



Square Footage	
FINISHED LOWER LEVEL (NET)	0
FIRST FLOOR (NET)	2807
SECOND FLOOR (GROSS)	0
— VOLUME SPACE (GROSS)	0
SECOND FLOOR (NET)	0
TOTAL LIVING (NET)	2807
UNFINISHED BASEMENT	0
UNFINISHED ATTIC STORAGE	0
GARAGE	984
COVERED FRONT PORCH	179
COVERED REAR DECK	187
REAR DECK	199
PER ANSI Z765-2003	

PER ANSI Z765-2003

Redraws

Plan Review: 6/5/2025

-REDUCED CARRIAGE GARAGE BY 2' (1' FROM EACH SIDE)

[illegible]

The Drees Company
06/11/2025 12:30:38 PM

RESIDENCE FOR:

SPIES

**273 PRIMING WAY
TOBACCO ROAD**

Job Number: TBRD-0118-00	Drawing Date: 5/12/2025	Coord Name: GREG P.	Coord Phone: 859.578.4355
House Name:			Drawn By: EWT
the SEBASTIAN			Series: PREMIER
			Plan No.:



Sheet Information

OC.1

Cover Sheet

Elevation "K"

Architecture Plan Review: <input type="checkbox"/> No Comments <input type="checkbox"/> See Comments <small>Items drawn on any drawings and not written in the contract sections WILL NOT be included in the site specific drawings.</small>			
Customer Request:	Design Solution:	Reason For Modification:	Comments:
1. Xxxxx	1. Xxxxx	1. Xxxxx	1. Xxxxx
2. Xxxxx	2. Xxxxx	2. Xxxxx	2. Xxxxx
3. Xxxxx	3. Xxxxx	3. Xxxxx	3. Xxxxx
4. Xxxxx	4. Xxxxx	4. Xxxxx	4. Xxxxx

GENERAL NOTES - RALEIGH

FOUNDATION NOTES

CRAWL SPACES:
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.
- WALL TIES EMBEDDED IN THE HORIZONTAL MORTAR JOINT SHALL BE 16" ON CENTER. TIES IN ALTERNATE COURSES SHALL BE STAGGERED. THE MAXIMUM VERTICAL DISTANCE BETWEEN TIES SHALL NOT EXCEED 16" AND THE MAXIMUM HORIZONTAL DISTANCE SHALL NOT EXCEED 16" ADDITIONAL TIES SHALL BE PROVIDED AT ALL OPENINGS, AND WITHIN 12" OF THE OPENING.
- CORE FILL ENTIRE BLOCK WALL WHEN THE WALL IS 4'-0" TALL OR HIGHER. INSTALL #4 REBAR IN EACH HOLLOW AREA OF EACH BLOCK FROM FOOTING TO TOP OF WALL, ON THE ENTIRE WALL PRIOR TO CORE FILLING IT.
- TOP COURSE OF BLOCK ON ALL WALLS WILL BE FILLED SOLID WITH MORTAR PLACING THE FOUNDATION STRAPS OR BOLTS IN THE MORTAR 6'-0" ON CENTER, AND 12" FROM EACH CORNER.
- 12"x16" PIERS: HOLLOW MASONRY UP TO 48" HIGH, SOLID MASONRY UP TO 90" HIGH
- 16"x16" PIERS: HOLLOW MASONRY UP TO 64" HIGH, SOLID MASONRY UP TO 120" HIGH
- BLOCK PIERS SHOULD BE PLACED DIRECTLY ON CONCRETE FOOTINGS PER PLAN. THEY SHOULD BE PLUMBED AND SQUARE WITHIN 1/4".
- SILL PLATES TO BE A MINIMUM OF 2x4 NOMINAL LUMBER.

FRAMING NOTES

DESIGN LOADS:
FLOORS: 40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf GARAGE FLOOR: 50 psf LIVE LOAD SEISMIC: "A" & "B"
ROOF: 18 psf LIVE LOAD + 17psf DEAD LOAD = 35 psf WIND SPEED: 120 MPH
DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):
RAFTERS GREATER THAN 3:12 L/180 CEILINGS L/240
MASONRY VENEER L/600
NOMINAL LUMBER FLOORS: L/360
MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 35 (OR EQUIVALENT).
NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.
L/480 FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION
L/600 FOR SPANS OVER 16'-0" IF SIMPLE SPAN AND NO GREATER THAN 1/2" DEFLECTION
L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. AND NO GREATER THAN 1/2" DEFLECTION

-JOIST SPACING: 19.2" o.c. MAXIMUM SPACING
DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS
INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2" o.c. FLOOR JOIST SPACING
GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2" o.c. FLOOR JOIST SPACING
- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
-JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
- ALL WOOD BEAMS/HEADERS: 2x6's TO BE SPF STUD GRADE OR BETTER/ 2x8 OR LARGER TO BE SYP #2 [PER NDS 2012] OR BETTER, U.O.N.
- ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD AND (1) 2x KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACKS REQUIRED, U.N.O. AT FLUSH OR DROPPED BEAMS, THE NUMBER OF STUDS SPECIFIED INDICATES THE TOTAL NUMBER OF STUDS REQUIRED TO SUPPORT THE BEAM.
- EXTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 16" o.c. UNLESS OTHERWISE NOTED (10'4-1/2" MAXIMUM WALL HEIGHT)
- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, BATH, & GARAGE TO BE 2x4 SPF STUD GRADE @ 16" o.c.; ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE @ 24" o.c. U.O.N.
- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
- PROVIDE SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS & GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.
- SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE. SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY.
- CHECK SELECTION SHEETS FOR FLOOR COVERING AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISERS AS REQ'D.
- PROVIDE BLOCKING AT ALL HANDRAIL TERMINATION AND BRACKET LOCATIONS.
- 20-MINUTE FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.
- EXTERIOR WALL TO BE 2x4 SPF STUD G AT 16" o.c. UNLESS OTHERWISE NOTED (10'-0" MAXIMUM UNBRACED WALL HEIGHT).
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STANDARD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.
- IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" S'AG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.
- ALL EMERGENCY ESCAPE & RESCUE OPENINGS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR AND HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, & HAVE A MINIMUM OPENING AREA OF 5.7 S.F.
ALL DOORS TO BE 6'-8" TALL UNLESS OTHERWISE NOTED.
- ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS)
- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.
- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- AT STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2-1/4" IN CROSS SECTIONAL DIMENSION.
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHTS SHALL BE A MINIMUM OF 34" AND A MAXIMUM OF 38".
- ALL STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH THE RISER.
- GUARDRAILS MUST BE A MINIMUM OF 36" HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS MUST BE A MINIMUM OF 34" HIGH MEASURED VERTICALLY FROM THE NOSING AT THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.
- GUARDRAIL DESIGN TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE

BASEMENTS:
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED- ALL FOUNDATION WALLS TO BE CAST IN PLACE CONCRETE 3000 PSI MIN. UNLESS OTHERWISE NOTED.
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:
1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH.
(NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).
2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.
3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.
4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.
5) DOORS DO NOT GET CONTROL JOINTS.
6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.
7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

SLAB ON GRADE:
- ALL CONCRETE SLABS ON GRADE SHALL BE THE THICKNESS AS INDICATED ON THE DETAILS OVER MINIMUM 6 MIL. POLYETHYLENE (VISQUEEN) VAPOR BARRIER. SLABS SHALL BE REINFORCED WITH 6x6 W1.4 WWF LAPPED 8" AT EDGES AND ENDS IN CONFORMANCE WITH ASTM-A 185, OR FIBERMESS REINFORCEMENT SHALL BE USED WITH A MINIMUM FIBER LENGTH OF 1 1/2' TO 2 1/2' COMPLYING WITH ASTM C 1116. THE DOSAGE AMOUNT SHALL BE 0.75 TO 3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFA TURER'S RECOMMENDATIONS.
- SLABS ON GRADE SHALL BEAR ON STRUCTURAL FILL WHICH SHALL BE CLEAN SAND FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUMN DRY DENSITY (ASTM D1557). TERMITE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS. IF SOIL TREATMENT IS USED, THE TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETED.
- FOOTINGS MAY BEAR UPON UNDISTURBED SOIL OR UPON STRUCTURAL FILL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUMN DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST TWO FEET (2'-0") BELOW THE BOTTOM OF THE FOOTING.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
2" CONCRETE EXPOSED TO EARTH AND WEATHER
1 1/2" CONCRETE NOT EXPOSED TO EARTH OR WEATHER
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

MECHANICAL/ELECTRICAL NOTES

- ANY GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- HOLD THE CENTERLINE OF ALL EXTERIOR LIGHT FIXTURES AT 5'-8" OFF BOTTOM OF DOOR OPENING.
- ALL KITCHEN CABINET DIMENSIONS ARE CABINET TO CABINET.
- CABINET STYLES MAY VARY FROM INTERIOR ELEVATIONS DEPENDING ON STYLE, MANUFACTURER, ETC. FOR CABINET DETAILS SEE SHOP DRAWINGS.
- CABINET SIZES MAY VARY WITH FULL-OVERLAY CABINETS.
- GROUND FAULT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED UNLESS OTHERWISE NOTED ON THE PLANS.
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS

INSULATION DETAILS
EXTERIOR STUD WALL CAVITY: (2x4) R-15
(2x6) R-19
FLOOR JOIST CAVITY AT STANDARD PERIMETER: R-19
FLOOR JOIST CAVITY AT CANTILEVER: R-19
OVER GARAGE: (OVER HORIZONTAL SPACE) R-38 BLOWN
(SLOPED AND VERTICAL SPACE) R-38 BATT

ELEVATION NOTES

- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.
- USE SECONDARY HEAT BARRIER ON ALL DIRECT VENT FIREPLACES 7' OR LESS ABOVE A WALKWAY.
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
- PROVIDE TYVEK OR EQUIVALENT HOUSE WRAP BEHIND BRICK AND STONE VENEER OVER WOOD SHEATHING.
- PROVIDE BRICK WEEP HOLES AT 24" O.C. WITH BRICK VENEER AND MORTER NET BEHIND AND THROUGH WEEP HOLES.
- PROVIDE FLASHING AND WEEP HOLES ABOVE ALL BRICK ANGLE IRONS, BELOW ALL BRICK SILLS AND ABOVE SILL PLATE SEALERS.
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

ROOF PLAN NOTES

- ALL OVERHANGS TO HAVE (2) SOFFIT VENTS PER EACH 8' SOFFIT SECTION.
- PROVIDE BAFFLES AT EXTERIOR TRUSS BEARING FOR VENTILATION.
- PROVIDE 15# FELT PAPER UNDER SHINGLES.



The Drees Company
05/30/2025 12:24:53 PM

Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWT	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Phone #:	
Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	
TBRD-0118-00.dwg May 12, 2025 - 3:06pm	



Drees Homes

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SCALE: N/A

Sheet Description:

GENERAL NOTES

Std. Drawn By: MJS

Std. Chk. By: ARC

Std. Date: 8/31/12

Date of Last Rev: REL_D1

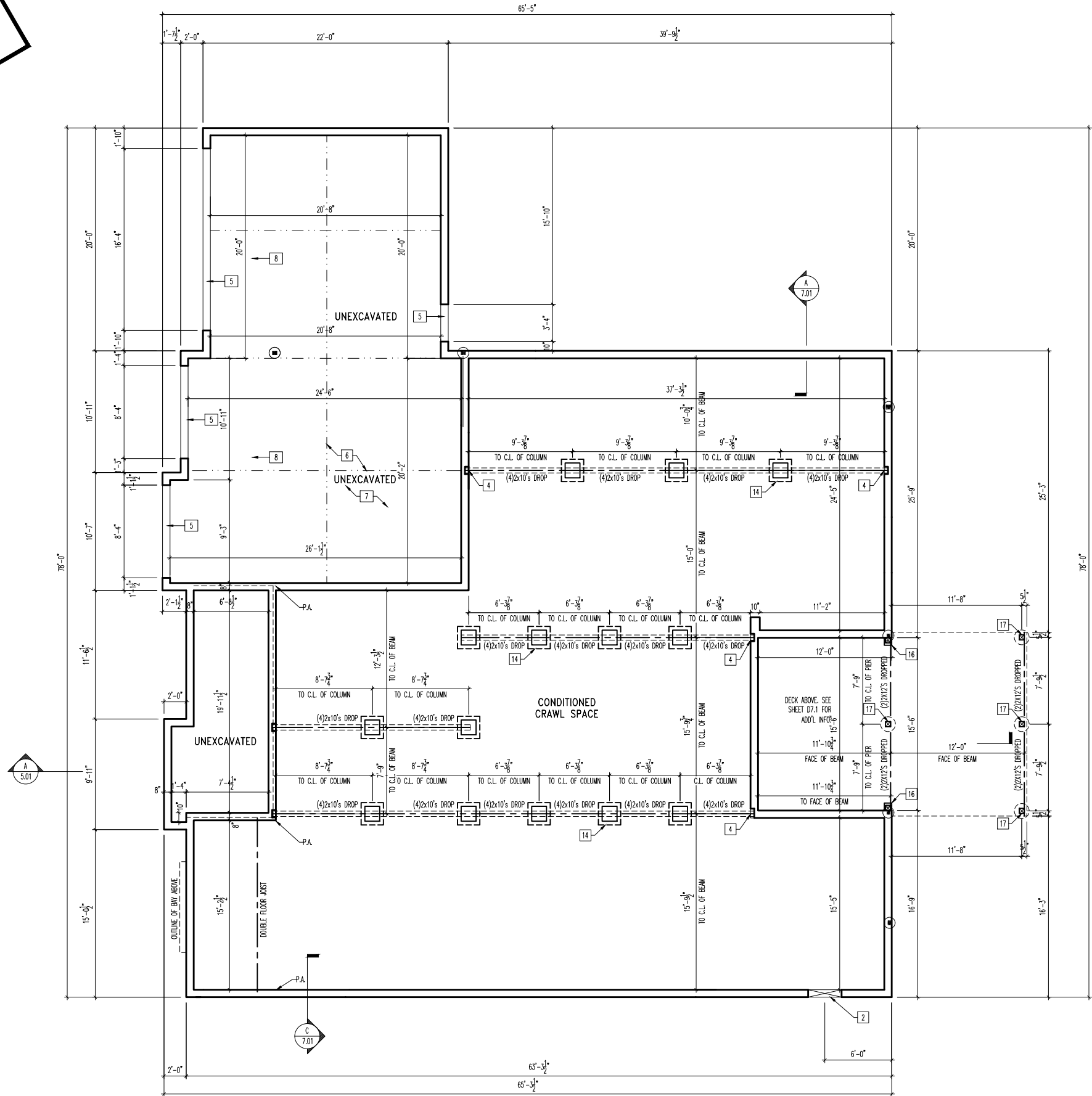
SEBASTIAN

Plan No.:

Sheet No.

ON.1

****ATTENTION****
DRAWINGS ARE
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SCALE



REISSUED: 06/05/2025

SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL
CONTROL JOINT LOCATION GUIDELINES.

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FOUNDATION WALLS 9'-0" x 10" UNLESS OTHERWISE NOTED.
- OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".
- ALL FOOTERS TO BE 8"x18"

Key Notes

- 1 36"x30" CRAWL SPACE ACCESS PER GRADE w/ 1-3/4"x11-7/8" LVL FLUSH OVER (LOCATE PER GRADE)
- 2
- 3
- 4 8"Wx10"Hx4"D BEAM POCKET
- 5 CONTINUOUS FOOTING AND FOUNDATION-DROP TO BE FIELD DETERMINED.
- 6 SLAB CONTROL JOINT
- 7 4" CONCRETE SLAB (3000 PSI) OVER 4" CRUSHED STONE, OVER COMPACTED OR UNDISTURBED EARTH
- 8 GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 4" TOWARDS GARAGE DOOR.
- 9
- 10 HOLD TOP OF FOUNDATION EVEN WITH MAIN WALL FOR CONCRETE PORCH SLAB SUPPORT
- 11 OUTLINE OF CONCRETE PORCH SLAB ABOVE (1-1/2" OVERHANG TYP.)
- 12 LINE OF STUD WALL/PORCH SLAB ABOVE
- 13 DETERMINE STEPS RISE/RUN ON SITE.
- 14 30"x30"x12" PLAIN CONCRETE FOOTING WITH 16"x16" CMU PIER GROUTED SOLID ABOVE
- 15 2x10 PRESSURE TREATED LEDGER FASTENED TO FOUNDATION WALL PER DETAIL F71.01
- 16 8"x8" CONCRETE BLOCK WITH 6x6 PRESSURE TREATED POST ON TOP TO SUPPORT DROP BEAM. HOLD TOP OF CONCRETE BLOCK 8" MINIMUM ABOVE GRADE, FIELD DETERMINE.
- 17 16" DIA. CONCRETE PIER TO FROST WITH 6x6 PRESSURE TREATED POST WITH SIMPSON AEW6Z POST BASE AND SIMPSON BCS2-3/6 POST CAP (OR EQUIVALENT) ON TOP FOR DROP BEAM BEARING
- 18
- 19 CONSTRUCT PIER TO TOP OF FDN. WALL ELEVATION OR PROVIDE 16" LONG (4)x2x10 UNDER FLUSH BEAM
- 20 --



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06/11/2025 12:31:06 PM

Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Coordinator's Name: Coordinator's Phone #:	GREG P. 859-578-4355
TBRD-0118-00.dwg Jun 05, 2025 - 9:25am	

Drees
HOMES™

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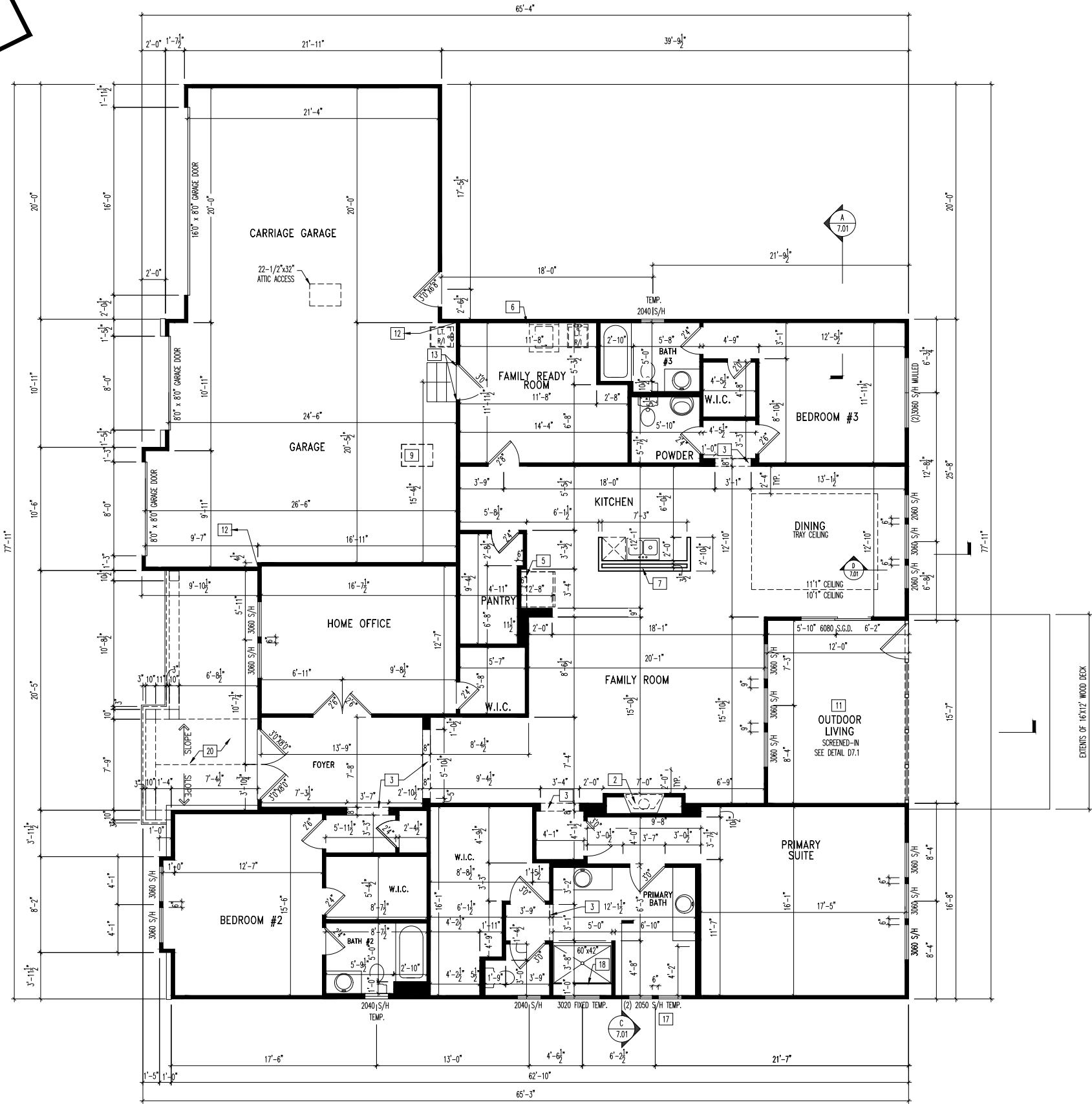
Sid. Drawn By: BRIAN W.	Sheet Description: FOUNDATION PLAN	SCALE: 3/32" = 1'-0"
Sid. Chk. By: ARC		
Sid. Date: 8/31/12		
Date of Last Rev: 07/21/21 WUS		

SEBASTIAN
House:
Series:

Sheet No.

1.01

****ATTENTION****
DRAWINGS ARE
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3/32" = 1'-0"
SCALE



NOTE:
REFER TO SELECTION SHEETS FOR
FLOORING MATERIAL PRIOR TO
CONSTRUCTING STAIRS TO DETERMINE
RISER HEIGHTS

PROVIDE 8' TALL DOORS
THROUGHOUT FIRST FLOOR

NOTE:
REFER TO SELECTION SHEETS FOR
FLOORING MATERIAL PRIOR TO
CONSTRUCTING STAIRS TO DETERMINE
RISER HEIGHTS

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FIRST FLOOR CEILINGS TO BE 10'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
- FRAME TOP OF ALL WINDOWS @ 1'-10" BELOW TOP PLATE UNLESS OTHERWISE NOTED.
- ALL FALSE HEADERS TO BE DROPPED 1'-3" FROM CEILING UNLESS OTHERWISE NOTED.
- 10'-1" HIGH EXTERIOR WALLS TO BE FRAMED WITH 2X4'S @ 12" O.C.
- 10'-1" NON-LOAD BEARING WALLS FRAMED WITH 2X4'S @ 24" O.C.

Key Notes

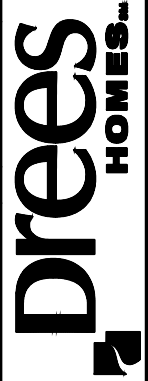
- 1
- 2 PRE-FABRICATED FIREPLACE INSERT
- 3 FALSE HEADER
- 4 SLOPE WALL WITH STAIR STRINGER
- 5 TOP OF OPENING @ 6'-6" A.F.F.
- 6 TAP AND DRAIN FOR WASHER
- 7 34-1/2" HIGH WALL
- 8 RE: DETAIL A/7.03 FOR BASEMENT STAIR FRAMING DETAILS
- 9 22-1/2"x32" ATTIC ACCESS TO BE LOCATED A MIN. OF 9'6" FROM GARAGE DOOR
- 10
- 11 CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
- 12 FRAME GARAGE WALLS AT 11'-3 1/8" FROM FOUNDATION
- 13 PROVIDE CRIPPLES AND JACKS AT EACH SIDE OF ALL METAL DOORS IN BEARING AND NON-BEARING WALLS
- 14 42" HIGH WALL
- 15 RE: DETAIL C/7.01 FOR TUB FRAMING DETAILS
- 16 32" DIAGONAL SHOWER SEAT INSTALLED AT 18" HIGH BY TILE CONTRACTOR
- 17 BOTTOM OF WINDOWS @ 3'-0 3/4" A.F.F.
- 18 FRAME SHOWER SEAT AT 18" HIGH, WITH 2x4 STUDS AT 16" O.C. AND COVER TOP AND SIDES WITH 5/8" WOOD SHEATHING, SLOPE TOP 3/4" FROM BACK TO FRONT FOR WATER RUN OFF OVER FLEXIBLE POLYETHYLENE WATERPROOF MEMBRANE (CONTINUE OVER FRONT AND BACK OF SEAT)
- 19
- 20 VAULTED/Rafter FRAMED PORCH IN GABLE AREA
- 21 --
- 22 --
- 23 --



The Drees Company
06/11/2025 12:31:09 PM

Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Coordinator's Name: Coordinator's Phone #:	GREG P. 859-578-4355
TBRD-0118-00.dwg Jun 05, 2025 - 12:26pm	

REISSUED: 06/05/2025



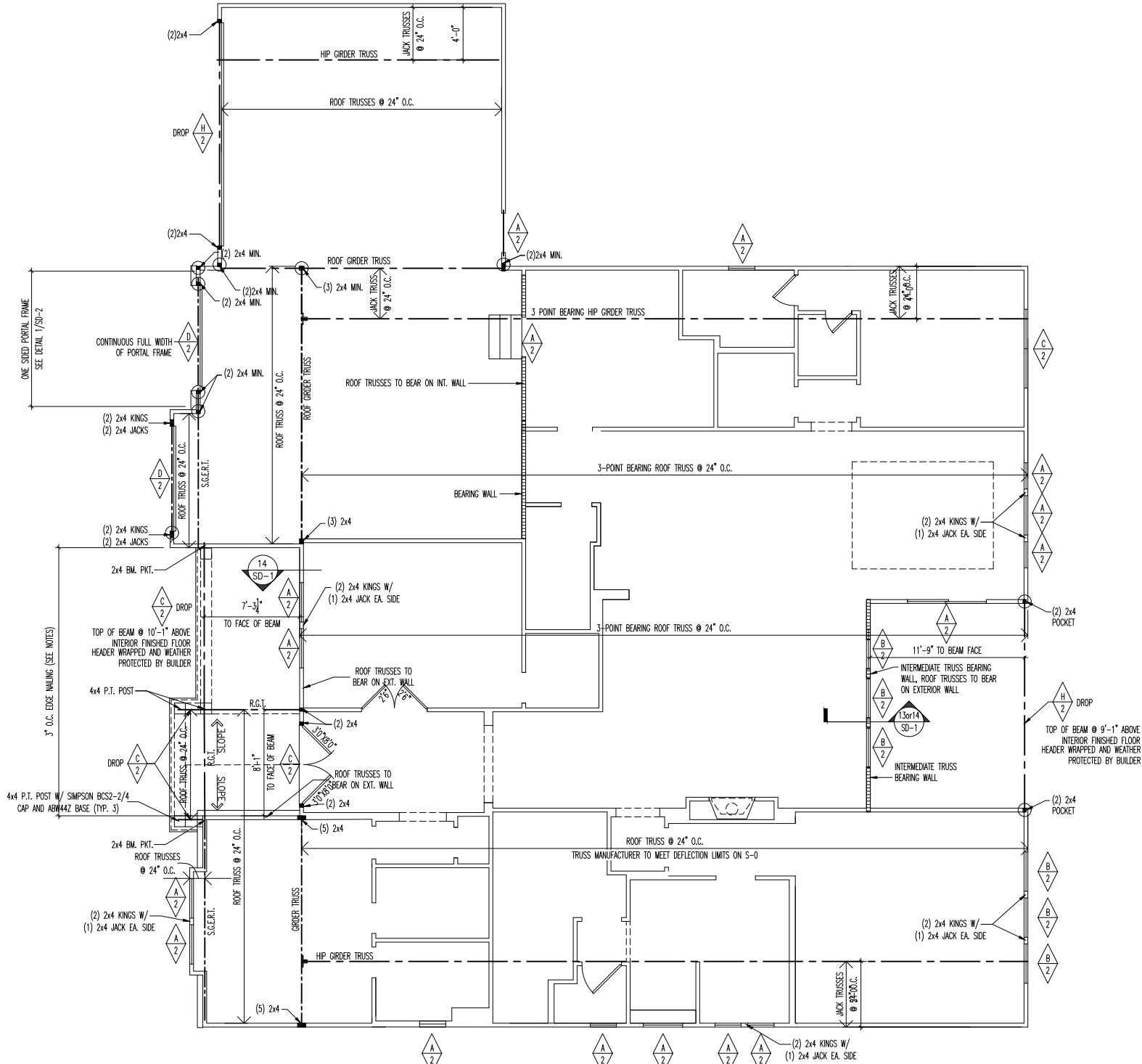
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Sheet Description: FIRST FLOOR FRAMING PLAN		Scale: 3/32" = 1'-0"
Std. Drawn By: BRIAN W.	ARC	8/17/12
Std. Chk. By:		
Std. Date:		
Date of Last Rev:		
House: SEBASTIAN		Plan No.:
Series:		
Sheet No.		2.01
		FRAMING

****ATTENTION****
DRAWINGS ARE
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SCALE

FRAME NON-LOAD BEARING
WALLS 16" O.C. WHEN HEIGHT
IS TALLER THAN 10'-3"

SEE ROOF PLAN, SHEET 2.04,
FOR CONNECTION SPECIFICATIONS
FROM ENGINEER



LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120 MPH WIND IN 2018 NCSBC MAP
(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B & SEISMIC CAT. A/B.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2-3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/2" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x0.113 NAILS @ 3" O.C. **NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.** ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
▶ INDICATES HOLDDOWN
* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

MAX. STND. - SEPT. 2018

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- [A] (2)2x4 KINGS W/ (1)2x4 JACK EA. SIDE
- [B]
- [C] SIMPSON HU210-2TF HANGER
- [D] PROVIDE DOUBLE STUDS IN "L" ORIENTATION TO SUPPORT BRICK BEHIND LOW ROOF TRUSSES (SEE DETAIL 1/SD-2)
- [E] 4x4 P.T. POST W/ SIMPSON BCS2-2/4 CAP & CBSQ44-SDS2 BASE

STRUCTURAL HEADER CHART		LUMBER SIZE # OF PLYS	FLUSH/DROP
[A] 2 x 6	[E] 1-3/4" x 7-1/4" LVL	[K] 1-3/4" x 16" LVL	
[B] 2 x 8	[F] 1-3/4" x 9-1/4" LVL	[L] 1-3/4" x 18" LVL	
[C] 2 x 10	[G] 1-3/4" x 11-1/4" LVL	[M] 1-3/4" x 20" LVL	
[D] 2 x 12	[H] 1-3/4" x 11-7/8" LVL	[N] 1-3/4" x 24" LVL	
	[J] 1-3/4" x 14" LVL		



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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Coordinator's Name: Coordinator's Phone #:	GREG P. 859-578-4355
TBRD-0118-00.dwg Jun 05, 2025 - 9:34am	

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Scale: 3/32" = 1'-0"

Sheet Description:
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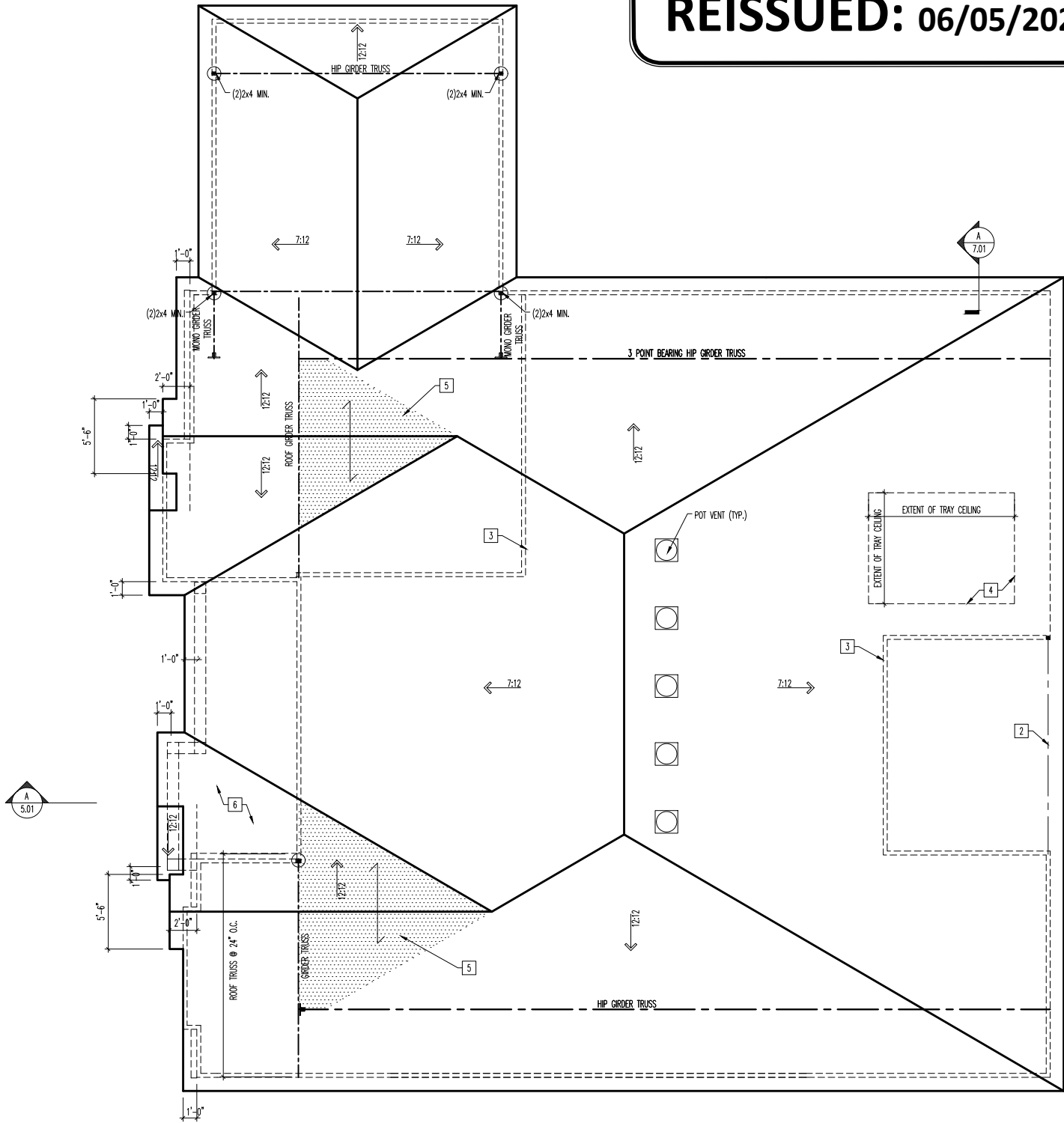
Std. Drawn By: BRIAN W. ARC
Std. Chk. By: ARC
Std. Date: 8/17/12
Date of Last Rev.: 07/21/21 WJS

SEBASTIAN

Plan No.:
Sheet No.:
2.01
STRUCTURE

ATTENTION
DRAWINGS ARE
PRINTED AT
3/32" = 1'-0"
SCALE

REISSUED: 06/05/2025



HEEL CUT STANDARDS			
		OVERHANG	
		1'-6"	2'-0"
ROOF PITCH	4:12	5-3/4"	7-3/4"
	5:12	6-3/4"	9-3/4"
	6:12	7-3/4"	11-3/4"
	7:12	8-3/4"	13-3/4"
	8:12	9-3/4"	N/A
	9:12	10-3/4"	N/A
	10:12	11-3/4"	N/A
	12:12	13-3/4"	N/A
	14:12	15-3/4"	N/A

HEEL CUT STANDARDS			
		OVERHANG	
		1'-6"	2'-0"
ROOF PITCH	4:12	5-3/4"	7-3/4"
	5:12	6-3/4"	9-3/4"
	6:12	7-3/4"	11-3/4"
	7:12	8-3/4"	13-3/4"
	8:12	9-3/4"	N/A
	9:12	10-3/4"	N/A
	10:12	11-3/4"	N/A
	12:12	13-3/4"	N/A
	14:12	15-3/4"	N/A

ROOF VENTILATION	
CITY/SERIES:	RALEIGH
MAIN HOUSE	
TOTAL ATTIC AREA:	4,463
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	14.88
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	17.20
DOWNSPOUT CALCULATION	
MAIN HOUSE	
TOTAL DRAINABLE ROOF AREA:	5801.9
MINIMUM # OF DOWNSPOUTS:	10

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1
- 2 BEAM BELOW-RE: SHEET 2.01S FOR SIZE
- 3 BEARING WALL
- 4 EXTENT OF TRAY CEILING
- 5
- 6 VALLEY TRUSS OVERFRAMING @ 24" O.C.
- 7 NO ROOF DECKING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION



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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWT	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Phone #:	
Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	
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Sheet Description:

ROOF PLAN

Std. Drawn By: BRIAN W. ARC

Std. Chk. By: ARC

Std. Date: 8/17/12

Date of 07/21/21 MJS
Last Rev:

SEBASTIAN

Plan No.:

House:

Series:

Sheet No.

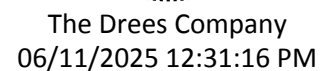
2.04

REISSUED: 06/05/2025



- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL JOISTS TO BE 11-7/8" TJI 210 1-JOISTS @ 19.2" O.C. UNLESS OTHERWISE NOTED.
- ALL BANDBOARDS PER ENGINEERED PLANS, UNLESS OTHERWISE NOTED.
- ADJUST FRAMING FOR PLUMBING AS NEEDED.
- FLOOR JOISTS TO HAVE MINIMUM 3" BEARING ON BEAM/WALL BELOW AND 6" MAXIMUM JOIST OVERLAP.
- JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALL. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)

1	BEAM BELOW - RE: SHEET 1.01 FOR SIZE
2	PLUMBING STACK
3	BEARING WALL BELOW
4	DOUBLE JOIST
5	--
6	DOUBLE EVERY OTHER JOIST UNDER KITCHEN ISLAND (MIN. 2 INSTANCES)
7	--
8	--
9	--
10	(1)1-3/4"x11-7/8" LVL FLUSH BEAM
11	
12	
13	
14	(1)1-3/4"x11-7/8" LVL FLUSH BEAM, TO SUPPORT ZERO THRESHOLD SHOWER PAN
15	
16	ZERO THRESHOLD SHOWER, FLOOR DROPPED 2", SEE DETAIL A/3.01 LAYOUT FOR DETAILS
17	
18	
19	
20	9-1/2" TJI 210 I-JOIST FOR ZERO THRESHOLD SHOWER PAN, HOLD BOTTOM OF JOIST F AT 16" O.C. (1)1-3/4"x9-1/2" LVL TO FRAME OUT RECESSED SHOWER ABOVE. FASTEN LEDGER TO LVL W/ (3)0.131"x3" NAILS @ 12" O.C.



Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWT	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Phone #:	
Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	

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Sheet Description:	SCALE: 3/32" = 1'-0"
FIRST FLOOR SUBFLOOR PLAN	
Std. Drawn By: BRIAN W.	ARC
Std. Chk. By:	
Std. Date: 8/17/12	
Date of Rev. 07/21/21	WUS

House:	SEBASTIAN
Series:	Plan No.:

Sheet No.

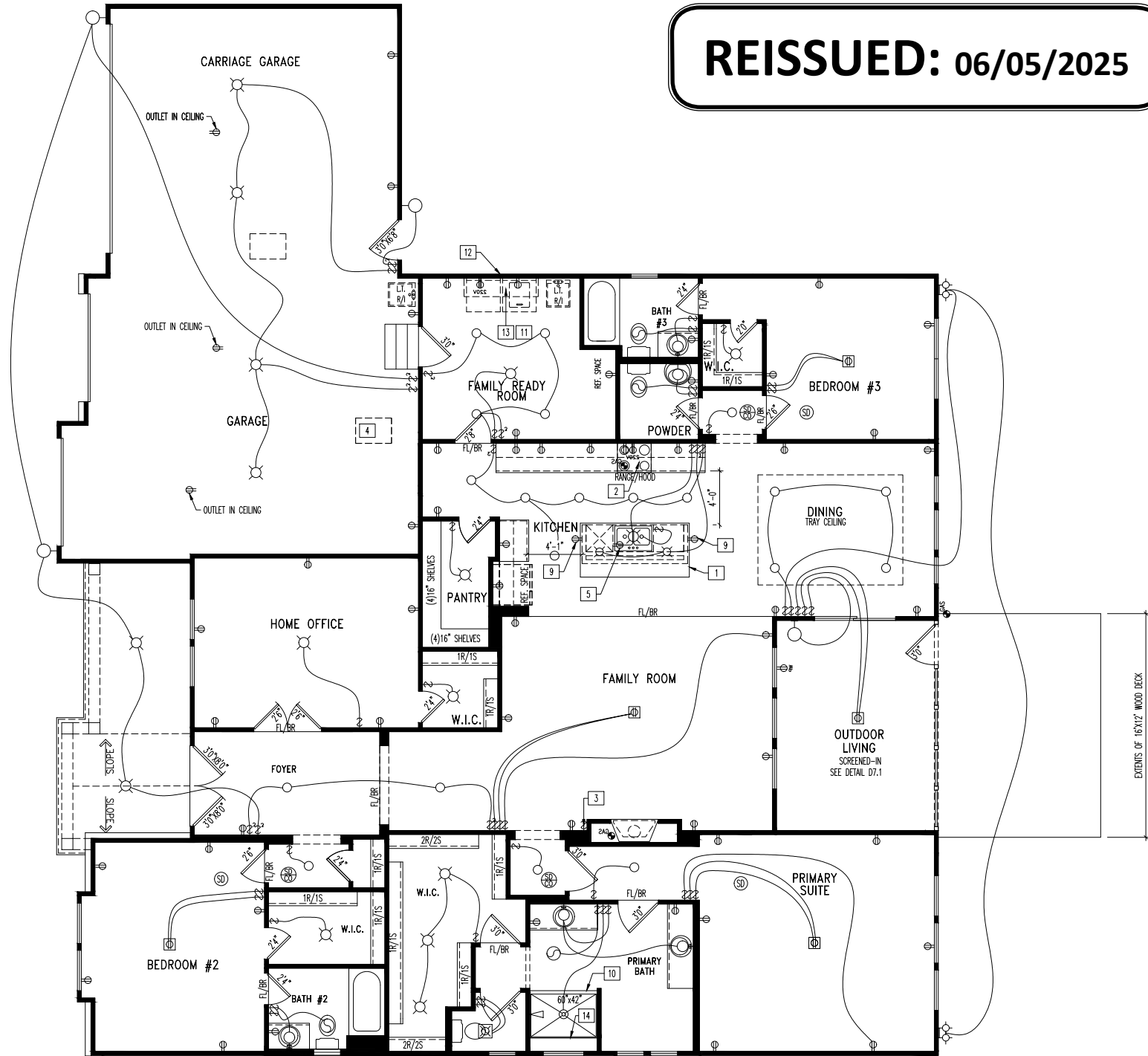
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DRAWINGS ARE
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SCALE

PROVIDE PASSIVE RADON SYSTEM
AND VENT THROUGH ROOF

REISSUED: 06/05/2025



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- | | |
|---|---|
| 1 KITCHEN ISLAND RE: DETAIL A/7.02 FOR COUNTERTOP DETAILS | 11 HOLD WASHER TO LEFT OF DRYER |
| 2 OUTLET FOR MICRO/HOOD HELD HIGH - VENT TO EXTERIOR | 12 TAP AND DRAIN |
| 3 SWITCH FOR DIRECT VENT FIREPLACE | 13 16" DEEP SHELF @ 5'7" A.F.F. |
| 4 22-1/2"x32" ATTIC ACCESS | 14 |
| 5 OUTLET FOR DISHWASHER LOCATED IN SINK CABINET | 15 FLOOR OUTLET - LOCATION TO BE FIELD DETERMINED |
| 6 TO SWITCH OR LIGHT BELOW | 16 OUTLET IN CEILING |
| 7 | 17 |
| 8 DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-1 FOR FRAMING INFORMATION | 18 |
| 9 HOLD OUTLET HIGH ON ISLAND | 19 |
| 10 44-1/2" WALL WITH TILE CAP AND SHOWER GLASS ABOVE TO 8'1" A.F.F. | 20 SHOWER CONTROL LOCATION - FOR EACH SHOWER HEAD |

Mechanical Legend

- | | |
|--|--|
| DATA JACK | FLUORESCENT LIGHT |
| WALL OUTLET | UNDER CABINET LIGHTING |
| WEATHERPROOF OUTLET | CLG. MOUNTED LIGHT FIXT. |
| 220 OUTLET | WALL MOUNTED LIGHT FIXT. |
| GROUND FAULT CIRCUIT INTERRUPT OUTLET | SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS. |
| FLOOR OUTLET | DOUBLE SPOTLIGHT FIXT. |
| COUNTER POP-UP OUTLET | DIRECTIONAL CAN LIGHT |
| CABLE TELEVISION JACK | PIN LIGHT |
| SINGLE POLE SWITCH | WALL SCONCE @ 5'-6" A.F.F. |
| 3-WAY SWITCH | STAIR LIGHT |
| 4-WAY SWITCH | CLG. MTD. EXHAUST FAN |
| SMOKE DETECTOR | WALL MTD. EXHAUST FAN |
| SMOKE DETECTOR/ CO DETECTOR COMBINATION | SHOWER HEAD |
| BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED) | HOSE BIB |
| EXHAUST FAN AND LIGHT COMBINATION | GAS HOOK UP |
| | FLOOR DRAIN |



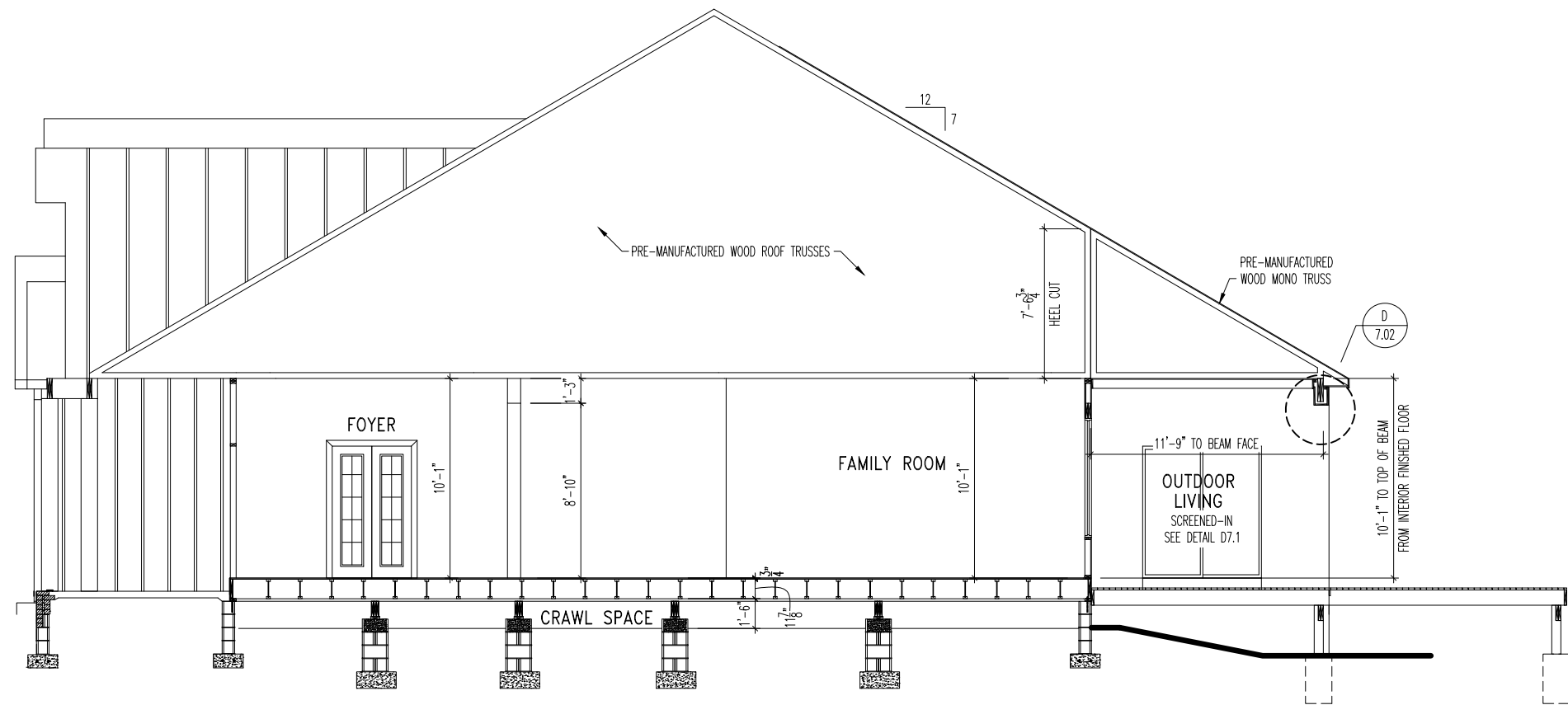
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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWT	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Phone #:	
Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	
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Sheet Description: FIRST FLOOR MECHANICAL PLAN	Scale: 3/32" = 1'-0"
Std. Drawn By: BRIAN W.	ARC
Std. Chk. By:	8/17/12
Std. Date:	07/21/21 MJS
Std. Lost Rev:	
SEBASTIAN	Plan No.:
Sheet No.:	4.01



A
5.01

BUILDING SECTION THRU FOYER

SCALE: 1/8" = 1'-0"

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWT	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
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Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	
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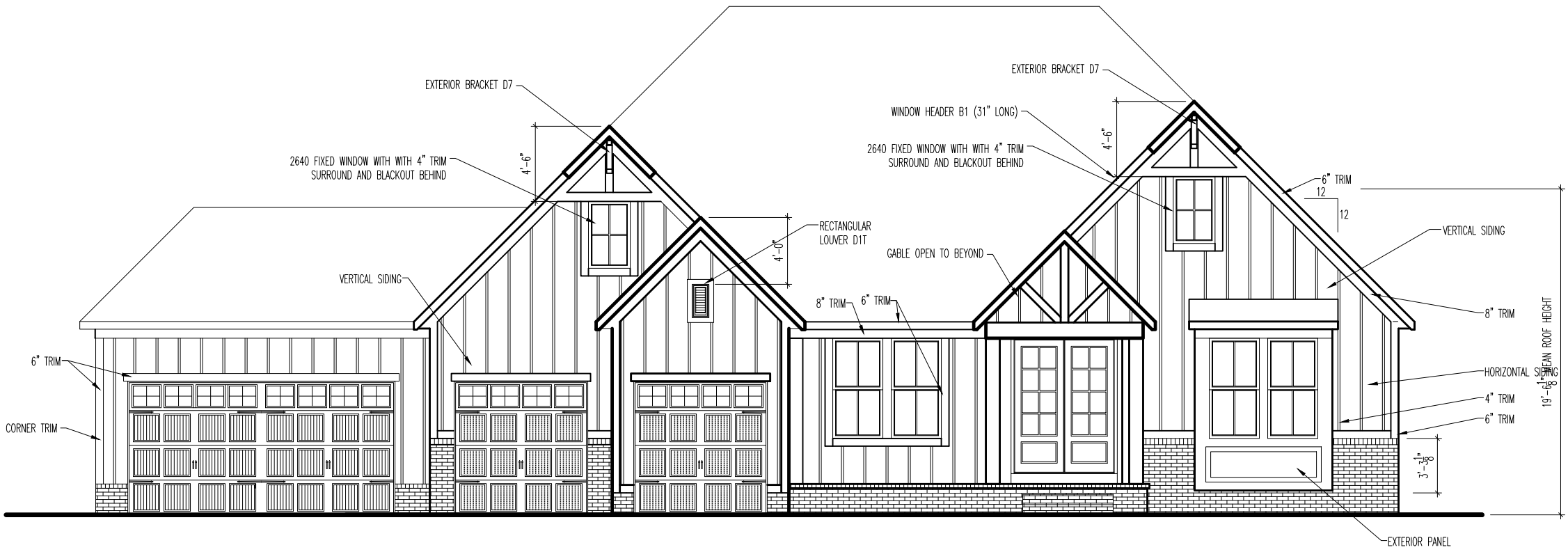
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Std. Chk. By: ARC		
Std. Date: 08/26/16		
Date of Last Rev: 10/27/16 WJS		

SEBASTIAN
Plan No.:
Series:

Sheet No.

5.01



TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

- ROOFING PER SPECIFICATIONS.

Key Notes

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BRICK VENEER LINTEL SCHEDULE		
SPAN	STEEL ANGLE SIZE	HEIGHT OF VENEER ABOVE LINTEL
Up to 3'-6"	L3-1/2 x3-1/2 x1/4	20 FT. MAX
Up to 6'-0"	L5x 3-1/2x 5/16 (LLV)	20 FT. MAX
Up to 8'-0"	L6x 3-1/2x 3/8 (LLV)	20 FT. MAX
9'-0"	L7x 4x 3/8 (LLV)	12 FT. MAX
*16'-0"	L7x 4x 3/8 (LLV)	3 FT. MAX
*16'-0"	L8x 4x 1/2 (LLV)	4-1/2 FT. MAX

ALL LINTELS <=6' SHALL HAVE 4" MINIMUM BEARING AT EACH END.

ALL LINTELS >=6' SHALL HAVE 8" MINIMUM BEARING AT EACH END.

* FASTENED TO HDR @ 1/3 SPAN POINTS THRU 1-1/2" LONG VERTICALLY SLOTTED HOLES IN LINTEL w/ 1/2" DIA. x 3-1/2" LONG LAG SCREWS. LOCATE LAG SCREWS @ MIDDLE OF SLOTTED HOLE & TIGHTEN SCREWS ENOUGH TO ALLOW MOVEMENT OF LINTEL.

***ANY LINTEL CONDITION NOT SPECIFIED ABOVE SHALL BE DESIGNED

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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Coordinator's Name: Coordinator's Phone #:	GREG P. 859-578-4355
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FRONT ELEVATION "K"

ELEVATION "K"

Sta. Drawn By: WJS

Sta. Chk. By: ARC

Sta. Date: 06/26/16

Date of Last Rev: 10/27/16 WJS

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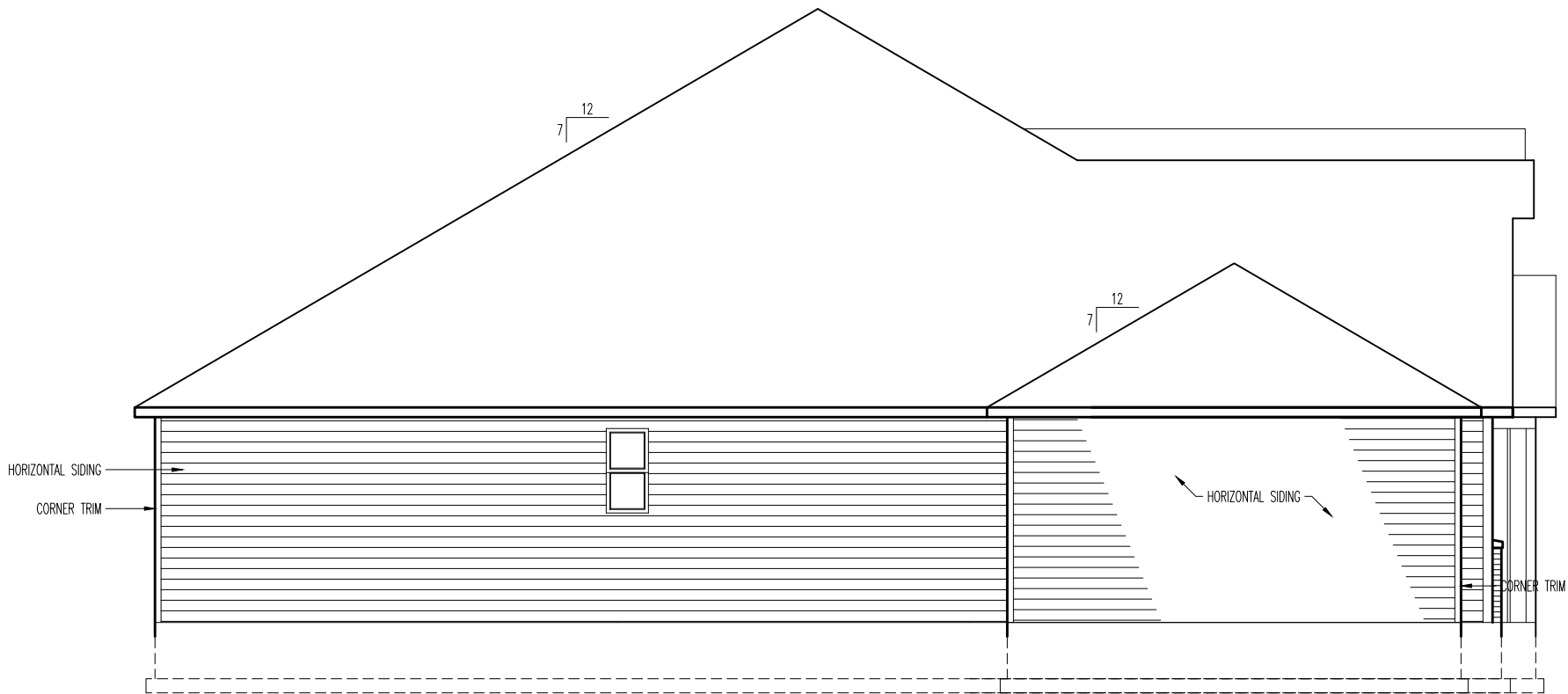
Plan No.:

Series:

House:

Sheet No.

6.01



TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes

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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date:
Coordinator's Name: Coordinator's Phone #:	5/12/2025
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Std. Date: 08/26/16		
Date of Last Rev: 10/27/16		
House: SEBASTIAN	Plan No.:	Series:

Sheet No.

6.02



REISSUED: 06/05/2025

TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

- Key Notes
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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Coordinator's Name: Coordinator's Phone #:	
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House:

Series:

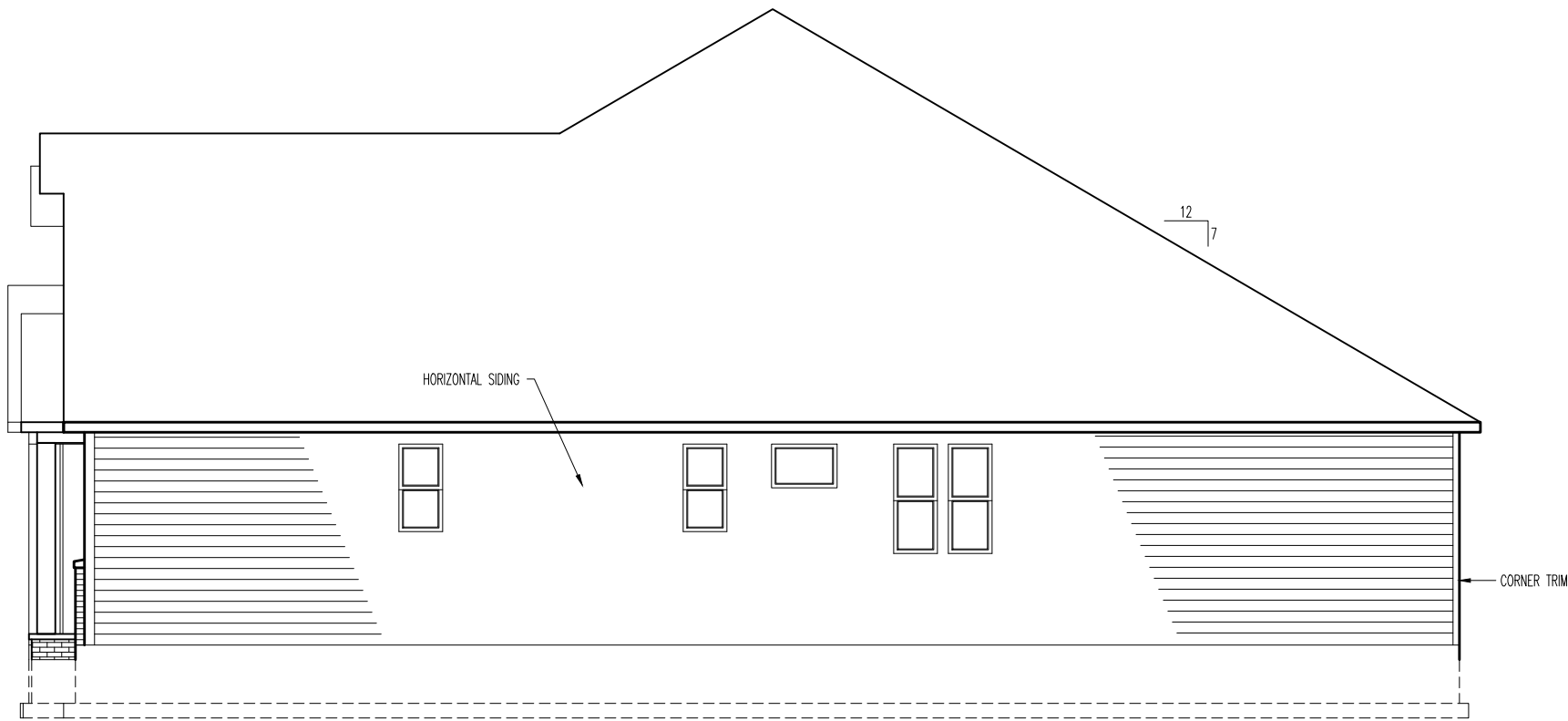
Sheet Description:
REAR ELEVATION
ELEVATION "K"

Scale: 1/8" = 1'-0"

Plan No.:

Sheet No.

6.03



TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

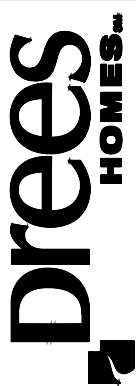
Key Notes

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Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: Phone #:	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Coordinator's Name: Coordinator's Phone #:	GREG P. 859-578-4355
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Std. Chk. By: ARC		
Std. Date: 08/26/16		
Date of Last Rev: 10/27/16 MJS		

SEBASTIAN
House:
Series:

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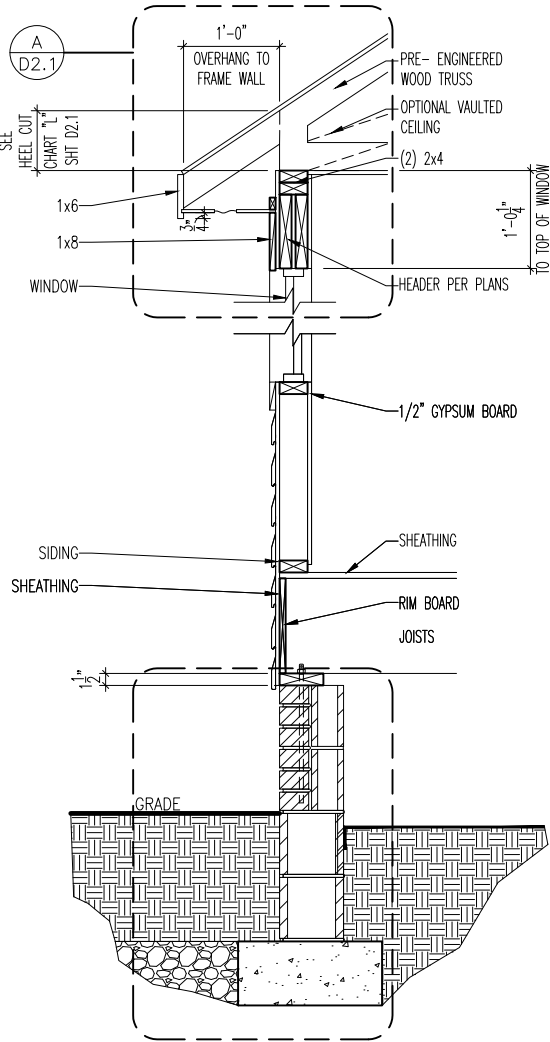
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General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

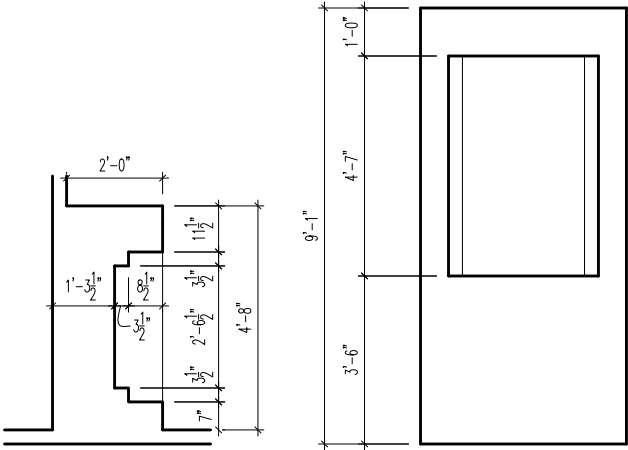
Key Notes

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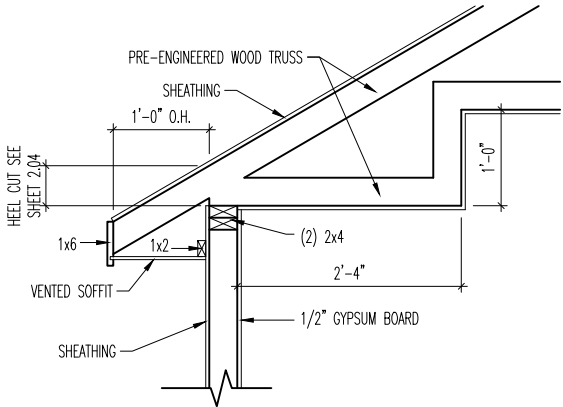
TYP. RANCH FRAME WRAP WALL SECTION

SCALE: 1/2" = 1'0"



PRIMARY BATH NICHE DETAIL

SCALE: 1/4" = 1'-0"



DINING TRAY CEILING DETAIL

SCALE: 1/2" = 1'-0"



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Subdivision: TOBACCO ROAD		Customer Name: SPIES	
Job #: TBRD-0118-00		Job Address: 273 PRIMING WAY	
Contract Drawn By: Phone #:		Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025	
Coordinator's Name: Coordinator's Phone #:			
EWI GREG P. 859-578-4355			



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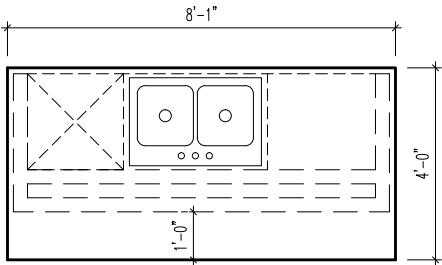
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Sheet Description: HOUSE SPECIFIC DETAILS ELEVATION "K"		SCALE: 1/8" = 1'-0"	
Std. Drawn By:	WJS	Std. Chk. By:	ARC
Std. Date:	08/26/16	Std. Rev:	
Date of Last Rev:	10/27/16	WJS	

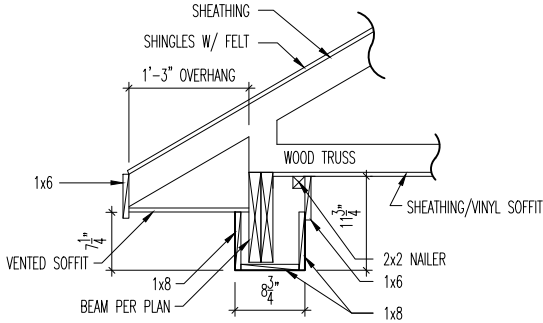
House: SEBASTIAN	Plan No.:	
	Series:	

Sheet No.

7.01



A
7.02
KITCHEN ISLAND FRAMING DETAILS
SCALE: 1/4" = 1'-0"



D
7.02
COVERED PATIO BEAM DETAIL
SCALE: 1/2" = 1'-0"



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05/30/2025 12:24:55 PM

Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWI	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Phone #:	
Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	
TBRD-0118-00.dwg May 12, 2025 - 3:06pm	

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --

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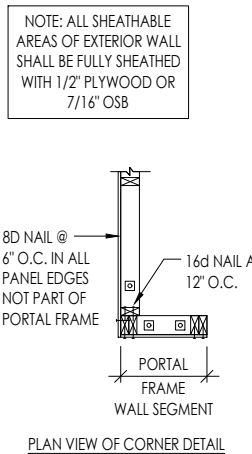
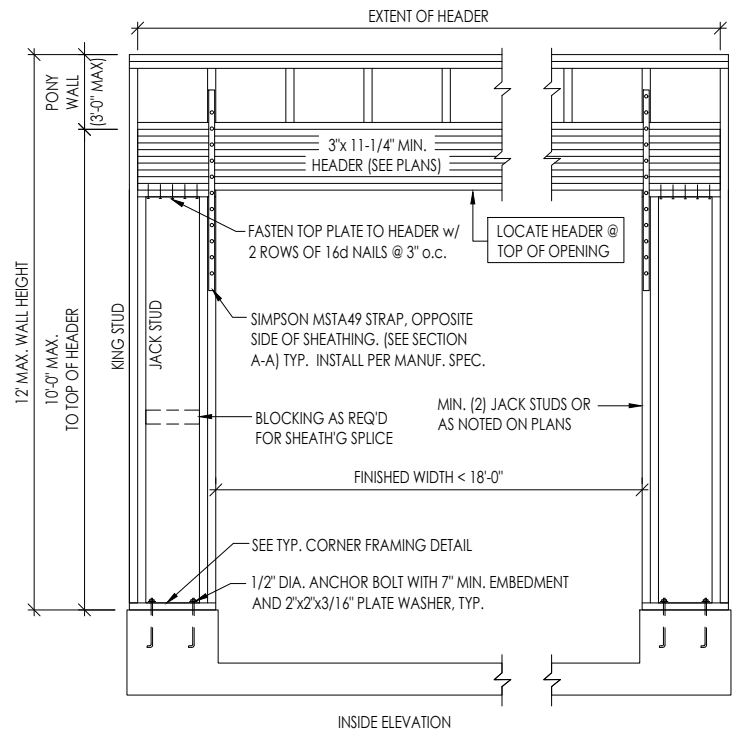
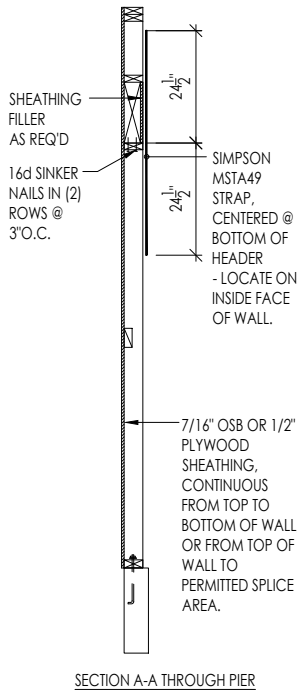
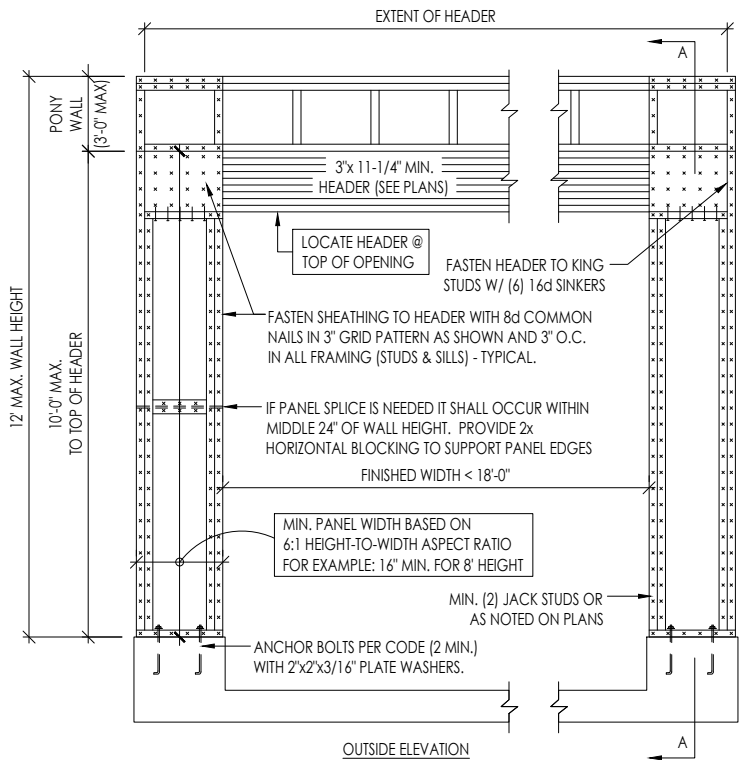
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Sheet Description: HOUSE SPECIFIC DETAILS ELEVATION "K"	SCALE: 1/8" = 1'-0"
Std. Drawn By: MJS	Std. Chk. By: ARC
Std. Date: 08/26/16	Date of 10/27/16 MJS

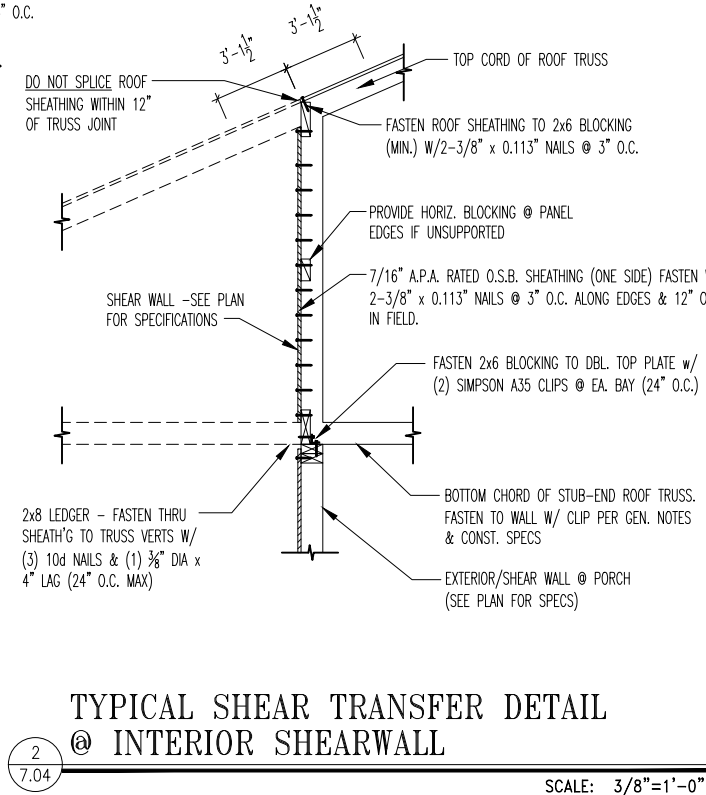
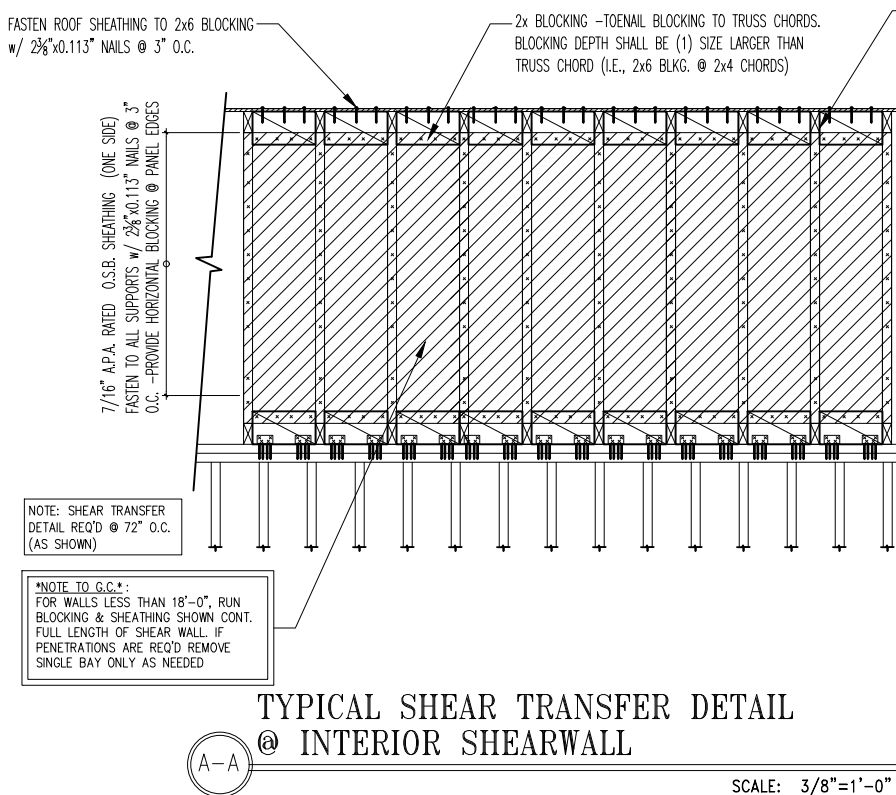
House:
SEBASTIAN
Series:
Plan No.:

Sheet No.

7.02



1
7.04
NOT TO SCALE
BOTH SIDES OF GARAGE DOOR



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

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SCALE: 1/8" = 1'-0"

Sheet Description:
HOUSE SPECIFIC DETAILS
ELEVATION "K"

Std. Drawn By: MJS
Std. Chk. By: ARC
Std. Date: 08/26/16
Date of 10/27/16 MJS
Last Rev:

House:
SEBASTIAN
Series:

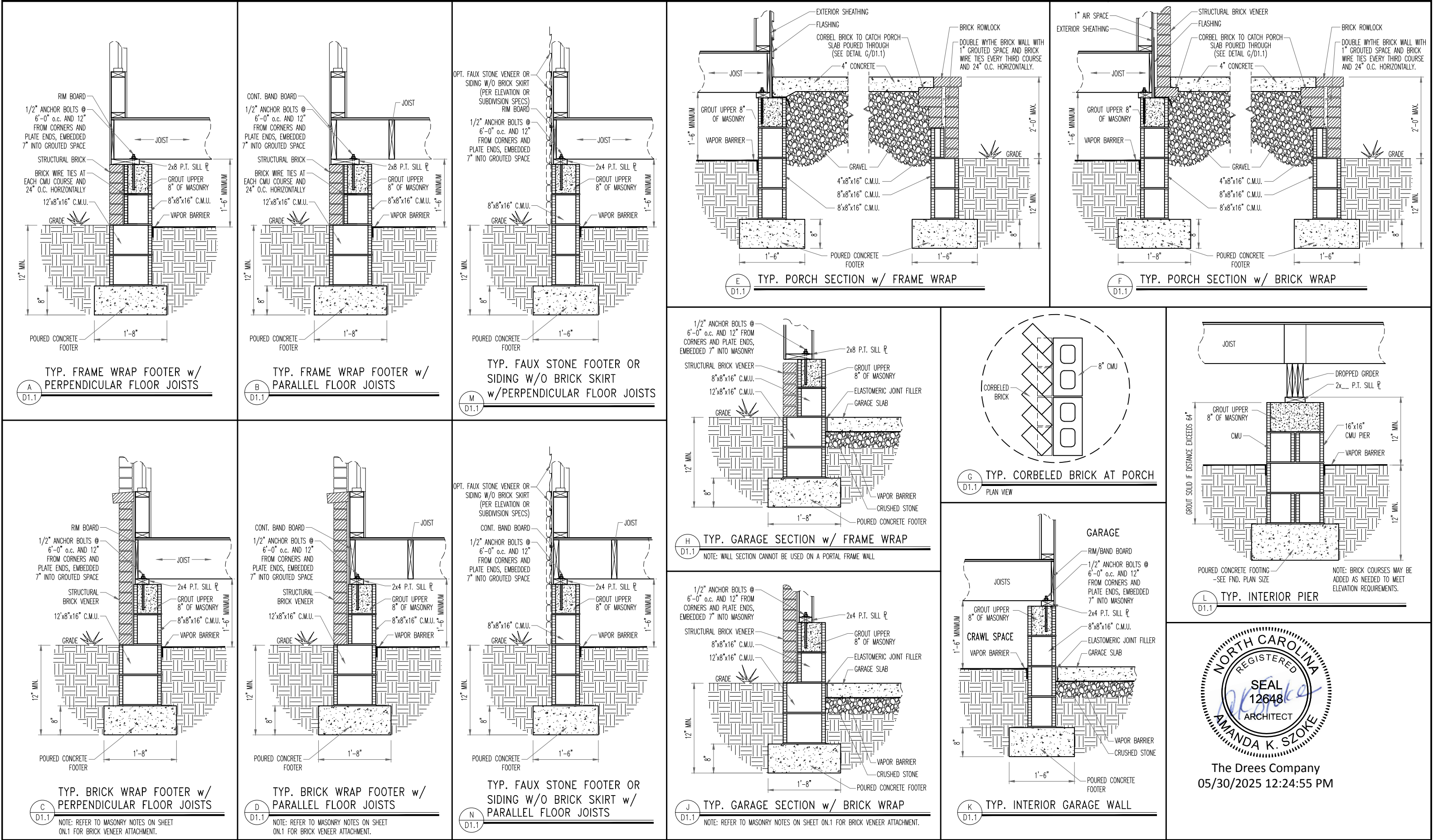
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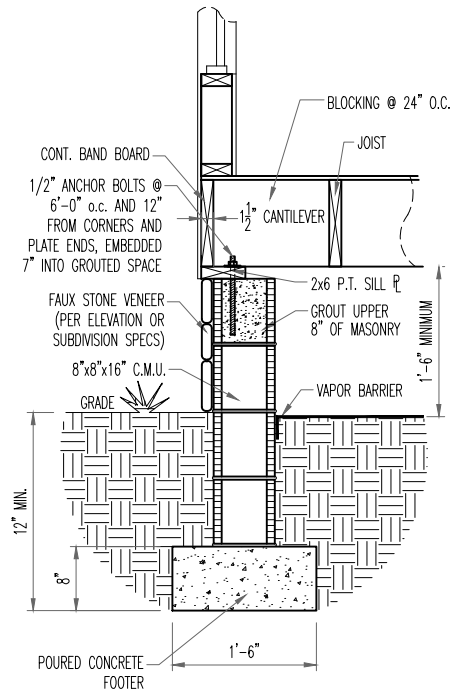
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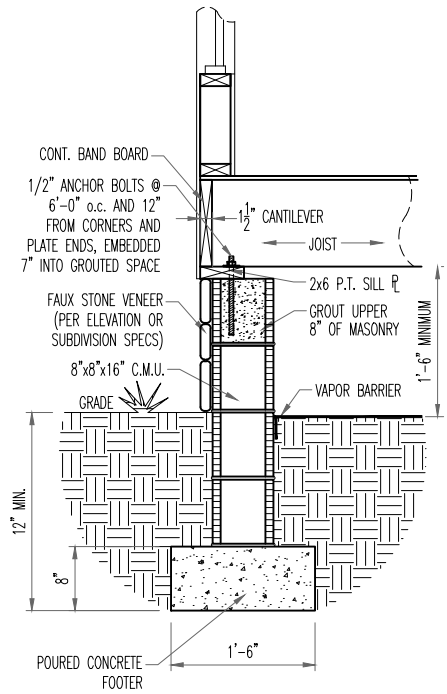
Subdivision: TOBACCO ROAD	Customer Name: SPIES
Job #: TBRD-0118-00	Job Address: 273 PRIMING WAY
Contract Drawn By: EWT	Original Site Specific Dwg. & Effective Change Order Date: 5/12/2025
Phone #:	
Coordinator's Name: GREG P.	
Coordinator's Phone #: 859-578-4355	
TBRD-0118-00.dwg May 12, 2025 - 3:06pm	





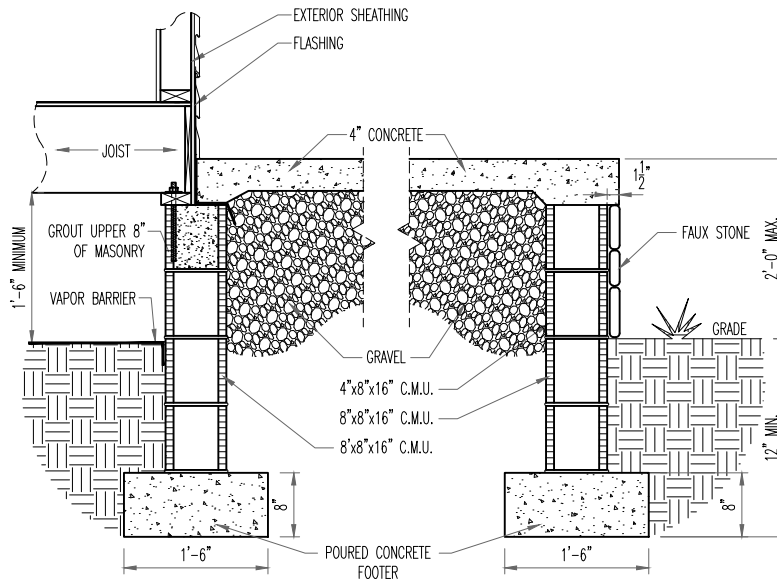
TYP. FAUX STONE SKIRT FOOTER w/
PARALLEL FLOOR JOISTS

A
D1.2



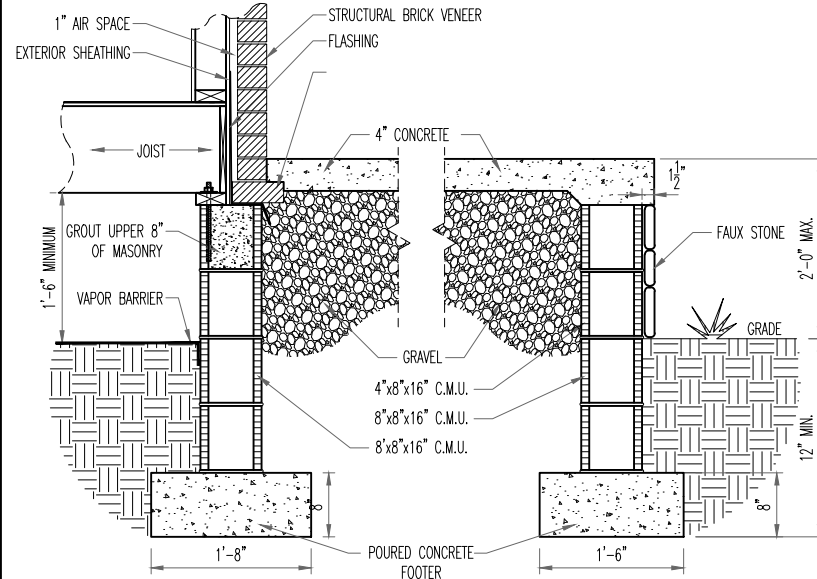
TYP. FAUX STONE SKIRT FOOTER w/
PERPENDICULAR FLOOR JOISTS

B
D1.2



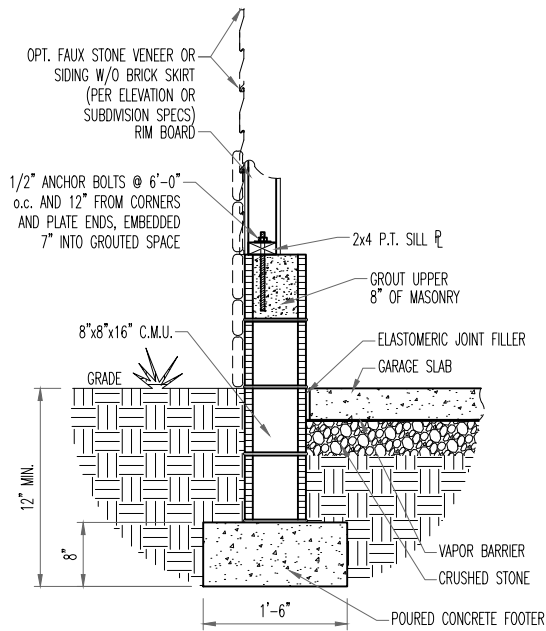
TYP. FAUX STONE SKIRT
TYP. PORCH SECTION w/ FRAME WRAP

C
D1.2



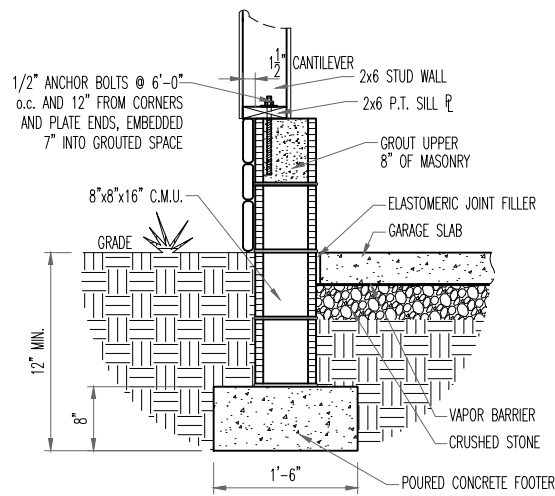
TYP. FAUX STONE SKIRT
TYP. PORCH SECTION w/ BRICK WRAP

D
D1.2



TYP. FAUX STONE FOOTER OR SIDING w/o
BRICK SKIRT
TYP. GARAGE SECTION w/ FRAME WRAP

E
D1.2



TYP. FAUX STONE SKIRT
TYP. GARAGE SECTION w/ FRAME WRAP

F
D1.2

NOTE: WALL SECTION CANNOT BE USED ON A PORTAL FRAME WALL



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STD. DETAIL SHEET

REGION:

RALEIGH

Std. By: ALL

Chk. By: ARC

Std. Date: 08/19/09

Date of

Sheet Description:

FOUNDATION DETAILS

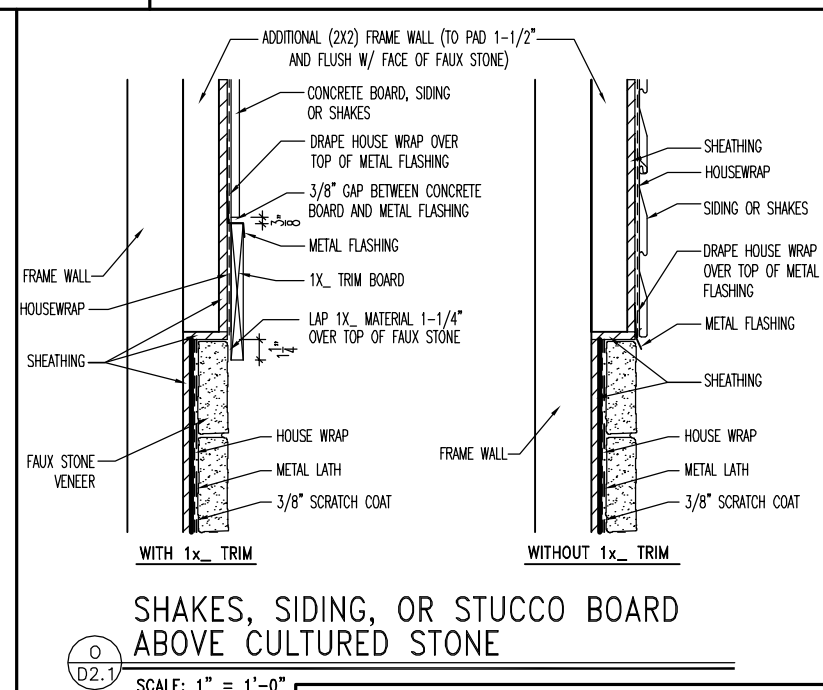
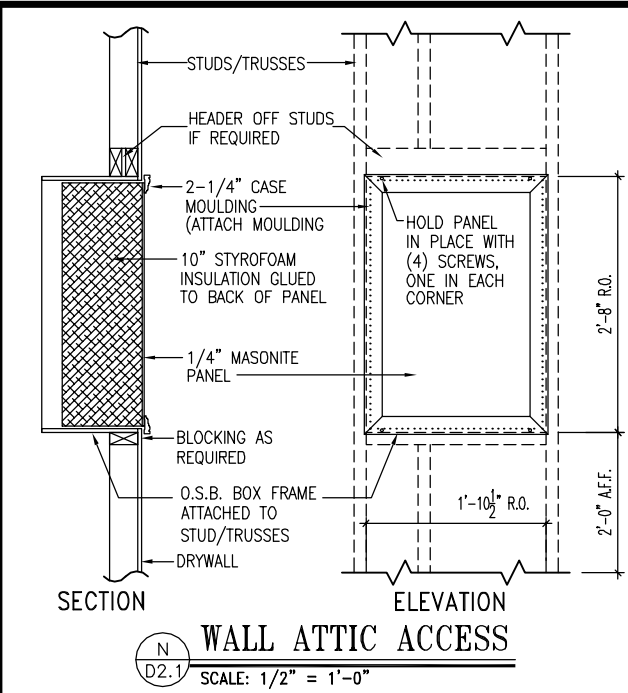
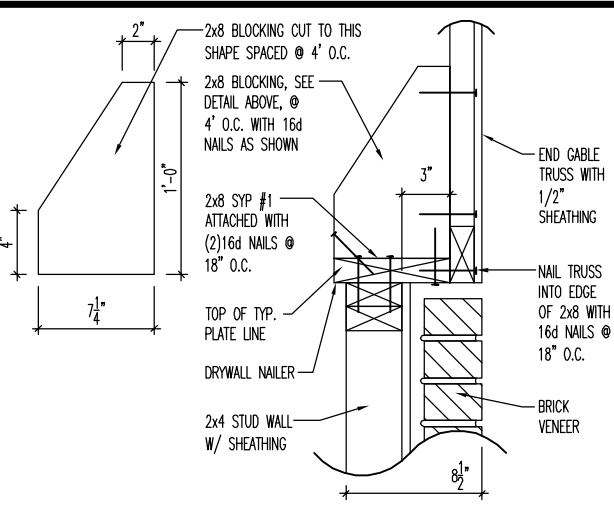
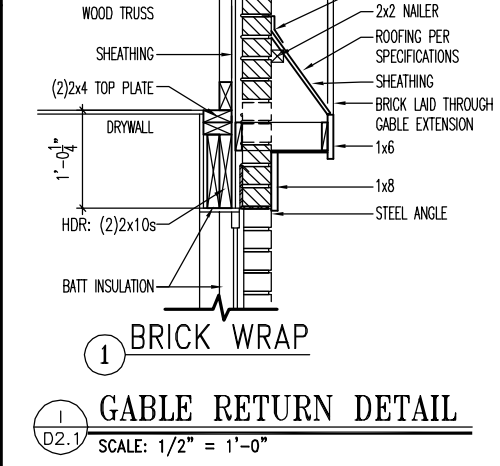
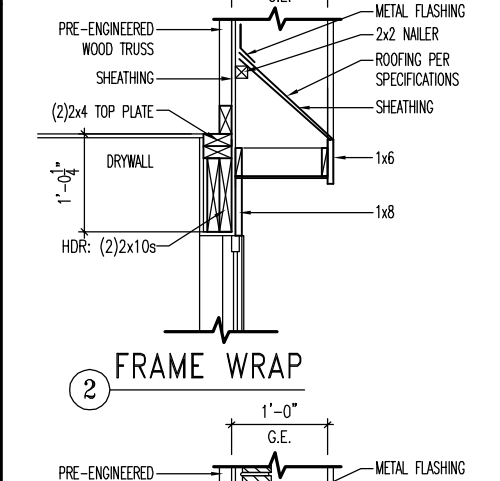
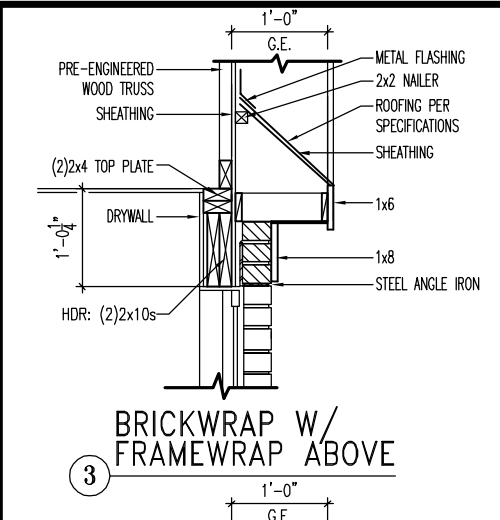
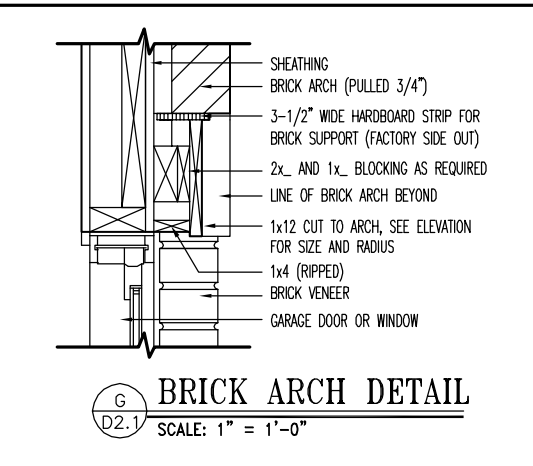
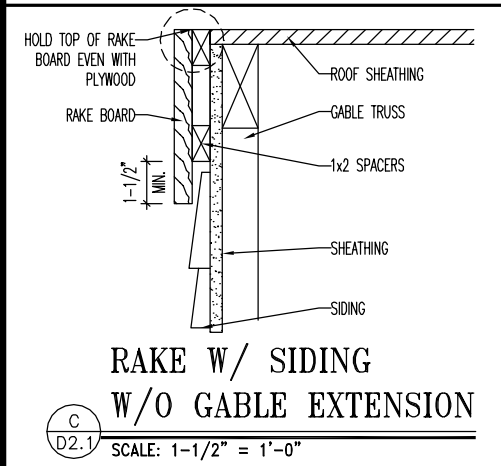
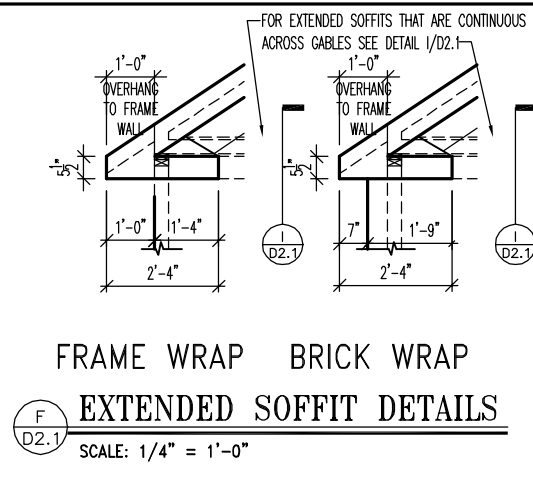
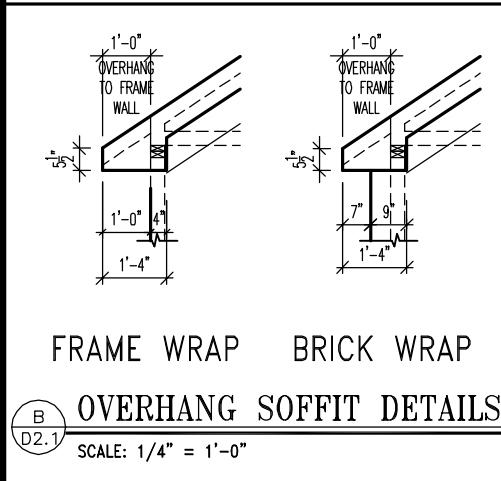
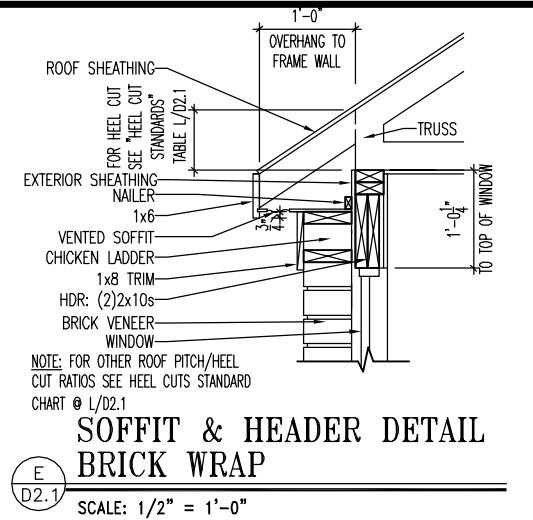
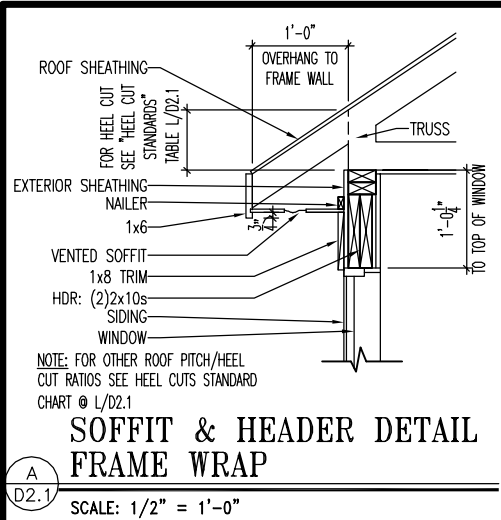
RALEIGH - D-SHEETS.dwg Sep 24, 2015 - 12:14pm



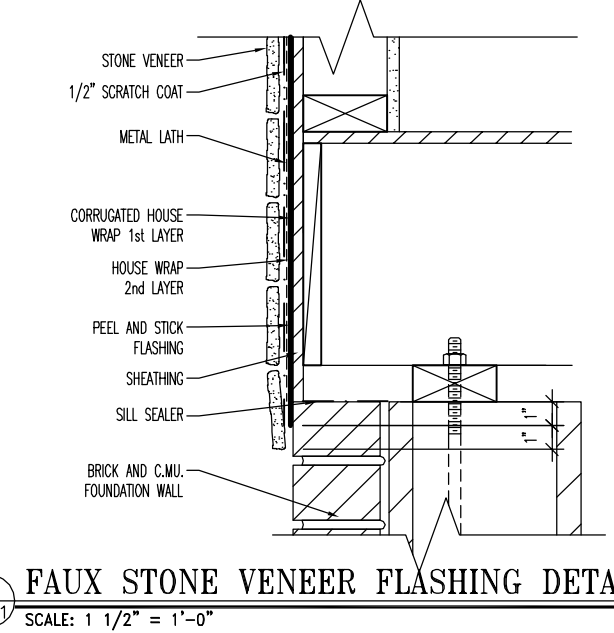
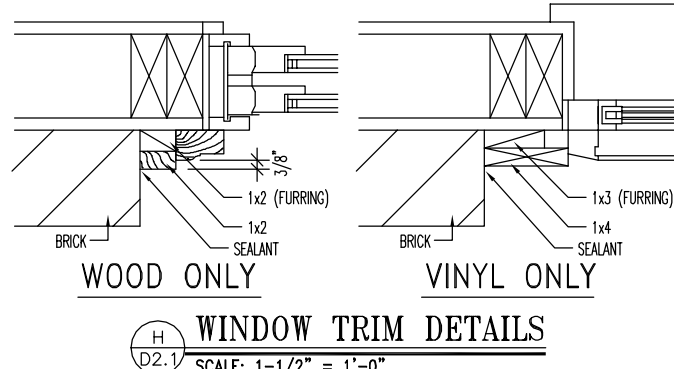
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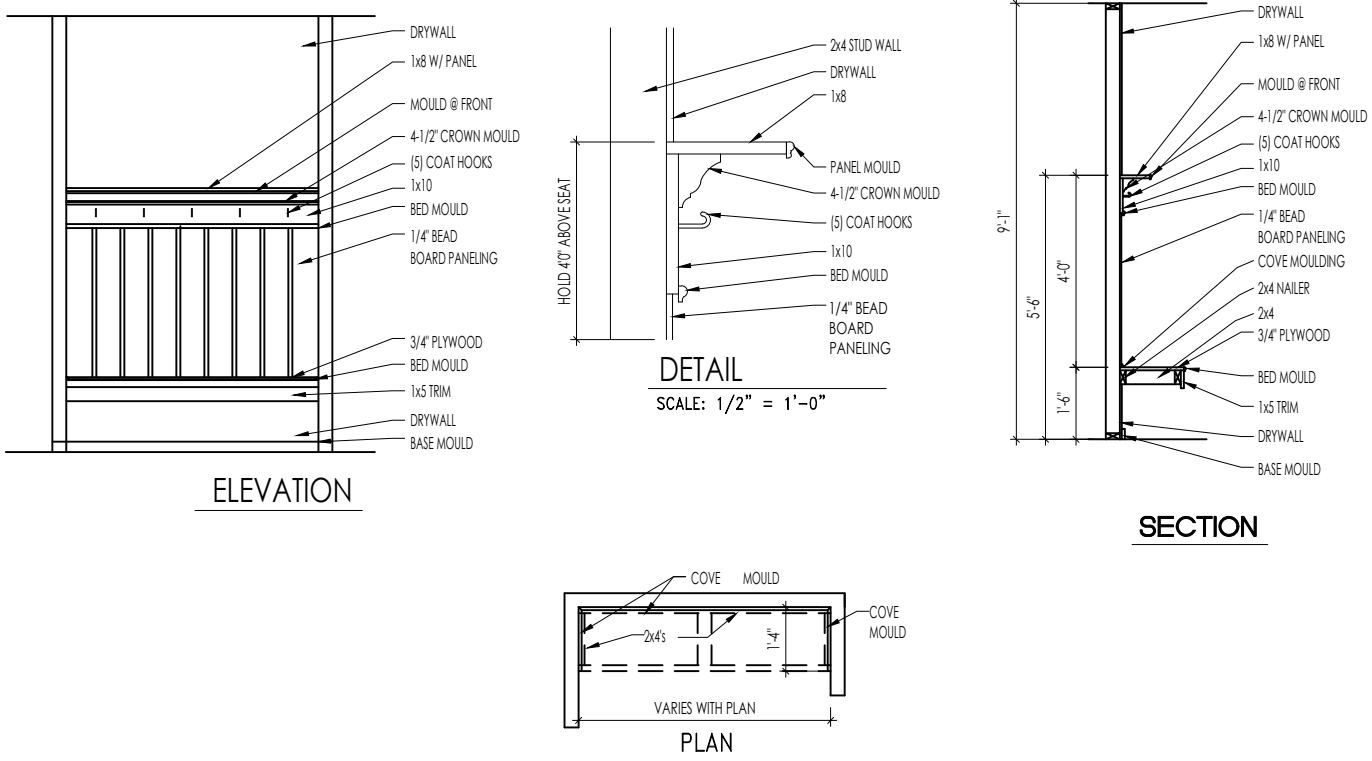
Sheet No.

D1.2



HEEL CUT STANDARDS	
ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'1-3/4"

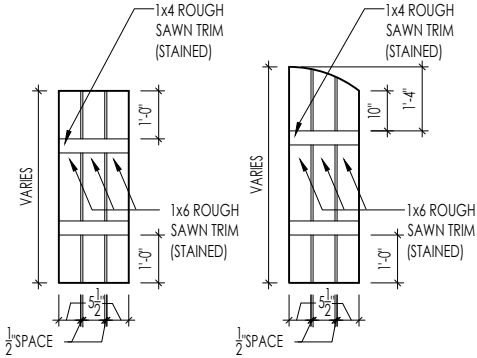




F
D2.2
BENCH SEAT DETAILS
SCALE: AS NOTED



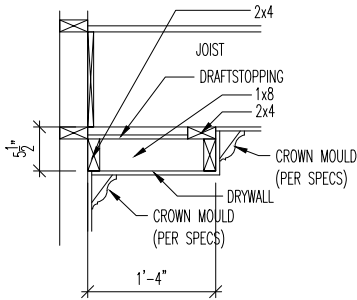
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M
D2.4

SLAT SHUTTER DETAIL

SCALE: 1/4" = 1'-0"



H
D2.4

SINGLE TRAY CEILING DETAIL

SCALE: 1/2" = 1'-0"



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05/30/2025 12:24:56 PM

STANDARD FRAMING DETAILS
RALEIGH DIVISION
SCALE: AS NOTED

DRAWN BY: ARCH

DATE OF DETAIL: 01/27/15

LAST REVISION:

Jan 10, 2023 - 1:46pm

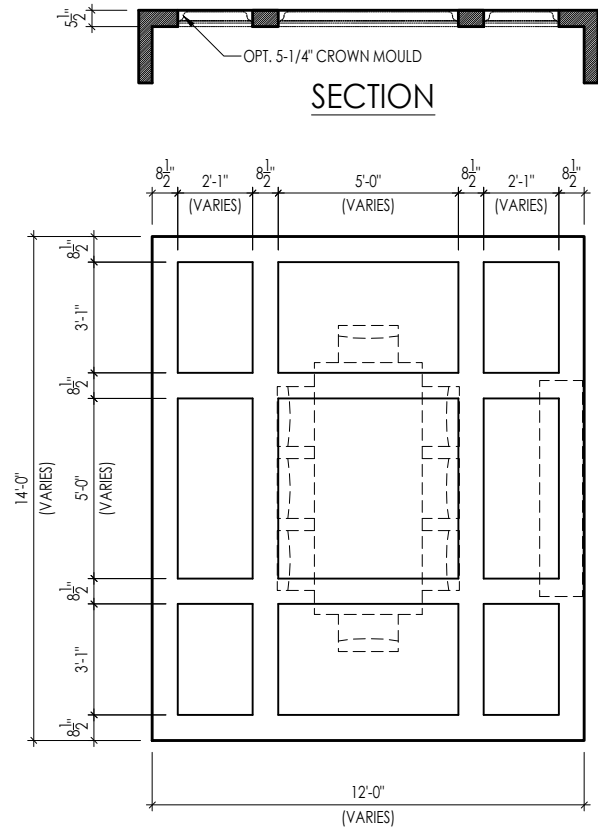
SHEET NO.

D2.4

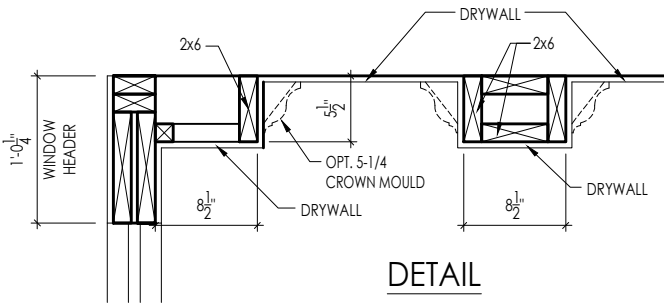


STANDARD FRAMING DETAILS
RALEIGH DIVISION
SCALE: AS NOTED

D2.5

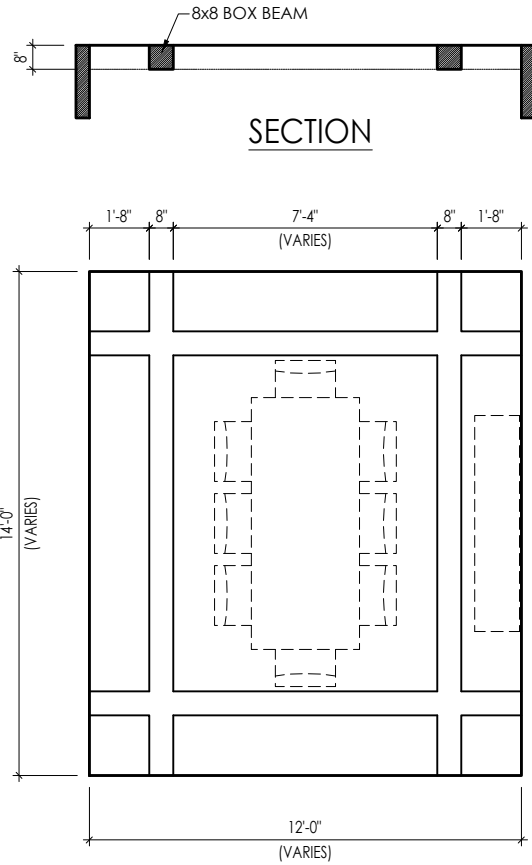


TYPICAL PLAN

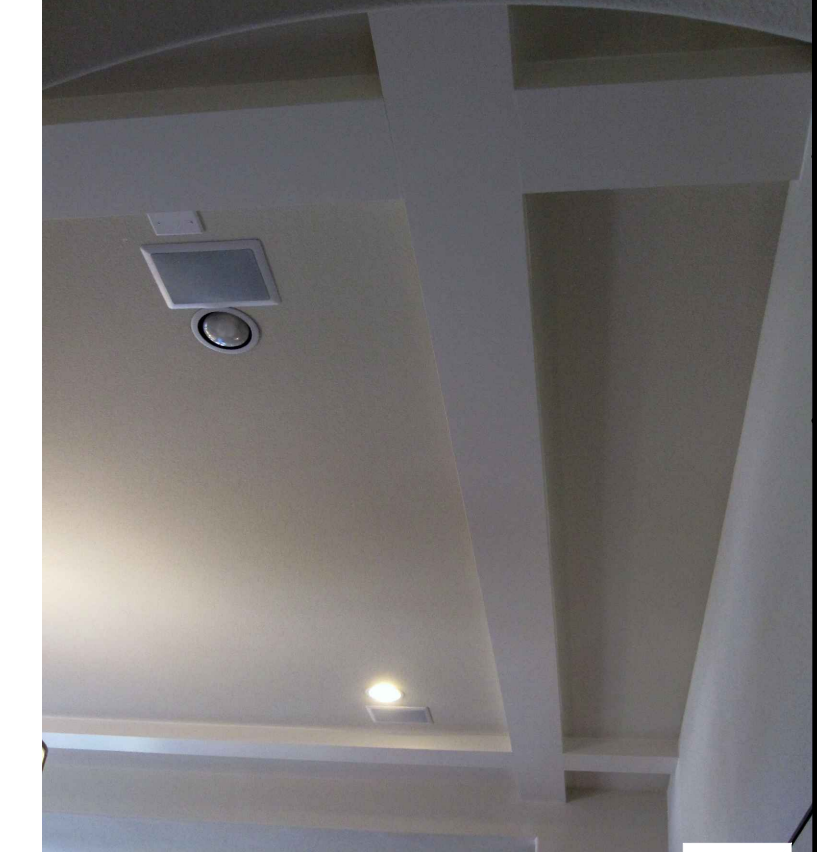


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

01

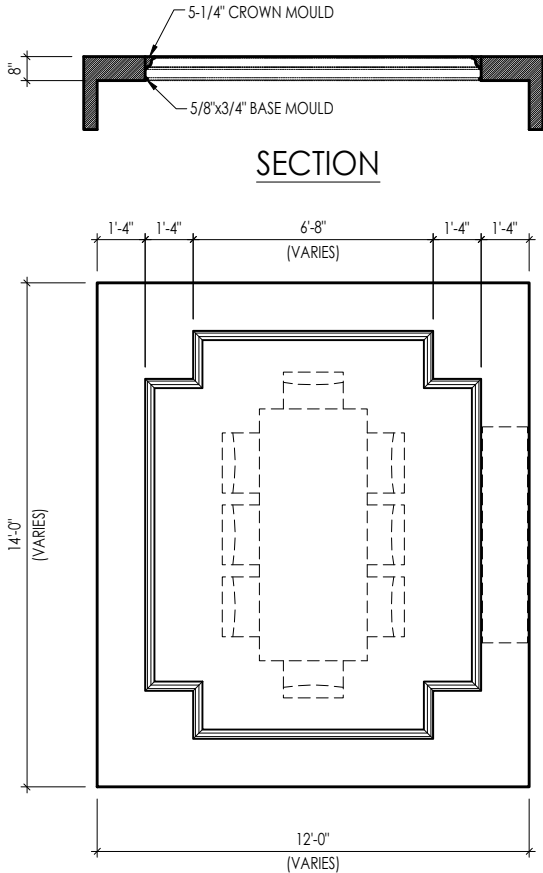


TYPICAL PLAN



Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

05

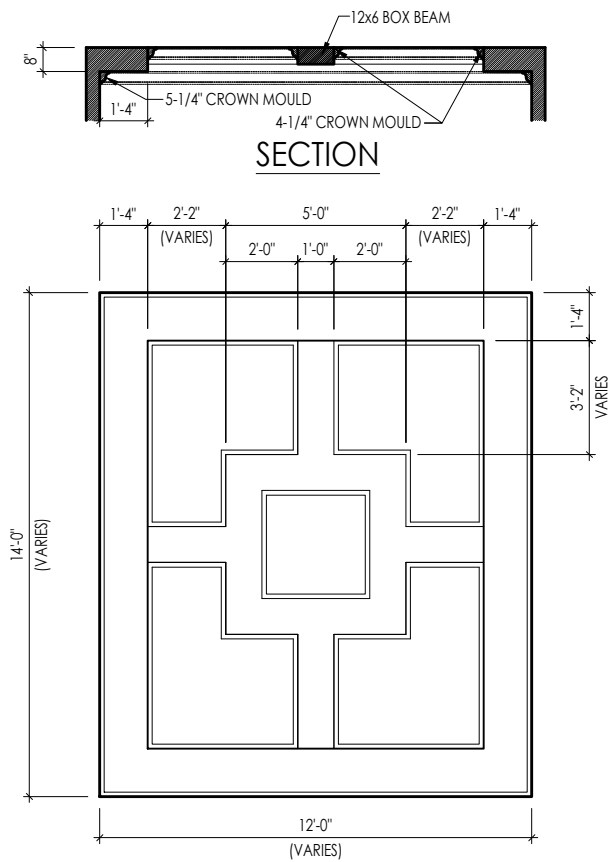


TYPICAL PLAN

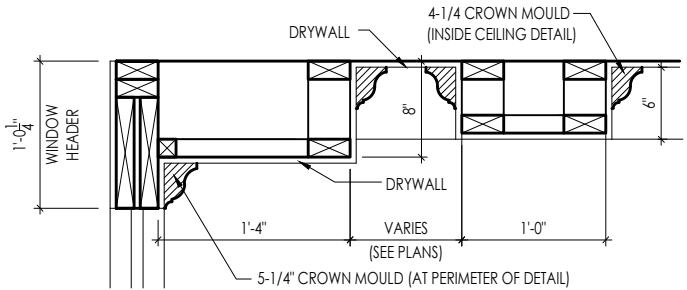


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

04



TYPICAL PLAN



DETAIL



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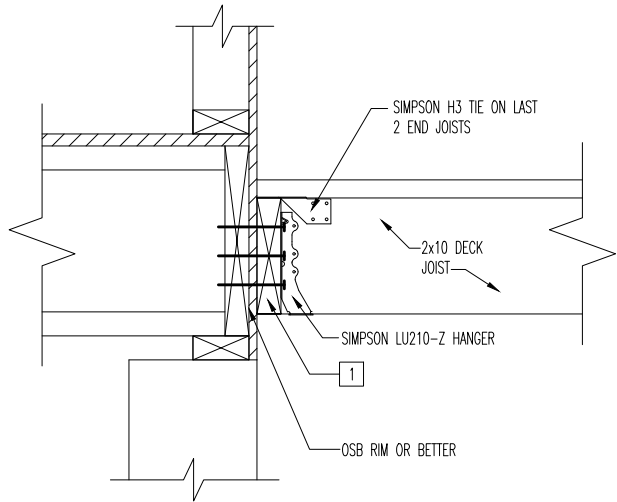
Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

15

CEILING TREATMENTS
SCALE: AS NOTED

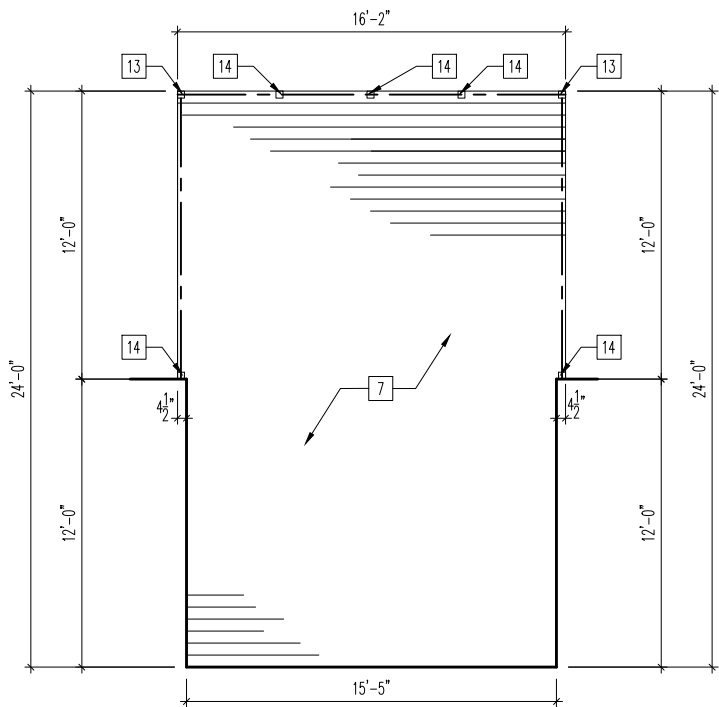
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SHEET NO.	D4.1
BLC	01/27/15
DATE OF DETAIL:	01/27/15
LAST REVISION:	Jan 10, 2023 - 1:42pm



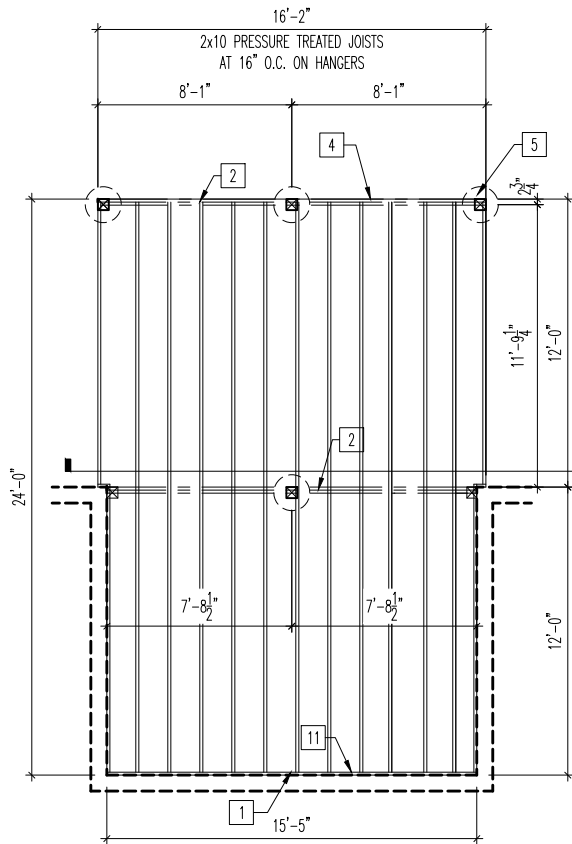
LEDGER CONNECTION TO HOUSE

SCALE: 1" = 1'-0"

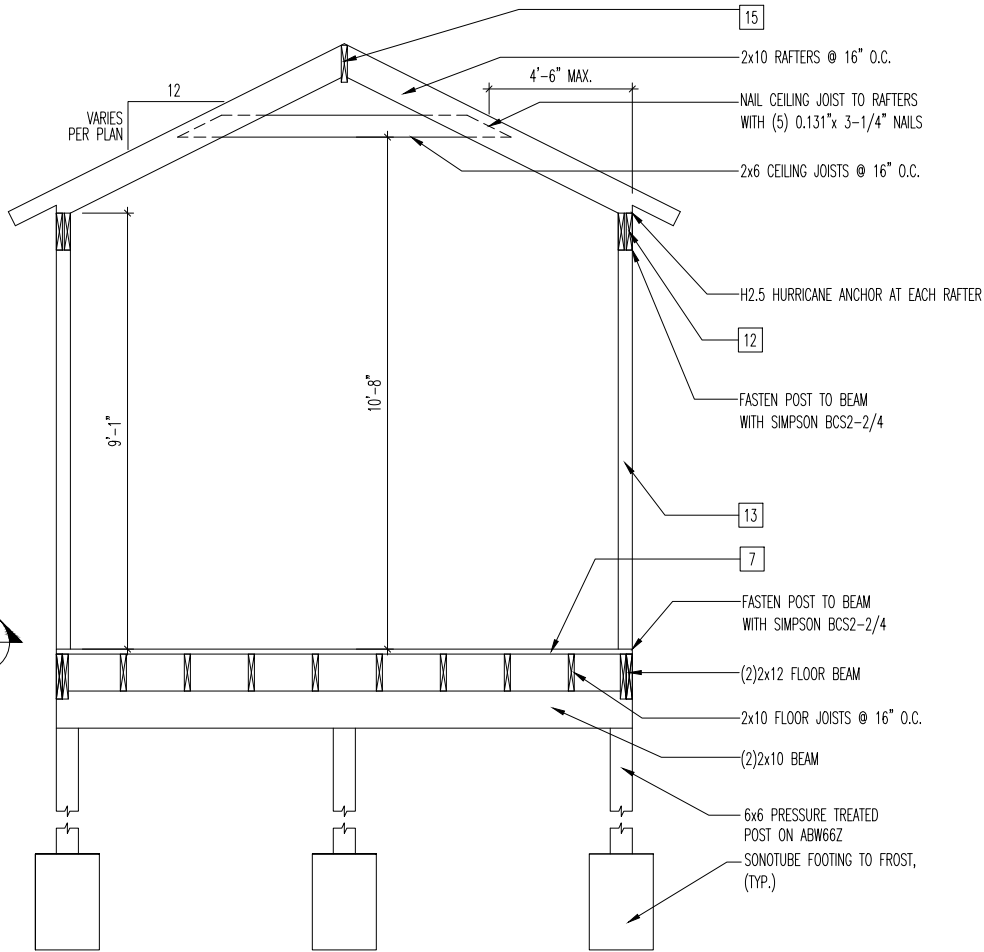


PLAN LAYOUT

SCALE: 1/8" = 1'-0"



FOUNDATION & JOIST LAYOUT



BUILDING SECTION

SCALE: 1/4" = 1'-0"

General Notes

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. SEE SHEET 4.01 FOR DECK LOCATION. FIELD DETERMINE LOCATION & NUMBER OF STAIRS.
3. ALL DECK JOISTS AND BEAMS TO BE SYP#2 PRESSURE TREATED OR BETTER.
4. ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
5. GUARDRAIL & STEPS BY BUILDER.

Key Notes

- 1 2x10 P.T. LEDGER FASTENED TO RIM w/ 1/4"x3-1/2" LONG SIMPSON SDS SCREWS @ 6" o.c., STAGGERED
- 2 BEAM: (2)2x10s
- 3 DOUBLE JOIST
- 4 2x10 RIM BOARD
- 5 6x6 PRESSURE TREATED POSTS ON SONOTUBE FOOTING, TYP. SEE SHEET 1.01 FOR SONOTUBE DIAMETER. FOOTING DEPTH TO RUN 12" MIN. BELOW FINISHED GRADE
- 6 (2)2x10 END JOIST
- 7 5/4 DECKING
- 8
- 9 LUS210-2Z @ END JOIST
- 10 FASTEN LAST TWO END JOISTS ON EACH SIDE OF DECK TO LEDGER W/SIMPSON H3 TIE.
- 11 LU210-Z @ INTERIOR DECK JOISTS
- 12 (2)2x10 PERIMETER BEAM WITH 1/2" FILLER (OSB OR PLYWOOD)
- 13 4x4 PRESSURE TREATED POST W/SIMPSON BCS2-2/4 CAP & ABW44Z BASE, (TYP.)
- 14 4x4 PRESSURE TREATED POST OR (2)2x4 POST (LOCATE JOISTS UNDER POST)
- 15 2x12 RIDGE PLATE
- 16 (2)2x4 BEAM POCKET
- 17



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STANDARD
SCREENED-IN DECK
DETAILS

Std. Drawn By: AKS
Std. Chk. By: MATT G.
Std. Date: 08/21/12
Date of Last Rev: REV_DATE

Sheet Description: 15-5'x 18-0' SCREENED-IN DECK

SCALE: VARIES

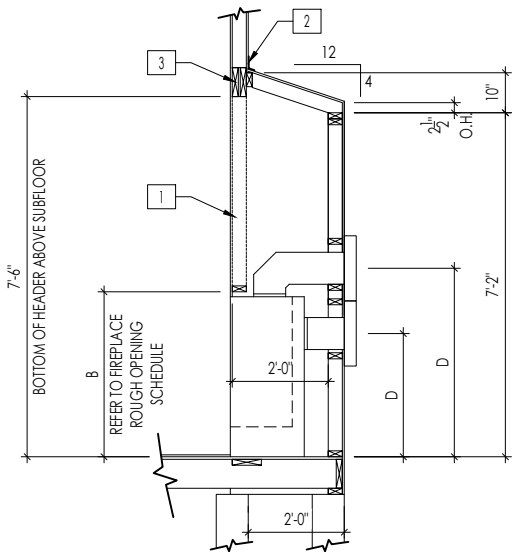
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Phone #: DWG_PH
Coordinator's Name: COORD_NM
Coordinator's Phone #: COORD_PH

Original Site Specific Dwg. & Effective Change Order Date:

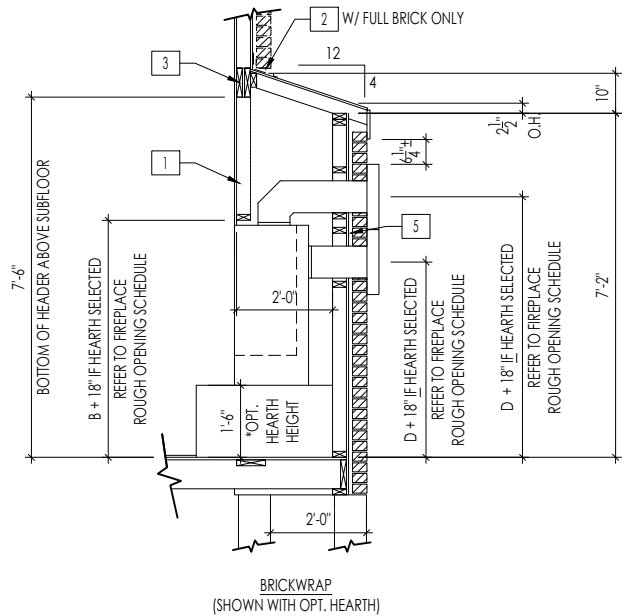
CT_DT

Subdivision: SUB_NM
Job #: JOB_NM
Customer Name: CUS_NM
Job Address: JOB_AD

Sheet No.
D7.1

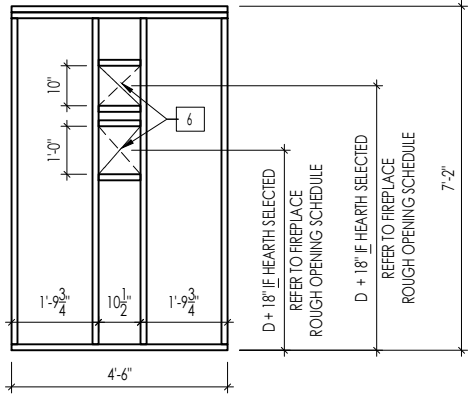


FRAMEWRAP
(SHOWN WITHOUT OPT. HEARTH)



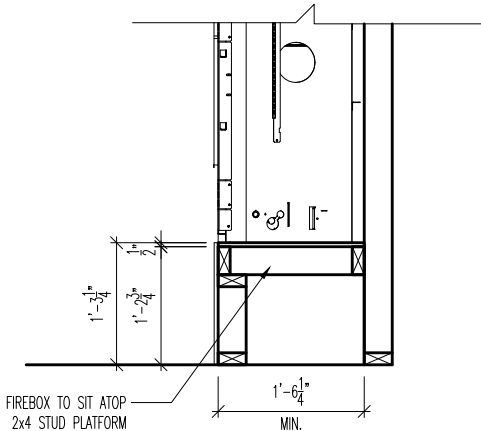
FIREPLACE DOGHOUSE SECTIONS

SCALE: 1/4" = 1'-0"



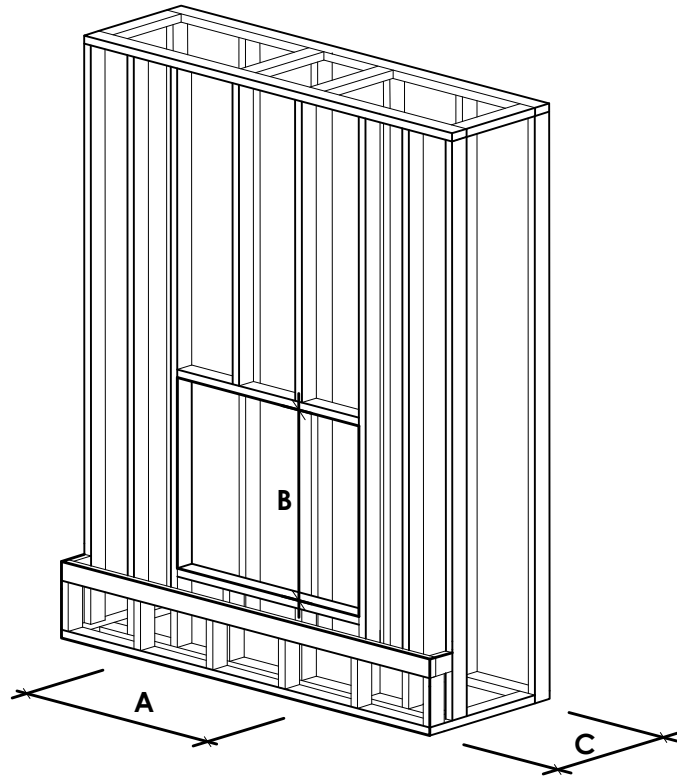
DIRECT VENT REAR WALL FRAMING

SCALE: 1/4" = 1'-0"



RAVE FIREPLACE PLATFORM DETAIL

SCALE: 1/2" = 1'-0"



NOTE:
PROVIDE OSB SHEATHING WHEN
STONE VENEER SELECTED

FIREPLACE ROUGH OPENING SCHEDULE

FIREPLACE MANUFACTURER	MODEL	A	B	C	D
		(FIREBOX REQUIRED WIDTH)	(FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	(FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	(VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
	NOVUS 33	39"	34-7/8"	19-5/8"	TOP 40" SIDE 23-1/2"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPECS
	COURTYARD 42	48-1/2"	34-1/4"	20-1/4"	SEE MANUFACTURER'S SPECS
	LANAI *(NOT IN CINCY/NKY)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPECS
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"
all dimensions are in inches					

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

Key Notes

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
-
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)



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05/30/2025 12:24:56 PM



The Drees Company

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FIREPLACE DETAILS

Std. Drawn By: MRPH

Sheet Description:

SCALE: VARIES

Std. Date: 02.29.20

FIREPLACE DETAIL

Date of Last Rev: 7.10.2023

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Sheet No.

F-1

RALEIGH WINDOW SCHEDULE

*** MEETS EMERGENCY ESCAPE & RESCUE
OPENING REQUIREMENTS**

[illegible]

Drees Homes

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Sheet Description


WINDOW SCHEDULE

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Sheet No.

SC-01

LAST REVISED 11/22/17

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	MOULDED MILLWORK SCHEDULE	SC-02