



FRONT ELEVATION

Scale: 1/4" = 1'0"

9'0" CEILING HEIGHT FIRST FLOOR
(HEADER HEIGHT 7'6")
8'0" CEILING HEIGHT SECOND FLOOR
(Frame Headers to Top Plates on 2nd Floor)

FRAME WINDOWS TO HEADER HEIGHT



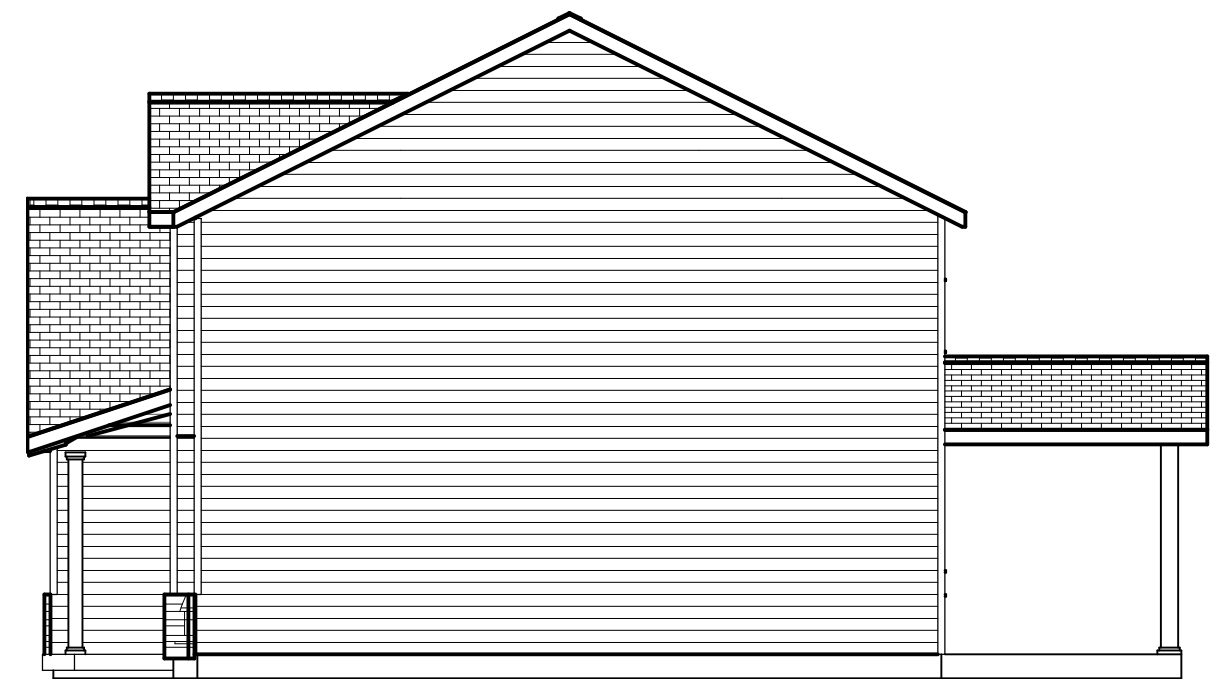
LEFT ELEVATION

Scale: 1/8" = 1'0"



REAR ELEVATION

Scale: 1/8" = 1'0"



RIGHT ELEVATION

Scale: 1/8" = 1'0"

PLAN:
Roark 2.0
Side Entry
Garage

SHEET TITLE:
ELEVATIONS

PROJECT ADDRESS:
17 Mahogany Ct.
Magnolia Hills Lot 19

DESIGNED BY:
Precision Custom Homes
Raeferd, NC
Shaun@PrecisionCustomHomesNC.com

DATE:
8/28/25

SCALE:
1/4" = 1'

SHEET:
A-1

PLAN:
Roark 2.0
Side Entry
Garage

SHEET TITLE:

FOUNDATION

PROJECT ADDRESS:
17 Mahogany Ct.
Magnolia Hills Lot 19

DESIGNED BY:

Precision Custom Homes
Raeferd, NC
Shaun@PrecisionCustomHomesNC.com

DATE:

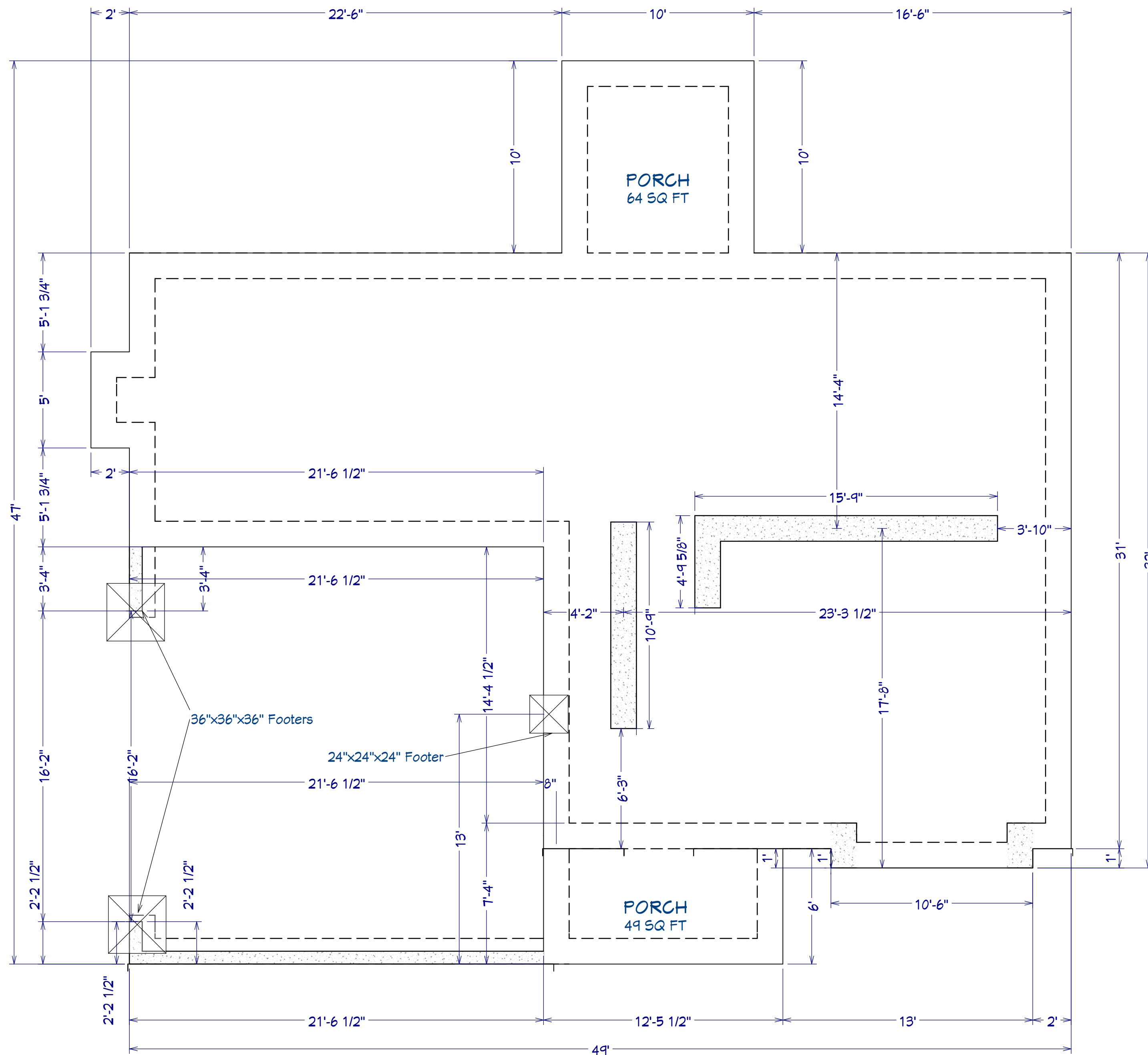
8/28/25

SCALE:

$$1/4'' = 1'$$

SHEET:	
--------	--

A-2



AREA SCHEDULE	
NAME	AREA
1st FLOOR AREA	1,208 SF
2nd FLOOR AREA	1,352 SF
GARAGE	441 SF
FRONT PORCH	60 SF
COVERED PORCH	100 SF
TOTAL HEATED	2,560 SF
TOTAL UNDER ROOF	3,161 SF

FOUNDATION PLAN

Scale: 1/4" = 1'0"

SHEET TITLE: **DETAIL SHEETS**

DESIGNED BY:

Precision Custom Homes
Raeford, NC

Shaun@PrecisionCustomHomesNC.com

A-3



ALL ANCHOR BOLTS TO BE 1/2" X 12" LONG.
ANCHOR BOLTS SHALL BE SPACED AT A
MAXIMUM OF 6' ON CENTER AND NO MORE
THEN 1' FROM EACH CORNER



LVL'S TO BE SIZED BY OTHERS (TRUSS MANUFACTURER)



PLAN:
Roark 2.0
Side Entry
Garage

TITLE: 1st FLOOR

PROJECT ADDRESS:
17 Mahogany Ct.
Magnolia Hills Lot 19

DESIGNED BY:

Precision Custom Homes
Raeford, NC

Shaun@PrecisionCustomHomesNC.com

DATE:

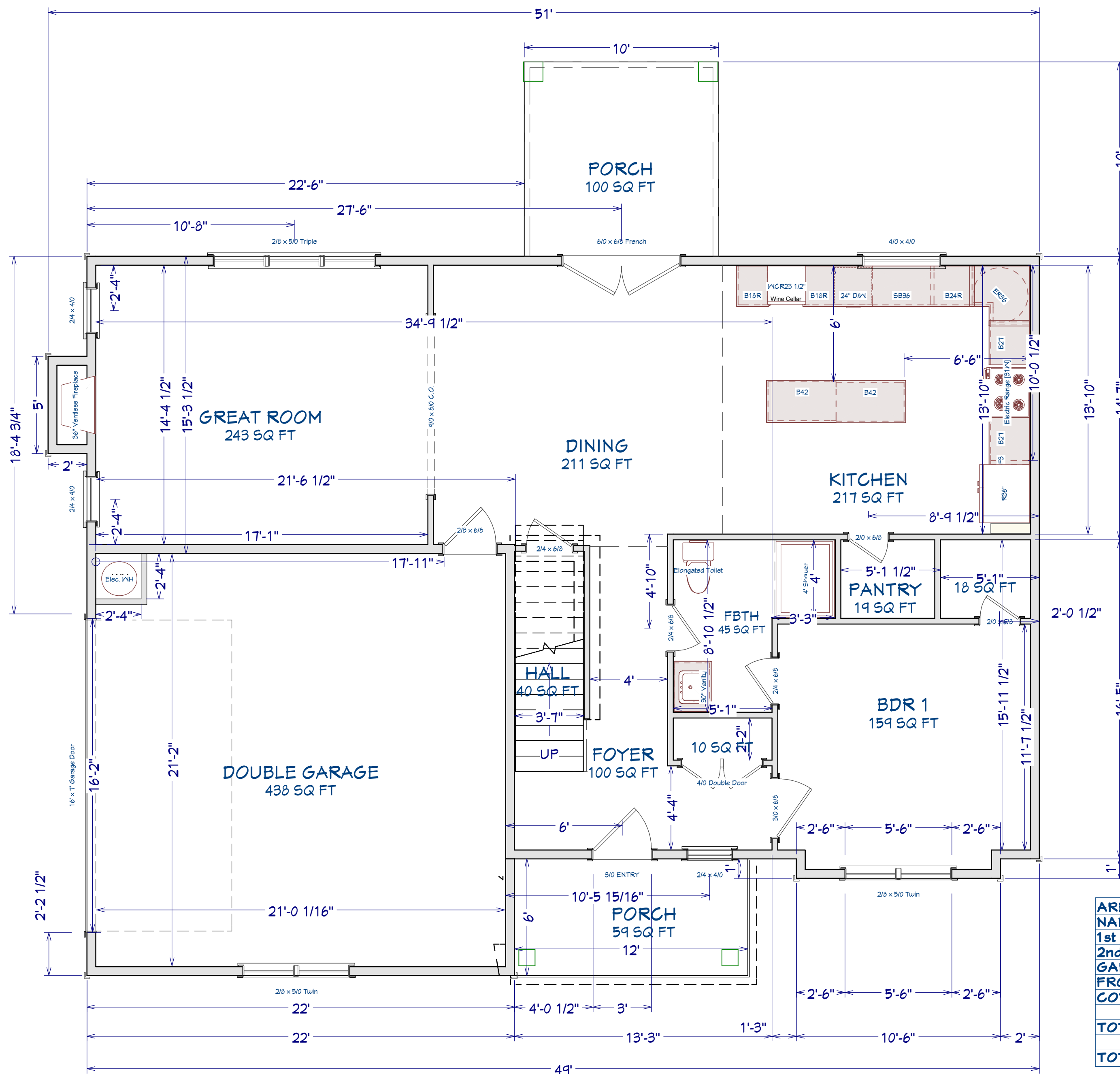
8/28/25

SCALE:

$$1/4'' = 1'$$

SHEET:

A-4



AREA SCHEDULE NAME	AREA
1st FLOOR AREA	1,208 SF
2nd FLOOR AREA	1,352 SF
GARAGE	441 SF
FRONT PORCH	60 SF
COVERED PORCH	100 SF
TOTAL HEATED	2,560 SF
TOTAL UNDER ROOF	3,161 SF

PLAN:
Roark 2.0
Side Entry
Garage

TITLE: **2nd FLOOR**

PROJECT ADDRESS:
17 Mahogany Ct.
Magnolia Hills Lot 19

DESIGNED BY:

Precision Custom Homes
Raeford, NC

Shaun@PrecisionCustomHomesNC.com

DATE:

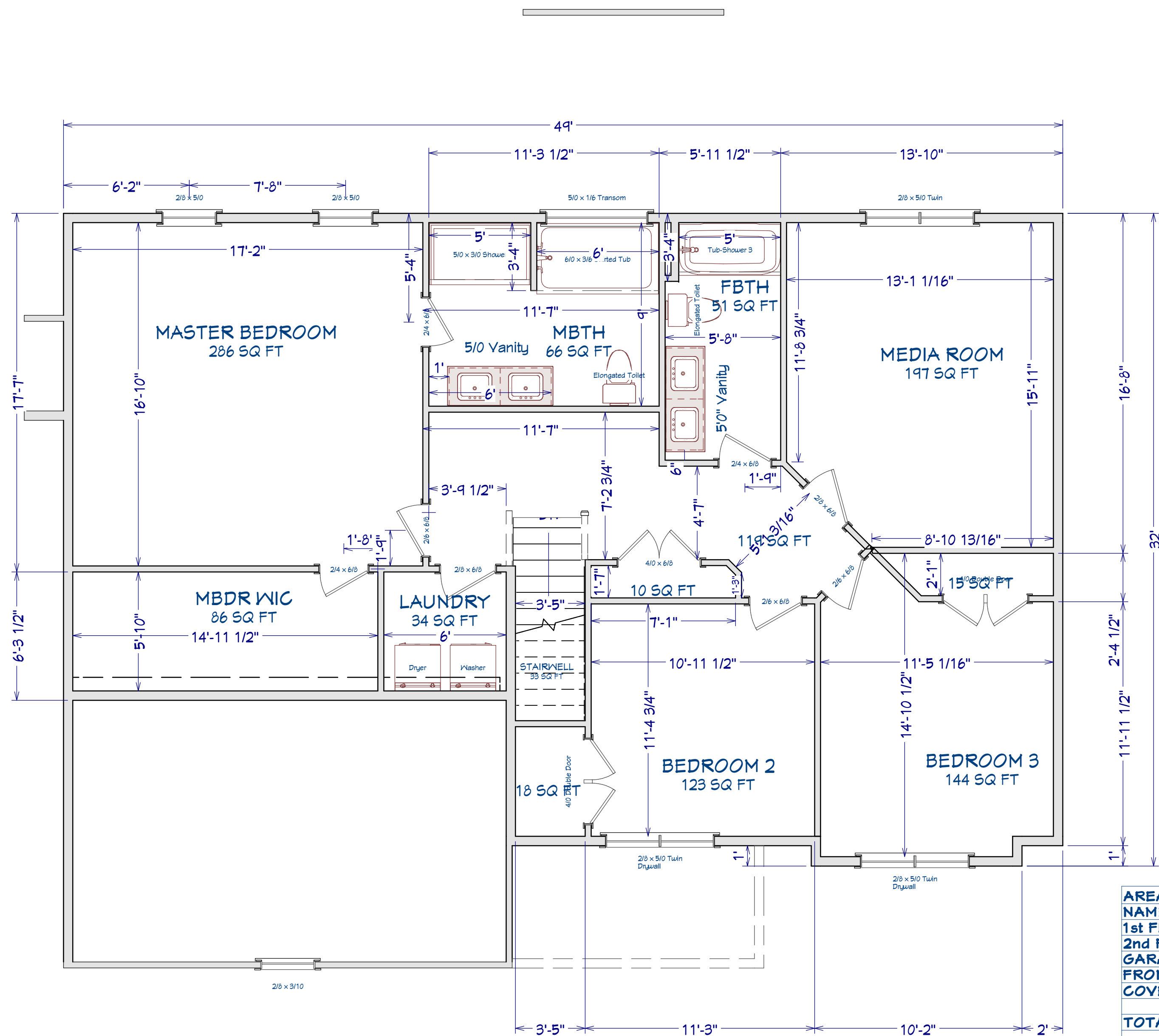
8/28/25

SCALE:

$$1/4'' = 1'$$

SHEET:

A-5



AREA SCHEDULE	
NAME	AREA
1st FLOOR AREA	1,208 SF
2nd FLOOR AREA	1,352 SF
GARAGE	441 SF
FRONT PORCH	60 SF
COVERED PORCH	100 SF
TOTAL HEATED	2,560 SF
TOTAL UNDER ROOF	3,161 SF



ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature
Neil Baggett

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))

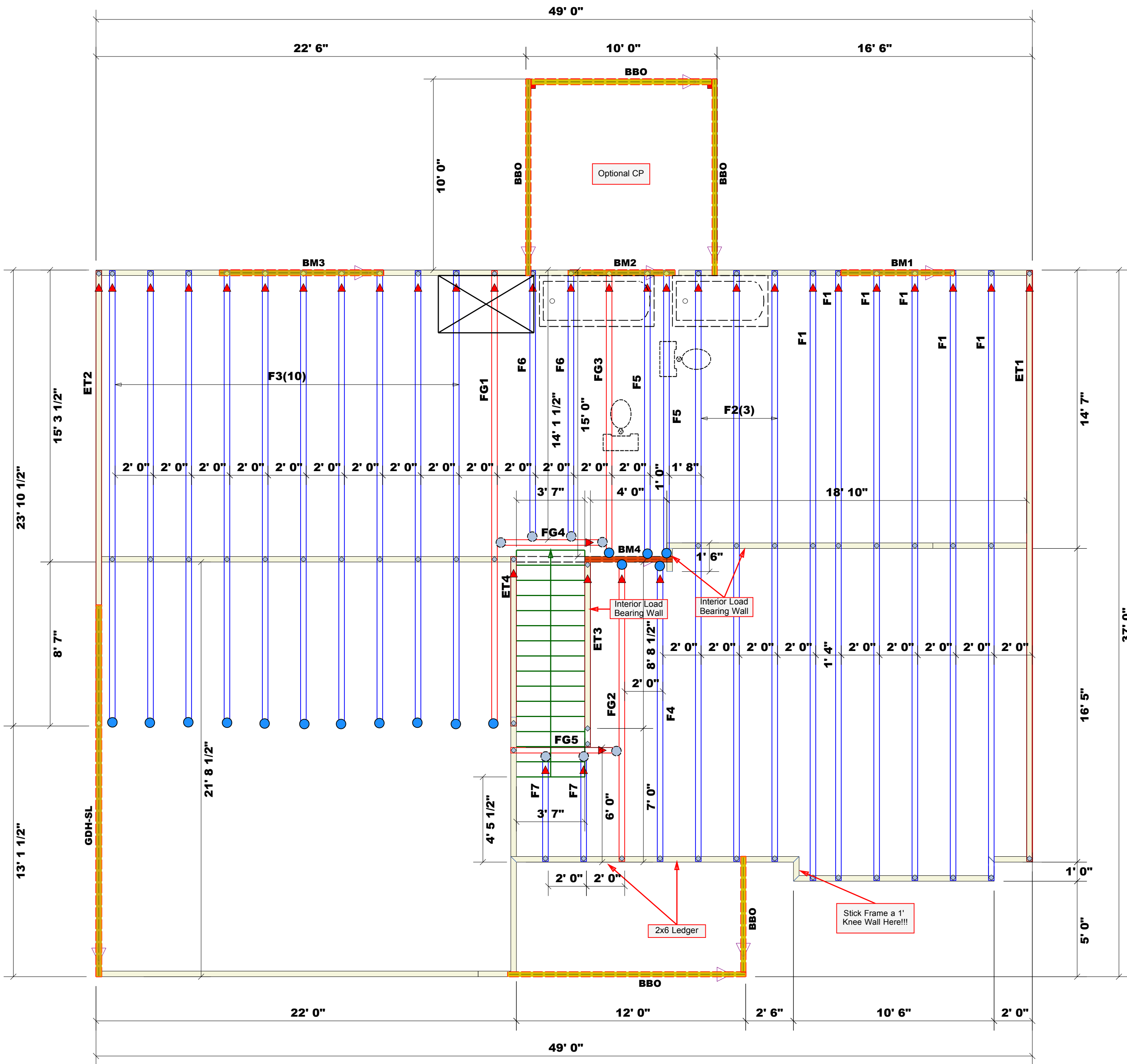
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ'D STUDS FOR (3) FLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (3) FLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (4) FLY HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

COUNTY	Harnett
ADDRESS	17 Mahogany Ct., Cameron, NC
MODEL	Floor
DATE REV.	8/21/2025
DRAWN BY	Neil Baggett
SALESMAN	Neil Baggett

BUILDER	Precision Custom Homes
JOB NAME	Lot 19 Magnolia Hills-B
PLAN	Roark 2.0 w/CP & GDH-SL
SEAL DATE	8/20/2025
QUOTE #	Quote #
JOB #	250658-B

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com



Plumbing Drop Notes
1. Plumbing drop locations shown are NOT exact.
2. Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
3. Adjust spacing as needed not to exceed 24"oc.

Dimension Notes
1. All exterior wall to wall dimensions are to face of stud unless noted otherwise.
2. All interior wall dimensions are to face of stud unless noted otherwise.
3. All exterior wall to truss dimensions are to face of stud unless noted otherwise.

Roof Area = 2508.48 sq.ft.
Ridge Line = 84.93 ft.
Hip Line = 0 ft.
Horiz. OH = 139.64 ft.
Raked OH = 206.37 ft.
Decking = 86 sheets

All Walls Shown Are Considered Load Bearing

▲ = Indicates Left End of Truss (Reference Engineered Truss Drawing)
Do Not Erect Trusses Backwards

1 Truss Placement Plan
Scale: 1/4"=1'

Hatch Legend
Box Storage
Padded HVAC
Flush Beam
Drop Beam

PlotID	Length	Product	Piles	Net Qty	Fab Type
GDH-SL	20' 0"	1.75 X 24 Kerto-S LVL 2.0E	2	2	FF
BM3	9' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
BM1	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
BM2	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
BM4	5' 0"	1-3/4"x 14" LVL Kerto-S	2	2	FF

Connector Information				Nail Information	
Sym	Product	Manuf	Qty	Header	Truss
●	HUS410	USP	16	16d/3-1/2"	16d/3-1/2"
●	MSH422	USP	7	10d/3"	10d/3"



ROOF & FLOOR
TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature
Neil Baggett

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))
NUMBER OF JACK STUDS REQUIRED @ EA END OF
HEADER/GIRDER

END REACTION (UP TO)	REQ'D STUDS FOR (1) 1" x 1" HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (1) 1" x 1" HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (1) 1" x 1" HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

- Plumbing Drop Notes
1. Plumbing drop locations shown are NOT exact.
 2. Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
 3. Adjust spacing as needed not to exceed 24"oc.

- Dimension Notes
1. All exterior wall to wall dimensions are to face of stud unless noted otherwise
 2. All interior wall dimensions are to face of stud unless noted otherwise
 3. All exterior wall to truss dimensions are to face of stud unless noted otherwise

Roof Area = 2600.27 sq.ft.
Ridge Line = 86.93 ft.
Hip Line = 0 ft.
Horiz. OH = 143.64 ft.
Raked OH = 209.32 ft.
Decking = 89 sheets

All Walls Shown Are
Considered Load Bearing

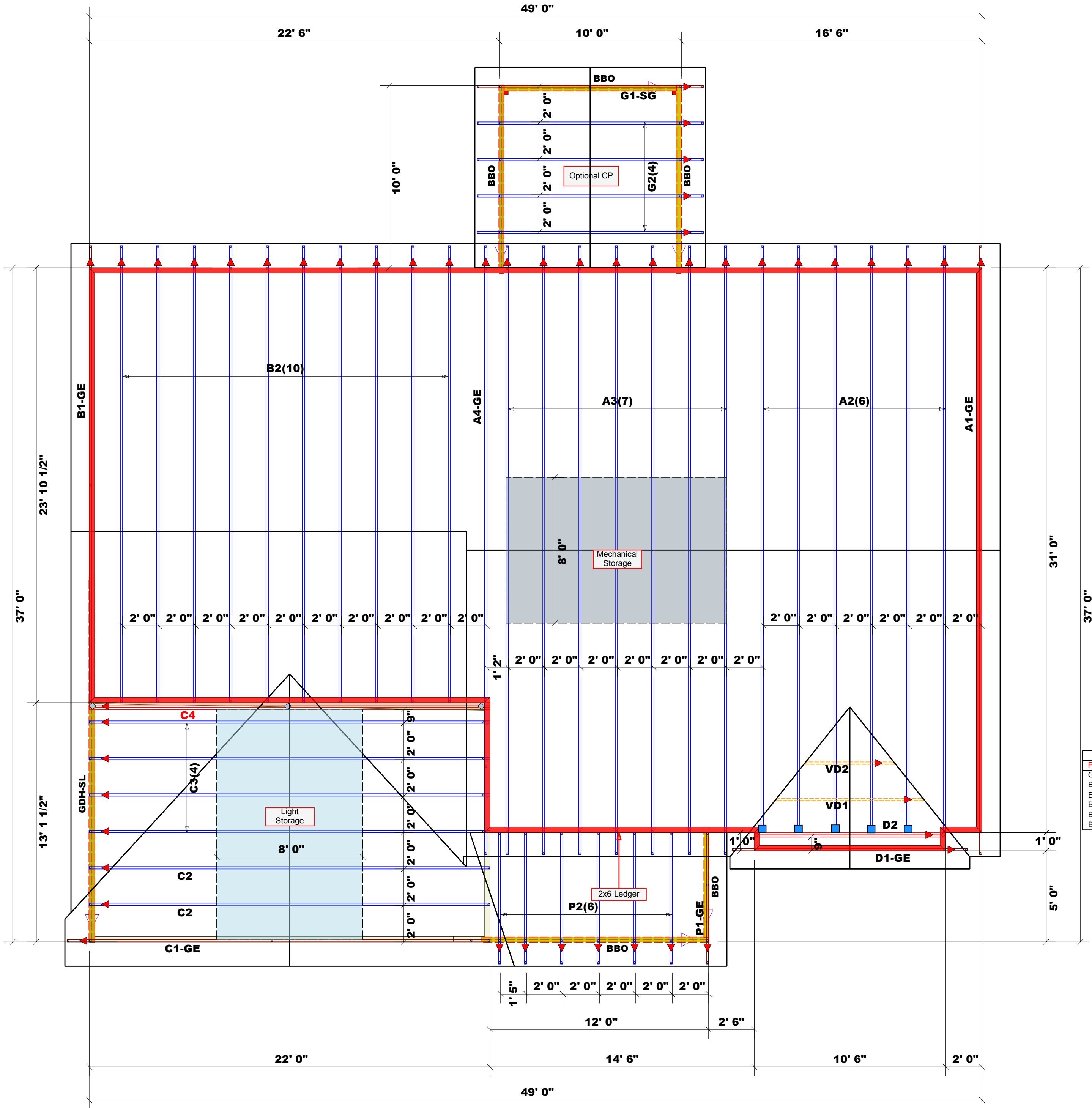
▲ = Indicates Left End of Truss
(Reference Engineered Truss Drawing)
Do Not Erect Trusses Backwards

1 Truss Placement Plan
Scale: 1/4"=1'

Hatch Legend
Box Storage
Padded HVAC
Flush Beam
Drop Beam

PlotID	Length	Product	Plies	Net Qty	Fab Type
GDH-SL	21-00-00	1.75 X 24 Kerto-S LVL 2.0E	2	2	FF
BM3	9-00-00	1-3/4" x 9-1/4" LVL Kerto-S	2	2	FF
BM1	6-00-00	1-3/4" x 9-1/4" LVL Kerto-S	2	2	FF
BM2	6-00-00	1-3/4" x 9-1/4" LVL Kerto-S	2	2	FF
BM5	6-00-00	1-3/4" x 14" LVL Kerto-S	2	2	FF
BM4	5-00-00	1-3/4" x 14" LVL Kerto-S	2	2	FF

Connector Information				Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header Truss
●	HUS410	USP	16	Varies	16d/3-1/2" 16d/3-1/2"
●	MSH422	USP	7	Varies	10d/3" 10d/3"
■	HUS26	USP	5	Varies	16d/3-1/2" 16d/3-1/2"



THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.
These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com

North Carolina 2018 - R402.1.5 Total UA

**Property**

Cameron, NC 28326
Model: Roark
Community: Liberty Meadows

Organization

Southern Energy Manager
Justin Smith

Inspection Status

Results are projected

Template - SMG Precision - Liberty
Meadows lot 1 - CZ 3 slab -
Liberty Meadows lot 1

Builder

SMG Precision Properties

This report is based on a proposed design and does not confirm field enforcement of design elements.

Building UA

Elements	NC Reference	As Designed
Ceilings	40.7	38.6
Above-Grade Walls	184.5	137.0
Windows, Doors and Skylights	101.5	90.8
Slab Floor:	75.7	98.4
Framed Floors	8.0	8.7
Foundation Walls	0.0	0.0
Rim Joists	8.4	6.8
Overall UA (Design must be equal or lower):	418.8	380.3

Requirements

✓	402.1.5	Total UA alternative compliance passes by 9.2%.
✓	402.3.2	Average SHGC: 0.28 Max SHGC: 0.30
✓	R402.4.2.2	Air Leakage Testing Air sealing is 4.80 ACH at 50 Pa. It must not exceed 5.00 ACH at 50 Pa.
✓	R402.5	Area-weighted average fenestration SHGC
✓	R402.5	Area-weighted average fenestration U-Factor
✓	R404.1	Lighting Equipment Efficiency
✓	Mandatory Checklist	Mandatory code requirements that are not checked by Ekotrope must be met.
✓	R403.3.1	Duct Insulation
✓	403.3.3	Duct Testing

Design exceeds requirements for North Carolina 2018 Prescriptive compliance by 9.2%.

Name: Justin Smith
Organization: Southern Energy Management

Signature: Justin Smith
Digitally signed: 8/9/22 at 11:11 AM

Ekotrope RATER - Version 4.0.1.2966

North Carolina 2018 Prescriptive compliance results calculated using Ekotrope RATER's energy and code compliance algorithm, including appropriate amendments.
Ekotrope RATER is a RESNET Accredited HERS Rating Tool. All results are based on data entered by Ekotrope users.
Ekotrope disclaims all liability for the information shown on this report.

Building Summary

Property

Cameron, NC 28326

Model: Roark

Community: Liberty Meadows

Template - SMG Precision - Liberty Meadows lot 1 -

CZ 3 slab - ecoSelect

Liberty Meadows lot 1

Organization

Southern Energy Management

Justin Smith

Builder

SMG Precision Properties

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

General Building Information

Number Of Bedrooms	4
Number Of Floors	2
Conditioned Floor Area [sq. ft.]	2,490
Has Electric Vehicle Ready Space	No
Unconditioned, attached garage?	Yes
Conditioned Volume [cu. ft.]	22,290
Total Units in Building	1
Residence Type	Single family detached
Number of Floors in Building	-
Floor Number	-
Model	Roark
Community	Liberty Meadows
RESNET/IECC 2006 Climate Zone	4A
IECC 2021 Climate Zone	3A

Foundation Wall

None Present

Foundation Wall Library List

None Present

Slab

Name	Library Type	Perimeter	Floor Grade	Carpet R	Exposed Masonry Area	Surface Area	Location	Enclosing
slab	Uninsulated	158	On Grade	1	0	1,185.0 ft²	Exposed Exterior	Conditioned Space

Slab Library List

Name	Wall Construction Type	Slab Completely Insulated?	Underslab Insulation Width [ft]	Perimeter Insulation Depth [ft]	Perimeter Insulation R Value	Thermal Break	Effective R-value
Uninsulated	Wood Frame / Other	No	0	0	0	No	0.00

Building Summary

Property

Cameron, NC 28326

Model: Roark

Community: Liberty Meadows

Template - SMG Precision - Liberty Meadows lot 1 -

CZ 3 slab - ecoSelect

Liberty Meadows lot 1

Organization

Southern Energy Management

Justin Smith

Builder

SMG Precision Properties

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Framed Floor

Name	Library Type	Carpet R	Floor Grade	Surface Area	Location
over garage	R 19, 16"OC G1 Carpet	0	Above Grade	170.0 ft²	Unconditioned, attached garage

Framed Floor Library List

Name	Effective R-value
R 19, 16"OC G1 Carpet	19.566

Rim Joist

Name	Library Type	Surface Area	Location
1st floor ambient	R 19 G1, 16"OC	123.0 ft²	Exposed Exterior
1st floor garage	R 19 G1, 16"OC	28.0 ft²	Unconditioned, attached garage

Rim Joist Library List

Name	Effective Insulation R-value
R 19 G1, 16"OC	17.30

Wall

Name	Library Type	Surface Color	Surface Area	Location
1st floor ambient	R 19 Adv. Framing G1 16" O.C	Medium	1,107.0 ft²	Exposed Exterior
1st floor garage	R 19 Adv. Framing G1 16" O.C	Medium	315.0 ft²	Unconditioned, attached garage
2nd floor ambient	R 19 Adv. Framing G1 16" O.C	Medium	1,040.0 ft²	Exposed Exterior
2nd floor attic	R 19 Adv. Framing G1 16" O.C	Medium	224.0 ft²	Attic

Building Summary

Property

Cameron, NC 28326
Model: Roark
Community: Liberty Meadows

Organization

Southern Energy Management
Justin Smith

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows lot 1 -
CZ 3 slab - ecoSelect
Liberty Meadows lot 1

Builder

SMG Precision Properties

Wall Library List

Name	Effective R-value
R 19 Adv. Framing G1 16" O.C	17.492

Glazing

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Is Operable	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
front 2nd unshaded	33/28	2nd floor ambient		Yes	0	0	0	North	53.4 ft²
front shaded	33/28	1st floor ambient		Yes	6	1	5	North	9.6 ft²
front unshaded	33/28	1st floor ambient		Yes	0	0	0	North	13.4 ft²
rear 2nd unshaded	33/28	2nd floor ambient		Yes	0	0	0	South	60.9 ft²
rear unshaded	33/28	1st floor ambient		Yes	0	0	0	South	96.1 ft²
right unshaded	33/28	1st floor ambient		Yes	0	0	0	West	18.6 ft²

Glazing Library List

Name	Shgc	U-factor
33/28	0.28	0.330

Skylight

None Present

Skylight Library List

None Present

Building Summary

Property

Cameron, NC 28326

Model: Roark

Community: Liberty Meadows

Organization

Southern Energy Management

Justin Smith

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows lot 1 -

CZ 3 slab - ecoSelect

Liberty Meadows lot 1

Builder

SMG Precision Properties

Opaque Door

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Emittance	Solar Absorptance	Surface Color	Surface Area	Location
front entry	Fiberglass R-5	1st floor ambient		0.9	0.75	Medium	20.0 ft²	Exposed Exterior
garage entry	Fiberglass R-5	1st floor garage		0.9	0.75	Medium	18.0 ft²	Unconditioned, attached garage

Opaque Door Library List

Name	Effective U-factor
Fiberglass R-5	0.200

Roof Insulation

Name	Library Type	Attic Exterior Area [ft²]	Clay or Concrete Roof Tiles	Surface Color	Surface Area	Location
attic	R 38 Attic BLOWN FG G1 2x10 24"OC NO Radiant Barrier	1,991.85	No	Dark	1,355.0 ft²	Attic

Roof Insulation Library List

Name	Has Radiant Barrier	Effective R-value
R 38 Attic BLOWN FG G1 2x10 24"OC NO Radiant Barrier	No	35.115


Whole House Infiltration

Infiltration	Measurement Type	Shelter Class
1783 CFM at 50 Pa	Blower-door tested	4

Mechanical Ventilation

None Present

Building Summary

Property Cameron, NC 28326 Model: Roark Community: Liberty Meadows	Organization Southern Energy Management Justin Smith	Inspection Status Results are projected	 SOUTHERN ENERGY MANAGEMENT ENERGY EFFICIENCY & SOLAR POWER
Template - SMG Precision - Liberty Meadows lot 1 - CZ 3 slab - ecoSelect Liberty Meadows lot 1	Builder SMG Precision Properties		

Lighting

% Interior Fluorescent Lighting	% Interior LED Lighting	% Exterior Fluorescent Lighting	% Exterior LED Lighting	% Garage Fluorescent Lighting	% Garage LED Lighting
0	90	0	0	0	0

Onsite Generation

None Present

Onsite Generation Library List

None Present

Solar Generation

None Present

Dehumidifier

None Present

Dehumidifier Library List

None Present

Whole House Fan

None Present

Building Summary

Property

Cameron, NC 28326
Model: Roark
Community: Liberty Meadows

Organization

Southern Energy Management
Justin Smith

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows lot 1 -
CZ 3 slab - ecoSelect
Liberty Meadows lot 1

Builder

SMG Precision Properties

Whole House Fan Library List

None Present

Conditioning Equipment

Name	Library Type	Serial Number	Heating Percent Load	Cooling Percent Load	Hot Water Percent Load	Location
1st floor heat pump	z 24k 14 SEER 8.2hspf		48%	48%	0%	Attic
2nd floor heat pump	z 24k 14 SEER 8.2hspf		52%	52%	0%	Attic
Water Heating	z 50 gal. 0.95 EF Elec		0%	0%	100%	Unconditioned Garage

Equipment Type: z 24k 14 SEER 8.2hspf

Equipment Type	Air Source Heat Pump
Fuel Type	Electric
Distribution Type	Forced Air
Motor Type	PSC (Single Speed)
Heating Efficiency	8.2 HSPF
Heating Capacity [kBtu/h]	24
Backup Fuel Type	Electric
Switchover Temperature [°F]	0
Backup Heating Efficiency	1 COP
Use default Supplemental Heat	Yes
Cooling Efficiency	14 SEER
Cooling Capacity [kBtu/h]	24

Equipment Type: z 50 gal. 0.95 EF Elec

Equipment Type	Residential Water Heater
Fuel Type	Electric
Distribution Type	Hydronic Delivery (Radiant)
Hot Water Efficiency	0.95 Energy Factor
Tank Capacity (gal.)	50
Hot Water Capacity [kBtu/h]	40
Recovery Efficiency	0.98

Building Summary

Property

Cameron, NC 28326
Model: Roark
Community: Liberty Meadows

Organization

Southern Energy Management
Justin Smith

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows lot 1 -
CZ 3 slab - ecoSelect
Liberty Meadows lot 1

Builder

SMG Precision Properties

Distribution System

Distribution Type	Forced Air
Heating Equipment	1st floor heat pump
Cooling Equipment	1st floor heat pump
Sq. Feet Served	1,185
# Return Grilles	2
Supply Duct R Value	8
Return Duct R Value	8
Supply Duct Area [ft²]	319.95
Return Duct Area [ft²]	118.5
Leakage to Outdoors	47 CFM @ 25Pa (3.97 / 100 ft²)
Total Leakage	47 CFM25
Total Leakage Duct Test Conditions	Post-Construction
Use Default Flow Rate	Yes
Duct 1	
Duct Location	Attic (well vented)
Percent Supply Area	70
Percent Return Area	70
Duct 2	
Duct Location	Conditioned Space
Percent Supply Area	30
Percent Return Area	30
Duct 3	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 4	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 5	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 6	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0

Building Summary

Property

Cameron, NC 28326
Model: Roark
Community: Liberty Meadows

Organization

Southern Energy Management
Justin Smith

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows lot 1 -
CZ 3 slab - ecoSelect
Liberty Meadows lot 1

Builder

SMG Precision Properties

Distribution System

Distribution Type	Forced Air
Heating Equipment	2nd floor heat pump
Cooling Equipment	2nd floor heat pump
Sq. Feet Served	1,305
# Return Grilles	2
Supply Duct R Value	8
Return Duct R Value	8
Supply Duct Area [ft²]	268.11
Return Duct Area [ft²]	99.3
Leakage to Outdoors	52 CFM @ 25Pa (3.98 / 100 ft²)
Total Leakage	52 CFM25
Total Leakage Duct Test Conditions	Post-Construction
Use Default Flow Rate	Yes
Duct 1	
Duct Location	Attic (well vented)
Percent Supply Area	100
Percent Return Area	100
Duct 2	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 3	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 4	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 5	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 6	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0

HVAC Grading

HVAC Grading Not Conducted

Ceiling Fan

Has Ceiling Fan	No
Cfm Per Watt	100

Building Summary

Property

Cameron, NC 28326
Model: Roark
Community: Liberty Meadows

Organization

Southern Energy Management
Justin Smith

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows lot 1 -
CZ 3 slab - ecoSelect
Liberty Meadows lot 1

Builder

SMG Precision Properties

Water Distribution

Water Fixture Type	Low-flow
Use Default Hot Water Pipe Length	No
Hot Water Pipe Length [ft]	79
At Least R3 Pipe Insulation?	No
Hot Water Recirculation System?	No
Recirculation System Pipe Loop Length [ft]	20
Drain Water Heat Recovery?	No

Clothes Dryer

Cef	3.01
Fuel Type	Electric
Field Utilization	Timer Controls
Is Outside Conditioned Space	No
Clothes Dryer Available	Yes
Defaults Type	HERS Reference

Clothes Washer

Label Energy Rating	153 kWh/Year
Annual Gas Cost	\$12.00
Electric Rate	\$0.11/kWh
Gas Rate	\$1.22/Therm
Capacity	3.31
Imef	2.1547
Defaults Type	Custom
Load Type	Front-load
Loads Per Week	6
Is Outside Conditioned Space	No
Clothes Washer Available	Yes

Dishwasher

Dishwasher Efficiency	270 kWh
Dishwasher Size	Standard
Annual Gas Cost	\$22.23
Electric Rate	\$0.12/kWh
Gas Rate	\$1.09/Therm
Is Outside Conditioned Space	No

Building Summary

Property

Cameron, NC 28326

Model: Roark

Community: Liberty Meadows

Template - SMG Precision - Liberty Meadows lot 1 -

CZ 3 slab - ecoSelect

Liberty Meadows lot 1

Organization

Southern Energy Management

Justin Smith

Builder

SMG Precision Properties

Inspection Status

Results are projected



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Appliances and Controls

Thermostat Cooling Setpoint	**** 75.0
Thermostat Heating Setpoint	**** 70.0
Range/Oven Fuel	Electric
Convection Oven?	No
Induction Range?	No
Range/Oven Outside Conditioned Space?	No
Refrigerator Consumption	538 kWh/Year
Refrigerator Outside Conditioned Space?	No

Notes

Initial Inputs _____ MS 06/30/22 _____

- confirm HVAC specs
- confirm water heater specs
- confirm ventilation entry, modeled as air cycler
- modeled to worst case orientation
- confirm cfl lighting %