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**Serenity - Lot 374 - 5920-04 (Cypress Cove) - Elevation A**

- \*12080 Sliding Glass Door at Great Room
- \*Optional Primary Bath 1
- \*Optional Door from Primary WIC to Laundry Room
- \*Gourmet Kitchen Layout w. Cooktop and Under Cabinet Hood
- \*Optional Outdoor Living Patio
- \*Optional Outdoor Fireplace
- \*Exterior Gas Stub Out
- \*Fire Rated Garage Side
- \*Fire Rated Non Garage Side

## Under 9,000 SQFT

|                                                                                             |                                 |                                                                                       |               |                                                                                       |                         |
|---------------------------------------------------------------------------------------------|---------------------------------|---------------------------------------------------------------------------------------|---------------|---------------------------------------------------------------------------------------|-------------------------|
|        | ELEVATION KEY<br>OR SECTION KEY |  | TUB/SHOWER    |  | PLYWOOD                 |
|        | CENTERLINE                      |  | LAVATORY      |  | INSULATING<br>SHEATHING |
|        | CEILING<br>TRANSITION LINE      |  | DBL SINK      |  | BATT<br>INSULATION      |
| HB<br> | HOSE BIB<br>(FREEZE PROOF)      |  | LAUNDRY SINK  |  | RIGID<br>INSULATION     |
|        | GAS LINE STUB                   |  | PEDESTAL SINK |  | CONCRETE                |
|        | TOWEL BAR                       |  | WATER CLOSET  |  | SAND OR GRAVEL<br>FILL  |
| PH<br> | PAPER HOLDER                    |                                                                                       |               |  | STONE                   |
| TR<br> | TOWEL RING                      |                                                                                       |               |  | 2x FRAME<br>WALL        |
|        | SHOWER HEAD                     |                                                                                       |               |  | BRICK VENEER            |
| ++<br> | SHOWER<br>CONTROLS              |                                                                                       |               |  | STONE VENEER            |

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## COVER SHEET &amp; GENERAL NOTES

SUBDIVISION: ALTIS @ SERENITY

ADDRESS: 34 SHADY CREEK WAY

LOT: 374

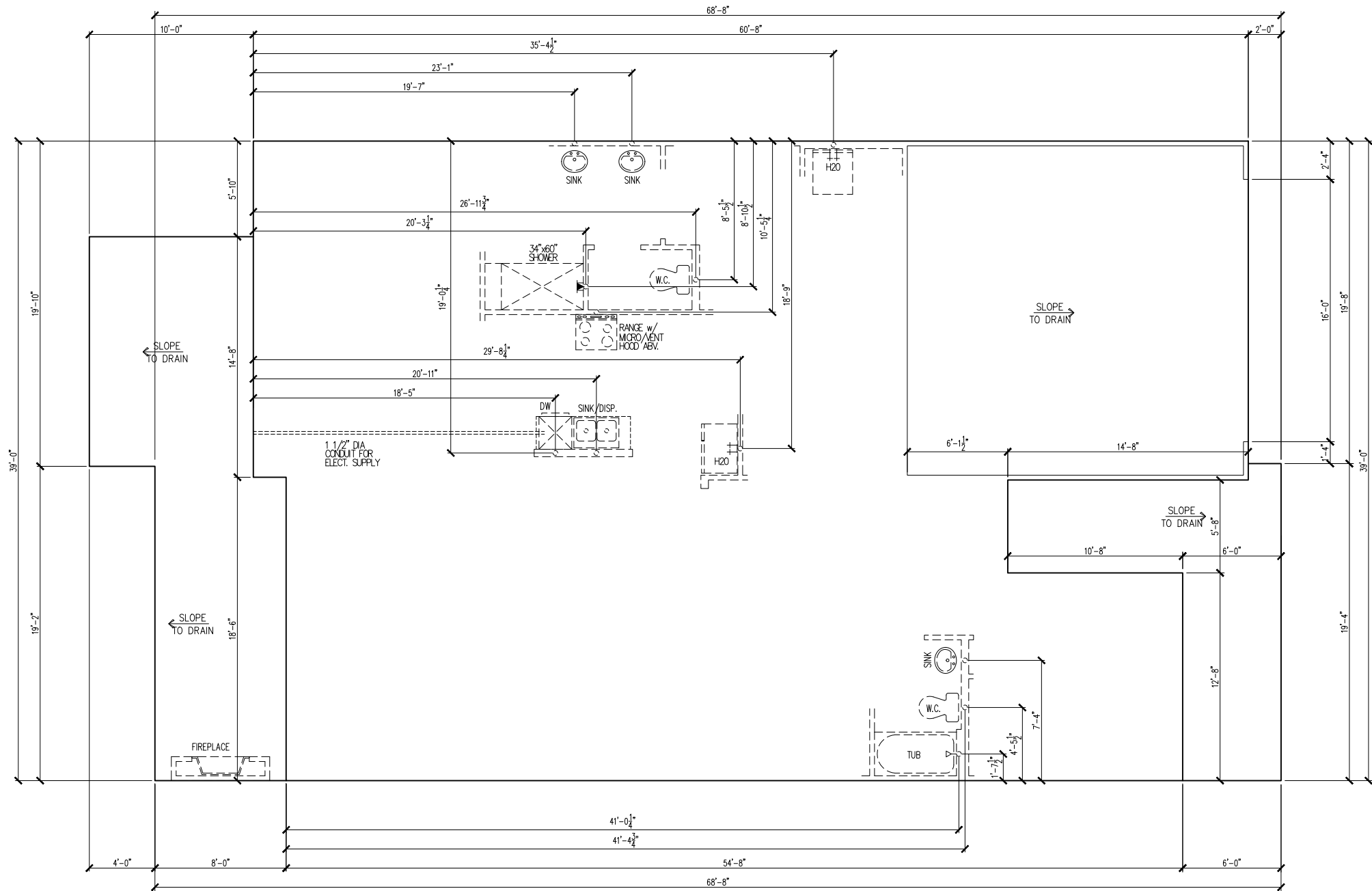
Issue Date: 10-13-24  
Drawn By: ACC

PLAN #:  
5920-04

PLAN NAME:  
**CYPRESS COVE**

SHEET #:  
G0.01





BASE FOUNDATION PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 34 SHADY CREEK WAY  
LOT: 374

Issue Date: 10-13-24  
Drawn By: ACC

PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

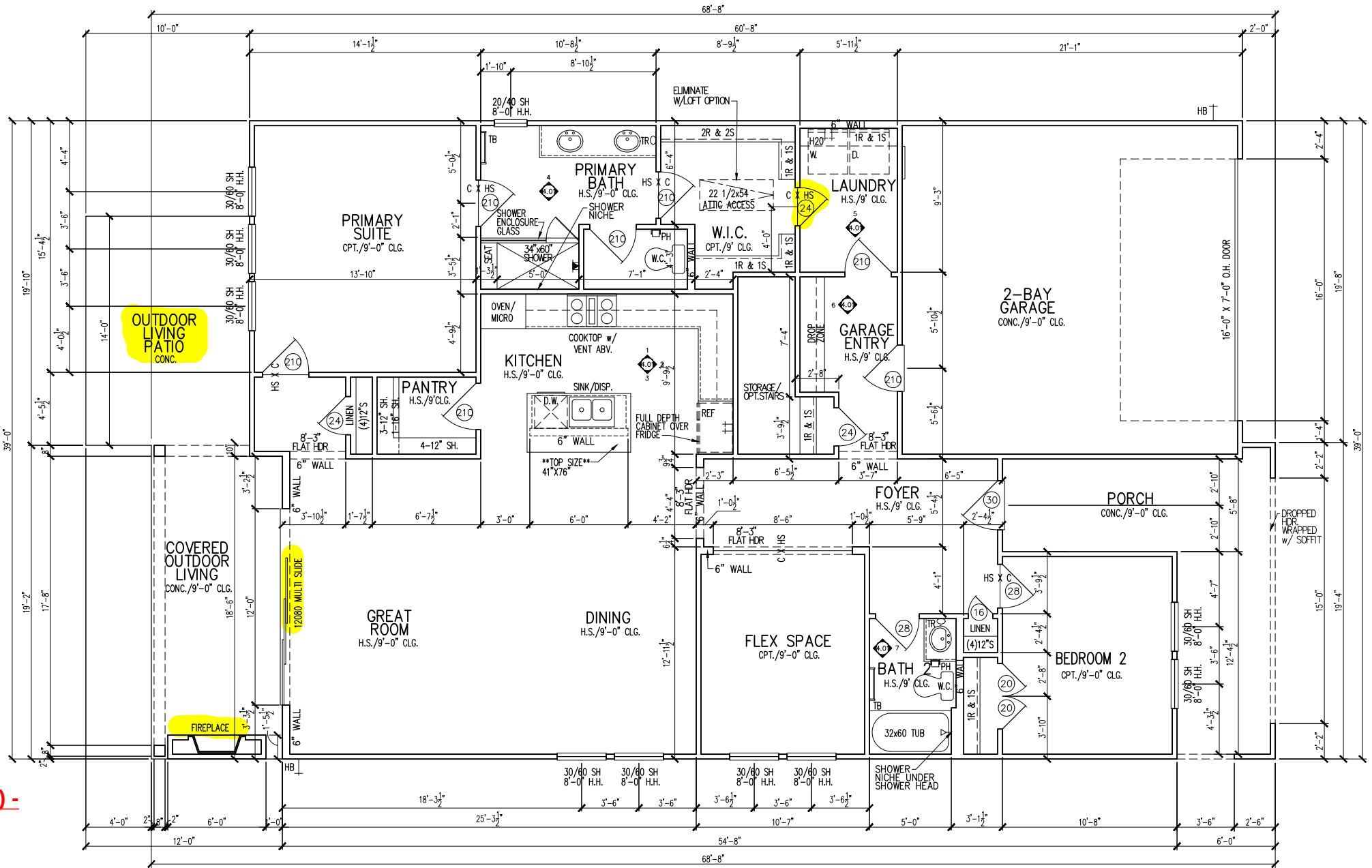
SHEET #:  
S1.10A

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| MAIN FLOOR NOTES |                                                                                                                                                                                      |
|------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| #                | EXPLANATION                                                                                                                                                                          |
| 1.               | ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH                                                                                                                                      |
| 2.               | ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.)                                                                                                                 |
| 3.               | PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS U.N.O.                                                              |
| 4.               | ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O.                                                                                                                                       |
| 5.               | ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O.                                                                                                                     |
| 6.               | TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES                                                                                                         |
| 7.               | WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. w/MIN DIM'S OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO EXCEED 44" AFF |
| 8.               | ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTER                                                                                                         |
| 9.               | ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY                                                                         |
| 10.              | FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET & DETAILS                                                                                                                     |
| 11.              | ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGHT SHALL BE 8'-10" ABOVE FINISHED FLOOR (U.N.O.)                                                                              |
| 12.              | STRUCTURAL ENGINEERING PROVIDED BY OTHERS                                                                                                                                            |
| 13.              | REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE CALLOUTS                                                                                                                           |
| 14.              | FIRST FLOOR INTERIOR DOOR HEIGHTS ARE 8' TALL DOORS. DOORS AT OPTIONAL LOFT ARE 6'-8".                                                                                               |
| 15.              | BATH ACCESSORY INSTALLATION HEIGHTS ARE MEASURED TO CENTER OF ACCESSORY:<br>TB - 48" A.F.F.      TR - 20" ABV. VANITY COUNTER-TOP<br>TH - 70" A.F.F.      TP - 26" A.F.F.            |
| 16.              | SHUT-OFF VALVE TO BE LOCATED IN GARAGE                                                                                                                                               |



**Serenity - Lot 374 - 5920-04 (Cypress Cove) - Elevation A**

- \*12080 Sliding Glass Door at Great Room
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- \*Fire Rated Non Garage Side

1st FLOOR PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 34 SHADY CREEK WAY  
LOT: 374

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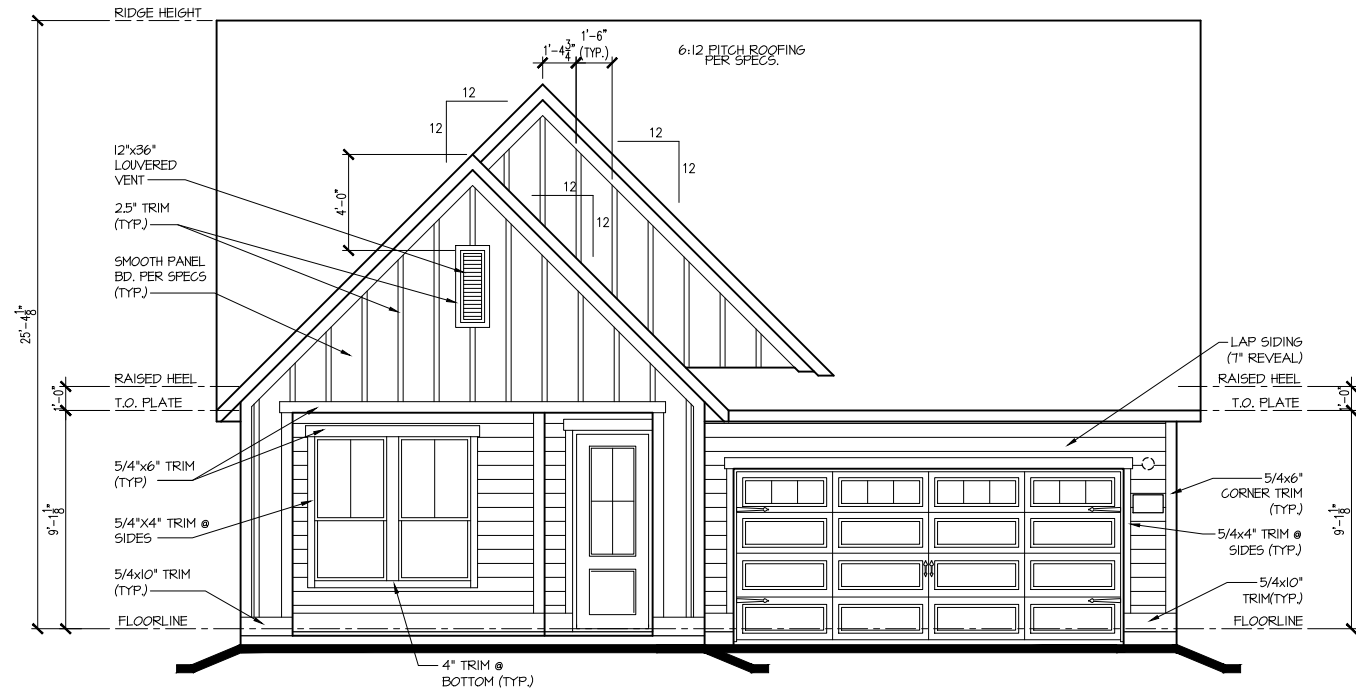
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Drawn By: ACC

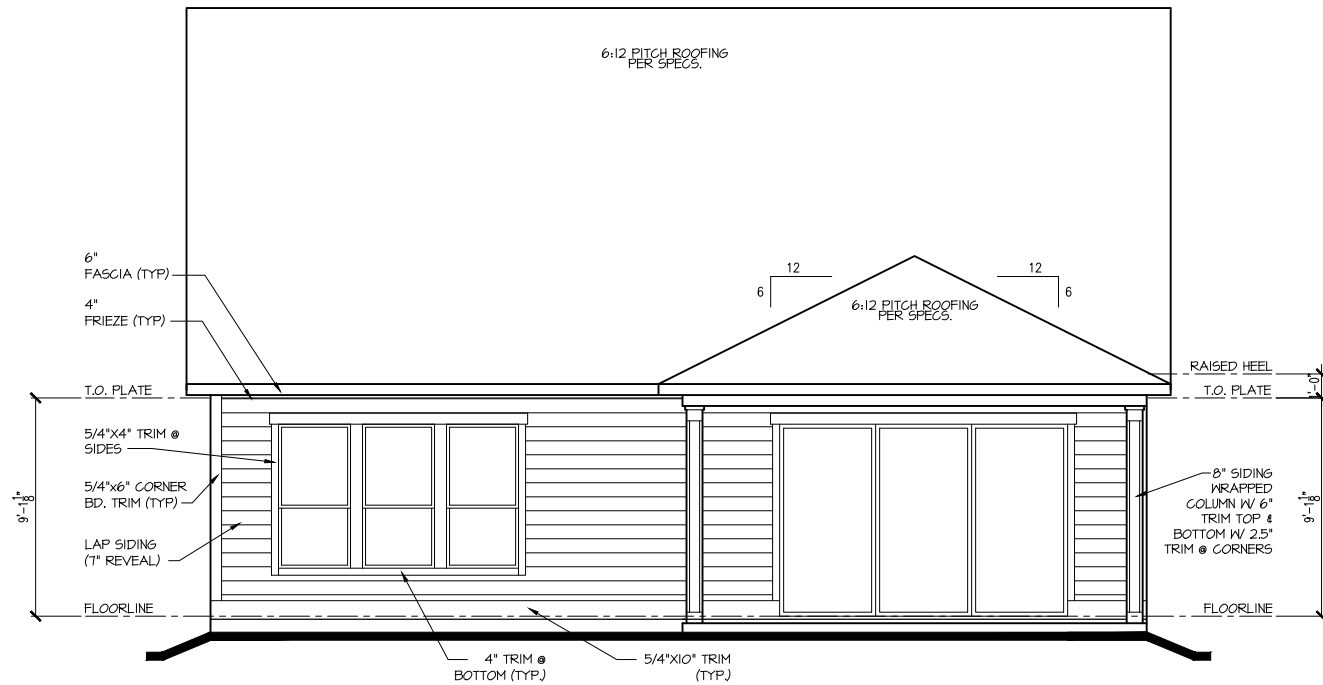
PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

SHEET #:  
A1.10



**FRONT ELEV. "A"**  
1/8"=1'-0"



**REAR ELEV. "A"**  
1/8"=1'-0"

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EXTERIOR ELEVATIONS

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LOT: 374

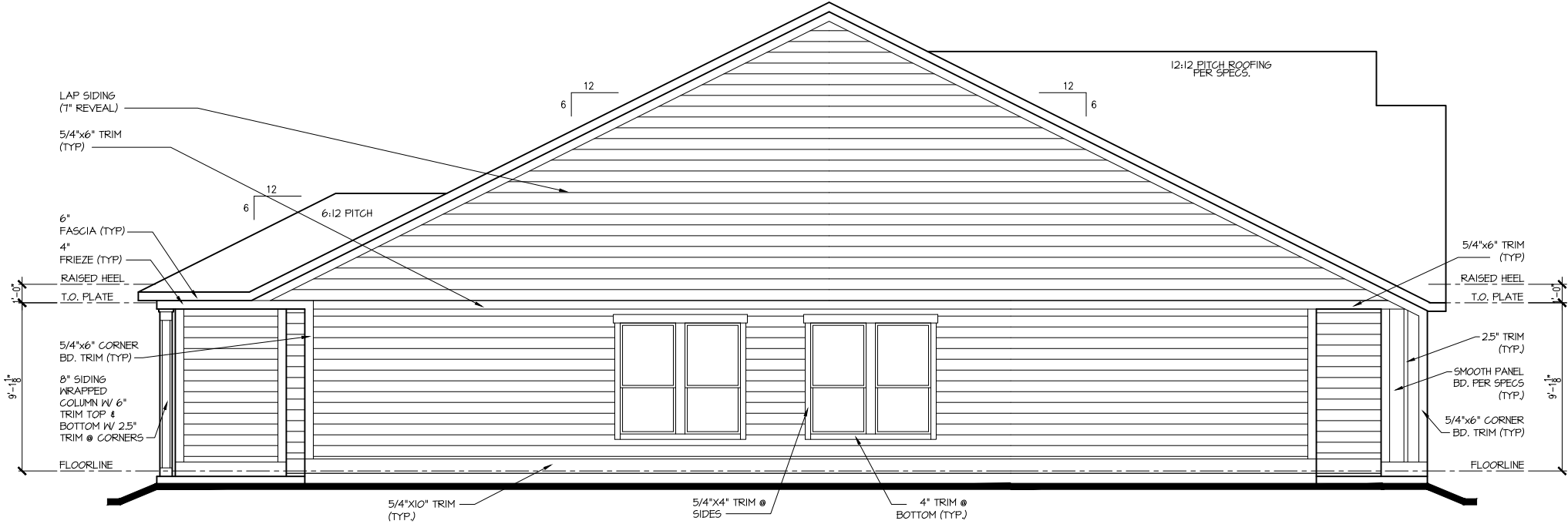
Issue Date: 10-13-24  
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PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

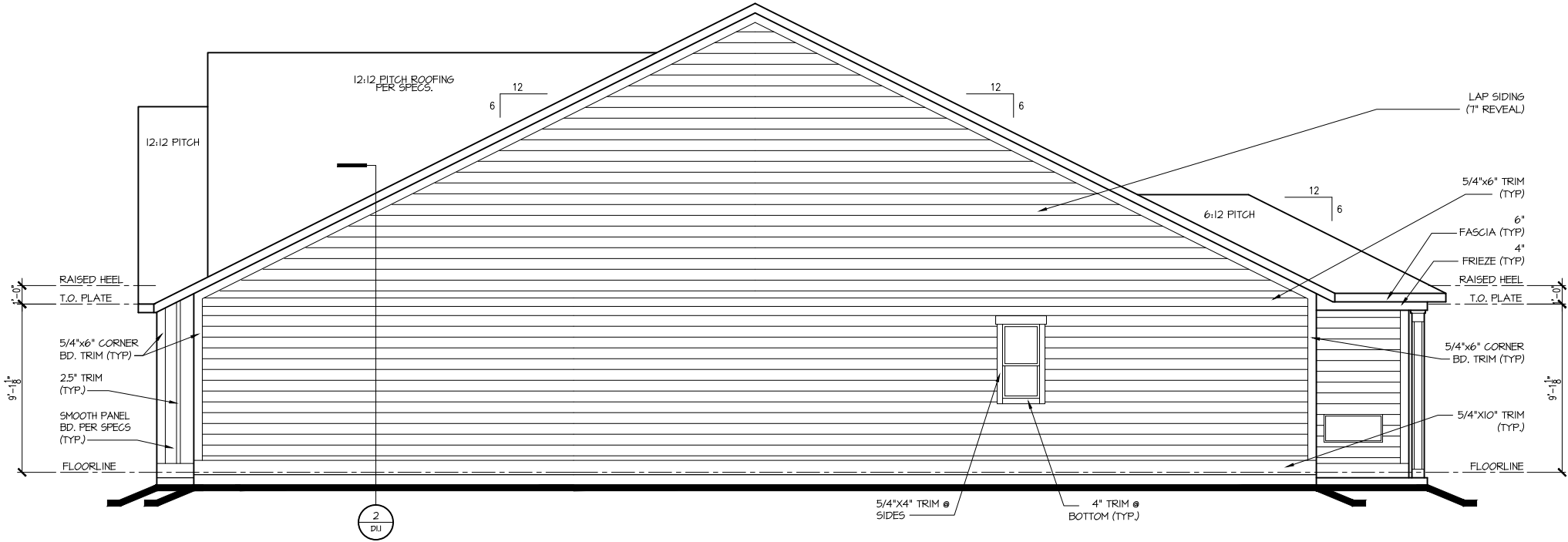
SHEET #:  
A2.01A

FIRE-RATED WALL



**LEFT ELEV. "A"**  
1/8"=1'-0"

FIRE-RATED WALL



**RIGHT ELEV. "A"**  
1/8"=1'-0"

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EXTERIOR ELEVATIONS

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Issue Date: 10-13-24  
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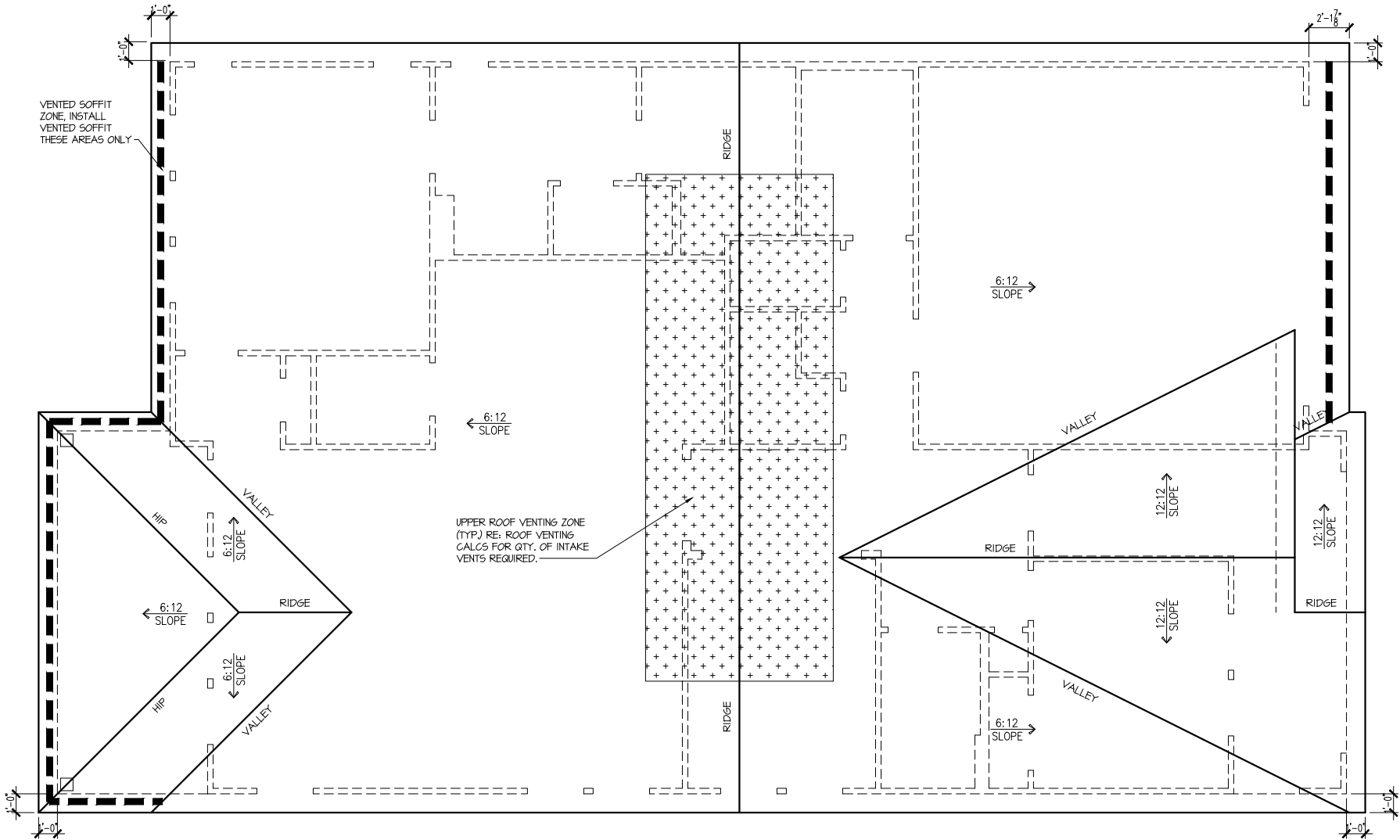
PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

SHEET #:  
A2.02A

| Attic Venting Calculations<br>Elev. "A"              |                 |
|------------------------------------------------------|-----------------|
| ROOF INFORMATION                                     | BASE            |
| TOTAL SF ROOF AREA                                   | 2763            |
| AVAILABLE L.F. ROOF SOFFIT                           | 70              |
| AVAILABLE L.F. ROOF RIDGE                            | 62              |
| VENT TYPES                                           | QTY VENTS REQ'D |
| LOWER VENTS<br>CONTINUOUS SOFFIT VENTING<br>@ 5 S/LF | 133 LF          |
| UPPER VENTS<br>SLANT 150 VENTS @ 150<br>S/LVENT      | 4               |
| UPPER VENTS<br>RIDGE VENTS @ 72 S/LVENT              | 9               |

NOTE:  
QTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING  
OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.



**ROOF PLAN 'A'**  
SCALE: 1/8" = 1'-0"

ROOF PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 34 SHADY CREEK WAY  
LOT: 374

Issue Date: 10-13-24  
Drawn By: ACC

PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

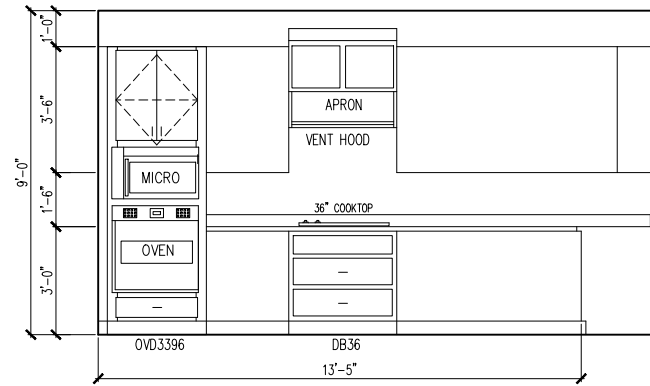
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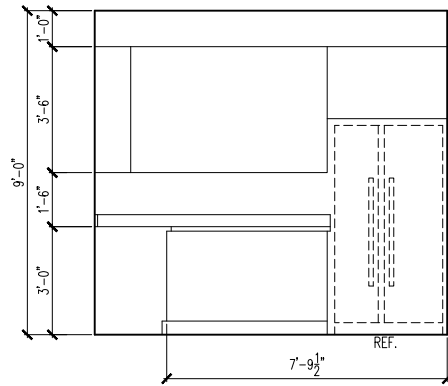
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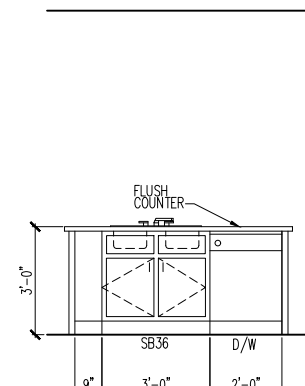
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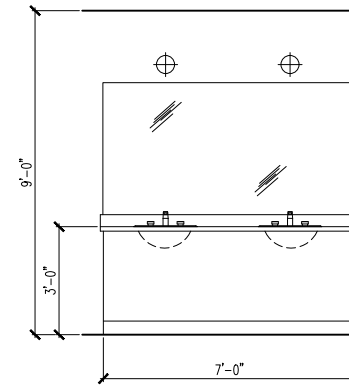
1 KITCHEN



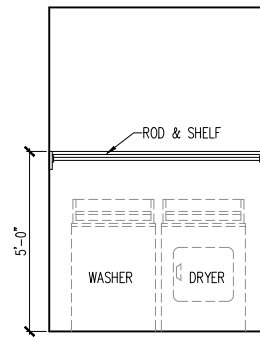
2 KITCHEN



3 KITCHEN ISLAND

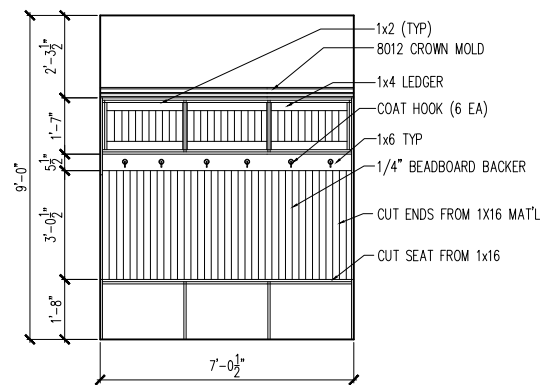


4 PRIMARY BATH



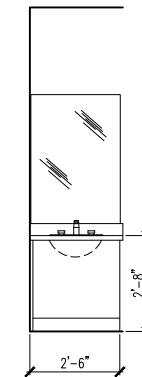
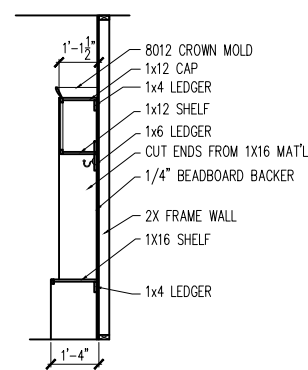
5 LAUNDRY ROOM

## FRONT VIEW



6 TYPICAL BENCH DETAIL (DROP ZONE)

## SIDE VIEW



7 BATH 2

| ELECTRICAL FIXTURE SCHEDULE          |                   |
|--------------------------------------|-------------------|
| DESCRIPTION                          | SYMBOL            |
| 110V OUTLET                          | ⌀                 |
| 220V OUTLET                          | ⌀ 220             |
| 1/2 HOT OUTLET                       | ⌀                 |
| GFI OUTLET                           | ⌀ GFI             |
| WP GFI OUTLET                        | ⌀ WP/GFI          |
| GARAGE DOOR OPENER OUTLET            | ⌀ GDO             |
| SECURITY SYSTEM                      | ⌀ SEC. SYS        |
| DISHWASHER                           | ● DW              |
| JUNCTION BOX                         | ⌀                 |
| CEILING MOUNTED LIGHT                | ⌀                 |
| CEILING FAN w/ LIGHT KIT             | ⌀ PROVIDE BRACING |
| RECESSED CEILING LIGHT               | ⌀                 |
| RECESSED WATER PROOF LIGHT           | ⌀ WP              |
| WALL MOUNTED LIGHT                   | ⌀                 |
| WALL MOUNTED PUSH BUTTON             | ⌀ PB              |
| TWO WAY SWITCH                       | ⌀                 |
| THREE WAY SWITCH                     | ⌀                 |
| FOUR WAY SWITCH                      | ⌀                 |
| DIMMER SWITCH                        | ⌀ DIM             |
| EXHAUST VENTS                        | ⌀ VENT TO EXT     |
| LOW VOLTAGE PANEL                    | ⌀                 |
| PHONE OUTLET                         | ⌀ PH              |
| TV OUTLET                            | ⌀ TV              |
| DATA & RG6 COMBO BOX                 | ⌀                 |
| SMOKE DETECTOR                       | ⌀                 |
| CARBON MONOXIDE SMOKE DETECTOR COMBO | ⌀ CM/SD           |
| DOOR CHIMES                          | CHIMES            |
| ELECTRICAL PANEL                     | ⌀ EP              |
| SURFACE MOUNT LED                    | ⌀                 |
| EXTERIOR WALL MOUNT UPLIGHT          | ⌀                 |
| SOFFIT MOUNT FLOOD LIGHT             | ⌀                 |
| UNDER COUNTER LIGHTING               | ⌀ UCL             |
| SMURF TUBE                           | .....             |

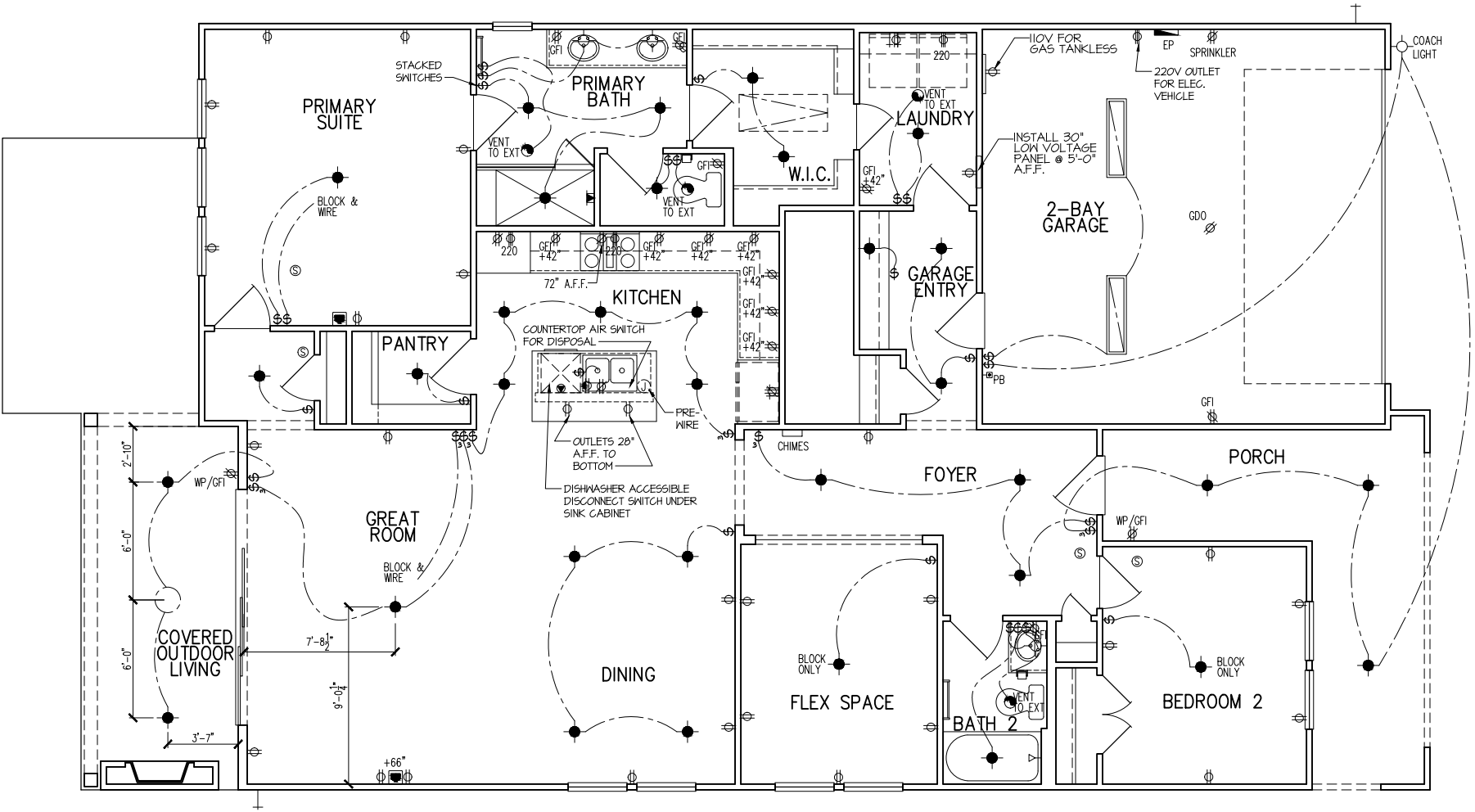
ELECTRICAL NOTES:

1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
2. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

| ELECTRICAL DEVICES:                                 | ABOVE FINISHED FLOOR: |
|-----------------------------------------------------|-----------------------|
| SWITCHES OVER COUNTER. ....                         | 48". TO CL            |
| WALL OUTLETS OVER COUNTER. ....                     |                       |
| +42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER) |                       |
| REMAINING SWITCHES. ....                            | 48". TO CL            |
| WALL OUTLETS. ....                                  | 12". TO CL            |
| BATH VANITY BRACKET OUTLET. ....                    | 1.2                   |
| (1" ABOVE TOP OF VANITY)                            |                       |
| WATER SOFTENER AND SUMP OUTLETS. ....               | 48" TO CL             |
| EXTERIOR GFI OUTLETS. ....                          | 12". TO CL            |
| GARAGE GFI (ABOVE GARAGE FLOOR). ....               | 48" TO CL             |
| FRONT DOOR COACH LIGHT. ....                        | .80". TO CL           |
| GARAGE DOOR COACH LIGHT. ....                       |                       |
| (ABOVE GARAGE FLOOR). ....                          | 84". TO CL            |
| THERMOSTAT. ....                                    | .54". TO CL           |
| DOORBELL CHIMES. ....                               | .84". TO CL           |

|                                          | LEVEL W/ DR HANDLE |
|------------------------------------------|--------------------|
| DOORBELL BUTTON. ....                    |                    |
| KITCHEN HOOD FAN "WHIP". ....            | .66". TO CL        |
| KITCHEN WALL HUNG MICROWAVE OUTLET. .... | .72". TO CL        |
| KITCHEN DISHWASHER RECEPTACLE. ....      | UNDER SINK         |
| KITCHEN RANGE. ....                      | .24". TO CL        |
| KITCHEN REFRIGERATOR. ....               | .48". TO CL        |
| WASHER/DRYER OUTLET. ....                | .48". TO CL        |

CL = CENTER LINE  
1 = FIELD VERIFY  
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



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1st FLOOR ELECTRICAL PLAN

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 34 SHADY CREEK WAY  
LOT: 374

Issue Date: 10-13-24  
Drawn By: ACC

PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

SHEET #:  
E1.10A

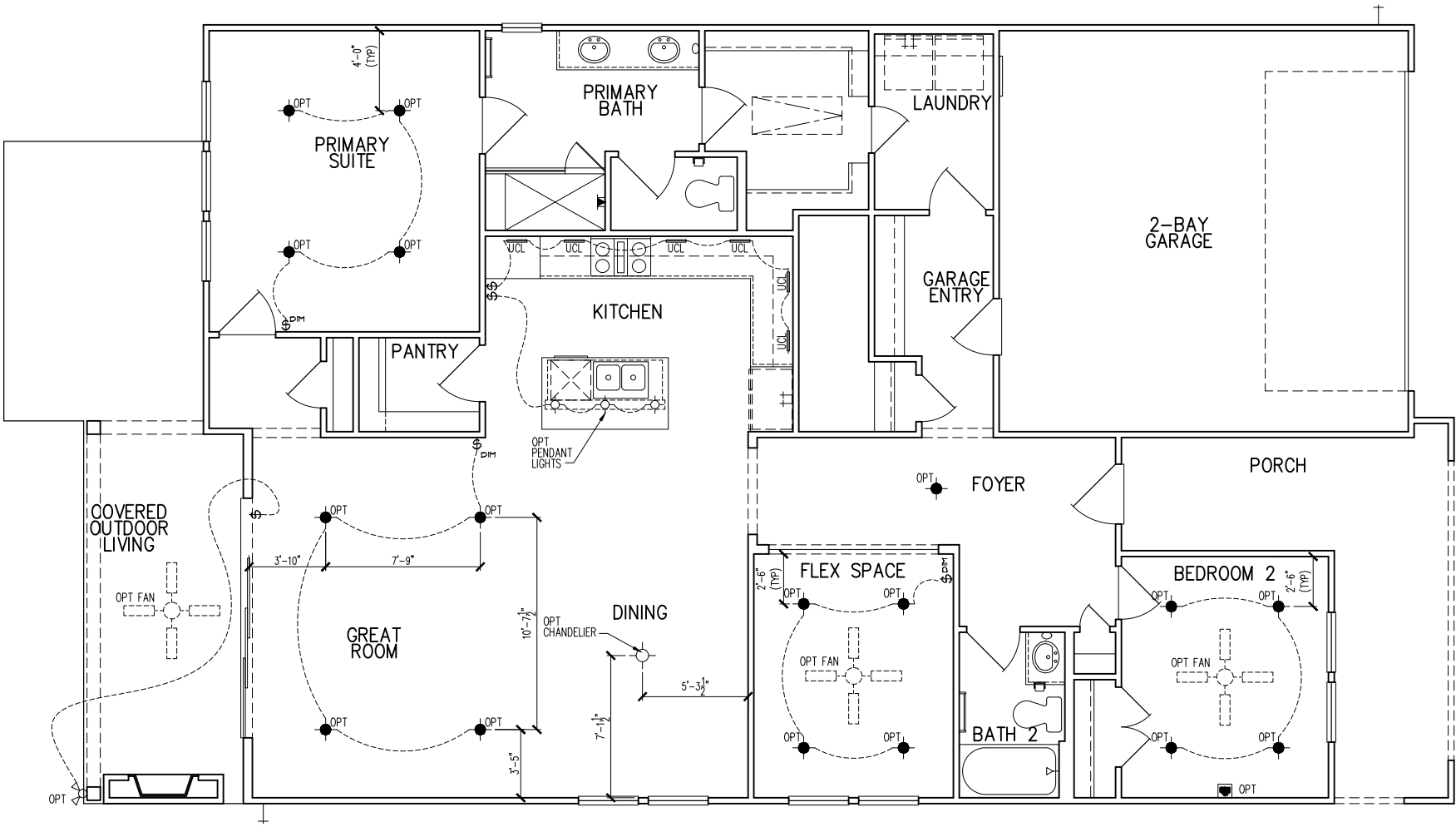
| ELECTRICAL FIXTURE SCHEDULE          |        |
|--------------------------------------|--------|
| DESCRIPTION                          | SYMBOL |
| 110V OUTLET                          |        |
| 220V OUTLET                          |        |
| 1/2 HOT OUTLET                       |        |
| GFI OUTLET                           |        |
| WP GFI OUTLET                        |        |
| GARAGE DOOR OPENER OUTLET            |        |
| SECURITY SYSTEM                      |        |
| DISHWASHER                           |        |
| JUNCTION BOX                         |        |
| CEILING MOUNTED LIGHT                |        |
| CEILING FAN w/ LIGHT KIT             |        |
| RECESSED CEILING LIGHT               |        |
| RECESSED WATER PROOF LIGHT           |        |
| WALL MOUNTED LIGHT                   |        |
| WALL MOUNTED PUSH BUTTON             |        |
| TWO WAY SWITCH                       |        |
| THREE WAY SWITCH                     |        |
| FOUR WAY SWITCH                      |        |
| DIMMER SWITCH                        |        |
| EXHAUST VENTS                        |        |
| LOW VOLTAGE PANEL                    |        |
| PHONE OUTLET                         |        |
| TV OUTLET                            |        |
| DATA & RG6 COMBO BOX                 |        |
| SMOKE DETECTOR                       |        |
| CARBON MONOXIDE SMOKE DETECTOR COMBO |        |
| DOOR CHIMES                          |        |
| ELECTRICAL PANEL                     |        |
| SURFACE MOUNT LED                    |        |
| EXTERIOR WALL MOUNT UP LIGHT         |        |
| SOFFIT MOUNT FLOOD LIGHT             |        |
| UNDER COUNTER LIGHTING               |        |
| SMURF TUBE                           |        |

ELECTRICAL NOTES:

1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
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|-----------------------------------------------|-----------------------------------------------------|
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| WALL OUTLETS OVER COUNTER                     | .42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER) |
| REMAINING SWITCHES                            | .48" TO CL                                          |
| WALL OUTLETS                                  | .12" TO CL                                          |
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| WATER SOFTENER AND SUMP OUTLETS               | .48" TO CL                                          |
| EXTERIOR GFI OUTLETS                          | .12" TO CL                                          |
| GARAGE GFI (ABOVE GARAGE FLOOR)               | .48" TO CL                                          |
| FRONT DOOR COACH LIGHT                        | .80" TO CL                                          |
| GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR) | .84" TO CL                                          |
| THERMOSTAT                                    | .54" TO CL                                          |
| DOORBELL CHIMES                               | .84" TO CL                                          |
| DOORBELL BUTTON                               | LEVEL W/ DR HANDLE                                  |
| KITCHEN HOOD FAN "WHIP"                       | .66" TO CL                                          |
| KITCHEN WALL HUNG MICROWAVE OUTLET            | .72" TO CL                                          |
| KITCHEN DISHWASHER RECEPTACLE                 | UNDER SINK                                          |
| KITCHEN RANGE                                 | .24" TO CL                                          |
| KITCHEN REFRIGERATOR                          | .48" TO CL                                          |
| WASHER/DRYER OUTLET                           | .48" TO CL                                          |

CL = CENTER LINE  
1 = FIELD VERIFY  
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1st FLOOR ELEC. PLAN – OPITONS

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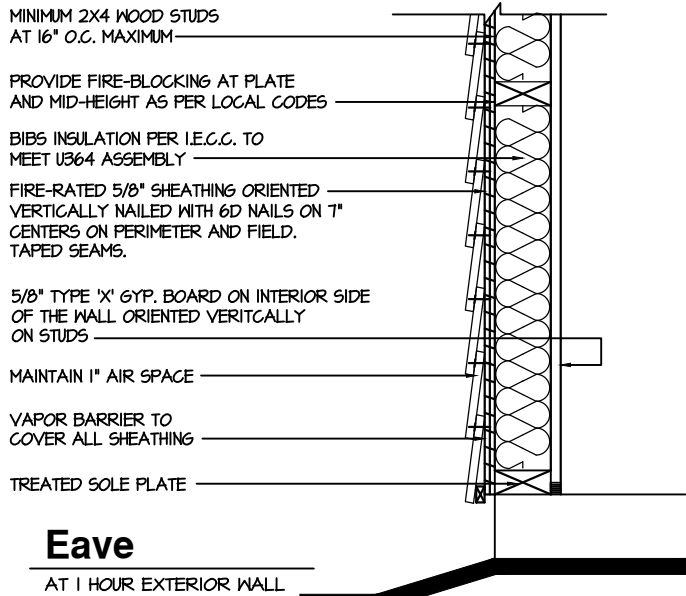
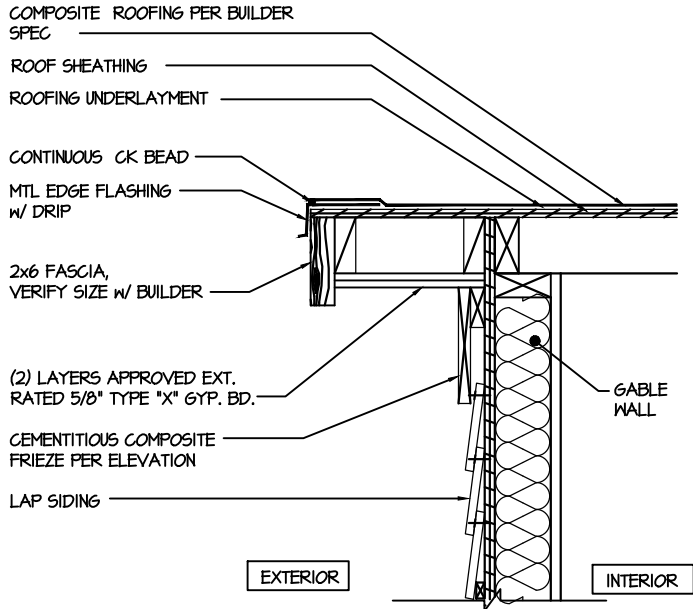
Issue Date: 10-13-24  
Drawn By: ACC

PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

SHEET #:  
E1.11A

NOTE:  
1. FIREWALL COMPIES WITH UL DESIGN #U364 FOR 1 HR. FIREWALL ASSEMBLY  
GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.  
60 MIN. FIRE-RATED GLASS BLOCK ONLY



## Eave

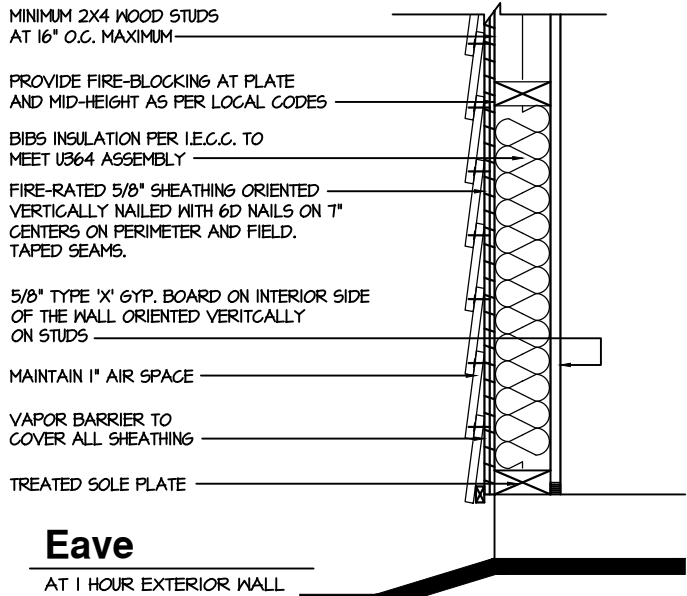
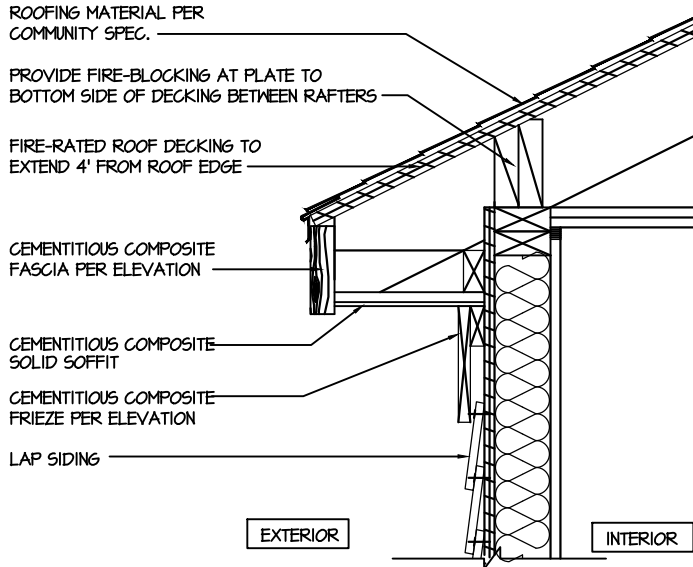
AT 1 HOUR EXTERIOR WALL

## 2 1 Hour Wall

AT EXTERIOR WALL

1 HOUR FIRE-RESISTIVE CONSTRUCTION  
(PROPERTY LINE)

NOTE:  
1. FIREWALL COMPIES WITH UL DESIGN #U364 FOR 1 HR. FIREWALL ASSEMBLY  
GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.  
60 MIN. FIRE-RATED GLASS BLOCK ONLY



## Eave

AT 1 HOUR EXTERIOR WALL

## 1 1 Hour Wall

AT EXTERIOR WALL

1 HOUR FIRE-RESISTIVE CONSTRUCTION  
(PROPERTY LINE)

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5440 WADE PARK BLVD, SUITE 400, RALEIGH, NC 27607

Business Operations  
5440 Wade Park Blvd  
Suite 400  
Raleigh, NC 27607

© 2022

### DETAILS

SUBDIVISION: ALTIS @ SERENITY  
ADDRESS: 34 SHADY CREEK WAY  
LOT: 374

Issue Date: 10-13-24  
Drawn By: ACC

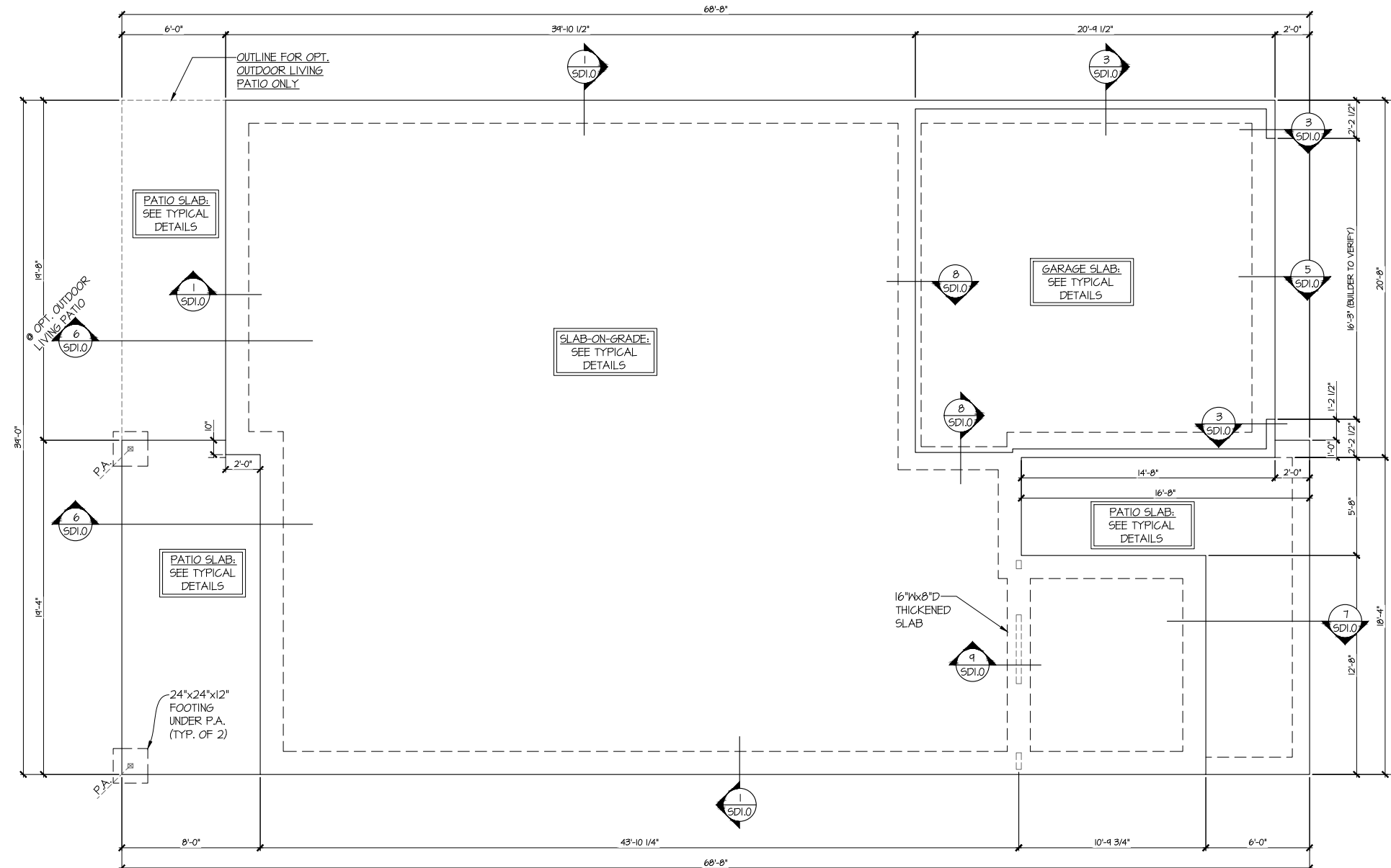
PLAN #:  
5920-04

PLAN NAME:  
CYPRESS COVE

SHEET #:  
D1.1



**Lot 374**



# SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)

ELEV. A

- ## LEGEND
- |                                                                                         |                                                                        |
|-----------------------------------------------------------------------------------------|------------------------------------------------------------------------|
| ●  | INTERIOR BEARING WALL                                                  |
| ●  | BEARING WALL ABOVE (B.W.A.)                                            |
| ●  | BEAM / HEADER                                                          |
| ●  | INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING     |
| ●  | EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)                   |
| ●  | EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE                         |
| ▶                                                                                       | INDICATES HOLDDOWN                                                     |
| ⌋                                                                                       | METAL HANGER                                                           |
| ✳                                                                                       | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. |

REFER TO 50.0 FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES

Seal:  5/19/25

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NC License # C-3925

Mulhern+Kulp project number:  
243-24030

|              |          |
|--------------|----------|
| project mgr: | SMK      |
| drawn by:    | SMM      |
| issue date:  | 11-07-24 |

|                  |          |
|------------------|----------|
| REVISIONS:       |          |
| date:            | initial: |
| 05-16-25         | JPP      |
| PER UPDATED ARCH |          |

tri pointe.  
HOMES

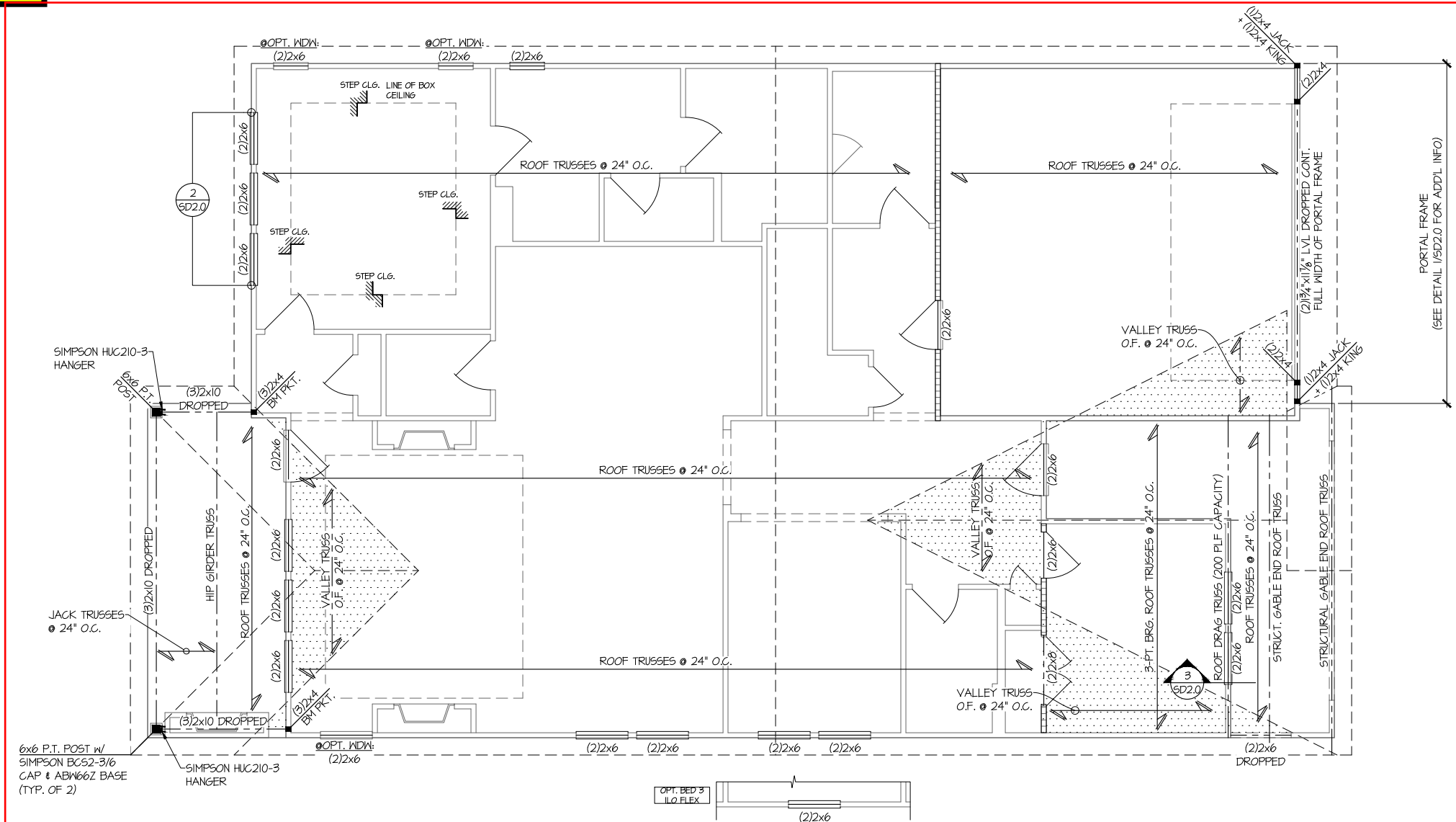
FOUNDATION PLAN  
5920-04 MODEL  
SERENITY  
MASTER SET  
RALEIGH, NC

sheet:

# S1.0

# Elevation A

Lot 374



**1 ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

| LEGEND |                                                                        |
|--------|------------------------------------------------------------------------|
|        | INTERIOR BEARING WALL                                                  |
|        | BEARING WALL ABOVE (BWA)                                               |
|        | BEAM / HEADER                                                          |
|        | INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING     |
|        | EXTENT OF VALLEY TRUSS OVERFRAMING 24" O.C. (MAX.)                     |
|        | EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE                         |
|        | INDICATES HOLDDOWN                                                     |
|        | METAL HANGER                                                           |
|        | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. |

REFER TO S.O. FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

seal: 5/19/25  
NORTH CAROLINA PROFESSIONAL ENGINEER  
SEAL 017622  
STALIN KREIDER  
CORPORATE: MULHERN & KULP  
Structural Engineering, Inc.

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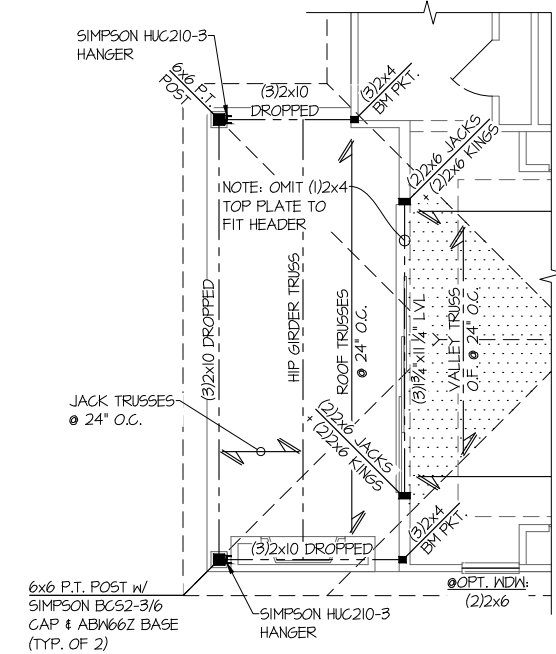
Mulhern+Kulp project number:  
243-24030  
project mgr: SMK  
drawn by: SMM  
issue date: 11-07-24

REVISIONS:  
date: 05-16-25 initial: JPP  
PER UPDATED ARCH

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HOMES

ROOF FRAMING PLAN  
5920-04 MODEL  
SERENITY  
MASTER SET  
RALEIGH, NC

sheet:  
**S2.0**



**PARTIAL ROOF FRAMING PLAN**  
**OPT. 12080 MULTI SLIDE DOOR**  
SCALE: 1/4"=1'-0" (22x24 SHEET)  
1/8"=1'-0" (11x17 SHEET)  
ELEV. A SHOWN  
ALL ELEV. SIM.

# Elevation A

## Lot 374

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING @ 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- INDICATES HOLDOWN
- METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO S.O. FOR  
TYPICAL STRUCTURAL NOTES  
& SCHEDULES

seal: 5/19/25  
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REGISTERED PROFESSIONAL  
SEAL  
017622  
ENGINEER  
STALIN KREIDEL  
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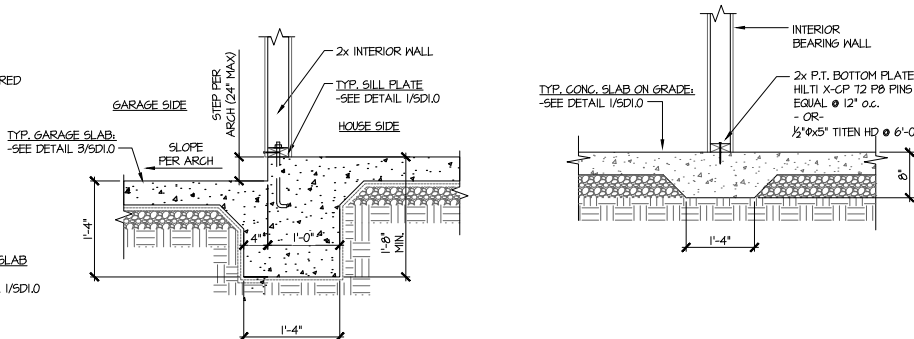
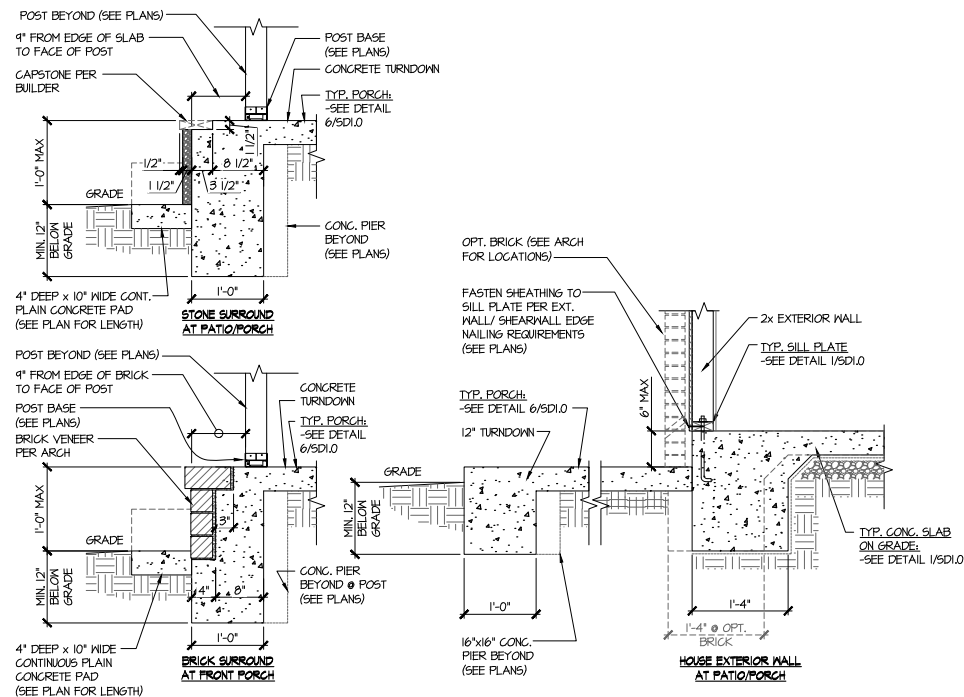
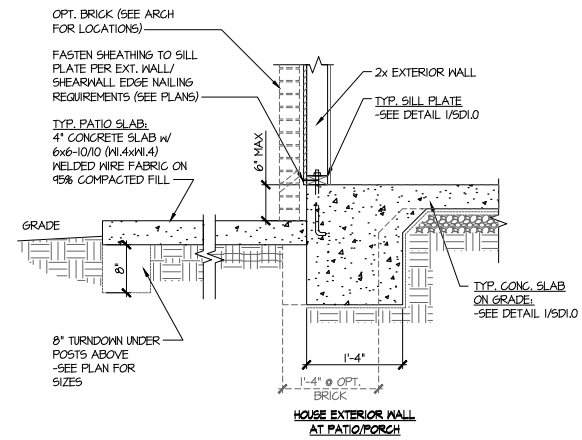
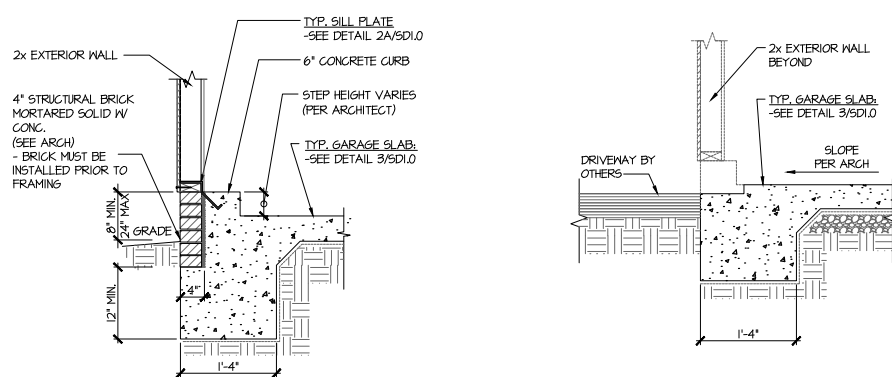
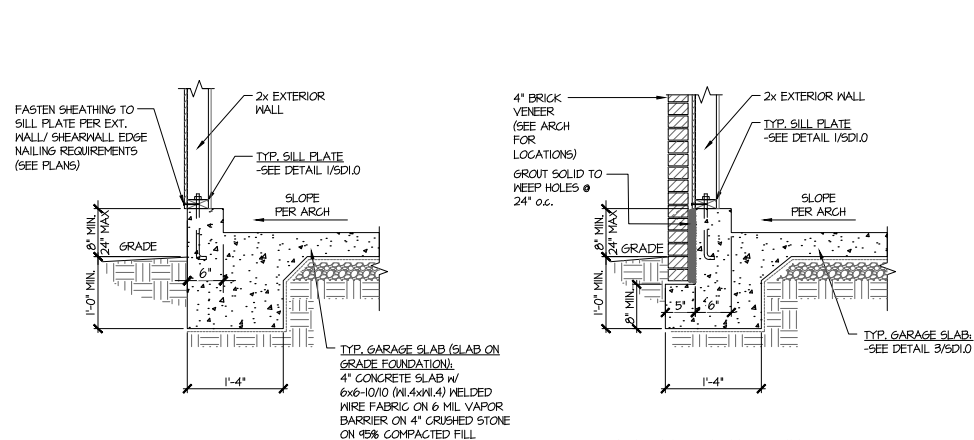
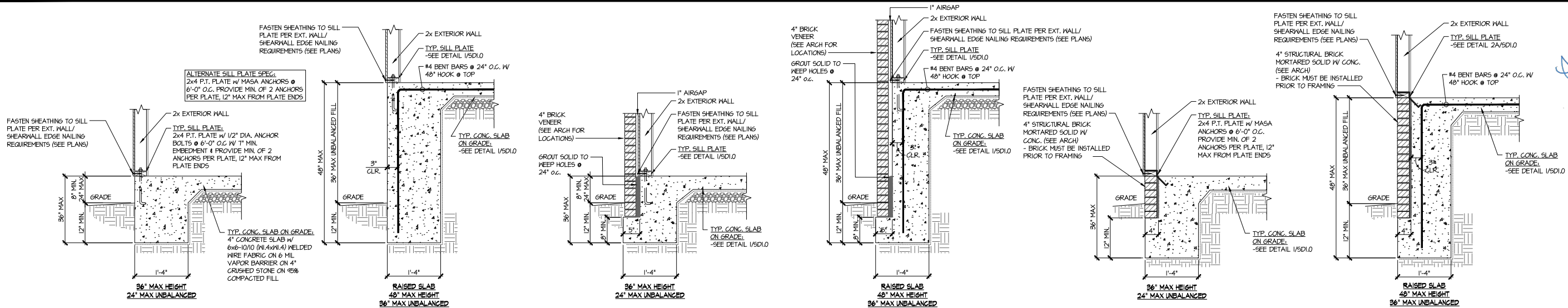
Mulhern+Kulp project number:  
243-24030  
project mgr: SMK  
drawn by: SMM  
issue date: 11-07-24

REVISIONS:  
date: 05-16-25 initial: JPP  
PER UPDATED ARCH

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HOMES

STRUCTURAL OPTIONS  
5920-04 MODEL  
SERENITY  
MASTER SET  
RALEIGH, NC

sheet:  
**S3.3**



seal: 5/19/25  
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SEAL  
017622  
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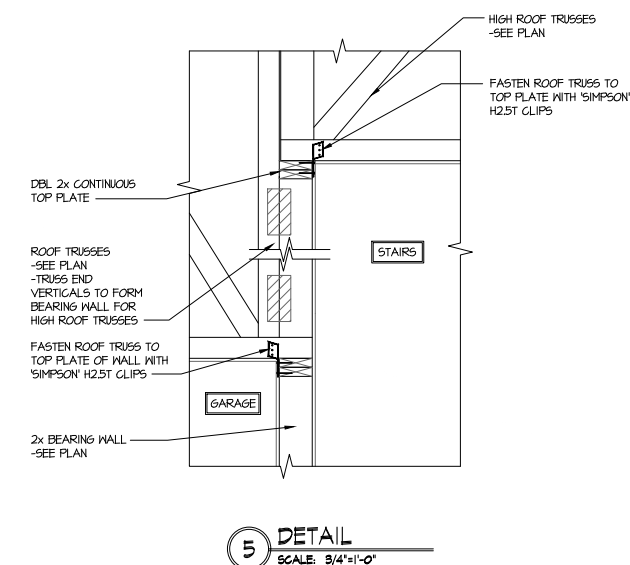
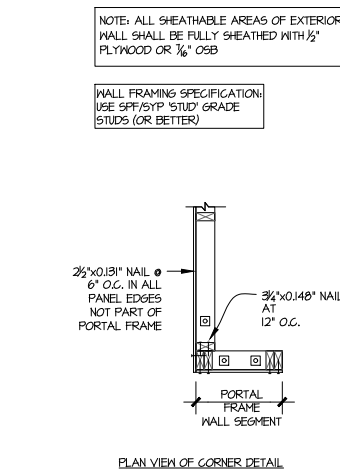
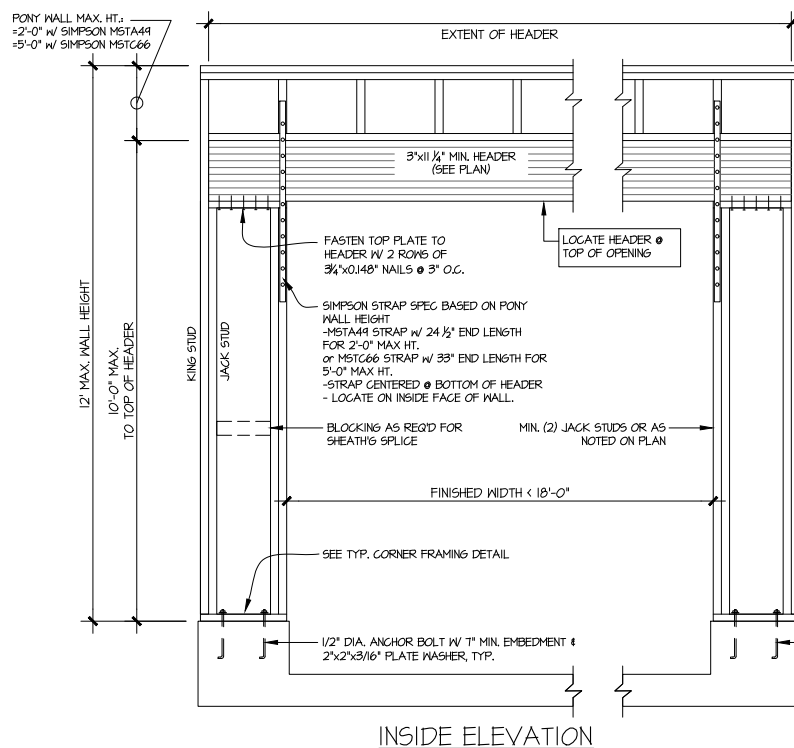
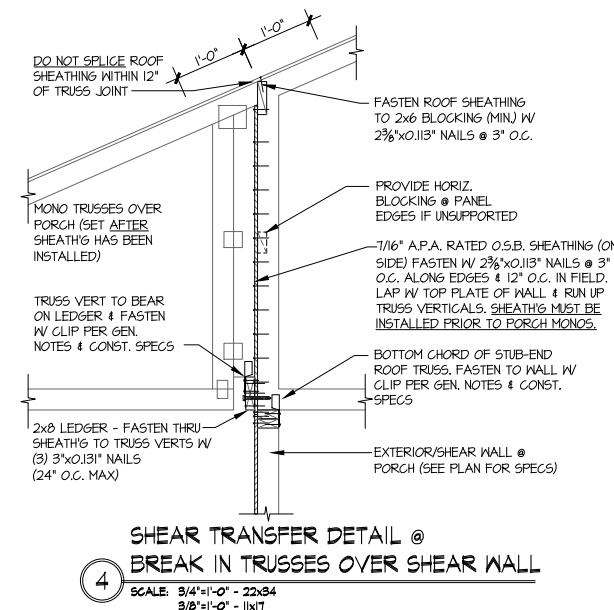
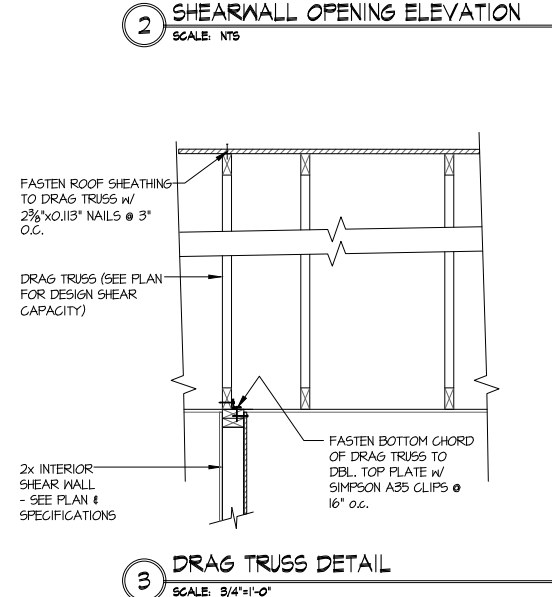
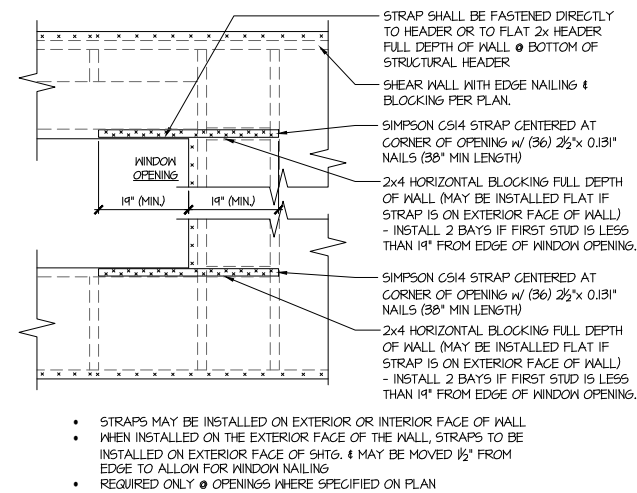
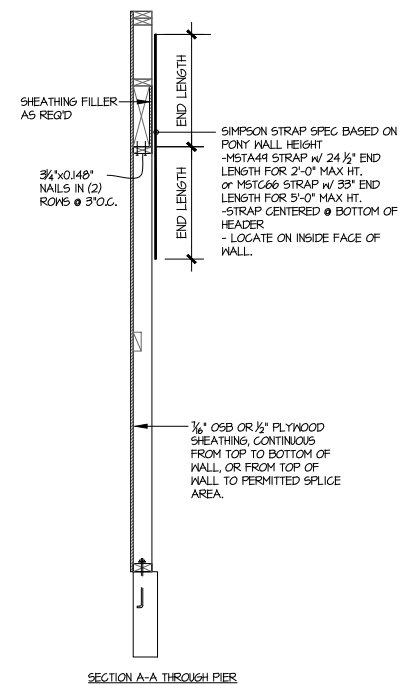
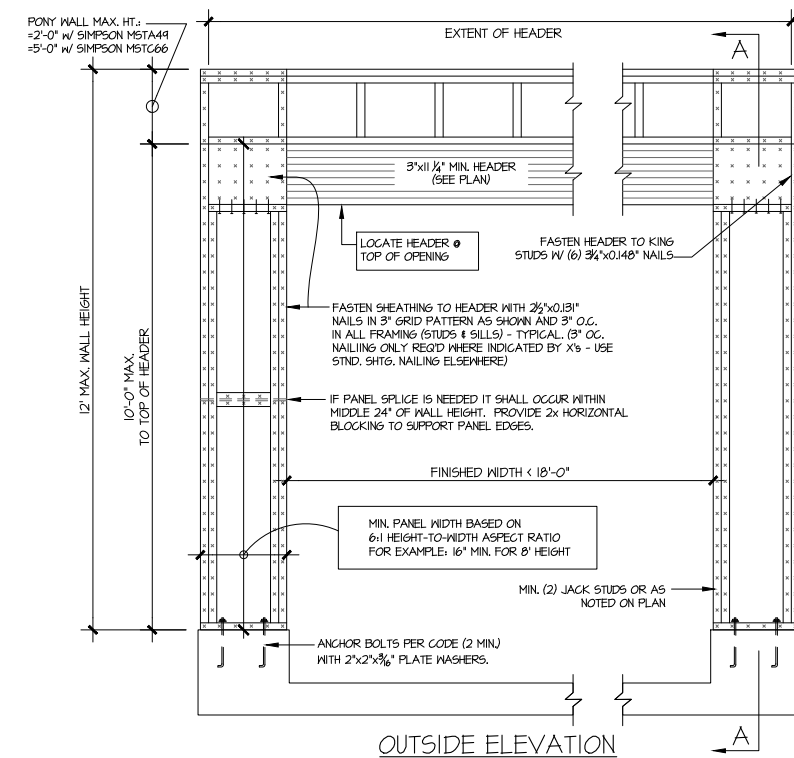
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Mulhern+Kulp project number:  
**243-24030**  
project mgr: **SMK**  
drawn by: **SMM**  
issue date: **11-07-24**  
REVISIONS:  
date: initial:  
05-16-25 JPP  
PER UPDATED ARCH.

**tri pointe**  
HOMES

FOUNDATION DETAILS  
**5920-04 MODEL**  
SERENITY  
MASTER SET  
RALEIGH, NC

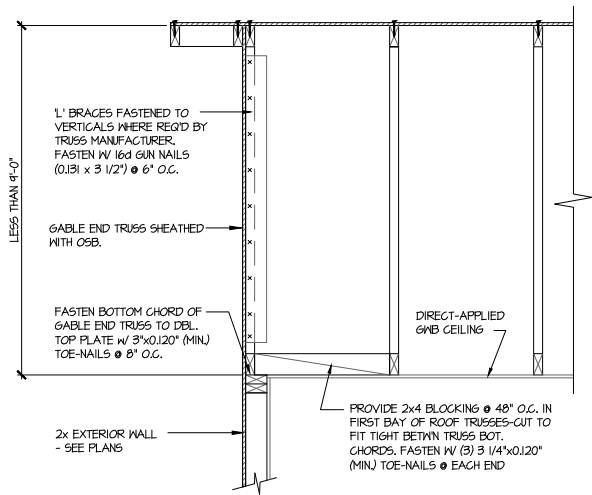
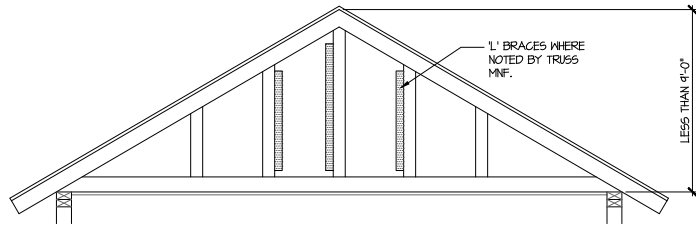
sheet:  
**SD1.0**



## GARAGE PORTAL FRAME BRACING ELEVATION

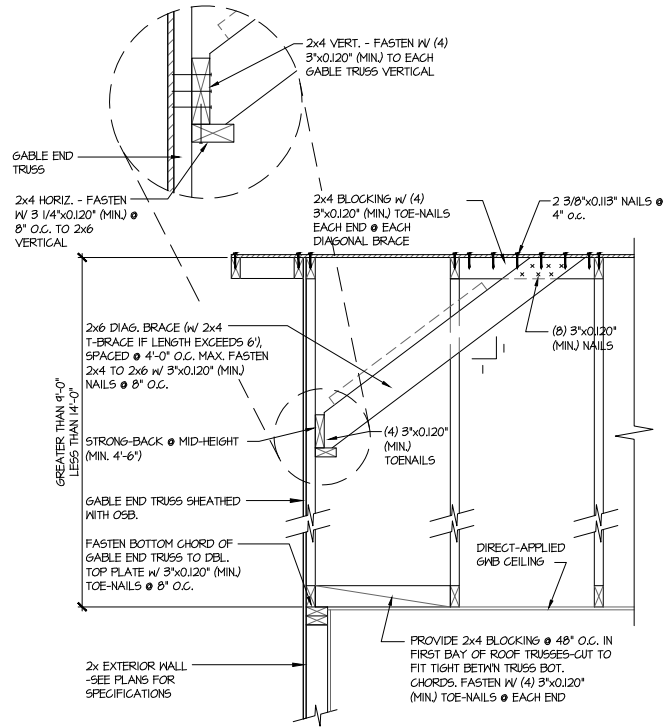
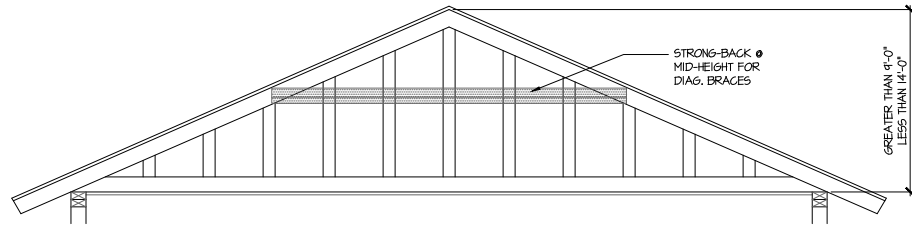
SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR  
115 MPH WIND SPEED (ULT)



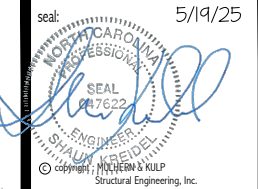
**A** TYPICAL GABLE END BRACING DETAIL  
SCALE: NONE  
REQ'D @ GABLE END TRUSS  
HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
SCALE: NONE  
REQ'D @ GABLE END TRUSS  
HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



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issue date: **11-07-24**

REVISIONS:

| date:            | initial: |
|------------------|----------|
| 05-16-25         | JPP      |
| PER UPDATED ARCH |          |



FRAMING DETAILS

**5920-04 MODEL**  
SERENITY  
MASTER SET  
RALEIGH, NC

sheet:  
**SD2.1**