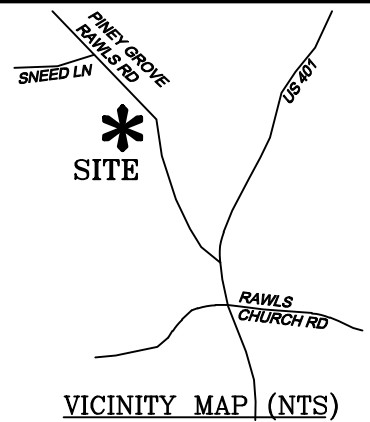
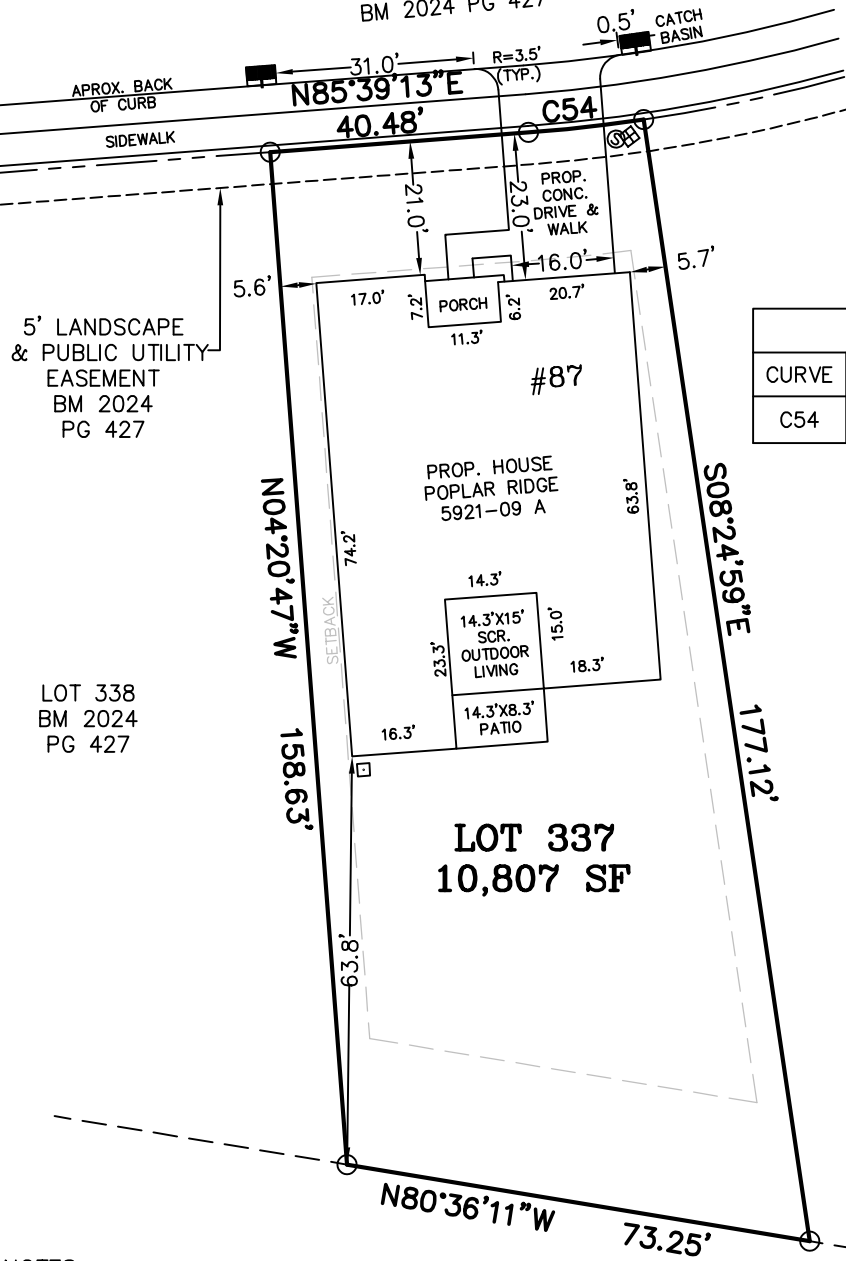


- LEGEND**
- MATHEMATICAL POINT
 - CONTROL CORNER
 - ▣ WATER METER
 - ⊙ SEWER CLEAN OUT
 - ⚡ FIRE HYDRANT



FIREFLY LANE
50' PUBLIC RIGHT OF WAY & UTILITY
BM 2024 PG 427



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C54	18.11'	255.00'	N83°37'07"E	18.11'



NOTES:

- REFERENCE HARNETT CO. BM 2024, PG 425–432 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS, PER BM 2024 PG 425:
 - >43' LOT WIDTH:
FRONT YARD—20', SIDE YARD—5', REAR YARD—20', CORNER YARD—12'.
 - <=43' LOT WIDTH:
FRONT YARD—20', SIDE YARD— 4' & 4' OR 0' & 8', REAR YARD—20', CORNER YARD 12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022) AND/OR 3720064500J (EFFECTIVE DATE: 10/3/2006), AND/OR 3720064400J (EFFECTIVE DATE: 10/3/2006).

LOT 246
BM 2023
PG 472–493

MAXIMUM ALLOWABLE IMPERVIOUS—4,550 SF

TOTAL ESTIMATED IMPERVIOUS—3,858 SF	
SITE	SQ. FT.
HOUSE	3,095
DRIVEWAY	368
LEAD WALK	52
SCR. PORCH	215
PATIO	119
A/C PAD	9

PERMIT PLAN LOT: 337

SERENITY SUBDIVISION, PHASE 6B
HECTORS CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR
TRI POINTE HOMES HOLDINGS, INC.
5440 WADE PARK BLVD #400
RALEIGH, NC 27607



MSS LAND CONSULTANTS, PC
"Committed to Total Quality Service"
Firm License: C-2070
EST. 1998

6118 St. Giles St Phone (919) 510-4464
(Suite E) Fax (919) 510-9102
Raleigh, NC 27612 Email: hayesm@mssland.com

I HEREBY CERTIFY THAT THE BUILDING WILL LIE WHOLLY ON THE LOT. THIS PLAT IS OF AN EXISTING PARCEL OF LAND. THIS IS NOT A SURVEY AND NOT FOR RECORDATION PURPOSES.

PRELIMINARY PLAN

MATTHEW A. HAYES, PLS L-4516

DATE: 06/20/2025 SCALE: 1"=30' DRAWN:CKC CHECK: FILE: TPH-24-03

REV: 06/26/2025 MOVED HVAC