



HARNETT COUNTY ENVIRONMENTAL HEALTH

File/Permit #: SFD2507-0097

CDP #:

IMPROVEMENT PERMIT (IP)

☒ New☐ Expansion☐ Repair☐ System Relocation☐ Change of Use

Owner: BENJAMIN STOUT REAL ESTATE

Applicant: BENJAMIN STOUT REAL ESTATE

Property Location: 46 BAXLEY DR DUNN, NC 28334

PIN/Lot Identifier: 1508-52-9222.000

Subdivision: ILAS WAY

Lot #: 31 Block: Section:

Facility Type: SFD 41' x 43.17'

Number of bedrooms: 4

Number of Occupants: 8

Other:

Design Daily Flow: 480

GPD

LTAR (Initial): .3

gpd/ft²

LTAR (Repair): .3

gpd/ft²

Wastewater System Type: 25% Reduction System

(Initial)

Pump Required: ☐ Yes ☐ No ☒ May be required

Usable Depth to Limiting Condition (Initial): 40"

Wastewater System Type: 25% Reduction System

(Repair)

Pump Required: ☐ Yes ☐ No ☒ May be required

Usable Depth to Limiting Condition (Repair): 40"

Effluent Standard: ☒ DSE ☐ HSE ☐ Other:Type of Water Supply: ☐ Private well ☒ Municipal Supply ☐ Other:

Permit conditions:

No Foundation or Gutter Drains to be Directed Towards Septic System.
No Cutting or Grading of Soil in Septic Area or Repair Area.
Stay 50' Off Existing neighboring Well with Any part of Septic.

The issuance of this permit in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This permit is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of 15A NCAC 18E and to the conditions of this permit.

Authorized Agent's Printed Name: Ren Levocz

Date: 9-29-25

Authorized Agent's Signature: *Ren Levocz*

Expiration Date: 9-29-30

CONSTRUCTION AUTHORIZATION (CA)

☒ New☐ Expansion☐ Repair☐ System Relocation☐ Change of Use

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gpd/ft²Effluent Standard: ☒ DSE ☐ HSE ☐ Other:Type of Water Supply: ☐ Private well ☒ Municipal Supply ☐ Other:

Installation Requirements/Conditions

Wastewater System Type: 25% Reduction System

Pump Required: ☐ Yes ☐ No ☒ May be required

Septic Tank Size: 1,000

gallons

Total Trench Length: 400'

feet

Trench Spacing: 9'

feet on center

Pump Tank Size:

gallons

Maximum Trench Depth: 18"-28"

inches

Soil Cover: 6"

inches

Trench Width: 36"

inches

Distribution Method: ☐ Serial☒ D-Box or Parallel☐ Pressure Manifold☐ Other: 5 - 80' LinesArtificial Drainage Required: Yes ☐ No ☒ If yes, please specify details:Management Entity Required: ☐ Yes ☒ No Minimum O&M Requirements:

Permit conditions:

No Foundation or Gutter Drains to be Directed Towards Septic System.
No Cutting or Grading of Soil in Septic Area or Repair Area.
Stay 50' Off Existing neighboring Well with Any part of Septic.

The requirements of 15A NCAC 18E are incorporated by reference into this permit and shall be met. Systems shall be installed in accordance with the attached site sketch. This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be affected by a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of 15A NCAC 18E, or 15A NCAC 18A .1900, as applicable, and to the conditions of this permit.

Authorized Agent's Printed Name: Ren Levocz

Date: 9-29-25

Authorized Agent's Signature: *Ren Levocz*

Expiration Date: 9-29-30

Owner/Legal Representative Signature:

Date:

*See attached site sketch

Harnett County Environmental Health

SITE SKETCH

PIN 1508-52-9222.000

Permit Number SFD2507-0097

BENJAMIN STOUT REAL ESTATE

ILAS WAY Lot 31

Applicant's Name

Subdivision/Section/Lot Number

Ren Levocz

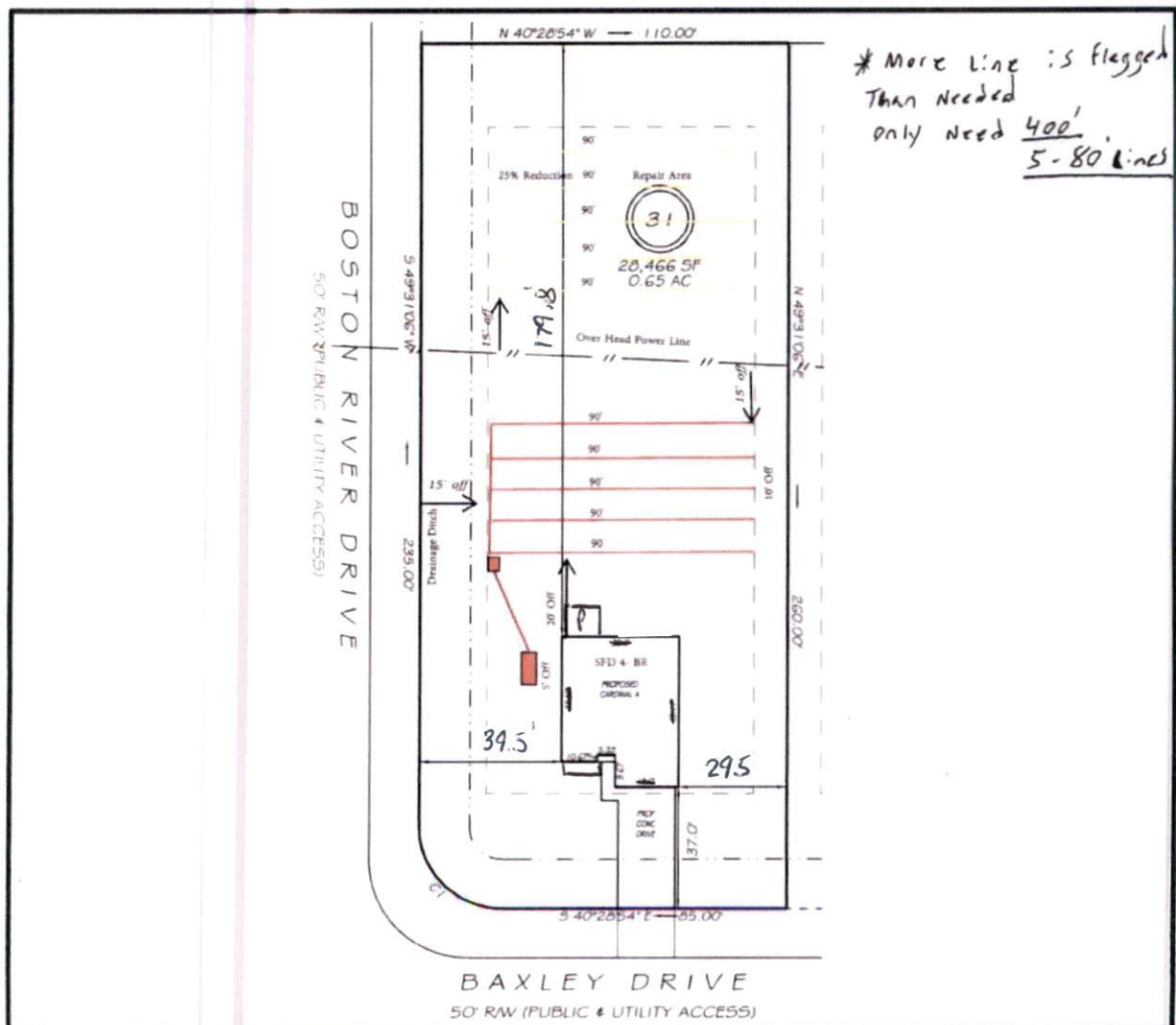
9-29-25

Authorized State Agent

Date

System components represent approximate contours only. The contractor must flag the system prior to beginning the installation to ensure that the proper grade is maintained.

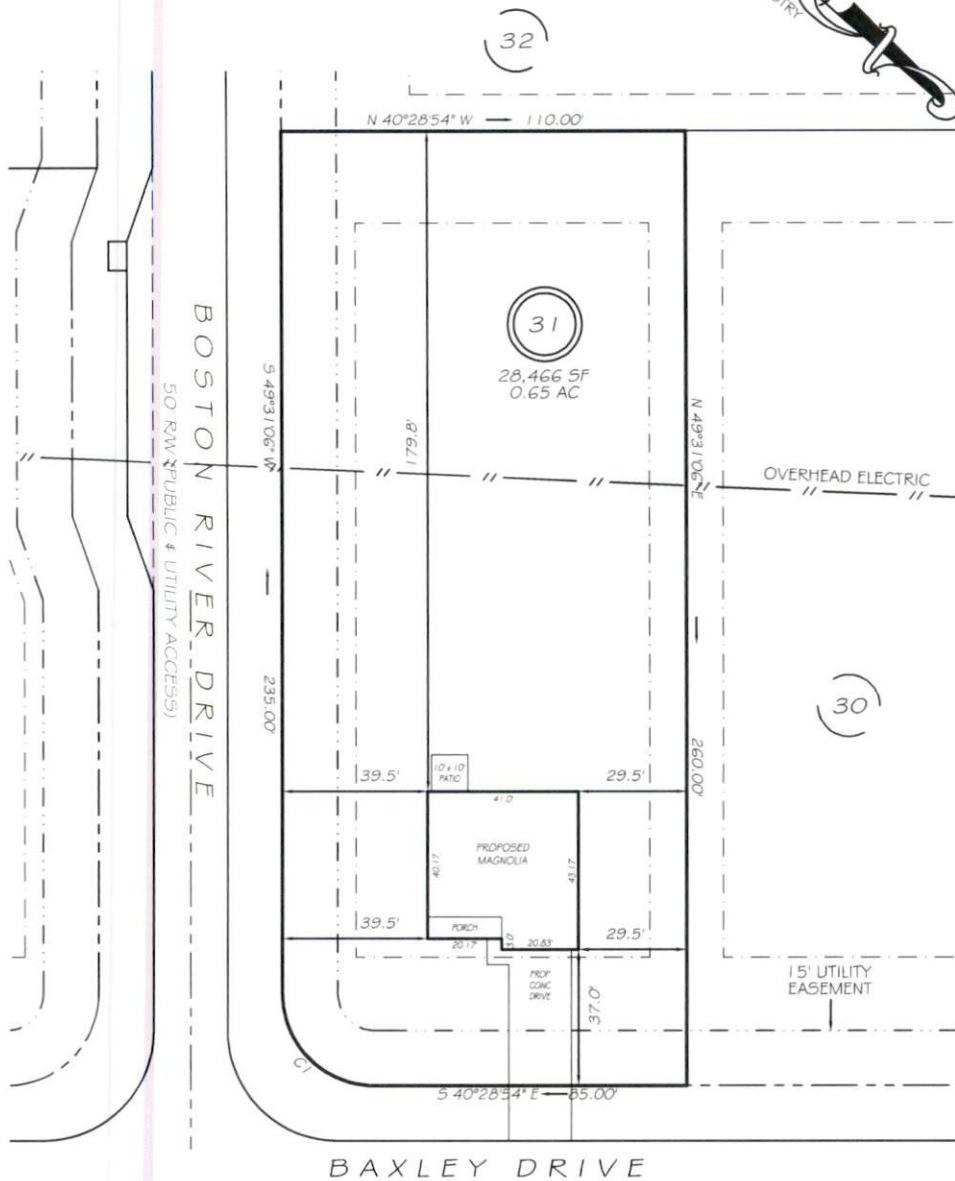
Scale = NTS



I, MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey; that the error of closure of the survey as calculated by coordinates is 1: 10,000+; that the area shown hereon was calculated by coordinates. Dashed lines shown hereon were not surveyed.

Witness my hand and seal this day of MONTH 2025.

BY 2025 PG 232
WAKE CO. REGISTRY



REVISION: NEW PLANS 9/8/25

IMPERVIOUS AREAS

HOUSE	1709 SQ. FT.
DRIVE & WALKS	665 SQ. FT.
PATIO	100 SQ. FT.
TOTAL	2474 SQ. FT.
ALLOWED	5767 SQ. FT.

C1 R=25.00' L=39.27' S04°31'06"W 35.36'

BAXLEY DRIVE
50' RW (PUBLIC & UTILITY ACCESS)

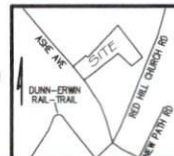


SETBACKS

FRONT	35'
REAR	25'
SIDE	10'
CORNER SIDE	20'

LEGEND

EIP	EXISTING IRON PIPE	FES	FLARED END SECTION
RBS	REBAR SET	WM	WATER METER
RW	RIGHT OF WAY	CO	CLEAN OUT
N/F	NOW OR FORMERLY	FH	FIRE HYDRANT
EIS	EXISTING IRON STAKE	CB	CATCH BASIN



PRELIMINARY
NOT FOR RECORDATION,
SALES OR CONVEYANCE



GRIFFIN LAND SURVEYING, INC.

P.O. BOX 148
FUQUAY-VARINA, NC 27526
(919) - 567-1963

FIRM LIC # C-1345

PLOT PLAN
FOR
BEN STOUT
CONSTRUCTION

ILA'S WAY

LOT 31

BAXLEY DRIVE

ERWIN, N.C.

HARNETT COUNTY AVERASBORO TOWNSHIP

DRAWN BY KDF

DATE 4/14/25

CHECKED BY MPG

SCALE 1" = 40'