONS

04-01-20	GATHERING WAS CHANGED TO FAMILY CAFE WAS CHANGED TO CASUAL DINING. REVISED ROOM DIMENSIONS FOR THE FOLLOWING ROOM: FAMILY ROOM WAS 15'-0" X 16'-5", NOW IT IS 14'-10" X 16'-3". REMOVED HANSEN BOX AND DRYER VENT. CREATED NEW SHEETS FOR FIRST FLOOR PLAN AND SECOND FLOOR PLAN OPTIONS. UPDATED CUTSHEETS. ADDED (2) HOSE BIBBS RIGHT AND LEFT SIDE OF THE HOUSE. CHANGED 2X4 WALL AT LEFT GARAGE WALL TO 2X6. REMOVED OUTLETS, PHONES AND TV'S FROM ELECTRICAL PLANS. ADDED CARBON MONOXIDE DETECTOR AT BEDROOMS. UPDATED THE SF AS FOLLOWS: ELEV-A 1ND FLOOR WAS 916 SF, NOW 917 SF ELEV-A TOTAL SF WAS 1752 SF, NOW 1748 SF ELEV-C 2ND FLOOR WAS 917 SF, NOW 968 SF ELEV-C TOTAL SF WAS 1748 SF, NOW 1744 SF ELEV-C TOTAL SF WAS 1748 SF, NOW 1744 SF CREATED ELEVATION FARTHOUSE B'. CREATED ELEVATION ARTS AND CRAFTS 'D'. REMOVED HATCH AT SIDES AND REAR ELEVATIONS. CHANGED CORNER BOARDS ON ELEVATIONS TO BE 1X4 TRIM BOARD. SHOULD COACH LIGHTS ON ELEVATIONS. ADDED DIAGONAL DIMENSIONS ON SLAB INTERFACE PLAN. CREATED LEFT HAND GARAGE VERSION. REMOVED ELEVATION C. REMOVED FIRST STEP AT FIRST FLOOR AND ADDED IT TO SECOND FLOOR. UPDATED 50. FT. LOG. FIRST FLOOR WAS 917 SF, NOW 968 SF. GARAGE WAS 160 SF, NOW 293 SF. CHANGED SUITERS TO BE 14" WIDE.
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04-05-20	ADDED WINDOW SCHEDULE CHANGED FOULDER ROOM DOOR TO 216" CHANGED GARAGE WALL FROM 2X6 TO 2X4 CHANGED 1X10 TRIM ON ALL ELEVATIONS TO 1X8 TRIM CHANGED ALL WINDOW DOOR 4 GARAGE TRIM TO 4" ADDED DECORATIVE BRACKET DETAIL TO ELEVATION A 4 D ADDED DECORATIVE GABLE DETAIL TO ELEVATION B FIXED PORCHES SO COLUMNS DO NOT OVERHANG CONCRETE REMOVED COLUMN BASE FROM ELEVATION D AND CHANGED COLUMN TO 8" SQUARE FILL HEIGHT COLUMN CHANGED COAT CLOSET DOOR FROM 216 BIFOLD TO 216 DOOR CHANGED LINEN CLOSET DOOR FROM 216 BIFOLD TO 216 DOOR CHANGED BEDROOM 1 CLOSET DOOR FROM 216 BIFOLD TO 216 DOOR CHANGED BEDROOM 3 CLOSET DOOR FROM 216 BIFOLD TO 216 DOOR CHANGED OWNERS LINEN CLOSET DOOR FROM 216 BIFOLD TO 216 DOOR
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LOT 578 CREEKSIDE OAKS NORTH

INVENTORY MARKED

ENGAGE

DREAM FINDERS HOMES

9' CEILING

12-01-22	ADDED ELEVATION D2 SHOWING BRICK COLUMN AND D3 SHOWING STONE COLUMN. ADDED SQUARE FOOTAGE BLOCK FOR D2 AND D3 ELEVATIONS. CHANGED WALL BEHIND TOILET AND SINK OF BATH 2 FROM 2X6 TO 2X4 VERIFIED AND UPDATED OPTIONAL OWNERS BATH 2 4 3 LAYOUTS
04-14-23	WINDOW HEAD HEIGHT CHANGED TO 71" ON SECOND FLOOR ADDED (6) OPTIONAL LED CAN LIGHTS IN KITCHEN (06-15-23)
06-15-24	FIRST FLOOR CEILING HEIGHT CHANGED FROM 8'-0" TO 9'-0" OPTIONAL COVERED PATIO CREATED

SQUARE FOOTAGE		
AREA	ELEV 'A'	
FIRST FLOOR	776 SQ. FT.	
SECOND FLOOR	968 SQ. FT.	
TOTAL (HEATING)	1744 SQ. FT.	
GARAGE (UNHEATED)	259 SQ. FT.	
PORCH	36 SQ. FT.	
PAD	16 SQ. FT.	
OPTIONAL GARAGE	240 SQ. FT.	
OPTIONAL PATIO	80 SQ. FT.	
OPT. COVERED PATIO	80 SQ. FT.	

SQUARE FOOTAGE		
AREA	ELEV 'B'	
FIRST FLOOR	776 SQ. FT.	
SECOND FLOOR	968 SQ. FT.	
TOTAL (HEATING)	1744 SQ. FT.	
GARAGE (UNHEATED)	260 SQ. FT.	
PORCH	36 SQ. FT.	
PAD	16 SQ. FT.	
OPTIONAL GARAGE	240 SQ. FT.	
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SQUARE FOOTAGE		
AREA	ELEV 'D'	
FIRST FLOOR	776 SQ. FT.	
SECOND FLOOR	968 SQ. FT.	
TOTAL (HEATING)	1744 SQ. FT.	
GARAGE (UNHEATED)	260 SQ. FT.	
PORCH	61 SQ. FT.	
PAD	16 SQ. FT.	
OPTIONAL GARAGE	240 SQ. FT.	
OPTIONAL PATIO	80 SQ. FT.	
OPT. COVERED PATIO	80 SQ. FT.	

SQUARE FOOTAGE		
AREA	ELEV 'D2'	
FIRST FLOOR	776 SQ. FT.	
SECOND FLOOR	968 SQ. FT.	
TOTAL (HEATING)	1744 SQ. FT.	
GARAGE (UNHEATED)	260 SQ. FT.	
PORCH	61 SQ. FT.	
PAD	16 SQ. FT.	
OPTIONAL GARAGE	240 SQ. FT.	
OPTIONAL PATIO	80 SQ. FT.	
OPT. COVERED PATIO	80 SQ. FT.	

SQUARE FOOTAGE		
AREA	ELEV 'D3'	
FIRST FLOOR	776 SQ. FT.	
SECOND FLOOR	968 SQ. FT.	
TOTAL (HEATING)	1744 SQ. FT.	
GARAGE (UNHEATED)	260 SQ. FT.	
PORCH	61 SQ. FT.	
PAD	16 SQ. FT.	
OPTIONAL GARAGE	240 SQ. FT.	
OPTIONAL PATIO	80 SQ. FT.	
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DREAM FINDERS
HOMES

JOB NUMBER	B-1815878
CAD FILE NAME	1755-R
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REVISED	11-12-17
	09-12-18
	02-15-19
	02-11-20
	04-07-20
	04-08-20
	04-07-21
	04-14-23
	06-15-24

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

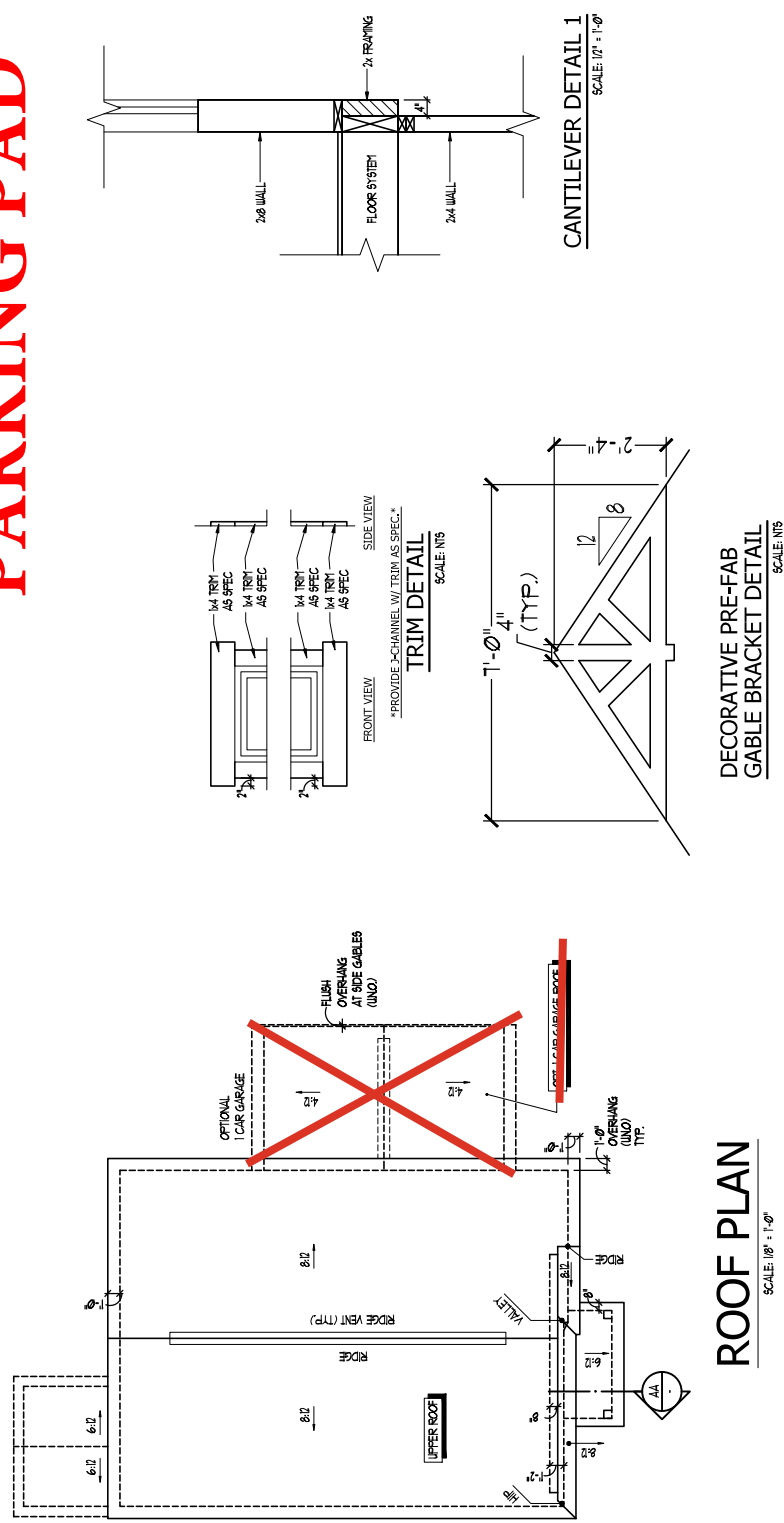
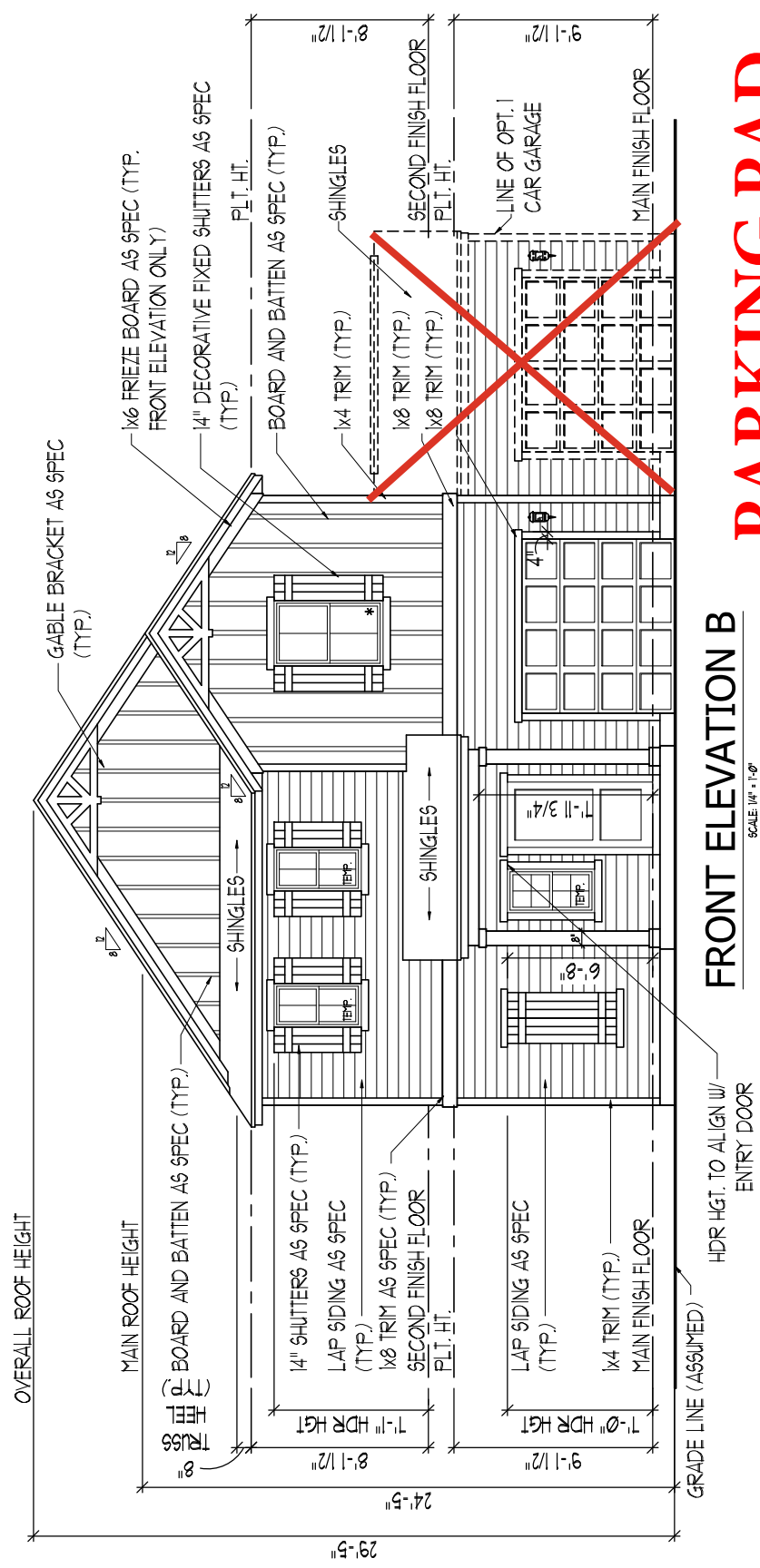
LOT 578 CREEKSIDE OAKS NORTH

ENGAGE -GARAGE RIGHT
DREAM FINDERS HOMES

1755

TITLE
REVISION LOG
-
-
-

SHEET
CS



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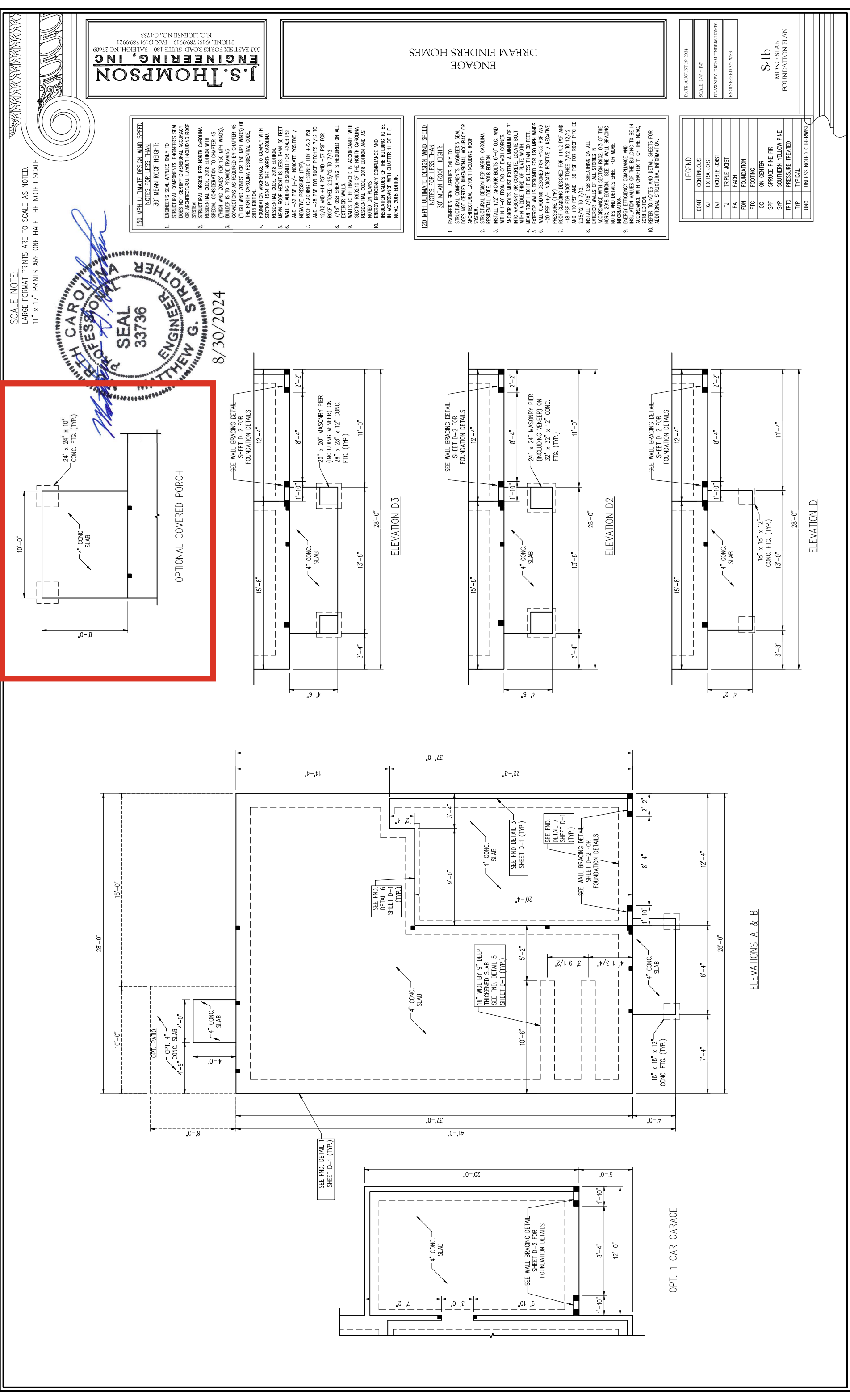
DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE
 FRONT ELEVATION
 REAR ELEVATION
 RIGHT ELEVATION
 LEFT ELEVATION
 ROOF PLAN
 BUILDING SECTION

A3.1
SHEET





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DRAWINGS ON 11"x17"
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ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE
SLAB INTERFACE PLAN

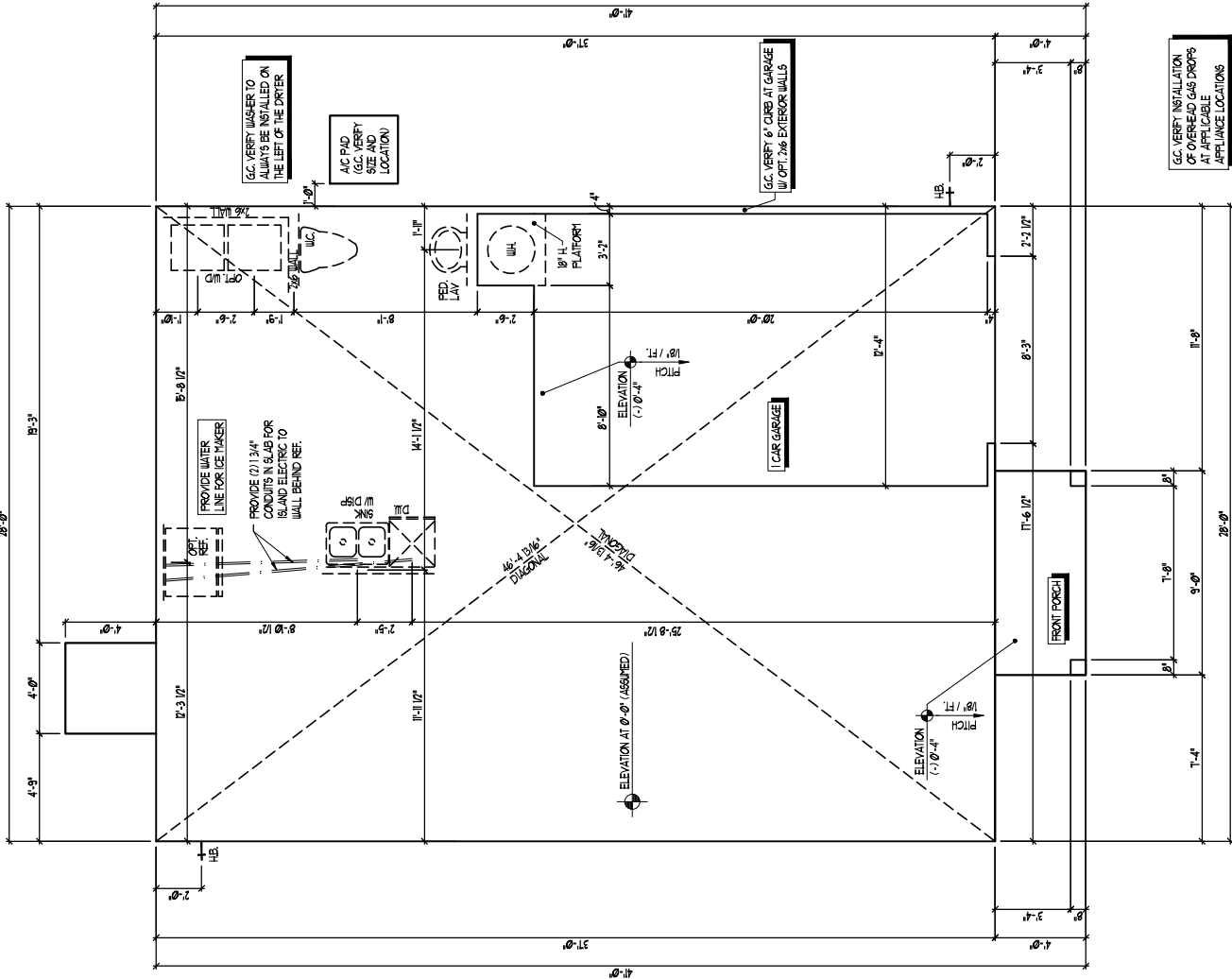
A1.0
SHEET

SLAB INTERFACE PLAN

ELEVATION A SHOWN
SIMILAR AT ALL ELEVATIONS (NO PLUMBING CHANGES)

SCALE: 1/4" = 1'-0"

ELEVATION A SHOWN
SIMILAR AT ALL ELEVATIONS (NO PLUMBING CHANGES)



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DREAM FINDERS
HOMES

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DRAWINGS ON THIS
SHEET ARE ONE HALF
THE SCALE NOTED

ENGAGE -GARAGE RIGHT

DREAM FINDERS HOMES

1755

TITLE

OPT. SLAB INTERFACE PLAN

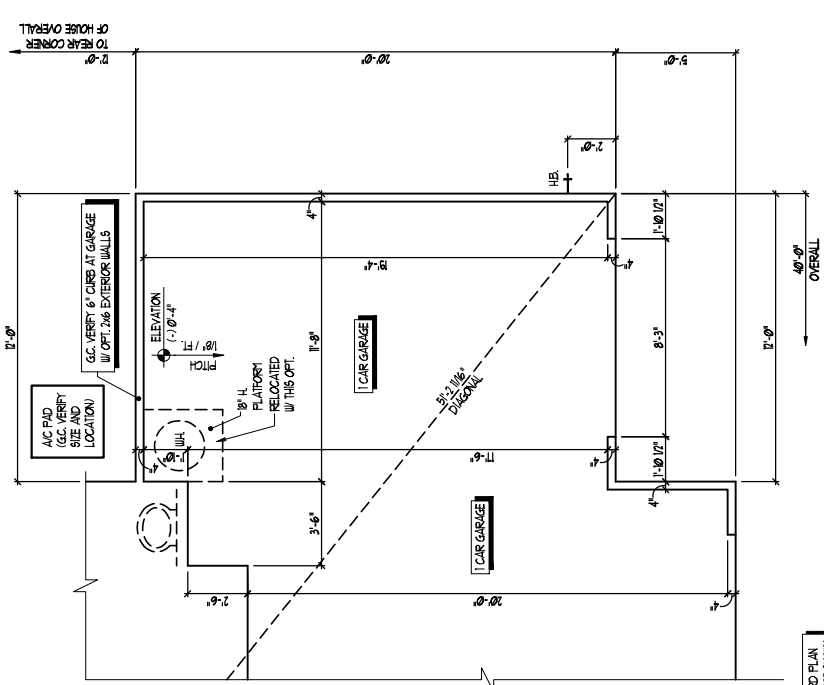
SHEET

A1.1

SLAB INTERFACE PLAN

ELEVATION A SHOWN
STYLAR AT ALL ELEVATIONS (NO FLUPEING CHANGES)

SCALE: 1/4" = 1'-0"



REFER TO STANDARD PLAN
FOR INFORMATION NOT SHOWN.

OPT. 1 CAR GARAGE

SCALE: 1/4" = 1'-0"

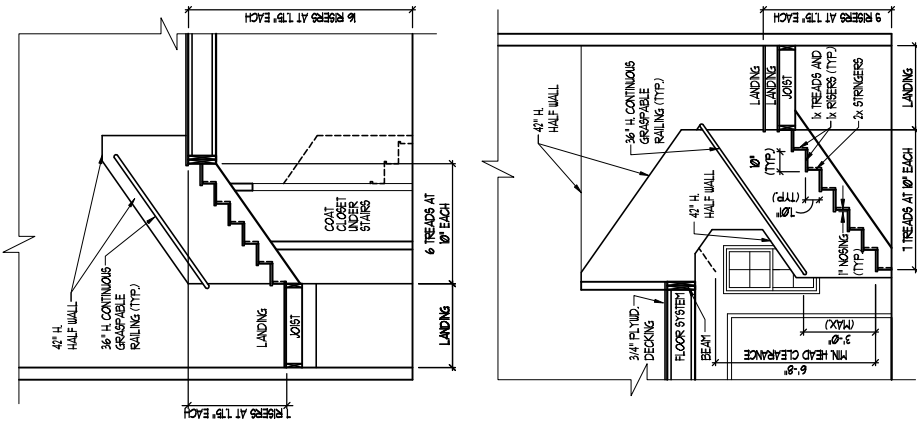
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WINDOW SCHEDULE				HEAD HEIGHT
MARK	SIZE		TYPE	
	WIDTH	HEIGHT		
1	30"	50"	SINGLE HUNG	70"
2	20"	40"	SINGLE HUNG	70"
3	26"	30"	SINGLE HUNG	70"

SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.

9' CEILING



STAIR SECTION

* * *	* * *	* * *
STAIR NOTES:		
BUILDING		
BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN END OF A STAIRWAY. ARE PERMITTED TO BE AS MUCH AS ONE SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.		
OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TRELS SHALL NOT ALLOW A SPHERE 4.38 INCHES TO PASS THROUGH.		
HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE TOP RISER OF DOWNWARD TRAVEL TO ANOTHER HANDRAIL OR FINISH FLOOR ENDS SHALL BE ADJACENT TO WALL. TRAVEL IN EITHER DIRECTION FOR SAFETY PURPOSES. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.		
CONTINUOUS GRASPABLE HANDRAIL MUST TYPE ONE OR TYPE TWO CRITERIA		
*	*	*

SEQUENCE OF PLANS FROM THIS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTED DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTED DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.

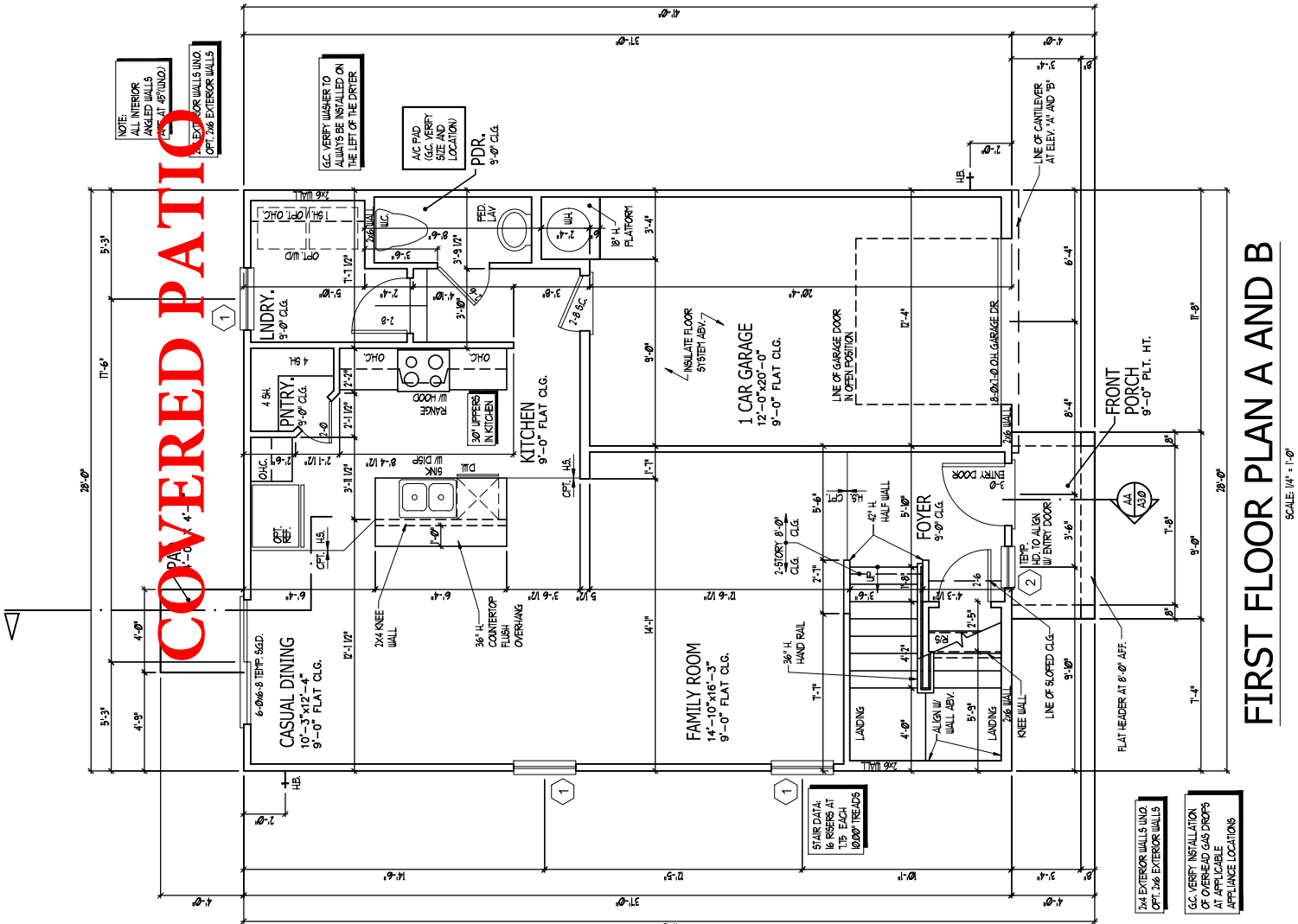
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SQUARE FOOTAGE	
AREA	ELEV 'A'
FIRST FLOOR	776 SQ. FT.
SECOND FLOOR	968 SQ. FT.
TOTAL (HEATING)	1744 SQ. FT.
GARAGE (UNHEATED)	259 SQ. FT.
PORCH	36 SQ. FT.
PAD	16 SQ. FT.
OPTIONAL GARAGE	240 SQ. FT.
OPTIONAL PATIO	80 SQ. FT.
OPT. COVERED PATIO	80 SQ. FT.

SQUARE FOOTAGE	
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THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2 INCH (12.7 MM) Gypsum BOARD APPLIED TO THE GARAGE SIDE GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8 INCH (15.9 mm) TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2 INCH (12.7 MM) GYPSUM BOARD OR EQUIVALENT.

FIRST FLOOR PLAN



FIRST FLOOR PLAN A AND B

SCALE: 1/4" = 1'-0"

ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE
MAIN FLOOR PLAN
STAIR SECTION
INSULATION DETAIL

A2.0

DREAM FINDERS HOMES

JOB NUMBER	B-1815878
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ISSUED	11-08-17
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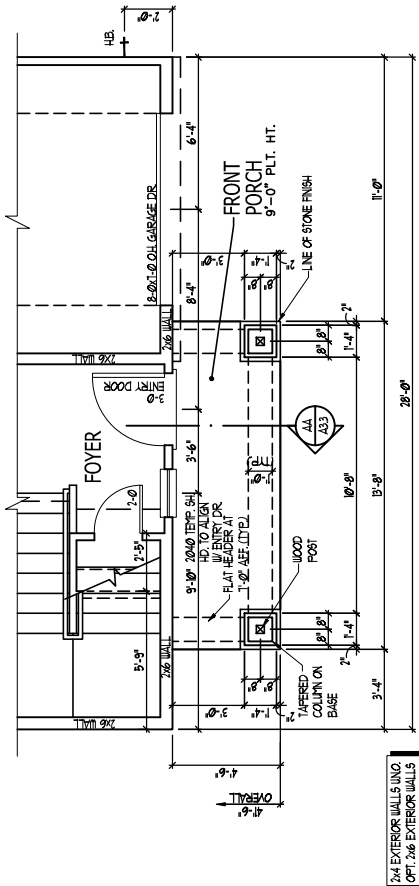
DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

WINDOW SCHEDULE

REFER TO STANDARD PLAN
FOR INFORMATION NOT SHOWN

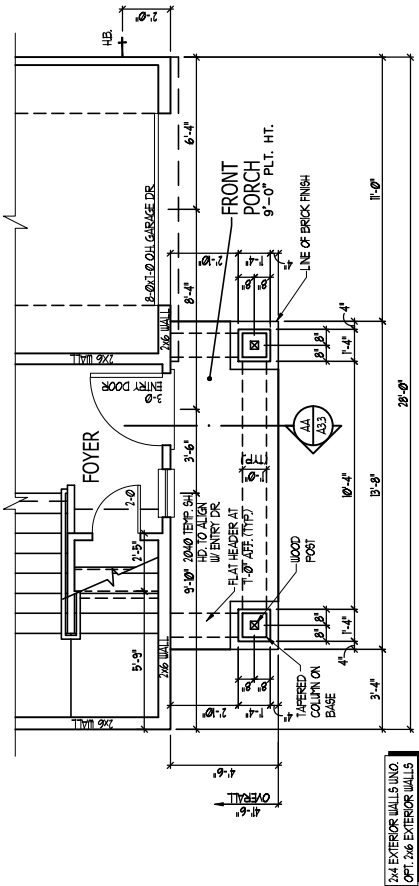
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AREA	ELEV 'D3'
FIRST FLOOR	776 SQ. FT.
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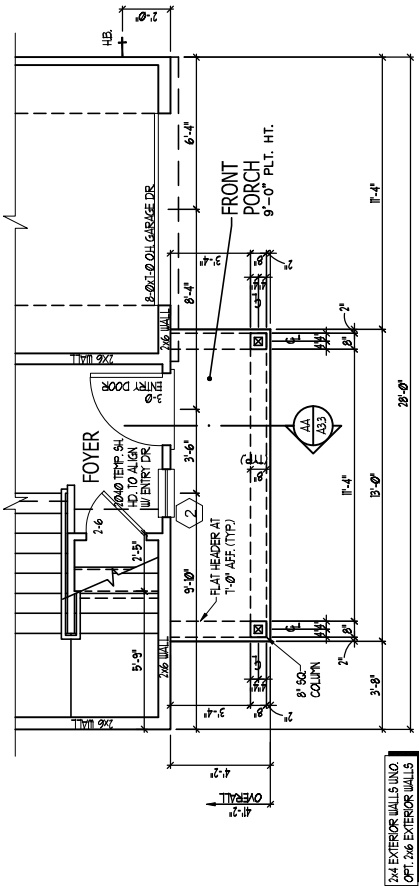
PARTIAL FIRST FLOOR PLAN D3

SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN D2

SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN D

SCALE: 1/4" = 1'-0"

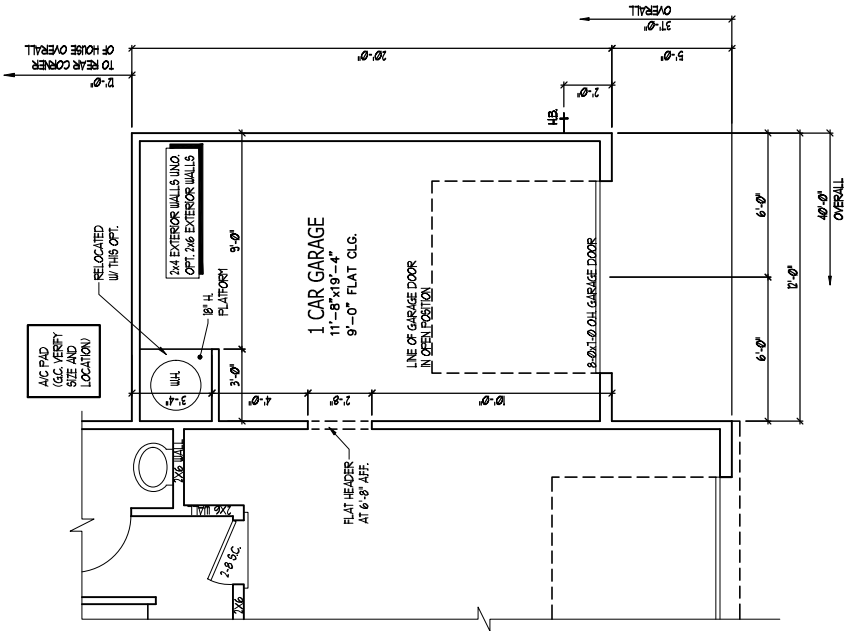
SQUARE FOOTAGE		ELEV 'D'
AREA		
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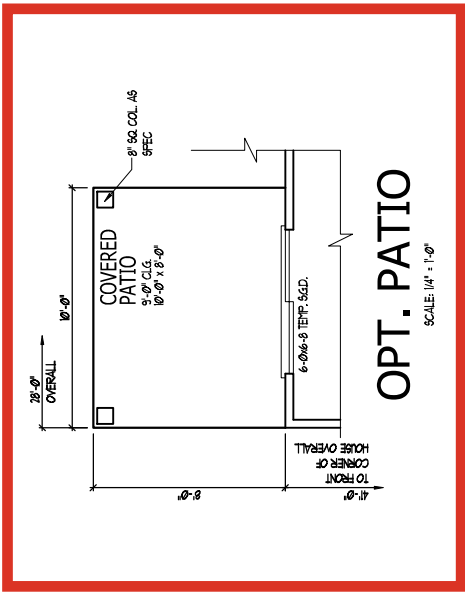
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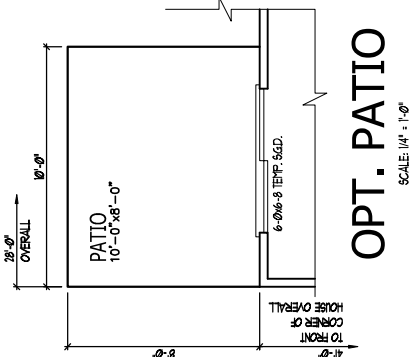


OPT. 1 CAR GARAGE

SCALE: 1/4" = 1'-0"

OPT. PATIO

SCALE: 1/4" = 1'-0"



OPT. PATIO

SCALE: 1/4" = 1'-0"

DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

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ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE
MAIN FLOOR PLAN OPT.

A2.1

WINDOW SCHEDULE				HEAD HEIGHT
MARK	SIZE		TYPE	
	WIDTH	HEIGHT		
1	30"	50"	SINGLE HUNG	71"
2	20"	40"	SINGLE HUNG	71"
3	26"	30"	SINGLE HUNG	71"

SEE PLAN FOR NOTES ON EGRESS, TEMP., ETC.

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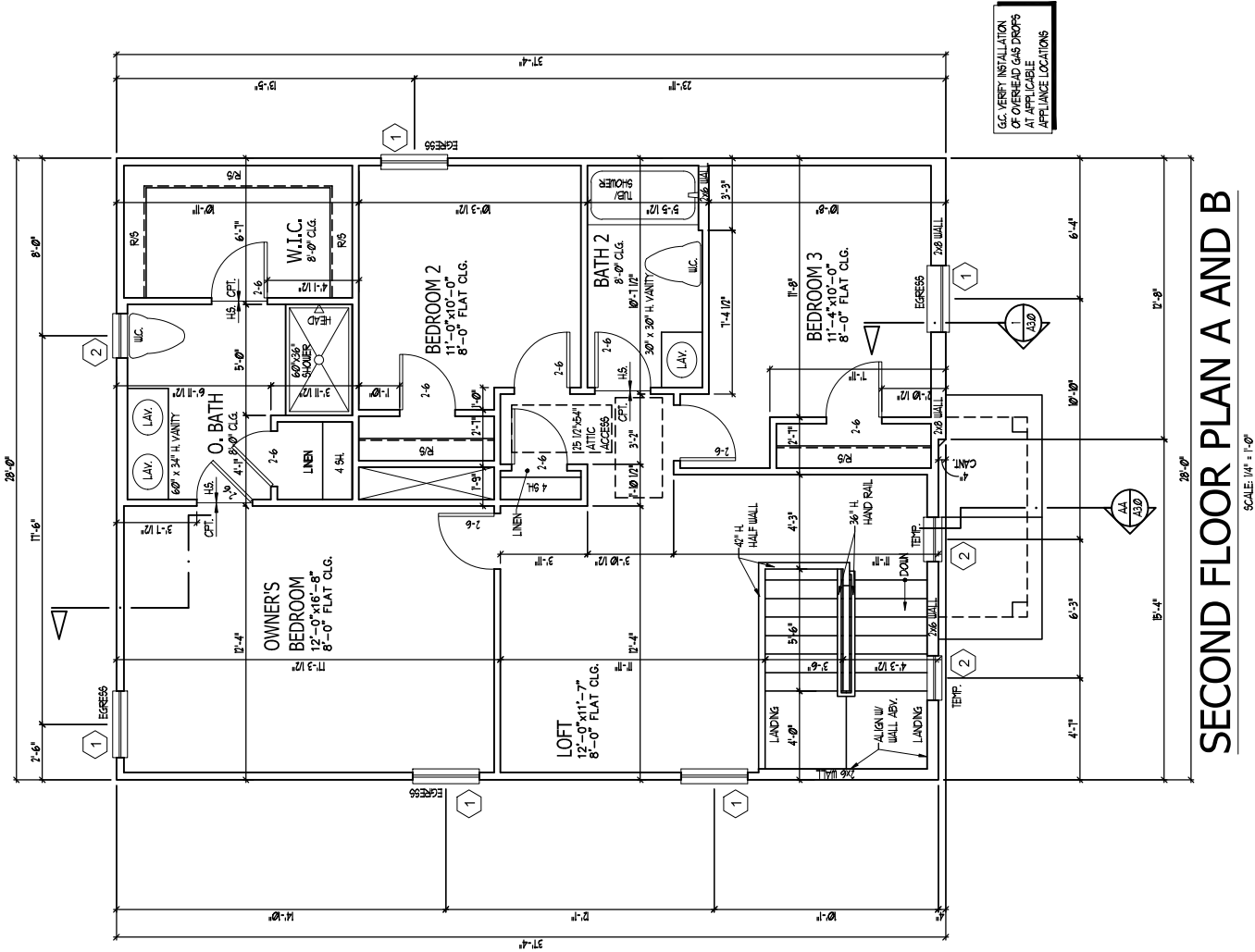
DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE
JUPPER FLOOR PLAN
DETAIL
-
-
-

A2.2 SHEET



SECOND FLOOR PLAN A AND B

SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				HEAD HEIGHT
MARK	SIZE		TYPE	
	WIDTH	HEIGHT		
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2	20"	40"	SINGLE HUNG	71"
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SEE PLAN FOR NOTES ON EGRESS, TEMP., ETC.

DREAM FINDERS
HOMES

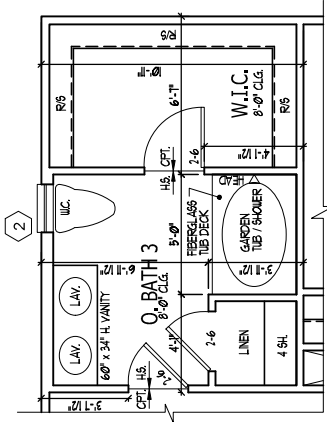
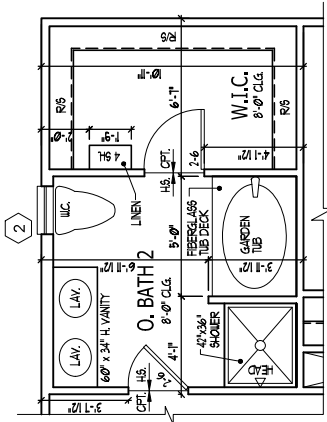
DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE
UPPER FLOOR PLAN OPT.

SECOND FLOOR PLAN OPTIONS



ISSUANCE OF PLANS FROM THIS DEPARTMENT SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERRORS IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DEPARTMENT OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.

AFTER THE PLANS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE PRIOR TO THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DEPARTMENT OFFICE, THE DEPARTMENT SHALL NOT BE HELD RESPONSIBLE.



JOB NUMBER	B-1815578
CAD FILE NAME	1755-R
ISSUED	11-08-17
REMOVED	11-16-17
	09-12-18
	02-15-19
	02-11-20
	04-01-20
	04-08-20
	12-01-22
	04-14-23
	08-15-24

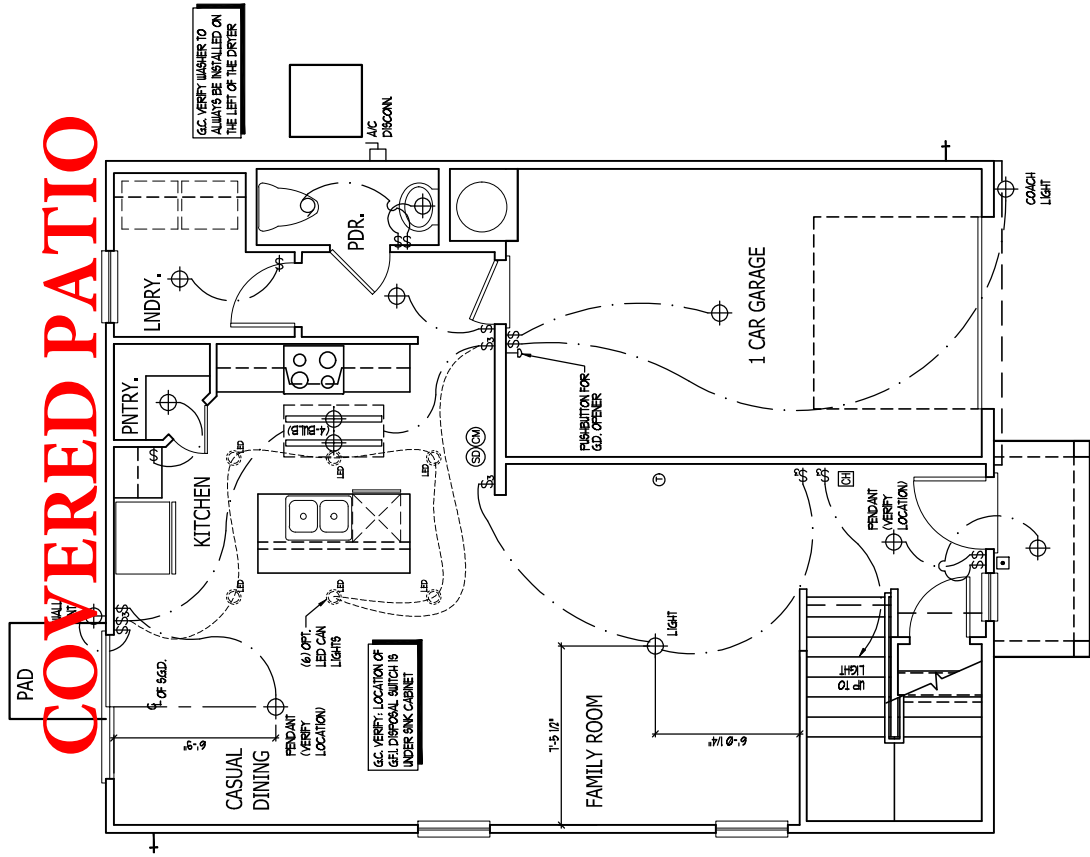
DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

ENGAGE -GARAGE RIGHT DREAM FINDERS HOMES

1755

TITLE MAIN FLOOR ELEC. PLAN

E1.0
SHEET



FIRST FLOOR PLAN A AND B

FIRST FLOOR ELECTRICAL PLAN

- ELECTRICAL KEY

- | | |
|--|--|
| | DUPLEX OUTLET ABOVE COUNTER |
| | NEARHOFLOOR DUPLEX OUTLET |
| | GROUND FAULT INTERRUPTER DUPLEX OUTLET |
| | HALF-SWITCHED DUPLEX OUTLET |
| | SPECIAL PURPOSE OUTLET |
| | DUPLEX OUTLET IN DOOR |
| | 220 VOLT OUTLET |
| | 3-WAY SWITCH |
| | FOUR-WAY SWITCH |
| | CFL SWITCH |
| | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE |
| | WALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| | RECESSED INCANDESCENT LIGHT FIXTURE |
| | LED CAN LIGHT |
| | LIGHT FIXTURE WITH FULL CHAIN TRACK LIGHT |
| | FLUORESCENT LIGHT FIXTURE |
| | EXHAUST FAN |
| | EXHAUST FAULT COMBINATION |
| | ELECTRIC DOOR OPERATOR (OPTIONAL) |
| | CIRTS (OPTIONAL) |
| | REBUBBLON SWITCH (OPTIONAL) |
| | CARBON MONOXIDE DETECTOR |
| | SMOKE DETECTOR |
| | SMOKE / CARBON MONO. COMBO DETECTOR |
| | TELEPHONE (OPTIONAL) |
| | THERMISTAT |
| | ELECTRIC METER |
| | ELECTRIC PANEL |
| | DISCONNECT SWITCH |
| | SPEAKER (OPTIONAL) |
| | ROUGH-IN FOR OPT. CEILING FAN |
| | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE |
| | WALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| | RECESSED INCANDESCENT LIGHT FIXTURE |

NOTES:

- PROVIDE AN INITIAL GROUND-FALL CIRCUIT-INTERFERENCE (GFI) AS NOTICED ON PLANS OR AS NOTED, 4 AND 5 BELOW NOTICES.
- IN LESS OTHERWISE NOTICED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING LOCATIONS AFTER FINISHED FLOOR.
- SWITCHES: ... 4"
OUTLETS: ... 4"
TELEPHONE: ... 4" (INLESS ADV. CONTRAST)
TELEVISION: ... 4"
- ALL WIRE DETECTORS SHALL BE HANGING INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INITIAL LOCAL CERTIFIED WIRE DETECTOR.
- ALL 120V AND 240V RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, PATIO, SUNROOMS, RECREATION ROOMS, CLOSET, CLOSET, HALLWAYS, AND 120V AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 401.400.10 AND 400.3.
- ALL 120V AND 240V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFI PROTECTED (GFI).

6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH N.E.P.A. 10, N.E.C. 2011, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

1. EVERY BUILDING HAVING A FOSBIL-FEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.

3. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COPENATION SMOKE CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DIVISION SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION.

ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE PROCEEDENCE OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



DREAM FINDERS
HOMES

JOB NUMBER	B-18165878
CAD FILE NAME	1755-R
ISSUED	11-08-17
REVISION	02-16-17
REVISION	02-15-18
REVISION	02-11-20
REVISION	04-01-20
REVISION	04-08-20
REVISION	12-07-22
REVISION	04-17-23
REVISION	08-15-24

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

ENGAGE -GARAGE RIGHT

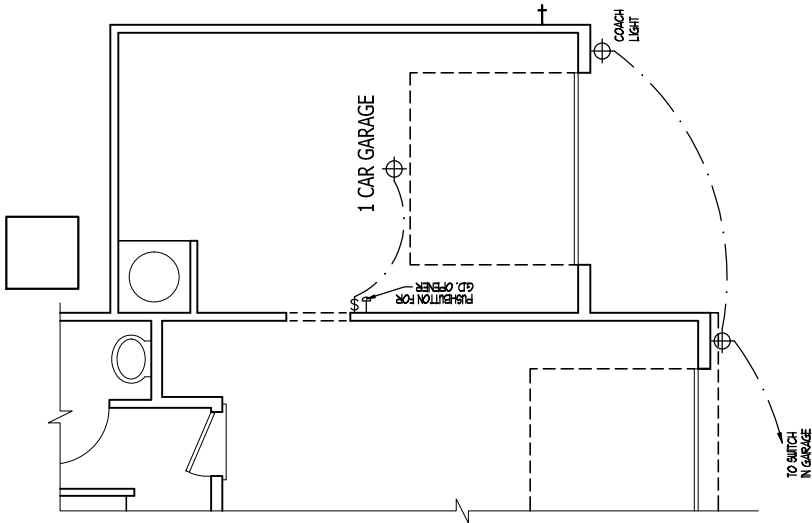
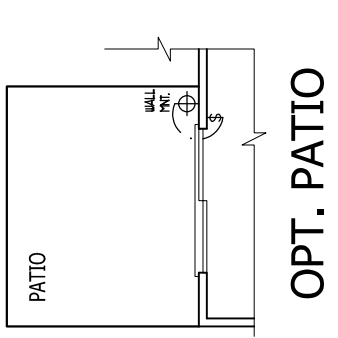
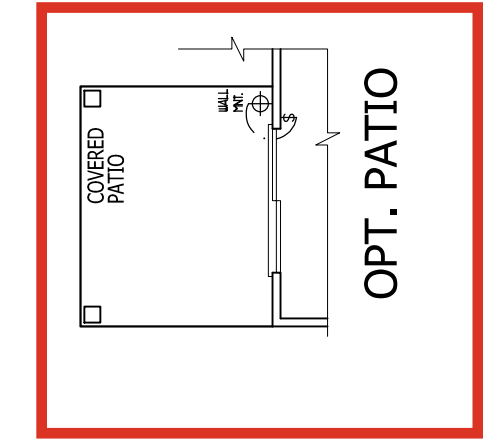
DREAM FINDERS HOMES

1755

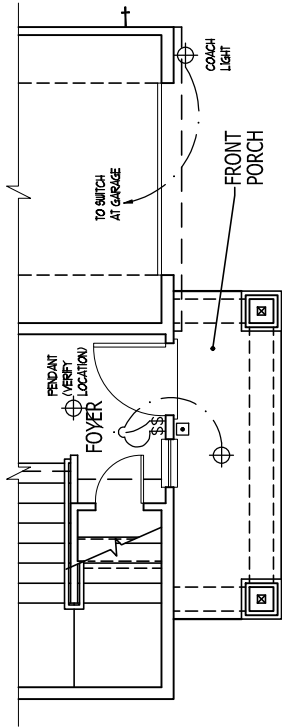
TITLE
MAIN FLOOR ELEC. PLAN
OPT.

E1.1

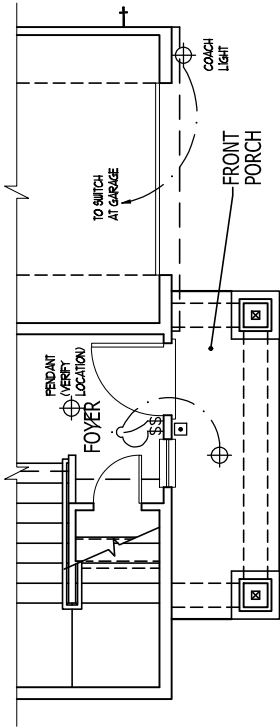
SHEET



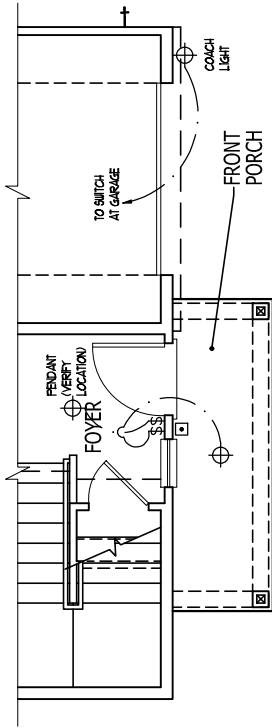
OPT. 1 CAR GARAGE



PARTIAL FIRST FLOOR PLAN D3



PARTIAL FIRST FLOOR PLAN D2



PARTIAL FIRST FLOOR PLAN D

FIRST FLOOR ELECTRICAL PLAN OPTIONS

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- WALL-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LED CAN LIGHT
- LIGHT FIXTURE WITH PULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FAN LIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL)
- CARPET (OPTIONAL)
- FLUORESCENT SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ROUGH-IN FOR OPT. CEILING FAN

NOTES:

- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOORS:
SWITCHES ... 4"
OUTLETS ... 18"
TELEPHONE ... 4" (UNLESS 48" COUNTERTOP)
TELEVISION ... 4"
- ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
- ALL BA AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLOUS, LIBRARIES, DEN'S, BATHS, RECREATION ROOMS, CLOSET'S, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND WEATHER-PROOF RECEPTACLES PER NEC, 2017 408.3 AND 408.5
- ALL BA AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
- IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC, 2017, AND ALL APPLICABLE LOCAL, STATE, AND ORDINANCES.
- EVERY BUILDING HAVING A FURNACE, BOILER, BURNING HEATER OR APPLIANCE, SHALL HAVE A CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
- ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERRORS IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE DRAFTERS OFFICE SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT IN THE PLANS AFTER THE PLANS HAVE BEEN OFFICIALLY ISSUED. ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

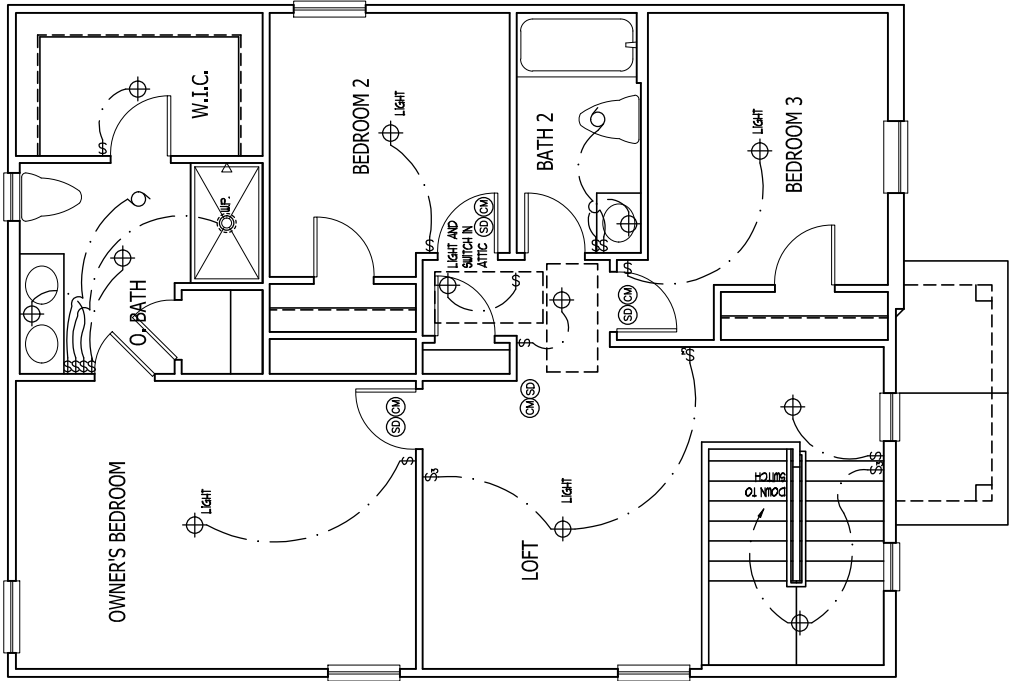
ELECTRICAL KEY

- ⊕ DEFLEX CONVENIENCE OUTLET
- ⊕ DEFLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DEFLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DEFLEX OUTLET
- ⊕ HALF-SWITCHED DEFLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DEFLEX OUTLET IN FLOOR
- ⊕ 200 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ LED CANDLE LIGHT
- ⊕ LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPTIONAL)
- ⊕ CARPET (OPTIONAL)
- ⊕ FISHBATION SWITCH (OPTIONAL)
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE / CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE (OPTIONAL)
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ BREAKER (OPTIONAL)
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/

NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES..... 4"
OUTLETS..... 18"
RECEPTACLES..... 18" (UNLESS ABV/ COUNTERTOP)
TELEVISION..... 1"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL BA AND 200A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, DECKS, SUNROOMS, RECREATION ROOMS, CLOSETS, ATTACHED GARAGE, AND DETACHED GARAGE SHALL BE CONFORMANCE WITH THE APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
5. ALL BA AND 200A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC, 2011, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING (HAVING A FORMAL-RES. SLEEPING QUARTER OR AIRPLANE FREESTAGE OR AN ATTACHED GARAGE) SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

DISCLAIMER OF LIABILITY: THE DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE DRAFTER'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



SECOND FLOOR PLAN A AND B

SECOND FLOOR ELECTRICAL PLAN

ELEVATION B AND D SIMILAR

DREAM FINDERS HOMES



JOB NUMBER	B-18165878
CAD FILE NAME	1755-R
ISSUED	11-08-17
REVISED	11-08-17
	09-12-18
	02-15-19
	02-11-20
	04-01-20
	04-08-20
	04-07-21
	04-14-21
	09-15-24

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

ENGAGE -GARAGE RIGHT
DREAM FINDERS HOMES

1755

TITLE
UPPER FLOOR ELEC. PLAN

SHEET
E1.2

DREAM FINDERS HOMES

*JOB NUMBER	B-1815978
CAD FILE NAME	1755-R
ISSUED	11-08-17
REVISION	11-16-17
REVISED	09-12-18
	02-15-19
	02-11-20
	04-01-20
	04-08-20
	07-15-21
	04-14-23
	08-15-24

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

ENGAGE -GARAGE RIGHT
DREAM FINDERS HOMES

1755

TITLE
UPPER FLOOR ELEC. PLAN
OPT: - - -

SHEET
E1.3

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHER-PROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 20 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LED CAN LIGHT
- LIGHT FIXTURE WITH PULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FANLIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL)
- CHIRPS (OPTIONAL)
- POSITION SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/
- ROUGH-IN FOR OPT. CEILING FAN

NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEMS 4 AND 5 BELOW INDICATE.

2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS FROM FINISHED FLOOR:

- SWITCHES: 4'-0"
- OUTLETS: 1'-0"
- TELEPHONE: 3'-0" (UNLESS ABV. COUNTERTOP)
- TELEVISION: 3'-0"

3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.

4. ALL BATH AND BATH RECEPTACLES IN SLEEPING ROOMS, ENTRY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, TERRACES, DECKS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SHOWER AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 200.406.02 AND 406.03.

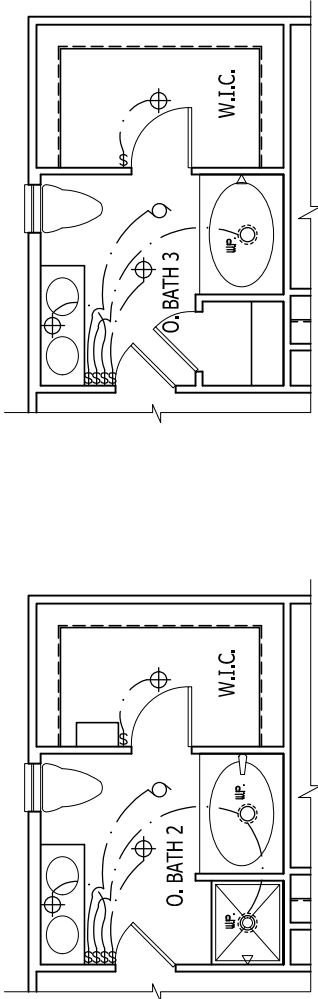
5. ALL BATH AND BATH RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).

6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL LOCAL, STATE, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

7. EVERY BUILDING HAVING A POSSIBLE FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.

8. ALL WORK SHALL RECEIVE THEIR PRIVATE POWER FROM THE BUILDING WORKING WHEN SUCH WORKING IS DERIVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERIES AND BATTERIES SHALL BE MAINTAINED AND BATTERIES SHALL BE LIMITED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE DESIGN AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



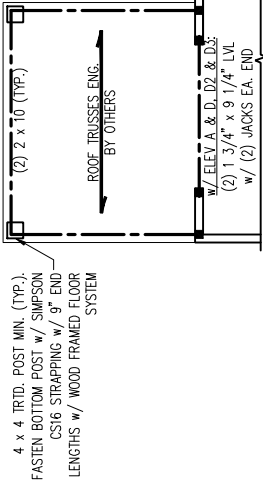
OWNER'S BATH 2

OWNER'S BATH 3

SECOND FLOOR ELECTRICAL PLAN OPTIONS

SCALE NOTE:

ALL DIMENSIONS AND FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE.

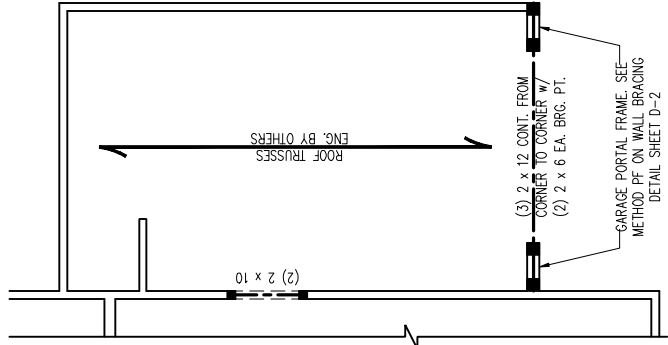


LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FR.
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

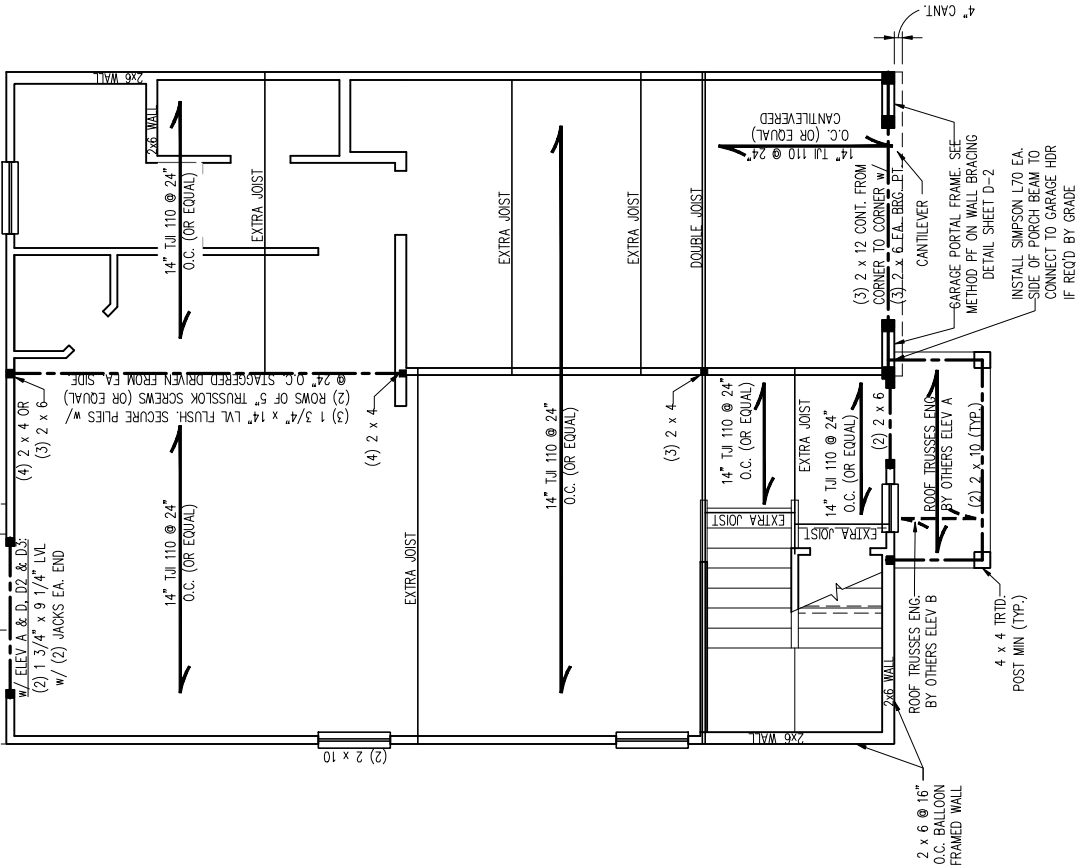
OPTIONAL COVERED PORCH

J.S. THOMPSON
ENGINEERING, INC.
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO. C-1733

- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY ENGINEERED DESIGN" OF THE NRC 2018 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.1 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE. SHEATH ALL EXTERIOR WALLS W/ 7/16" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NRC 2018 EDITION.
 - CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
 - GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG 5d COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD.
 - BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION.
 - SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.



OPT. 1 CAR GARAGE



ELEVATIONS A & B

ELEVATION D3

ELEVATION D2

ELEVATION D

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
 - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
 - INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
 - WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R602.1.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
 - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO). FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
 - FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND BRIDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP BRIDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
 - ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/ SIMPSON ABA44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ABA66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
 - FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

***NOTE: ALL FIRST FLOOR EXTERIOR WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO). 2 x 6 @ 16" O.C. FIRST FLOOR EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS (UNO). ALL INTERIOR LOAD BEARING AND NON-LOAD BEARING WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).**

TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 3'	1
> 3' TO 6'	2
> 6' TO 9'	3
> 9' TO 12'	4
> 12' TO 15'	5

S-2
SECOND FLOOR
FRAMING PLAN



8/30/2024

SCALE NOTE:

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



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***NOTE:** ALL SECOND FLOOR EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO). 2 x 6 SPF #2 @ 24" O.C. SECOND FLOOR EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS (UNO). ALL INTERIOR LOAD BEARING AND NON-LOAD BEARING WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).

BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY ENGINEERED DESIGN" OF THE NRCR 2018 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.1 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
- SHEATH ALL EXTERIOR WALLS w/ 7/16" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NRCR 2018 EDITION.
- CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG 5d COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRCR 2018 EDITION.
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SPT #2 (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.) FOR HIGH WIND ZONES. ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

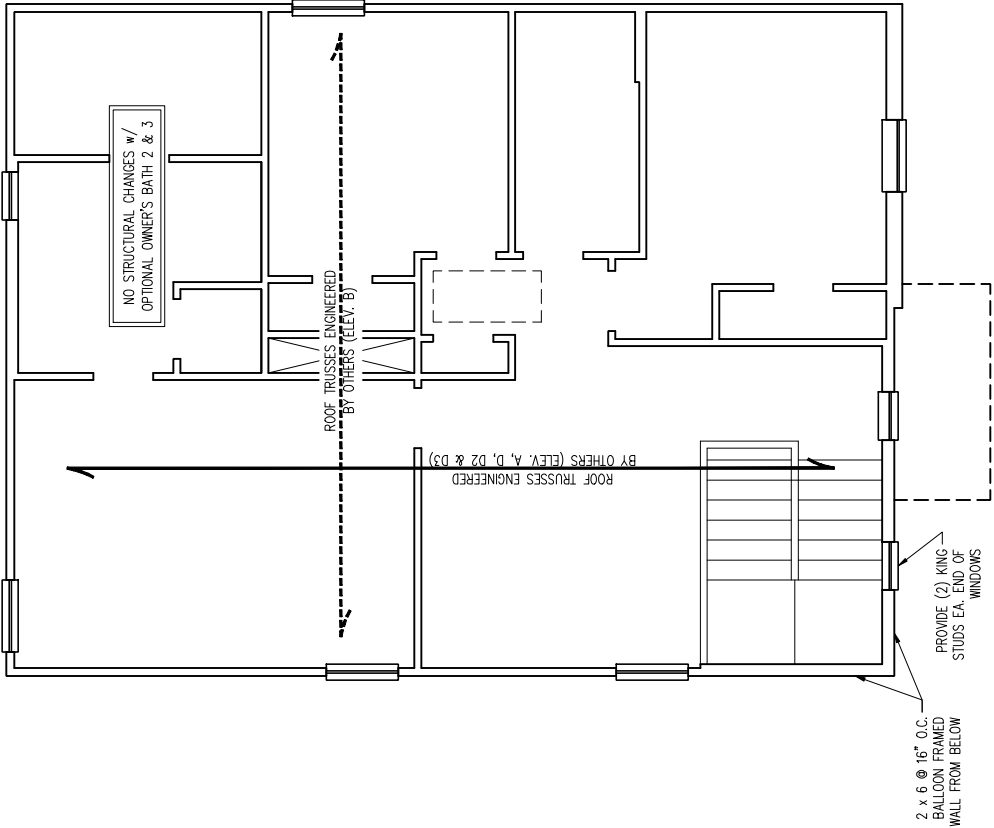
TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 3'	1
> 3' TO 6'	2
> 6' TO 9'	3
> 9' TO 12'	4
> 12' TO 15'	5

LEGEND

CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

S-3
CEILING FRAMING
PLAN



SCALE NOTE:

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

OPTIONAL COVERED PORCH

ROOF TRUSSES
ENG. BY OTHERS

ROOF TRUSSES ENGINEERED
BY OTHERS

ROOF TRUSSES
ENG. BY OTHERS

FLUSH
OVERHANG
AT SIDE GABLES
(U.N.O.)

OPT. 1 CAR GARAGE

8"

ROOF TRUSSES
ENG. BY OTHERS

1'-0"

1'-0"

ELEVATION B

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NOTE: REFER TO ARCHITECTURAL
DRAWINGS FOR ROOF PITCHES, PLATE
HEIGHTS, DIMENSIONS, OVERHANG
WIDTHS, AND ATTIC VENT CALCS.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE #2 SPF (UNO).
- CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
- FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
- HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP).
- STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
- FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
- REFER TO SECTION R802.11 OF THE 2018 NRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND

XT	EXTRA TRUSS
TS	TRUSS SUPPORT
XR	EXTRA RAFTER
RS	RAFTER SUPPORT
CONT	CONTINUOUS
EA	EACH
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

ENGAGE
DREAM FINDERS HOMES

DATE: AUGUST 28, 2024

SCALE: 1/4" = 1'-0"

DRAWN BY: DREAM FINDERS HOMES

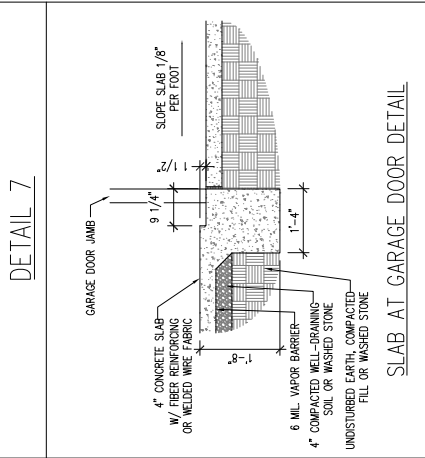
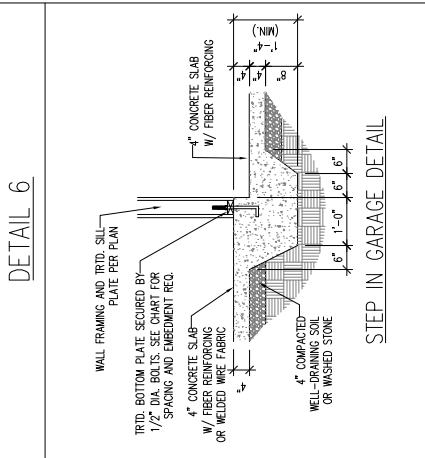
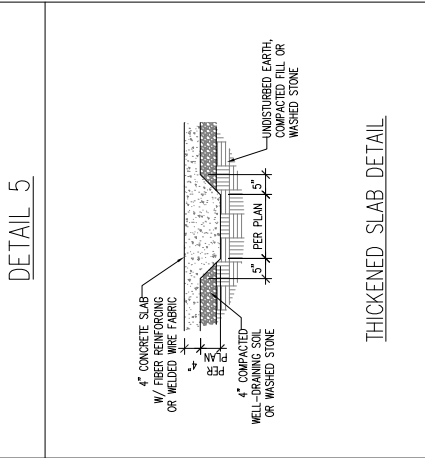
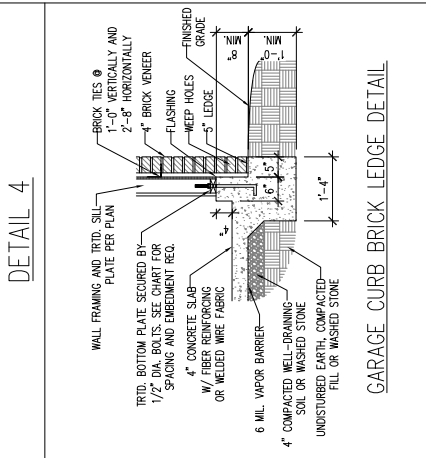
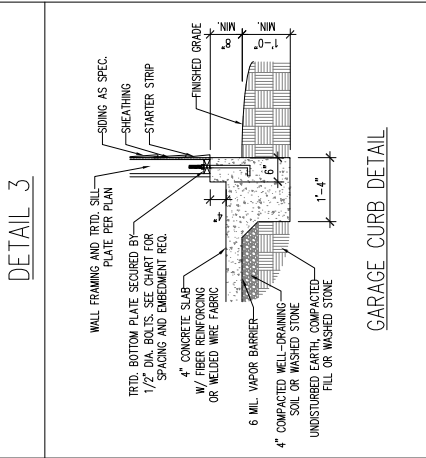
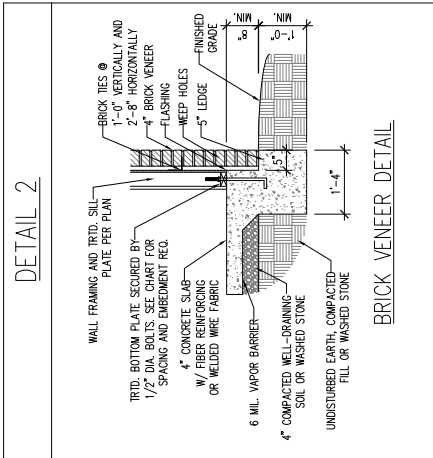
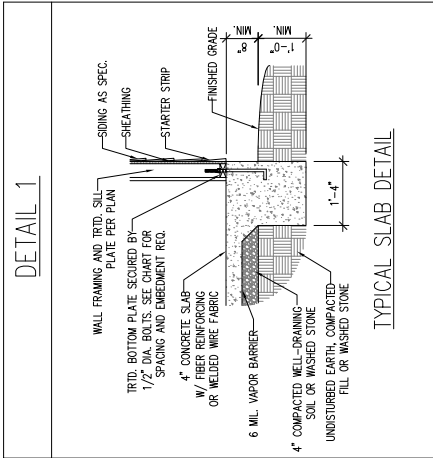
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S-4b
ROOF FRAMING
PLAN

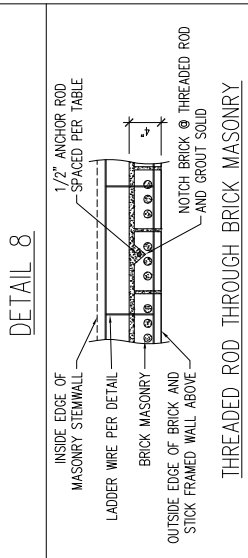
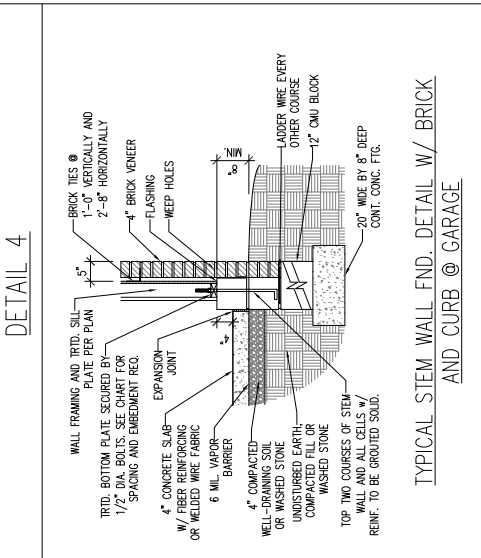
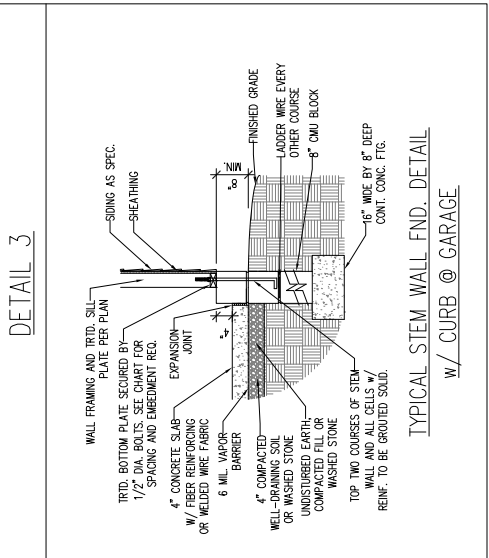
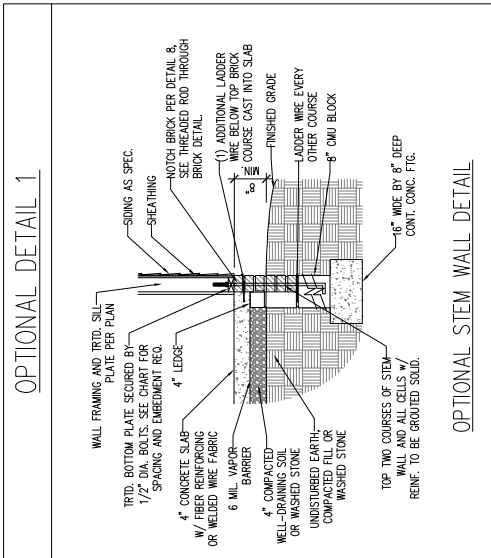
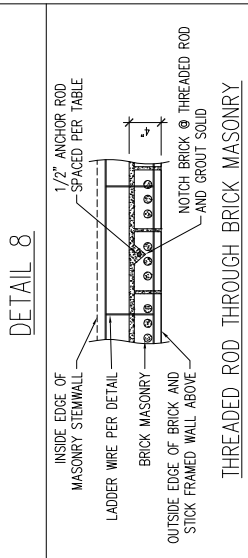
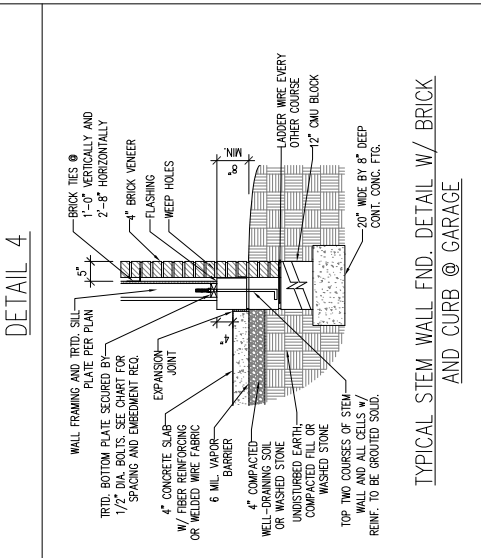
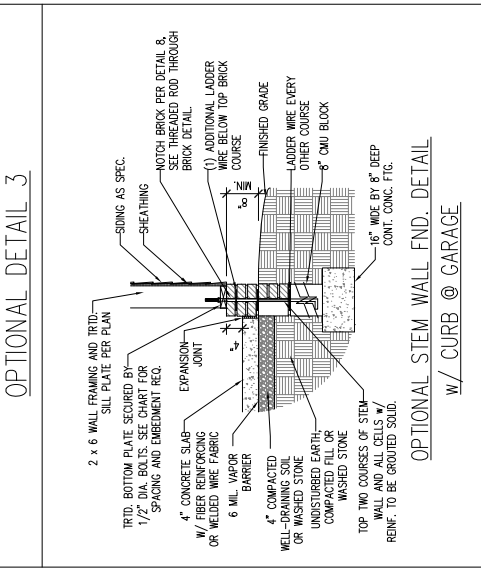
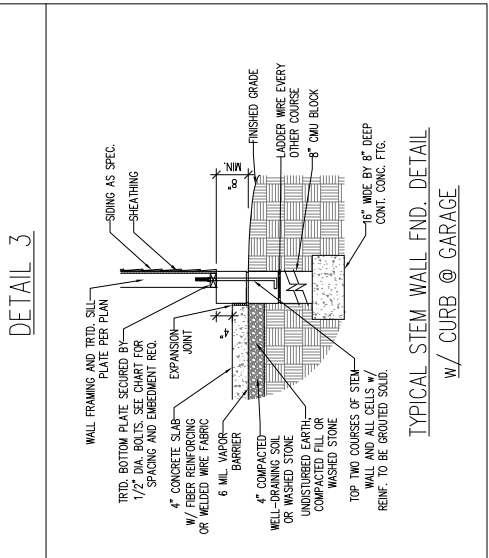
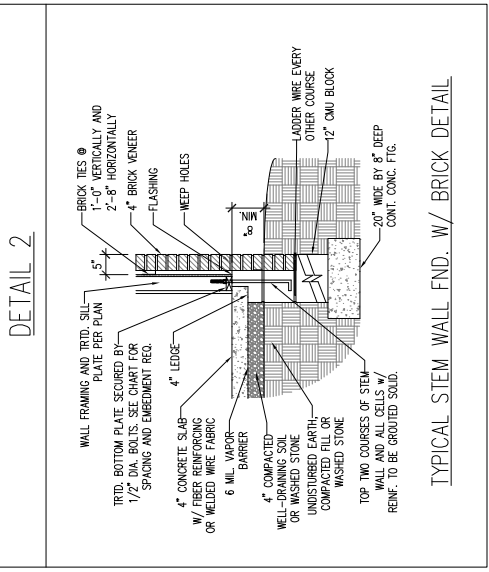
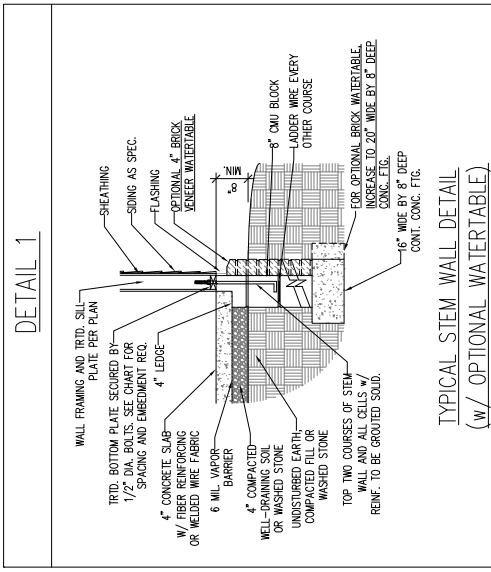
8/30/2024



MONOLITHIC SLAB DETAILS



STEMWALL DETAILS



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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
FOUNDATION DETAILS
DREAM FINDERS HOMES

DATE: NOVEMBER 24, 2022
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JST

D-1
FOUNDATION DETAILS



8/30/2024

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- STRUCTURAL NOTES:
1. WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
 2. IE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
 3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY; CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
 4. BACKFILL OF CLEAN #57 / #67 WASHED STONE IS ALLOWABLE.
 5. BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 PSF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE B405.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
 6. PREP SLAB PER E506.2.1 AND E506.2.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
 7. MINIMUM 24" LAP SPICE LENGTH.
 8. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
 9. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

ANCHOR SPACING AND EMBEDMENT			
WIND ZONE	120 MPH	130 MPH	
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE	
NOTE: THREADED ROD WITH EPOXY, SIMPSON TITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.			

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2018 EDITION (R301.4 - R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE)		
GROUND SNOW LOAD: Pg	20 (PSF)		

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
 - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRC, 2018 EDITION.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRC, 2018 EDITION.
- PROPERLY Dewater excavation prior to pouring concrete when bottom of concrete slab is at or below water table. If applicable, 3/4" - 1" deep control joints are to be sawed within 4 to 12 hours of concrete finishing and wall locations have been marked. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #6 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NOMA 17688-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE NRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(5) OF THE NRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

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FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv =175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb =2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E =1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS
A. W AND WT SHAPES: ASTM A992
B. CHANNELS AND ANGLES: ASTM A36
C. PLATES AND BARS: ASTM A36
D. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S

- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):
A. WOOD FRAMING (2) 1/2" DIA. x 4" LONG LAG SCREWS
B. CONCRETE (2) 1/2" DIA. x 4" WEDGE ANCHORS
C. MASONRY (FULLY GROUTED) (2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS
D. STEEL PIPE COLUMN (4) 3/4" DIA. A325 BOLTS OR 3/16" FILLET WELD

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TIE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.

- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.

- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).

- FITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).

- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.

- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.

- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 12d NALS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.8.2.1 OF THE NRC, 2018 EDITION.

- FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).

- FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).

- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON H6 OR LT312 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON C516 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
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DREAM FINDERS HOMES



8/30/2024

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