

North Carolina Onsite Wastewater Contractor Inspector Certification Board Authorized Onsite Wastewater Evaluator Permit Option for Non-Engineered Systems Notice of Intent (NOI) to Construct

XNew ExpansionRepair RelocationRelocation of Repair Area
Owner or Legal Representative Information: Name: RiverWILD Homes Mailing address: 114 W Main St City: Clayton State: NC Zip: 27520 Phone: 919-373-6048 Email: kelley@staywild.com
Authorized Onsite Wastewater Evaluator Information: Name: Trent Bostic Certification #:10056E Mailing address: 501 N Salem St, Ste 203 City: Apex State: NC Zip: 27502 Phone: 919-367-6322 Email: tbostic@agriwaste.com
Site Location Information: Site address: 77 Sundrops Trl, Dunn, NC 28334 Tax parcel identification number or subdivision lot, block number of property: 1509-11-0940 Alton Fields, Lot - 18 County: Harnett
System Information: Wastewater System Type: Daily Design Flow: 480 Saprolite System: Yes X No Subsurface Operator Required: Yes X No Water Supply Type: Private Well X Public Water Supply Spring Other:
Facility Type: X Residential 4 # Bedrooms 8 Maximum # of Occupants Business Type of Business and Basis for Flow:
Required Attachments: X Plat or Site Plan X Evaluation of Soil and Site Features by Licensed Soil Scientist
Attest: On this the 25 day of JUNE, 2025 by signature below I hereby attest that the information Fedure 5 to be included with this NOI to Construct is accurate and complete to the best of my knowledge. Furthermore thereby attest that Fedure 5 to be the laws and rules governing onsite wastewater systems in the state of North Carolina. O Certification This NOI shall expire on 25 day of JUNE, 2028. Signature of Authorized Onsite Wastewater Evaluator:
Signature of Owner or Legal Representative:
Disclosure: The owner may apply for a building permit for the project upon submitting a complete NOI to Construct and the fee required (if any) to the local health department. An onsite wastewater system authorized by an authorized onsite wastewater evaluator shall be transferable to a new owner with the consent of the authorized onsite wastewater evaluator.
Local Health Department Receipt Acknowledgement: Date: Signature of Local Health Department Representative: Date:





Agri-Waste Technology, Inc. 501 N Salem Street, Suite 203, Apex, NC 27502 agriwaste.com | 919.859.0669

Soil Suitability for Domestic Sewage Treatment and Disposal Systems Lot – 18, Sundrops Trl, Dunn, NC 28334 (Harnett County PIN: 1509-11-0940)

PREPARED FOR: RiverWILD Homes, c/o Kelley Judd

PREPARED BY: Trent Bostic, Senior Soil Scientist

DATE: June 25, 2025

Soil suitability for domestic sewage treatment and disposal systems was evaluated on May 1, 2025, for the property located at the Alton Fields subdivision. Trent Bostic of Agri-Waste Technology, Inc. (AWT) conducted the soil evaluation. This evaluation was done to facilitate permitting for a septic system. This report and attached documents were prepared to meet the requirements for an Authorized On-Site Wastewater Evaluator to meet G.S. 130A-336.2

A drawing of the site plan, septic layout, and boring locations is included in Attachment 1. Profile descriptions for each boring are included in Attachment 2. Additional documentation about the property is included in Attachment 3.

Site Conditions

The total property area is approximately 0.72 acres. The property is a grass field. The drawing in Attachment 1 details the property boundaries, house location, boring locations, and layout of drain field trenches (Completed by AWT).

Soil Suitability for Domestic Sewage Treatment and Disposal Systems

Multiple soil borings/pits were assessed on the property. Soil borings/pits were examined to determine soil suitability for on-site sewage disposal systems in accordance with 15A NCAC 18E: Wastewater Treatment and Dispersal Systems. These borings/pits were advanced with a hand auger and excavator. All soil borings/pits shown are provisionally suitable for a conventional style trench. The proposed LTAR (Long Term Acceptance Rate) by AWT is 0.375 GPD/ft². The soils on this property are group III soils within the distribution and treatment zone as used to define the LTAR. The maximum trench bottom should not exceed 24".

Field Layout & System Design

A septic layout was performed to demonstrate available space (.0508). The layout in Attachment 1 indicates there is available space for a four-bedroom primary and repair system utilizing a 25% reduction product. With an LTAR of 0.375 GPD/ft², 320 linear feet of trench is necessary to support a four-bedroom home primary, and 320 linear feet of trench is required for the repair system. The attached drawing proves that 640+ linear feet of trench can be installed with the proposed home location on the property.

Any disturbances or grading done in the usable soils area may change the potential of using the area designated for a drain field and can result in a revoked permit.

We appreciate the opportunity to assist you in this matter. Please contact us with any questions, concerns, or comments.

Sincerely,

Trent Bostic, AOWE

Trent Bostic



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SOIL & SITE EVALUATION for ON-SITE WASTEWATER SYSTEMS

Evaluation Date PIN/Parcel Proposed Facility Water Supply
 5/1/2025
 S

 1509-01-9770
 Prope

 SFR

 Municipal
 Designation

Site Location Property Size (acres) Bedrooms Design Flow (.0400) 77 Sundrops Trl 0.72 4 480

County Property Recorded Wastewater Strength Evaluation Method Harnett Yes Domestic Auger

				Soil	Morphology		Oth	ner Factors			
		.0502 Landscape Position Slope %	Horizon Depth (in)	.0503 Struct ure Textur e	.0503 Consistence	.0504 Soil Wetness Color	.0505 Soil Depth (in)	.0506 Saprolite	.0507 Restrictive Horizon	.0509 Profile Class LTAR	.0502(d) Slope Corrected Depth
Р	rofile #										
			Ap 0-9	LS	NS, NP, Vfr	10YR 5/2	36	Suitable	Suitable	0.375	36
			E 9-15	LS	NS, NP, Vfr	10YR 6/4					
	1	2%	Bt	SCL	SS, SP, Fi	10YR 5/6					
								System Type		Conver	ntional

							Cystem Type		Conver	nonac
							System Type Conventional			
2	2%	Bt	SCL	SS, SP, Fi	10YR 5/6					
		E 9-15	LS	NS, NP, Vfr	10YR 6/4	36	Suitable	Suitable	0.375	36
		Ap 0-9	LS	NS, NP, Vfr	10YR 5/2					

				·			System Type	·	Convei	ntional
3	2%	Bt	SCL	SS, SP, Fi	10YR 5/6				0.375	36
		E 9-15	LS	NS, NP, Vfr	10YR 6/4	36	Suitable	Suitable		
		Ap 0-9	LS	NS, NP, Vfr	10YR 5/2					

							System Type		Conver	ntional
4	2%	Bt	SCL	SS, SP, Fi	10YR 5/6					
		E 9-15	LS	NS, NP, Vfr	10YR 6/4	36	Suitable	Suitable	0.375	36
		Ap 0-9	LS	NS, NP, Vfr	10YR 5/2					

Evlauted by:

ТΒ

Site Classification	Suitable		
Primary LTAR	0.375	Repair LTAR	0.375
Primary Trench Depth	24	Repair Trench Depth	24



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SOIL & SITE EVALUATION for ON-SITE WASTEWATER SYSTEMS

LEGEND

Soil Group	Soil Texture	Conventional LTAR	Anaerobic Dip LTAR	Aerobic Drip LTAR (TS-II)		ralogy & istence	Structure
	S (Sand)				Moist	Wet	SG (Single grain)
Ι	LS (Loamy Sand)	0.8-1.2	0.4-0.6	0.8-1.5	Lo (Loose)	NS (Non Sticky)	M (Massive)
II	SL (Sandy Loam)	Loam)		0.6-0.8	VFR (Very Friable)		GR (Granular)
11	L (Loam)	0.6-0.8	0.3-0.4	0.6-0.8	FR (Friable)	S (Sticky)	SBK (Subangular Blocky)
	SiL (Silt Loam)				Fl (Firm)	VS (Very Sticky)	ABK (Angular Blocky)
111	SCL (Sandy Clay Loam)	0.3-0.6	0.15-0.3	0.2-0.6	VFI (Very Firm)	NP (Non Plastic)	PR
	CL (Clay Loam)				EFI (Extremely Firm	SP) (Slightly Plastic)	(Prismatic)
	SiCL (Silty Clay Loam)					P (Plastic)	PL
1) (SC (Sandy Clay)	0104	0.05.1.5	0.05-0.2		VP (Very Plastic)	(Platy)
IV	SiC (Silty Clay) C (Clay)				SEXP (Slighty Expansive)		
					EXP (Ex	(pansive)	



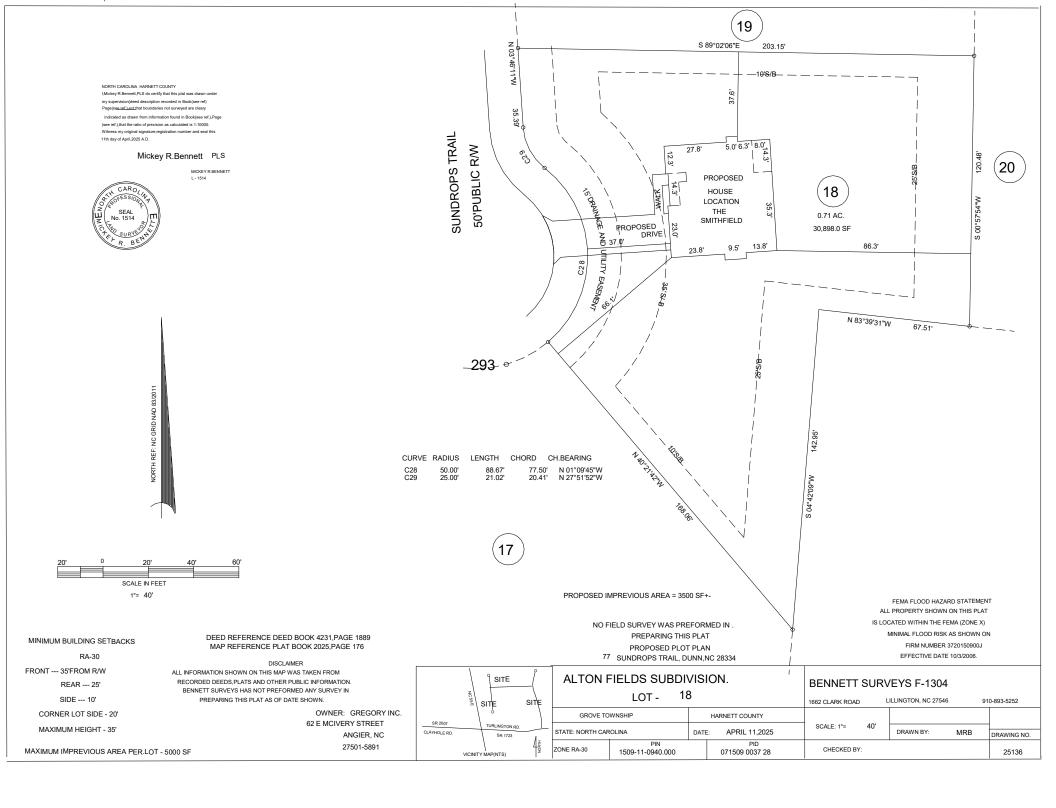
CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

			• • •					-	1/:	20/2025
C B	HIS CERTIFICATE IS ISSUED AS A M ERTIFICATE DOES NOT AFFIRMATI ELOW. THIS CERTIFICATE OF INS EPRESENTATIVE OR PRODUCER, AN	VEL URA	Y OR	NEGATIVELY AMEND, DOES NOT CONSTITUT	EXTEN	ID OR ALTE	ER THE CO	VERAGE AFFORDED E	Y THE	POLICIES
IN	MPORTANT: If the certificate holder i	s an	ADD	ITIONAL INSURED, the p	olicy(ie	es) must hav		IAL INSURED provision	s or be	endorsed.
	SUBROGATION IS WAIVED, subject							require an endorsement	t. Asta	atement on
	nis certificate does not confer rights to	o the	e certi	ficate holder in lieu of su	CONTAC) ,				
	DUCER rtsfield & Nash Agency, Inc.				NAME:	Connie Ga		EAV		
	405 Ligon Mill Rd., Ste H				(A/C, No	, Ext): 984-23	5-4273	FAX (A/C, No):	919-55	6-8758
	ake Forest NC 27587				E-MAIL ADDRES	ss: connie@l	hartsfield-nas	h.com		
						INS	URER(S) AFFOR	DING COVERAGE		NAIC #
				License#: 1000009111	INSURE	RA: Selective	e Insurance C	company of		39926
				AGRITEC-01	INSURE	к в : Accident	Fund			10166
	ri-Waste Technology Inc 1 N. Salem St Ste 203				INSURE	R c : Evanstor	n Insurance C	Company		35378
	ex NC 27502				INSURE	RD:				
Ι.					INSURE	RE:				
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co	VERAGES CER	TIFI	CATE	NUMBER: 1304989694						
	HIS IS TO CERTIFY THAT THE POLICIES									
C E	IDICATED. NOTWITHSTANDING ANY RE ERTIFICATE MAY BE ISSUED OR MAY F XCLUSIONS AND CONDITIONS OF SUCH I	PERT POLI	AIN, CIES.	THE INSURANCE AFFORDE	ED BY ⁻	THE POLICIES EDUCED BY I	S DESCRIBED PAID CLAIMS.			
INSR LTR	TYPE OF INSURANCE		SUBR WVD	POLICY NUMBER		POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMIT	s	
Α	X COMMERCIAL GENERAL LIABILITY			S 2253659		1/18/2025	1/18/2026	EACH OCCURRENCE	\$ 2,000	,000
	CLAIMS-MADE X OCCUR							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,0	00
								MED EXP (Any one person)	\$ 10,00	0
								PERSONAL & ADV INJURY	\$ 2,000	,000
	GEN'L AGGREGATE LIMIT APPLIES PER:	EGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	\$4,000	,000
	POLICY X PRO- JECT LOC							PRODUCTS - COMP/OP AGG	\$ 4,000 \$,000
A				S 2253659		1/18/2025	1/18/2026	COMBINED SINGLE LIMIT	\$ 1,000	.000
	X ANY AUTO						.,	(Ea accident) BODILY INJURY (Per person)	\$,
	OWNED SCHEDULED							BODILY INJURY (Per accident)	\$	
	AUTOS ONLY AUTOS X HIRED X NON-OWNED							PROPERTY DAMAGE	\$	
	AUTOS ONLY AUTOS ONLY							(Per accident)	\$	
A	X UMBRELLA LIAB X OCCUR			S 2253659		1/18/2025	1/18/2026			
$ ^{}$				3 2203009		1/10/2023	1/10/2020	EACH OCCURRENCE	\$2,000	
	CLAIMS-MADE							AGGREGATE	\$2,000	,000
В	DED RETENTION \$			40000070		4/40/0005	4/40/0000	X PER OTH-	\$	
	AND EMPLOYERS' LIABILITY Y / N			100003072		1/18/2025	1/18/2026	X PER OTH- STATUTE ER		
	ANYPROPRIETOR/PARTNER/EXECUTIVE	N / A						E.L. EACH ACCIDENT	\$1,000	
	(Mandatory in NH)							E.L. DISEASE - EA EMPLOYEE		
	DÉSCRIPTION OF OPERATIONS below					0.00.000.0	0/00/0005	E.L. DISEASE - POLICY LIMIT	\$ 1,000	
A	Prof & Pollution Liability Leased & Rented			MKLV3ENV104794 S 2253659		8/22/2024 1/18/2025	8/22/2025 1/18/2026	Each Claim Equipment	5,000 25,00	
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	Artisan Custom Homes 21016 Catawba Avenue				THE ACC	EXPIRATION ORDANCE WI	N DATE THE TH THE POLIC	ESCRIBED POLICIES BE C EREOF, NOTICE WILL I Y PROVISIONS.		
	Cornelius NC 28031				AUTHOR	RIZED REPRESE	NTATIVE			
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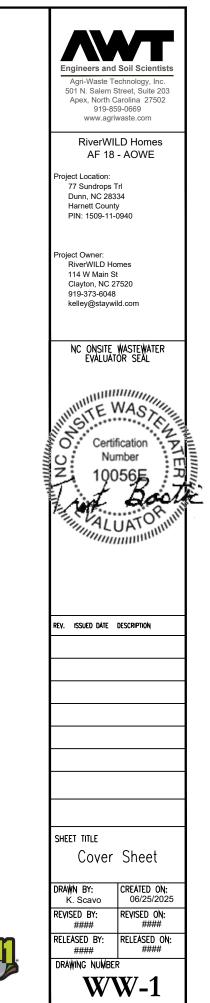
AF 18 - AOWE	
Project Location	77 Sundrops Trl
	Dunn, NC 28334
	Harnett County
	PIN: 1509-11-0940
Project Owner	RiverWILD Homes
	114 W Main St
	Clayton, NC 27520
	919-373-6048
	kelley@staywild.com
Project Consultant	Trent Bostic, AOWE
	(919) 367-6322
	tbostic@agriwaste.com
	Agri-Waste Technology, Inc.
	501 N. Salem Street, Suite 203
	Apex, NC 27502
	(919) 859-0669
	(919) 233-1970 Fax
System Overview	Single Family Residence
-	Four (4) Bedroom, 480 gpd
	Gravity Fed, Parallel
	Accepted/Innovative Trench Product
	·



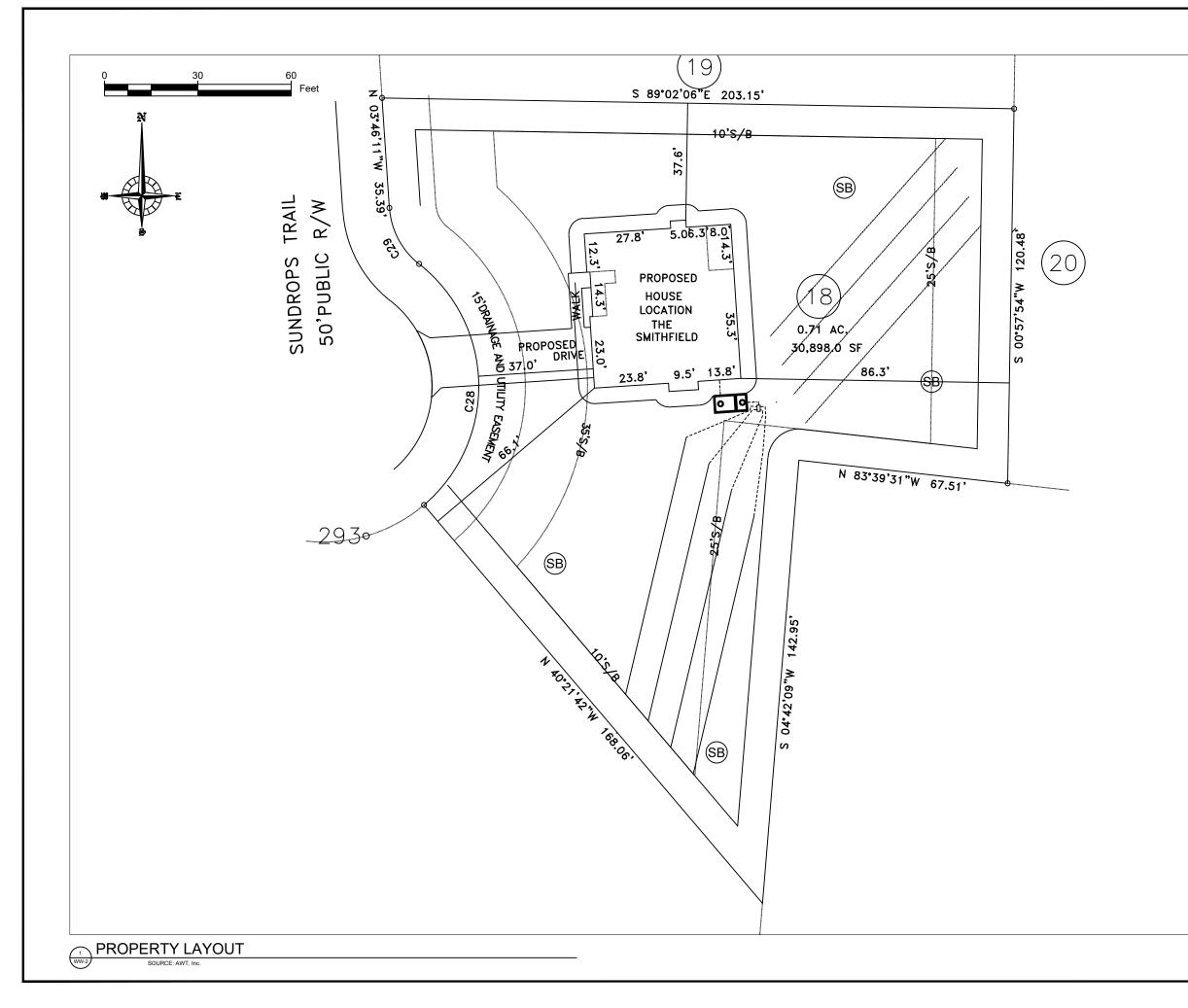
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Sheet 3	Primary
Sheet 6	Detail S

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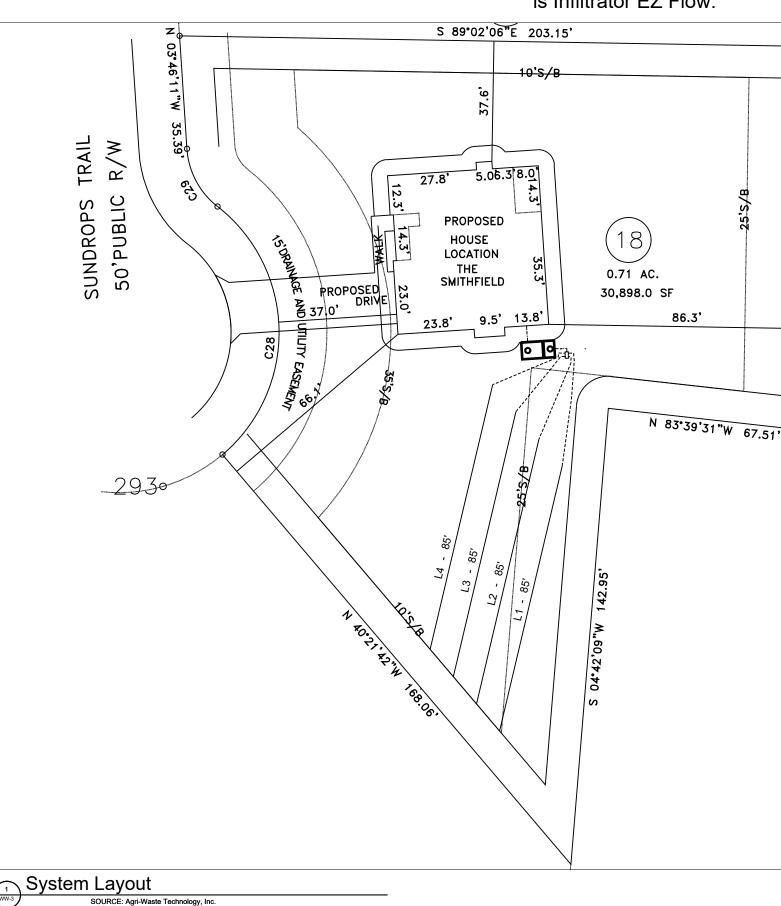




	Engineers and Soil Scientists Agri-Waste Technology, Inc. 501 N. Salem Street, Suite 203 Apex, North Carolina 27502 919-859-0669 www.agriwaste.com	
	RiverWILD Homes AF 18 - AOWE Project Location: 77 Sundrops Trl Dunn, NC 28334	
	Harnett County PIN: 1509-11-0940 Project Owner: River/WILD Homes 114 W Main St Clayton, NC 27520	
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	REVISED BY: REVISED ON:	
	RELEASED BY: RELEASED ON: ##### #####	
	DRAWING NUMBER	
	WW-2	

General Drainfield Notes:

- Clear all trees less than 8" in diameter (measured at a height 3' from soil surface) from the drainfield.
- 2. Vegetation that will re-grow from a cut stump shall be stumped or pulled from the ground. Stumps shall not be pushed over.
- 3. Drainfield area shall be cleared of all leaves, pine straw, debris, etc. The accumulated material shall be removed from the drainfield.
- 4. In clayey soils, sides of trenches shall be raked and limed per manufacturer's instructions.
- 5. Supply lines shall be installed with a minimum of 18" cover.
- 6. The trenches shall be backfilled appropriately so that no low areas are present.
- 7. Apply lime over the drainfield area as needed. Seed fine fescue over the drainfield at the rate
- 8. recommended by the seed manufacturer. Hand rake the seed into the soil surface. Straw the seeded area at the rate of 1.5-2 bales per 1000 sq. ft.



Note: Primary distribution is parties in filtrator EZ Flow.

	WW-3
	K. Scavo 06/25/2025 REVISED BY: REVISED ON: ##### RELEASED BY: ##### RELEASED ON: ##### RELEASED ON: ##### RELEASED ON:
	DRAWN BY: CREATED ON:
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	REY, ISSUED DATE DESCRIPTION
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ο 	Certification Number 10056E
00°57'54"W 120.48	NC ONSITE WASTEWATER EVALUATOR SEAL
	Project Owner: RiverWILD Homes 114 W Main St Clayton, NC 27520 919-373-6048 kelley@staywild.com
	AF 18 - AOWE Project Location: 77 Sundrops Trl Dunn, NC 28334 Harnett County PIN: 1509-11-0940
	919-859-0669 www.agriwaste.com RiverWILD Homes
allel w/ D-box. Primary	Engineers and Soil Scientists Agri-Waste Technology, Inc. 501 N. Salem Street, Suite 203 Apex, North Carolina 27502

