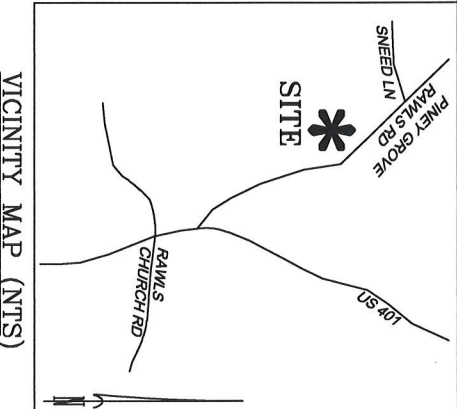
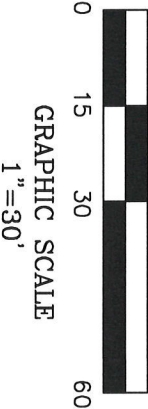
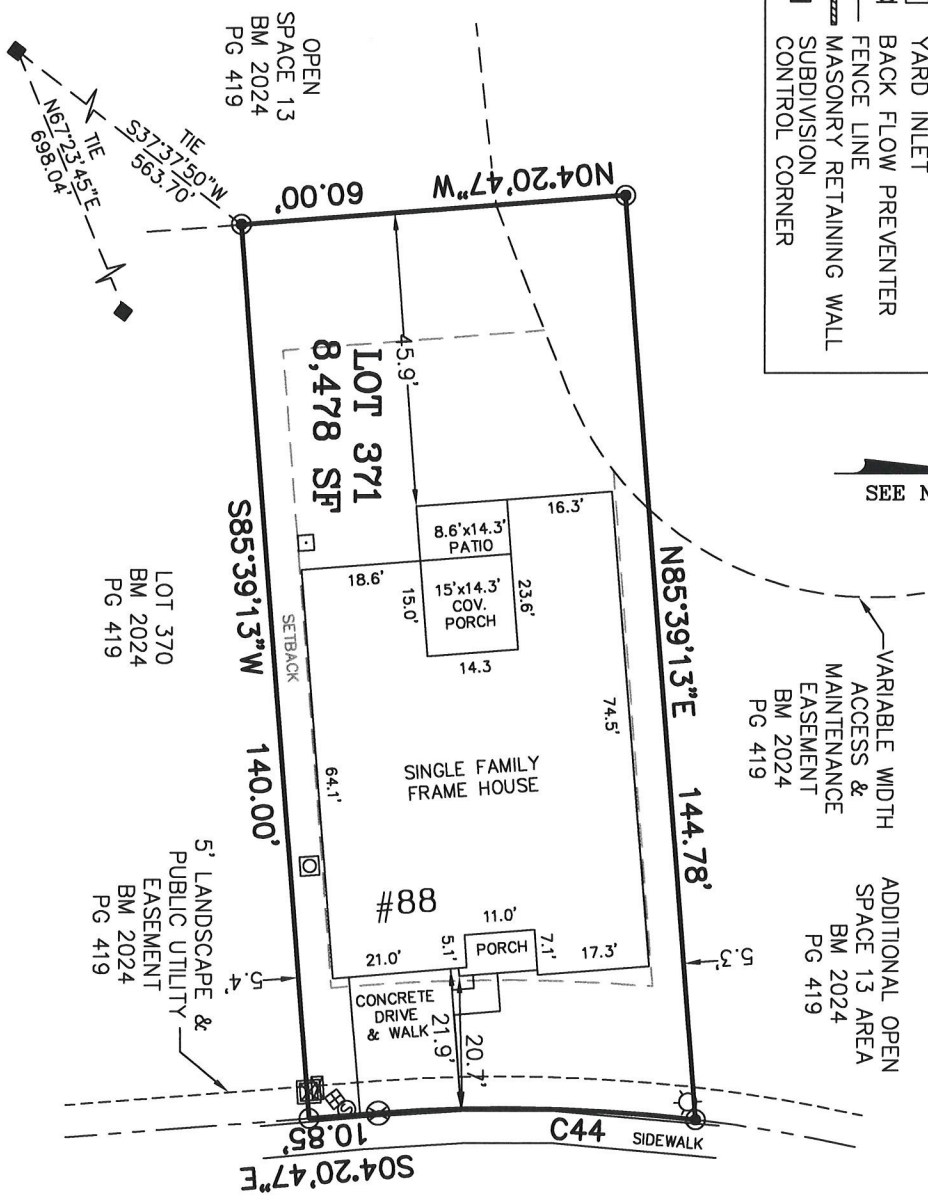


- LEGEND**
- IRON PIN, EXISTING
 - IRON PIN, SET
 - MARK IN CONCRETE
 - MAGNETIC NAIL SET
 - MATHEMATICAL POINT
 - FIRE HYDRANT
 - LIGHT POLE
 - SEWER CLEANOUT
 - SEWER MANHOLE
 - A/C UNIT
 - WATER METER
 - GAS METER
 - TELEPHONE PEDESTAL
 - CABLE TV PEDESTAL
 - ELECTRICAL BOX
 - TRANSFORMER
 - YARD INLET
 - BACK FLOW PREVENTER
 - FENCE LINE
 - MASONRY RETAINING WALL
 - SUBDIVISION
 - CONTROL CORNER



SEE NOTES



SHADY CREEK WAY

50' PUBLIC RIGHT OF WAY & UTILITY
BM 2024 PG 427

NOTES:

- REFERENCE HARNETT CO. BM 2024, PG 417-424 & 425-432 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS, PER BM 2024 PG 417 & 425:
- >43' LOT WIDTH:
- FRONT YARD-20', SIDE YARD-5', REAR YARD-20', CORNER YARD-12'.
- <=43' LOT WIDTH:
- FRONT YARD-20', SIDE YARD-4' & 4' OR 0' & 8', REAR YARD-20', CORNER YARD 12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM NO. 3720065500L (EFFECTIVE DATE: JULY 19, 2022) AND/OR 3720064500J (EFFECTIVE DATE: 10/3/2006), AND/OR 3720064400J (EFFECTIVE DATE: 10/3/2006).
- BUILDING DIMENSIONS & TIES ARE TO THE FOUNDATION.
- LOCATION OF UTILITIES ARE BASED SOLELY ON GROUND EVIDENCE.

TOTAL IMPERVIOUS SURFACE: 3,856 SF

HOUSE: 3,128 SF

DRIVE/WALK: 381 SF

COV. PORCH: 215 SF

PATIO: 123 SF

A/C PAD: 9 SF

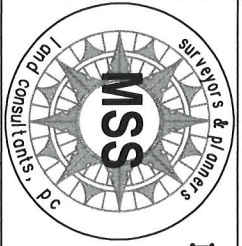
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C44	49.46'	255.00'	S01°12'37"W	49.38'

SERENITY SUBDIVISION, PHASE 6A, B & C
HECTORS CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR

TRI POINTE HOMES HOLDINGS, INC.

88 SHADY CREEK WAY
FUQUAY-VARINA, NC 27526



MSS LAND CONSULTANTS, PC

"Committed to Total Quality Service"

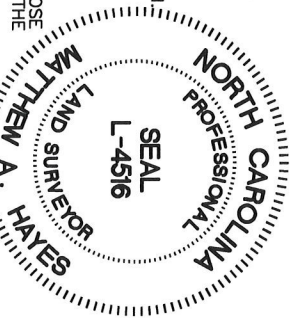
Firm License: C-2070
E S T. 1 9 9 8

6118 St. Giles St
(Suite E)
Raleigh, NC 27612

Phone (919) 510-4464
Fax (919) 510-9102
Email: hayes@mssland.com

DATE: 11/12/2025 SCALE: 1"=30' DRAWN:BP CHECK: FILE: TPH-24-03

I HEREBY CERTIFY THAT THIS PLAT WAS DRAWN FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION. THIS PLAT DOES NOT CONFORM TO GS-47-30 AS AMENDED AND IS INTENDED FOR MORTGAGE CLOSING PURPOSES ONLY, NOT FOR RECONCILIATION OF THE DIMENSIONS SHOWN HEREON FROM THE PROPERTY LINES TO THE BUILDINGS ARE NOT INTENDED TO MONUMENT THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENT. THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND SURVEYOR EXCEEDS THE SCOPE OF ENGAGEMENT.



MATTHEW A. HAYES, PLS L-4516

SURVEYOR'S REPORT FORM

TO: (TITLE COMPANY)

THIS IS TO CERTIFY, that on NOVEMBER 12, 2025 I made an accurate survey of the premises standing in the name of

TRI POINTE HOMES HOLDINGS, INC.

Situated at FUQUAY-VARINA HARNETT COUNTY NC
CITY/TOWN STATE

Briefly described as LOT 371 SERENITY SUBDIVISION

And shown on the accompanying survey entitled: FINAL SURVEY FOR LOT 371, SERENITY SUBDIVISION PHASE 6A, B & C
HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY, NC, SURVEYED FOR TRI POINTE HOMES HOLDINGS, INC.,
88 SHADY CREEK WAY, FUQUAY-VARINA, NC 27526.

I made a careful inspection of said premises and of the buildings located thereof at the time of making such survey, and again on
, and at the time of such latter inspection I found
to be in the possession of said premises as (TENANT) OR (OWNER)

I further certify as to the existence or non-existence of the following at the time of my last inspection:

1. Rights of way, old highways, or abandoned roads, lanes or driveways,
drainage, sewer, water, gas or oil pipe lines across said premises:
VARIABLE WIDTH ACCESS & MAINTENANCE
EASEMENT & 5' LANDSCAPE & PUBLIC UTILITY
EASEMENT,
AS SHOWN ON SURVEY

2. Springs, streams, rivers, ponds, or lakes located, bordering on or running
through said premises.
NONE APPARENT

3. Cemeteries or family burying grounds located on said premises. (Show
location on plat):
NONE APPARENT

4. Telephone, telegraph or electric power poles, wires or lines overhanging
or crossing or located on said premises and serving said premises or other
property or properties:
AS SHOWN ON SURVEY

5. Joint driveways or walkways; party walls or rights of support; porches,
steps or roofs used in common or joint garages:
NONE APPARENT

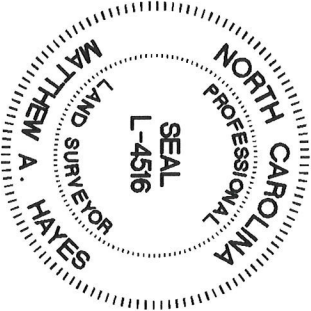
6. Encroachments, or overhanging projections. (If the buildings, projections
or cornices thereof, or signs affixed thereto, fences or other indications or
occupancy encroach upon or overhang adjoining properties, or the like
encroach upon or overhang surveyed premises, specify all such):
NONE APPARENT

7. Building or possession lines. (In case of city or town property specify
definitely as to whether or not walls are independent walls or party walls and
as to all easements of support of "beam rights." In case of country property
report specifically how boundary lines are evidenced, that is, whether by
fences or otherwise).
AS SHOWN ON SURVEY

8. Indications of building construction, alterations or repairs within recent
months:
(a) If new improvements under construction, how far have they progressed:
NEW CONSTRUCTION
(100% COMPLETE)

9. Changes in street lines either completed or officially proposed:
(a) Are there indications of recent street or sidewalk construction or repairs?
NEW CONSTRUCTION

10. Does the property about a dedicated public road? If not, explain what
type of road it abuts. If property does not abut a road, answer this question
"none."
YES



Registered Land Surveyor
11/18/2025

NOTE: In all cases where there are encroachments, support easements, party walls, etc., they should also be denoted upon the map of your survey. Also, be certain map complies with "Instructions" on the following page.

NOTE: Express disclaimers shown on the face of the plat of survey or surveyor's report which qualify or limit the responsibility of the surveyor or engineer and which relate to the standards and requirements for approved surveys will not be permitted.