

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications. These plans and specifications are prepared solely by, and for the exclusive use of, NVR, Inc. and are solely for a family residence consisting of eight or fewer attached units with grade level exits and which is not part of or physically connected with any other buildings or residential units. NVR, Inc. does not provide any third party the opportunity to customize these plans. The respective drawings contained herein shall be used only as construction assembly drawings by NVR, Inc. and its subcontractors. Any unauthorized use of these plans without the written consent of NVR, Inc. is prohibited.

DOMINICA SPRING

DIV-COMM-LOT-UNIT

RLH-VK-0018

COMM-LOT

KIPLING VILLAGE - 0018

STREET ADDRESS

257 SOUTH BREEZE WAY

APT. NO.

----

CITY

FUGUAY VARINA

STATE

NC

ZIP

27526

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

Janey Sales  
06/06/2025



NVR, Inc.  
5285 Westview Drive,  
Suite 100  
Frederick, MD 21703

Page	Sheet	Description	Page	Sheet	Description	Page	Sheet	Description
1	CS-1	COVERSHEET						
1.1	SS-1	SPEC. SHEET						
2	CA-1	ROOF VENT AND VOLUME CALCULATIONS						
4	NC-1	ELEVATIONS						
7	NC-2	FOUNDATION						
9	NC-3	FOUNDATION HOLD DOWN						
10	NC-4	PLUMBING						
12	NC-6	FIRST FLOOR PLAN						
13	NC-7	BUILDING SECTION						
14	NC-8	BUILDING SECTION - GARAGE						
21	S-2	ROOF FRAMING						
22	S-3	TRUSS BRACING DETAILS						
23	S-4	BRACED WALL						
	AD-1	HOUSE SPECIFIC DETAILS						
	DR-1	DOOR DETAILS						
	DR-1B	DOOR DETAILS						
	DR-3	DOOR DETAILS						
	ET-1	EXTERIOR TRIM DETAILS						
	ET-1B	EXTERIOR TRIM DETAILS						
	ET-1C	EXTERIOR TRIM DETAILS						
	ET-1D	EXTERIOR TRIM DETAILS						
	ET-1H	EXTERIOR TRIM DETAILS						
	ET-3	EXTERIOR TRIM DETAILS						
	ET-3B	EXTERIOR TRIM DETAILS						
	ET-3C	EXTERIOR TRIM DETAILS						
	F-1	FLASHING DETAILS						
	F-1B	FLASHING DETAILS						
	F-1D	FLASHING DETAILS						
	F-3	FLASHING DETAILS STONE						
	F-3B	FLASHING DETAILS STONE						
	FA-1B	FIRE ASSEMBLY DETAILS						
	FC-1	FRAMING/FASTENER DETAILS						
	FC-1B	FRAMING/FASTENER DETAILS						
	FC-2	FRAMING/FASTENER DETAILS						
	FC-4	FRAMING/FASTENER DETAILS						
	FC-5	FRAMING/FASTENER DETAILS						
	FD-1	FOUNDATION DETAILS						
	FD-1B	FOUNDATION DETAILS						
	FD-4	FOUNDATION DETAILS						
	IT-1	INTERIOR TRIM DETAILS						
	IT-1B	INTERIOR TRIM DETAILS						
	IT-1C	INTERIOR TRIM DETAILS						
	IT-2	INTERIOR TRIM DETAILS						
	IT-2B	INTERIOR TRIM DETAILS						
	KT-1	KITCHEN TRIM DETAILS						
	KT-1B	KITCHEN TRIM DETAILS						
	RF-1	ROOF FRAMING DETAILS						
	RF-1B	ROOF FRAMING DETAILS						
	RF-1C	ROOF FRAMING DETAILS						
	SEP-1	STANDARD ENERGY PACKAGE DETAILS						
	SEP-2	STANDARD ENERGY PACKAGE DETAILS						
	SEP-3	STANDARD ENERGY PACKAGE DETAILS						
	SEP-4	STANDARD ENERGY PACKAGE DETAILS						
	WB-1	WALL BRACING DETAILS						
	WB-2	WALL BRACING DETAILS						
	WD-1	WINDOW DETAILS						
	WD-3	WINDOW DETAILS						
	WS-1B	WALL SECTION DETAILS						

STRUCTURAL DESIGN CRITERIA	
• ALL LOCAL AND STATE CODES	
• ROOF LIVE LOAD	20 psf
• ULTIMATE WIND SPEED	130 mph
• WIND EXPOSURE CATEGORY	B
• SEISMIC DESIGN CATEGORY	A / B

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR SLAB FOUNDATION (BASE SF)	1694 SF
	1694 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE SLAB FOUNDATION	442 SF
	442 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
REAR COVERED PORCH (ADD. SF)	143 SF
FRONT COVERED PORCH	24 SF
	167 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR SLAB FOUNDATION (BASE SF)	1694 SF
	1694 SF



1. These plans and specifications are designed for the exclusive use by NVR, Inc. for the purpose of residential construction. As such, these products are offered for NVR, Inc. communities only. NVR, Inc. is a production homebuilder and does not provide the opportunity to customize these plans. The respective drawings contained herein shall only be used as construction assembly drawings by NVR, Inc. and their sub-contractors. Any unauthorized use of these plans without the written consent of NVR, Inc. is prohibited. All standard notes, section markers, elevation markers and title markers that reference "A-" shall be considered "NC-" for sheet reference.
2. These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements.
3. These plans are not to be scaled for construction purposes. Dimension lines and notes supersede all scale references.
4. Single Family Attached/Detached - Automatic residential fire sprinkler systems shall be installed in accordance with NCRBC F2304 or NFPA 13D where required.
5. This note sheet only covers major code requirements. The plans are intended to comply with all current applicable codes or engineering design in accordance with Section 301.1.3.

1. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes including, but not limited to:

NCRC 2018, NCMC 2018, NCPG 2018, NCFGC 2018, NEC 2020 w/ NC Amendments  
NCEC 2018, NCFPG 2018

2. Constr. Type: V-B

3. Max Stories: 3

1. Insulation requirements per 2018 NRCR Chapter II, Energy Efficiency, or Chapter 4 of the 2018 North Carolina Energy Conservation Code (NCECC), or Chapter 4 of the 2015 International Energy Conservation Code (IECC), Residential Energy Efficiency by the prescriptive method. See NVR "Standard Energy Package" for field procedures and details.

R-values shown below are the minimum used.

2. All HVAC equipment is sized based on ACCA Manual J calculations. Ductwork is sized using ACCA Manual D. Minimum efficiencies of equipment are as listed below. Upgrades for improved energy performance may be installed.
  - Air conditioner - 14 SEER
  - Gas furnace - 92% AFUE
  - Heat Pump - 0.2 HSPF
3. Winter interior design temperatures shall be 70°F and summer interior design temperatures shall be 75°F. Exterior design temperatures vary based on geographic location and are listed on the Manual J calculations.
4. Roof ventilation calculations are based on the following specifications:
 

Ridge vent:	Minimum 18 sq. in. of vent per linear foot
Soffit vent:	Minimum 9.9 sq. in. of vent per linear foot
Roof jack (box vent):	Minimum 45 sq. in. of vent per unit
5. See NVR "Standard Energy Package" for field procedures and details.

Table of Loads for House Structure. Per Table 301.5

Floor Living Areas

- 40# P.S.F. (Live)
- 10# P.S.F. (Dead) unless noted otherwise by calculations

Floor Sleeping Areas

- 30# P.S.F. (Live) unless noted otherwise by calculations
- 10# P.S.F. (Dead) unless noted otherwise by calculations

Garage Floors

- 50# P.S.F. (Live)
- 50# P.S.F. (Dead)

Roof Areas - Top Chord

- 20# P.S.F. (Live)
- 10# P.S.F. (Dead)

- Bottom Chord

- 10# P.S.F. (Live) (Attics without storage)
- 20# P.S.F. (Live) (Attics with limited storage)
- 10# P.S.F. (Dead)
- 30# P.S.F. (Live)

Habitable Attics

Trusses

- Areas up to 130 mph ultimate wind speed per Table R301.2(4)
- Exposure category 'B'
- Areas up to 130 mph ultimate wind speed per Table R301.2(4)

Walls

Vult	115 mph	130 mph
Vasd	84 mph	101 mph

Note: Linear interpolation between contour lines permitted.

Stairs

- 40# P.S.F. (Live)
- 10# P.S.F. (Dead)

Allowable deflection of structural members per IRC Table R301.7

### Design Criteria

- Design Codes:
1. National Design specification for Wood Construction by National Forest Products Association.
  2. Specification for the Design Fabrication and Erection of Structural Steel for Buildings by American Institute of Steel Construction.

Materials:

Headers*	Southern Pine (KD-IQ), No. 1 Grade
Studs	Spruce-Pine-Fir, Stud Grade
Jacks	Spruce-Pine-Fir, Stud Grade
Beams**	Southern Pine (KD-IQ), No. 1 Grade
Joints	2x10 Hem-Fir (KD-IQ), No. 2 Grade or better (NGLIB & NWFA) 2x8 Southern Pine (KD-IQ), No. 1 Grade or better
	2x10 Spruce-Pine-Fir (KD-IQ), No. 2 Grade or better (NLGA)
LVL	1.9E Minimum

- \* Where required, Laminated Veneer Lumber may be used per Engineering  
 \*\* Structural Steel - A.S.T.M. A36

5. All plan and reinforced concrete shall comply with requirements in **ACI 318**.
6. Concrete footings shall be poured a maximum 5' slump, 5 bags mix, and 2500 psi minimum strength per **Table R402.2**. Concrete walls shall be poured a maximum 5' slump, 5 1/2-bag mix, and 2500 psi minimum strength per **Foundation Wall Design table** below. Special soil and or wall height conditions may require a higher psi mix.
7. Walls and footings shall be designed as unreinforced unless otherwise specified on foundation plans or details. Special soil and/or site conditions may require the addition of reinforcing.
8. Footing frost depth to be no less than 12" per **R403.1.4** and **Table R301.2(1)**.
9. Minimum Soil Bearing Capacity shall be 2,000 PSF per **Table R401.4.1**.
10. Slab requirements:
  - Interior slabs on grade (excluding garage slabs) to be minimum 3-1/2" concrete (may be represented on plans as nominal 4") over 4" sub-base, with vapor barrier (6-mil polyethylene) as required per **Section 506** and a minimum 2500 PSI per **Table R402.2**.
  - Non-structural garage slabs shall be nominal 3-1/2" thick and shall be installed on compacted / undisturbed soil per **Table R402.2**. Slabs shall be 3500 PSI air-entrained concrete.
  - Structural garage slabs utilizing grade beams shall be nominal 4" thick. Slabs shall be 3500 PSI air-entrained concrete.
  - Porch slab and exterior concrete work shall be nominal 4" minimum 3500 PSI air-entrained concrete with 6x6 in./4x4 in. mesh or equivalent fiber mesh reinforcement.
11. Unconditioned crawl space shall have a minimum net area of ventilation not less than 1 square foot for each 150 square feet of area, unless the ground surface is covered by a Class 1 vapor retarder. The minimum net area of ventilation shall not be less than 1 square foot for each 1500 square feet of area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of the building, per **R408.1.2**.
12. Foundation drains shall be located per local codes and according to local site conditions. Drain discharge by gravity or mechanical means to conform with approved site plan and installed per **Section R405.1**.
13. The top course of block of foundation walls shall be semi-solid block or open cores of hollow block shall be filled with mortar.
14. Block piers to be solid block or mortar-filled hollow block.
15. A poured concrete foundation wall designed to withstand an equivalent fluid height of 30" per cubic ft. may be substituted where masonry units (block) are shown on plans.
16. Concrete and masonry foundation walls shall be dampproofed with min. 3/8" Portland cement parging from footing to top of finished grade. The parging shall be covered with a coat of approved bituminous material applied at the recommended rate per **R406.1**.
17. Where required, concrete and masonry foundation walls shall be waterproofed with an approved membrane extending from Footing to top of finished grade. The joints in the membrane shall be lapped and sealed with an adhesive compatible with the waterproofing membrane. Waterproofing to be in accordance with **R406.2**.
18. Reserved for future use.
19. Foundation framing anchors shall be 1/2"x18" anchor bolts with 7" minimum embedment or Simpson Strong-Tie MASA / USP FA3 (6 gauge steel, galvanized) or equivalent set in concrete or grouted cell, 1'-0" maximum from corners and spaced at a maximum of 6'-0" and in the middle third of the width of the plate. For walls connecting offset braced wall panels, those 24" in length or shorter shall have min. (1) anchor strap and those 12" or shorter can be installed without straps. Townhouses in seismic design category "C" shall require a "224" x 3" x 3" plate washer per **R403.1.6.1** and maximum anchor bolt spacing for buildings over two stories shall be 4'.
20. Steel columns and bases shall be given a shop coating of rust-inhibitive paint or equivalent to provide corrosion resistance per **R407.2**.
21. For masonry veneers:

Per R103.8.4.1 - Corrugated sheet metal veneer ties shall be a minimum of No. 22 U.S. gauge by 7/8 inch. Each tie shall be spaced not more than 32" o.c. horizontally and 24" o.c. vertically and shall support not more than 2.61 square feet of wall area. For townhouses in Seismic Design Category C and in wind areas of more than 30 pounds per square foot pressure, each tie shall support not more than 2 square feet of wall area.

Per R103.2 - One layer of No. 15 asphalt felt or other approved water-resistive barrier shall be provided behind brick.

Per R103.8.6 - Provide minimum 3/16" diameter weep holes at 33" on center maximum, located immediately above the flashing.

Per R703.8.5 - When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 6 mil plastic flashing shall be attached to the sheathing wherever necessary to prevent moisture penetration behind the veneer. See NVR Flashing Details.

18. Reserved for future use.
19. Foundation wall strip footing thickness to be 8" (or 6" with a single strip) unless otherwise noted as specified by engineering. Strip footing projections beyond the face of the foundation wall shall not exceed the footing thickness. Bump out footings, pier pads, and any other footing identified as being greater than 8" in thickness shall not be reduced.
20. Block foundation walls may be substituted for poured foundation walls shown on foundation plans provided all requirements of **Section R404** are met.
21. Termite treatment provided below slabs or to framing members per **R310.1**.

**FOUNDATION WALL DESIGN (c)**

NCRBC PRESCRIPTIVE CODE OR ENGINEERED DESIGN PER ACI 332

WALL HEIGHT	WALL THICKNESS	LATERAL SOIL LOAD (a)	UNBALANCED FILL	VERTICAL REINFORCING (b)	HORIZONTAL REINFORCING (b)
8'-0"	8"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED (d)	3- #4 BARS (de)
		60	6'-0"	NOT REQUIRED (d)	3- #4 BARS (de)
			7'-0"	#4 @ 22" O.C. (d)	3- #4 BARS (de)
	10"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
		60	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
4'-0"	8"	45	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de)
		60	7'-0"	#4 @ 14" O.C. (d)	4- #4 BARS (de)
			8'-0"	#4 @ 15" O.C. (d)	4- #4 BARS (de)
	10"	45	7'-0"	NOT REQUIRED	3- #4 BARS (g)
			8'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
		60	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de)

NOTE: BACKFILLING OF THE FOUNDATION SHALL NOT TAKE PLACE BEFORE THE BASEMENT SLAB IS IN PLACE AND THE FLOOR FRAMING IS ERECTED OR UNLESS WALLS ARE ADEQUATELY BRACED.

- a. SOIL CLASSES GM, GC, SM, SM-SG AND ML - 45 PSF  
SOIL CLASSES SC, MH, ML-CL AND CL - 60 PSF
- b. SPACING SHOWN IS BASED UPON  $F_y = 60,000$  PSI  
STEEL FOR  $F_y = 40,000$  PSI STEEL, REDUCE SPACING BY 0.67
- c. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI
- d. ENGINEERED DESIGN PER ACI 332-14, REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION
- e. FOR ALL WALL HEIGHTS, ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24", ONE IN THE BOTTOM 24" WITH THE REMAINING BARS EQUALLY SPACED. MAINTAIN 2" OF CONCRETE COVER BETWEEN INSIDE FACE OF WALL AND FACE OF HORIZONTAL BARS.
- f. ONE BAR WITHIN 12" OF TOP AND AT MID-HEIGHT OF WALL PER TABLE R404.1(2)(i).
- g. ONE BAR WITHIN 12" OF TOP AND ONE EACH AT THIRD POINT OF WALL HEIGHT PER TABLE R404.1(2)(i).

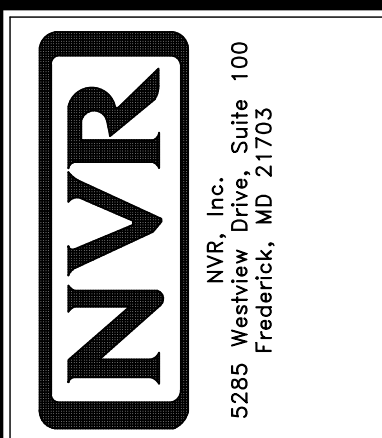
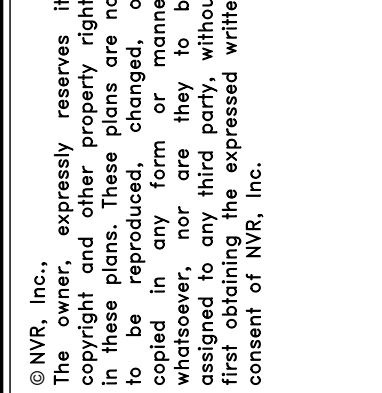
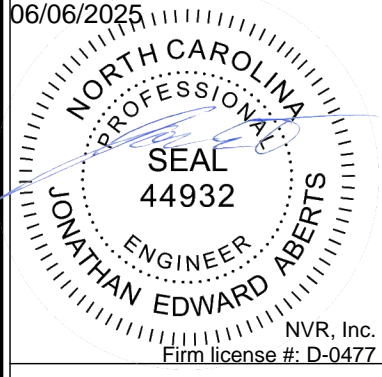
1. Habitable attics and sleeping rooms shall have a window or door as a second means of egress that shall be minimum 5.7 sq. ft. opening area (5.0 sq. ft. if at grade level) with maximum sill height 44" above finished floor (min. hgt. 24", min. width 20") per **R310.1**.
2. All emergency escape and rescue openings shall have a minimum net clear openable area of 4 sq. ft. The minimum net clear opening height shall be 22" and a minimum net clear opening width of 20". Emergency escape and rescue openings must have a minimum total glazing area of not less than 5 sq. ft. in the case of a ground window and not less than 5.7 sq. ft. in the case of an upper story window per **R310.2.1**. Window wells where required, shall be installed per **R310.2.3** with a minimum of 9 sq. ft. and a minimum horizontal projection and width of 36". Wells with a greater depth of 44" shall have permanently affixed ladder or steps per **R310.2.3.1**.
3. Clear opening heights for exterior doors to be 6'-6" minimum per **R311.2**. All interior doors providing egress from habitable rooms shall have nominal minimum dimensions of 2'-6" by 6'-8" per **R311.6.1**. Habitable rooms with double doors shall be 5'-0" in total width (less than 2'-6" per door slab) shall have a total opening width of at least 2'-6" with no slide bolts or locking devices installed on either door.
4. Sliding glass drs/patio drs/skds must be safety glazed per **R308.4**.
5. Interior stairways shall have minimum head room of 6'-8" per **311.1.2** and minimum tread depth of 9" and maximum riser height of 8 1/4". Handrails are required for stairs with four or more risers and shall have minimum height of 34" and maximum height of 38" above treads and landings. Handrail to have maximum 4 1/2" projection into width of stair per **Section R311.7**. Enclosed accessible space under stairs shall have walls under stair surface and any soffits protected on the enclosed side with 1/2" gypsum board per **R302.1**.
6. Guard rails to have minimum height of 36" and shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter per **R312**.  
The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter per **R312.1.3**.
7. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a stairway in accordance with **Section R311.7** (see item #5 above) or a ramp in accordance with **Section R311.8**.
8. Handrails shall be installed on exterior stairs having (4) or more risers per **R311.7.8**. Guards shall be installed at exterior porches / decks that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
10. All flashing used (including at windows, doors, and with stone or masonry veneer) shall be corrosion-resistant per **R103.4**. See NVR Flashing Details.
11. Wood framed bearing walls shall 2 x 6 at 24" o.c. maximum or 2 x 4 at 16" o.c. maximum per **Table R602.3(3)** and **Table R602.3(5)** unless otherwise noted on plans.
12. All exterior sheathing to be structural sheathing designed in accordance with **R602.10**.
13. An approved water-resistant barrier shall be applied over sheathing of exterior walls per **Section R703.2**.
14. Interior sheathing shall be 1/2" gypsum wall board unless otherwise noted. Exceptions may include, but are not limited to, special requirements for wall bracing and fire separation.
15. Screen fastening is typical for gypsum installation and nailing will only be permitted at the perimeter of the board.
  - All screens shall be corrosion-resistant Type K1-I-1/4" drywall screws.

- For 1/2" wallboard, nails shall be 1-1/4" long, 1/4" head and .098 diameter shanks with annular ring or acceptable equivalent and comply with ASTM C514.
- For 5/8" wallboard, nails shall be 1-3/8" long, 1/4" head and .098 diameter shanks.

- Garages shall be completely separated from the residence and attic areas by not less than 1/2" gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" type X gyp. board. Where a structure is supporting a floor assembly and the space above is the garage, the structure shall also be protected by not less than 1/2" gypsum board per **Section R302.6**. Openings and penetrations through the separation shall be protected by sealing the area around the penetration per **Section R302.5**. The garage door shall be a 20-minute fire-rated door and be equipped with a self-closing device installed per **Section R302.5.1**.
- Asphalt shingles shall be installed per **Section R405.2**. For roof slopes of 2:12 through 4:12, in lieu of two layers of underlayment, a self-adhering polymer-modified bitumen underlayment shall be used per **Section R405.1** Exception 1b.
- Attic spaces shall be ventilated w/ ridge and soffit vents unless otherwise noted. Venting provided per **R606.2**.
- Fireblocking shall be installed between ceiling and floor openings per **R302.11**. Draftstopping to be installed in accordance with **R302.12**.
- Water closet, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall, partition or vanity or closet than 30 inches center-to-center between adjacent fixtures. There shall be a clearance of not less than 21 inches in front of the water closet, lavatory or bidet to any wall, fixture or door per **P2105.1**.
- Heating and cooling equipment installation shall be in accordance with **IRC Chapter 14** and the **International Mechanical Code**.
- Mechanical fireplaces shall be installed per **Section R100.4** and **100.5**.
- Single family attached structures to have 2-hour dwelling unit separation wall continuous to roof deck. Roofing material to be minimum class "C" over approved fire retardant wood decking extending 4" each side of dwelling unit separation wall per **R302.2** and **R302.3**.
- Untreated wood shall be minimum #4 above finish grade per **R31.1** item #2.
- Bottom plates on sills and any wood in contact w/ concrete or masonry to be pressure treated material per **Section R317**.
- Exterior egress swing doors shall open onto a landing not more than 6 1/4" below the top of the threshold, which shall be within 4 and 1/2" below the top of the threshold when the door swings out. The landing shall extend a minimum of 36" in the direction of travel and be at least the width of the doorway served per **R313.1**.
- Ar exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screen, louvers, or grills having a min. opening size of 1/4" and maximum of 1/2" in any dimension per **R303.6**.
- Fasteners and connectors for pressure preservative-treated wood shall be hot-dipped galvanized steel.
- Windows that have an operable opening more than 12" above finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through which 4" dia. sphere cannot pass per **Section R315** and **R315.1**.
- The final grade shall fall a minimum of 6 inches within the first 10 feet of the foundation per **R401.3**.
- One- and two-family dwelling construction (R302.11.1).**  
Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment and shall be per **Section R606**, where the property line is 10 feet or more from the building face, the provisions of this code section shall not apply.
- Townhouse construction (R302.2.5).**  
Projections extending into the fire-separation distance shall have not less than 1-hour fire-resistive construction on the underside. Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment. Vents shall be not less than 2-inch continuous or equivalent intermittent and shall not exceed the minimum net free air requirements of **Section R606.2** by more than 50%. Vents in soffit are not allowed within 4 feet of fire walls or property lines per **R302.2.5** and **Section R606.2.6**.
- 1-hour fire-rated construction required on projections within 2' to 3' of lot line per **R302.1**. No projections allowed within 2' of property line.
- 1-hour fire-rated construction required on townhouse eaves within 3' of the property line.  
Note: Single Family Detached product will NOT be built within 3' of the property line.
- Wall bracing is designed in compliance with **Section R602.10**, when wall bracing is beyond the criteria for a prescriptive approach, the structure is analyzed utilizing engineering in compliance with the North Carolina Building Code (NCBC). Refer to house-specific wall bracing detail sheets and wall bracing standard details. Adhesive attachment of wall sheathing, including Method 6B, shall not be permitted in Seismic Design Category C.
- Minimum floor sheathing shall be 5/8" tongue & groove, designed underlayment grade plywood and sanded, exterior grade and rolled joists to meet "American Wood Association" approved glued floor system, unless otherwise specified.

1. Ground-fault and arc-fault circuit interrupter protection is provided per NFPA 70 (National Electric Code).
2. Electric panel box installation to be in accordance with NFPA 70, Article 408 Section III. Location may vary by design.
3. Approved smoke detectors shall be installed in each sleeping room, outside each separate sleeping area in the immediate vicinity of the bedrooms; and on each additional story of the dwelling, including basements and crawl spaces, and finished attics, and in each sleeping room. Where more than one smoke detector is required, the devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. All smoke detectors shall receive their primary power from the building wiring and be equipped with a battery backup.
4. Unless listed for installation in such locations, smoke detectors shall be installed at least 10 feet from the following locations, at least 3 feet from the door to a bathroom containing a tub or shower, at least 3 feet from forced air supply registers, and at least 3 feet from the tip of a ceiling fan blade. In sleeping rooms, smoke detectors should be located in the vicinity of the room entrance. They shall be installed at the highest portion of the ceiling (including tray or coffered ceilings) or within 12 inches vertically from the highest point in rooms with sloped ceilings.
5. Interior stairs shall be provided with an artificial light source in the vicinity of each landing or directly over each stair section, terminating at the stairs and landings to a level not less than 1 foot measured at the center of the tread or landing per R303.7.
6. Outlets within 6' of a sink must be GFI protected.
7. An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. **R315.3.**
8. Outlets installed in laundry areas must be GFI protected.

REV. NO.	DATE	REMARKS
1	1/9/14	MBT - CODE UPDATES FOR 2018 NCRBC
2	3/3/14	MBT - UPDATED EMRGY NOTES
3	12/16/22	CAP - REVISE NOTE FOR 2X4 OR 2X6 EXTERIOR WALLS.



SHEET NO.	MODEL	SET NO. VERSION
SS-1	DRAWING TITLE SINGLE FAMILY ATTACHED SINGLE FAMILY DETACHED	DRAWN BY
	OPTION DESCRIPTION NC State Building Code - Residential Code 2018	DATE:
1.		OPTION





HOUSE NAME  
HOUSE VERSION

### VENTILATION VALUES

DOMINICA SPRING	
DSP00_01	
SOFFIT:	9.9 sq in of vent per lf
RIDGE:	18 sq in of vent per lf
BOX / GABLE VENT:	45 sq in of vent per unit

USER GUIDE		(any)		(any)	VENT OK	No action req'd.
					VENT OK	No action req'd.
					FAIL	Increase ridge
					FAIL	Decrease ridge
				(any)	FAIL	Increase total vent

ELEVATION "K"OR"LO"													
Location / Options		Area (sq ft)	Required: A/200 (sq ft)	Required: A/200 (sq ft)	Softfill (sq ft)	Softfill Vent (sq ft)	Ridge (sq ft)	Upper Row (sq ft)	Lower Row (sq ft)	TOTAL (sq ft)	OK A/200	OK A/200	Notes
MAN. W/ REAR PORCH	333.223	2208.0	1104.0	1500	1287.0	25	4608.0	7338.0	1797.0	9105.0	OK	42.3%	
MAN. W/ REAR PORCH	333.223	2208.0	1104.0	1500	1448.0	25	4608.0	7338.0	1981.0	9323.0	OK	42.3%	
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	NO		
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	NO		
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	NO		
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	NO		
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	NO		

CUSTOM ELEVATION														
Location / Options	Area (sq ft)	Required A/150 (sq ft)	Required A/200 (sq ft)	Spillt (sq ft)	Spillt Vent (sq ft)	Ridge (sq ft)	Upper Row (sq ft)	Lower Row (sq ft)	TOTAL (sq ft)	OK A/150	OK A/200	A/200 at vent OK?	A/200 OK?	Notes
MAIN W/ REAR PORCH	313443		2208.01	142	142	71	1600.00	0.00	2071.83	Yes	Yes	Yes	Yes	
MAIN W/ REAR PORCH	313123		2208.01	142	142	26	1600.00	0.00	2071.83	Yes	Yes	Yes	42.29%	
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	Yes	Yes	Yes	Yes	
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	Yes	Yes	Yes	Yes	
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	Yes	Yes	Yes	Yes	
		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	Yes	Yes	Yes	Yes	



HOUSE NAME	DOMINICA SPRING
------------	-----------------

HOUSE VERSION DSP00 / 01

PRODUCT LINE	RYANHOMES
--------------	-----------

**Note:** The volume of the structure has been computed in accordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5;23-2.28. Volume computation)

ELEVATION "K", "L"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house	1680.00	13.27	22295
Gable at front of the house	56.00	9.82	550
Garage bump out from main house	400.00	10.55	4219
Porch on front of house	24.00	8.66	208
		Total House Volume	27064

**Additional areas of volume to be added to total house volume as needed**

Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Covered Porch "EPE"	140.00	10.02	1403
Full Basement "FBA"	1744.67	8.63	15048
Crawl space "FCA"	1744.67	0.80	1396

DIV-COMM-LOT-UNIT

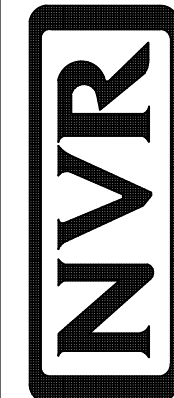
LOT-UNIT  
RLH-VK-0018

COMM-LOT  
KIPLING VILLAGE - 0018

STREET ADDRESS	APT. NO.
257 SOUTH BREEZE WAY	----

CITY	STATE	ZIP
FUQUAY VARINA	NC	27526

©NVR, Inc., The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.



NVR, Inc.  
5285 Westview Drive, Suite 100  
Frederick MD 21703

James Bates  
06/06/2025

06/06/2025

MODEL	SET NO. D5P00

DOMINICA SPRING	VERSION 01
DRAWING TITLE	RELEASE NO

DRAWING TITLE	RELEASE NO.
ROOF VENT AND VOLUME CALCULATIONS	DRAWN BY
VOLUME CALCULATIONS	DATE:

LEVEL OF AGGRESSION	
OPTION DESCRIPTION	OPTION

2

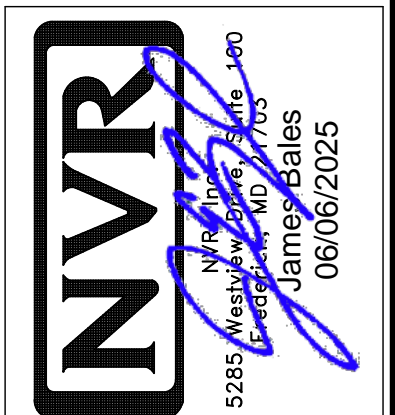


As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

LOT-UNIT  
RLH-VK-0018

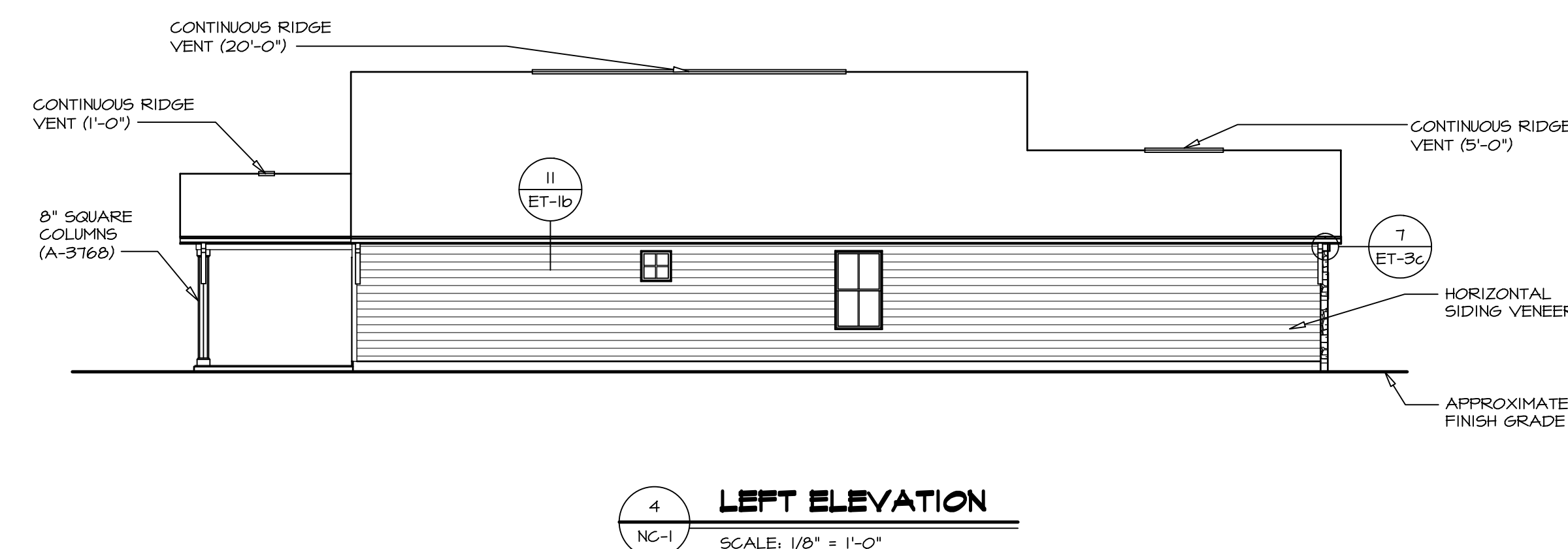
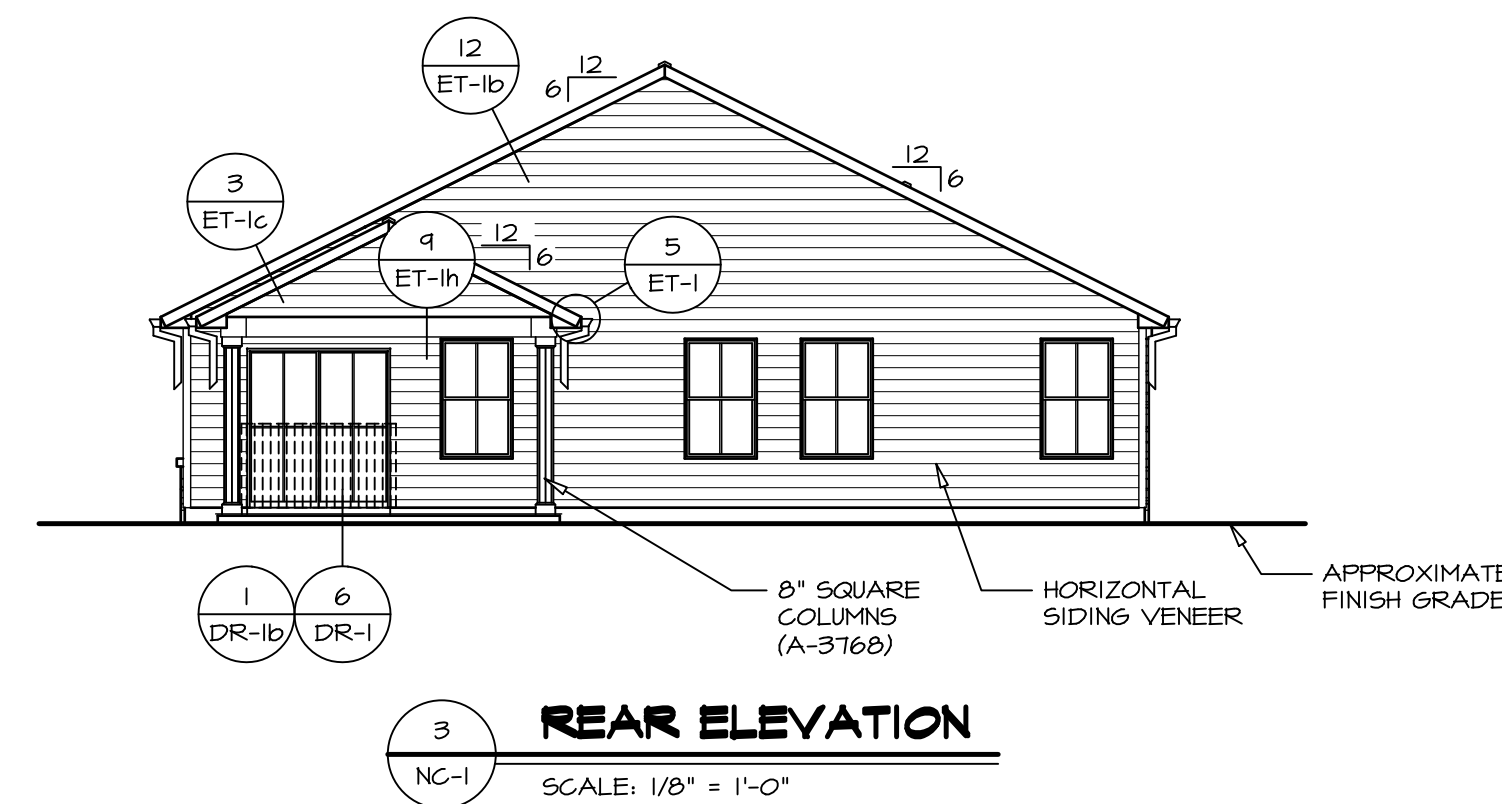
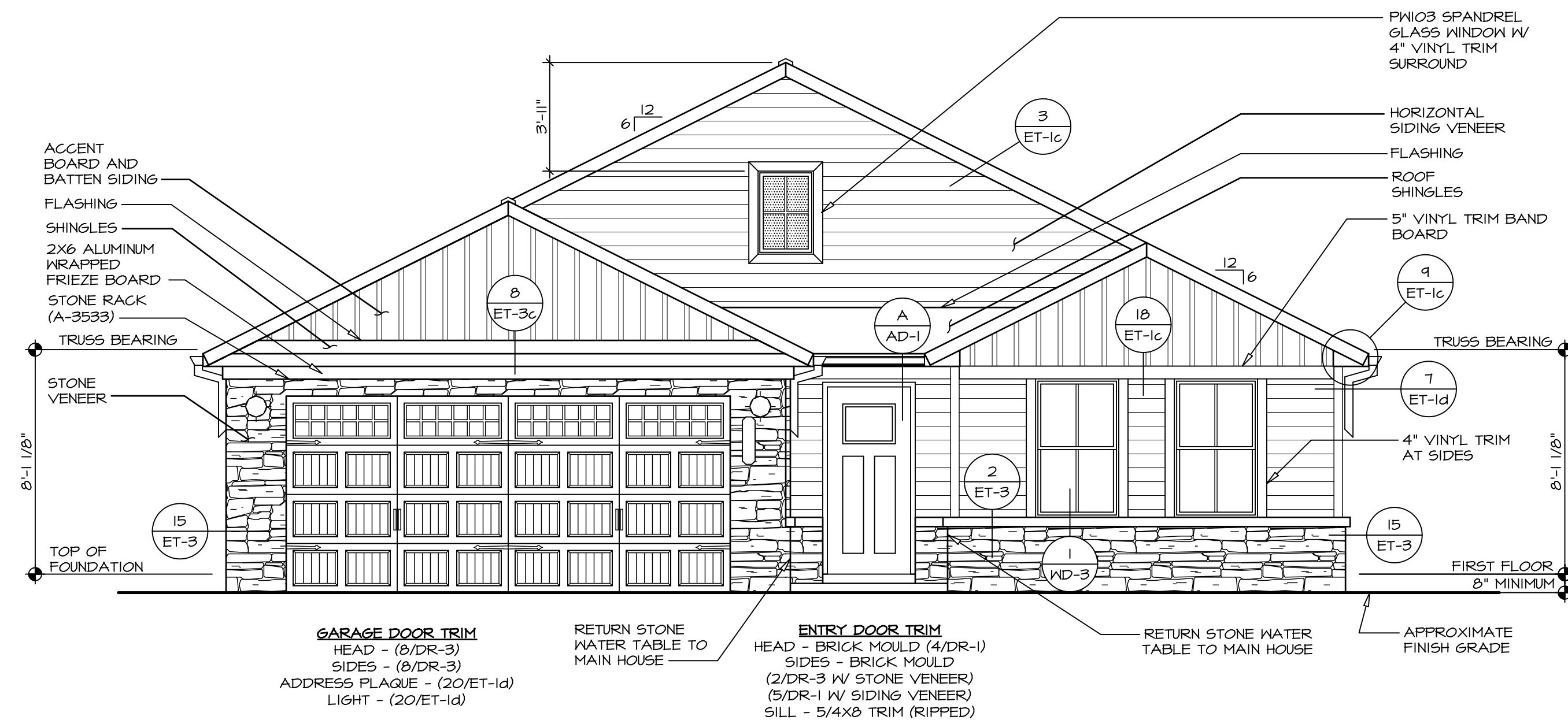
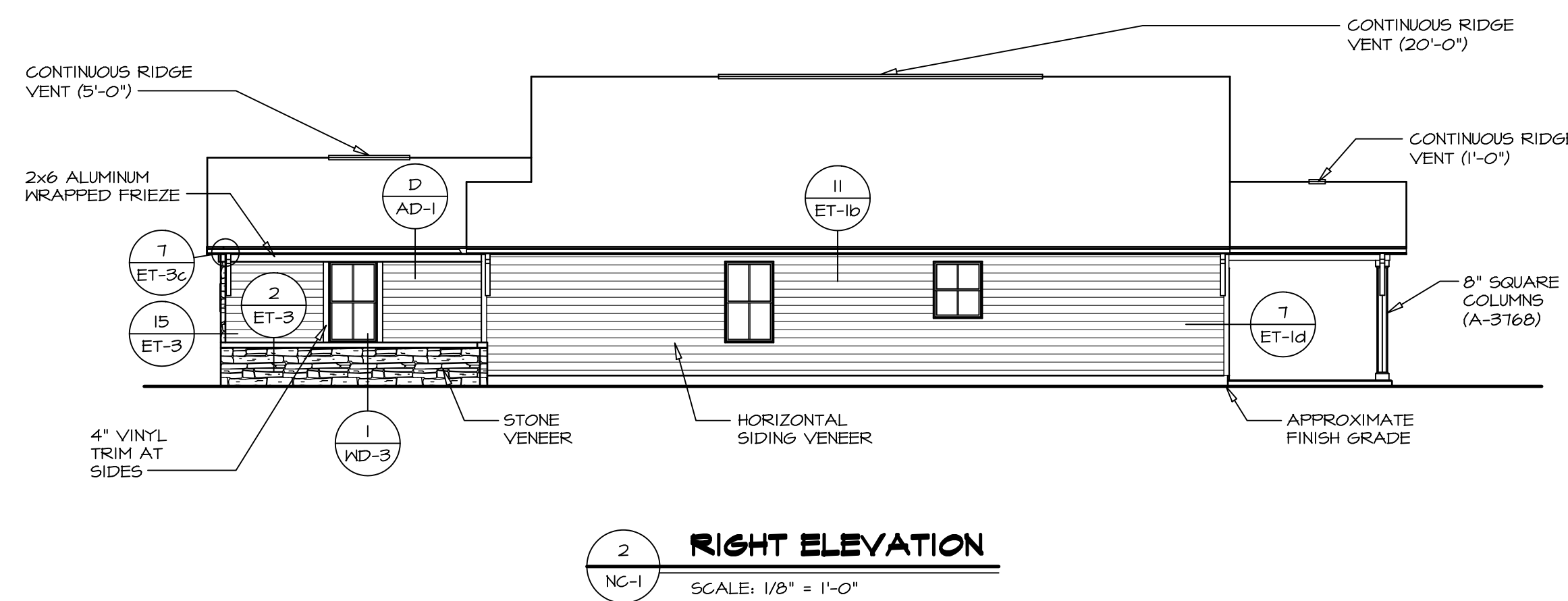
DIV - COMM - LOT - UNIT  
**RLH-V**  
COMM - LOT  
KIPLING VILLAGE - 0018

©NVR, Inc., The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.



MODEL	SET NO. D5POO
DOMINICA SPRING	VERSION C1
DRAWING TITLE	RELEASE NO. -----
ELEVATIONS	DRAWN BY SKB
	DATE:
OPTION DESCRIPTION	OPTION

SHEET NO. NC-1





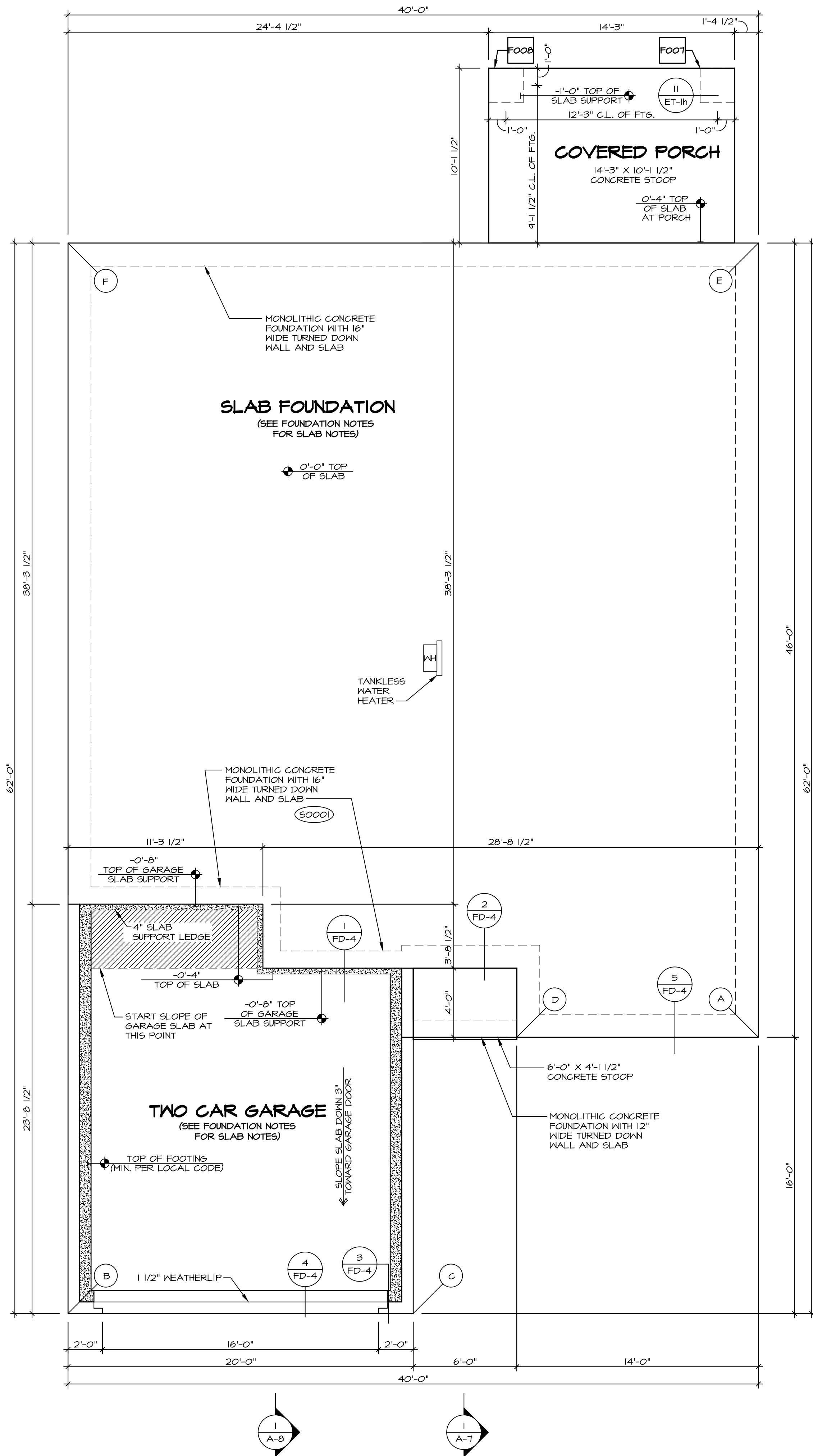
## LEGEND

- BEARING WALL  
NON BEARING WALL  
MASONRY WALL  
INDICATES BEARING FROM POINT-LOAD ABOVE  
JACKS  
BEAM/HEADER  
FOOTING/THICKENED SLAB  
STEEL COLUMN  
TRUSS TIE DOWN  
PORTAL FRAME  
JOIST/TRUSS  
LVL  
ENGINEERING PAGE NUMBER  
WINDOW/DOOR TAG  
PRECAST LINTEL TAG

-SEE FA DETAILS FOR FIRE ASSEMBLIES  
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

## FOUNDATION NOTES - SLAB

- SEE STANDARD DETAIL CATEGORY "FD" SHEET(S).
- CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- FOUNDATION UNDER GARAGE:
  - UNEXCAVATED WITH CONCRETE SLAB OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR
  - STRUCTURAL CONCRETE SLAB OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION INFORMATION.
- SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S) ORIENTATION. SEE GB-1 FOR DETAILS.
- THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED.
- ALL FOOTINGS ARE PLAIN, NON-REINFORCED CONCRETE UNLESS NOTES OTHERWISE.
- SEE FB-1 DETAILS FOR FOOTER SLEEVE INFORMATION.
- THICKEND SLAB DEPTHS MEASURE FROM TOP OF SLAB. PAD FOOTING DEPTHS MEASURE 4" BELOW TOP OF SLAB.



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

PAD FOOTING SCHEDULE					
IDENTIFIER	LENGTH	WIDTH	HEIGHT	OPTIONS	ENG. NUM.
FOOT	2'-0"	2'-0"	1'-0"		50001
FOOB	2'-0"	2'-0"	1'-0"		50001

## FOUNDATION DIAGONALS

A		B	
A	0"	A	43'-1"
B	43'-1"	B	0"
C	25'-1 3/8"	C	20'-0"
D	14'-0"	D	30'-6 3/8"
E	46'-0"	E	73'-4 3/8"
F	60'-11 1/2"	F	62'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT  
RLH-VK-0018

COM-LOT  
KIPPLING VILLAGE - 0018  
STREET ADDRESS  
251 SOUTH BREEZE WAY  
CITY  
FLOUJAY VARIANA  
STATE  
NC  
ZIP  
27526

06/06/2025  
NORTH CAROLINA  
SEAL  
44932  
EDWARD A. BERTS  
NVR, Inc.  
Firm License # D-5477

NVR, Inc. expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any project without the written consent of NVR, Inc.

NVR  
NVR, Inc., Suite 100  
5285 Westwick Road  
Frederick, MD 21703

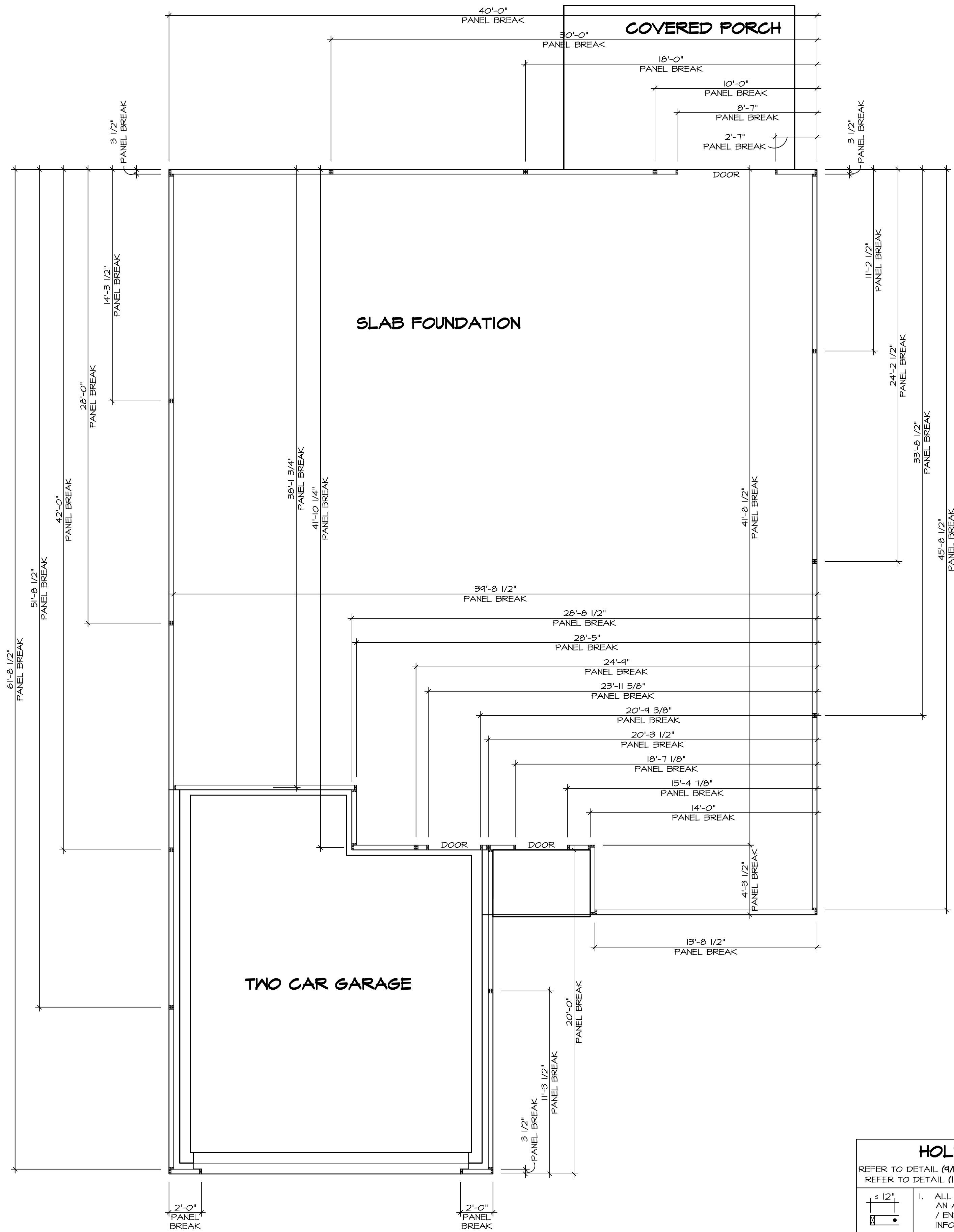
SET NO. D5FOO  
VERSION 01  
RELEASE NO. ----  
DRAWN BY SGA  
DATE:  
OPTION

MODEL  
DOMINICA SPRING  
DRAWING TITLE  
FOUNDATION  
OPTION DESCRIPTION  
7

SHEET NO.  
NC-2

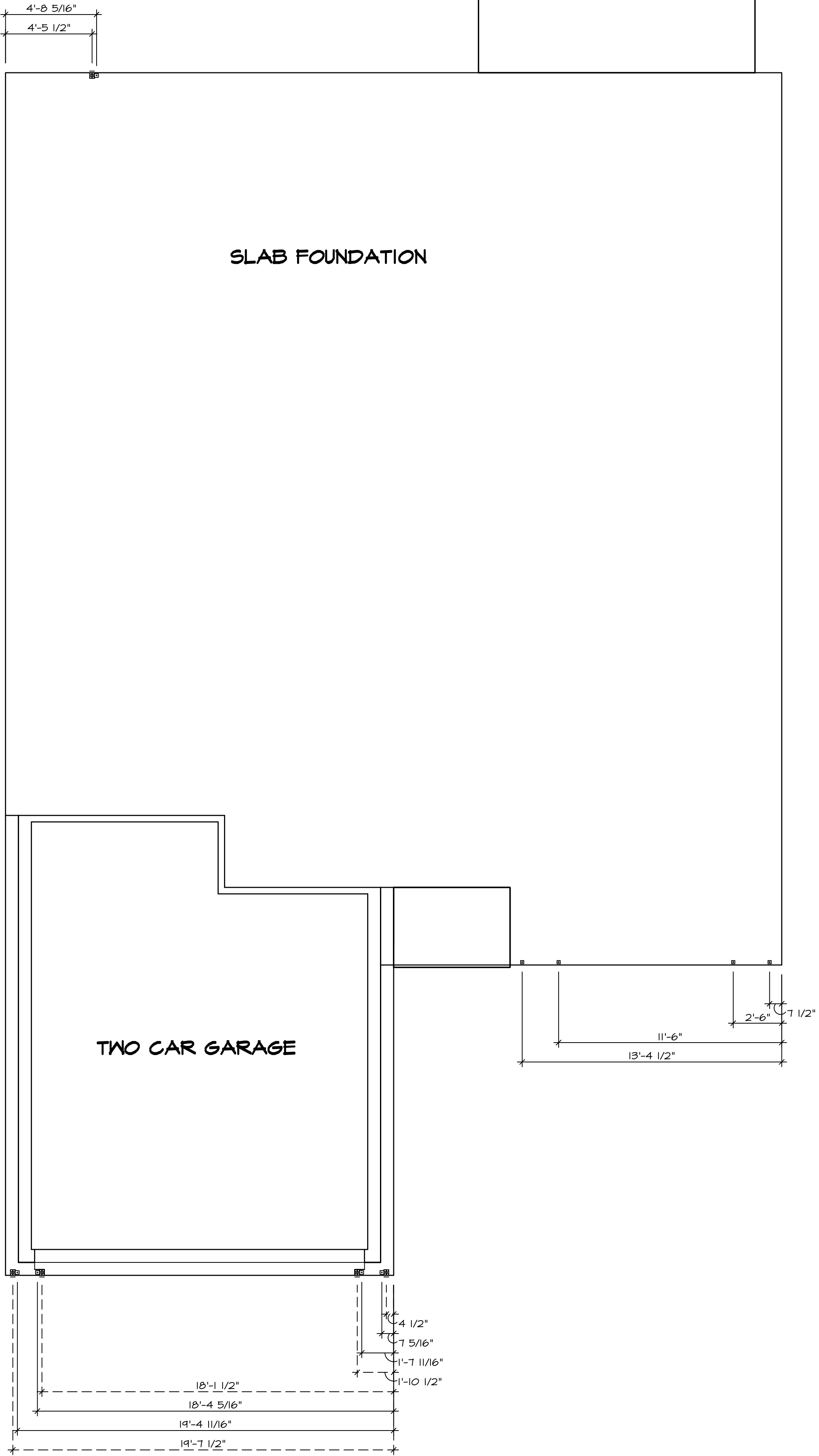
V:\As-Built\2-Jobs\Mitek Services\Assigned\RLH-VK-0018\ELK\_R\_VK\_0018\7\_NC-2\_FDN\_LS (SGA).dwg 06/05/25 - 11:41 am





2 PANEL BREAK DETAILS  
SCALE: 1/4" = 1'-0"

HOLD DOWN NOTES	
REFER TO DETAIL (9/FD-I) FOR HOLD DOWN OFFSET DIMENSIONS. REFER TO DETAIL (12/FD-I) FOR HOLD DOWNS ON CMU BLOCK.	
	1. ALL PANELS GREATER THAN 24" SHALL HAVE AN ANCHOR WITHIN 12" OF THE PANEL BREAKS / ENDS. (SEE DETAIL SHEET FC-1 FOR MORE INFORMATION ON ANCHOR DETAILS)
STRAP	1. STRAP: a. ON FOUNDATION USE (STD14) b. ON FLOOR SYSTEM USE (STD14R-I) 2. ALL OTHER HOLD DOWN SEE DETAIL MB- FOR MORE INFORMATION. 3. STRAP LOCATION ON PLANS SHOWN BY DASHED DIMENSION TO CENTER OF STUDS
OR	
	1. THREADED ROD 2. ALL OTHER HOLD DOWN SEE DETAIL MB- FOR MORE INFORMATION. 3. BOLT LOCATION ON PLANS SHOWN BY SOLID DIMENSION TO CENTER OF BOLT
BOLT	



1 FOUNDATION HOLD DOWN DETAIL  
SCALE: 1/4" = 1'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT		RLH-VK-0018	
COM-LOT	KLING VILLAGE - 0018	APT. NO.	----
STREET ADDRESS	251 SOUTH BREEZE WAY	CITY	FUQUAY VARINA
STATE	NC	ZIP	27526

06/06/2025  
NORTH CAROLINA  
SEAL  
44932  
ENGINEER  
WILLIAM EDWARD ABERTS  
NVR, Inc.  
Full License # D-5477

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than that first obtaining the expressed written consent of NVR, Inc.

NVR  
NVR, Inc., Suite 100  
5285 Westwick, MD 21703  
Frederick, MD 21703

SHEET NO. NC-3	MODEL DOMINICA SPRING	SET NO. D5F00
	DRAWING TITLE FOUNDATION HOLD DOWN	VERSION 01
	OPTION DESCRIPTION	RELEASE NO. ---- DRAWN BY CEL DATE:
	9	OPTION



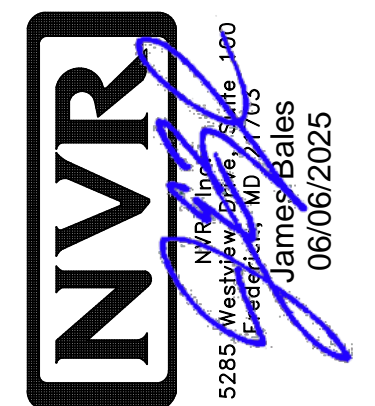
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

LOT-UNIT  
PLH-YK-0018

DIV-COMM-LOT-UNIT  
**RLH-V**  
COMM-LOT  
KIPLING VILLAGE - 0018

COMM-Lot	STREET ADDRESS		CITY	STATE	ZIP	APT. NO.
COMM-Lot	KIPLING VILLAGE - 0018		251 SOUTH BREEZE WAY	FLUQUA VARIANA	NC	27526

©NVR, Inc. The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.



SET NO. DSPOO
VERSION OI
RELEASE NO. ----
DRAWN BY SGA
DATE:
OPTION

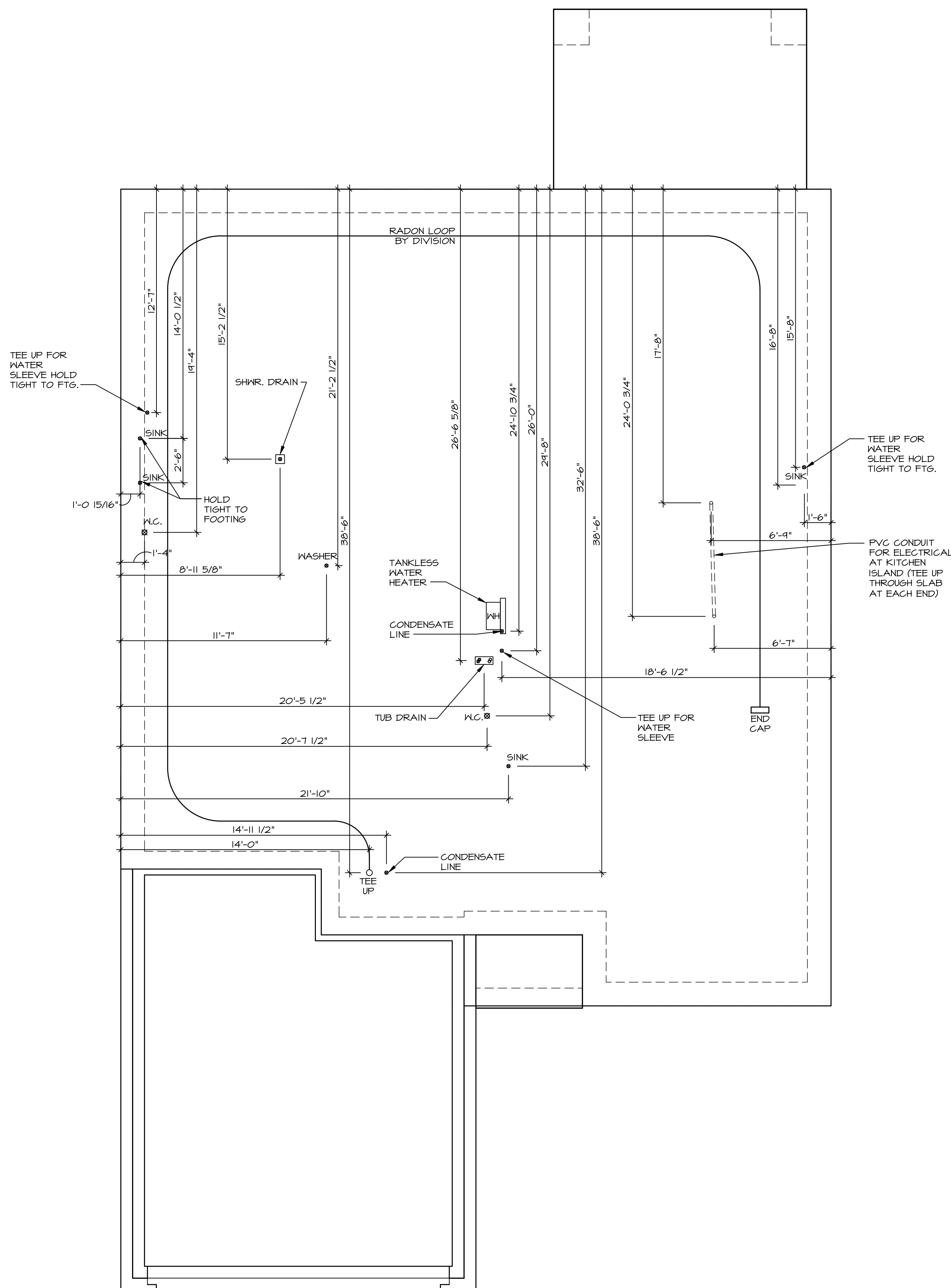
SHEET NO.	NC-4
MODEL	DOMINICA SPRING
DRAWING TITLE	PLUMBING

**NC-4**

NC-1

V:\As-Sold\2-Jobs\MiTek Services\Assigned\RLH-VK-0018\ELK B VK 0018\10 NC-4 PLMG L.S.dwg 06/06/25 - 11:32 am

# INSTALLATION OF RADON STACK AND LOOP TO BE DETERMINED BY DIVISION



**PLUMBING NOTES:**

RADON REMEDIATION  
RADON LOOP:

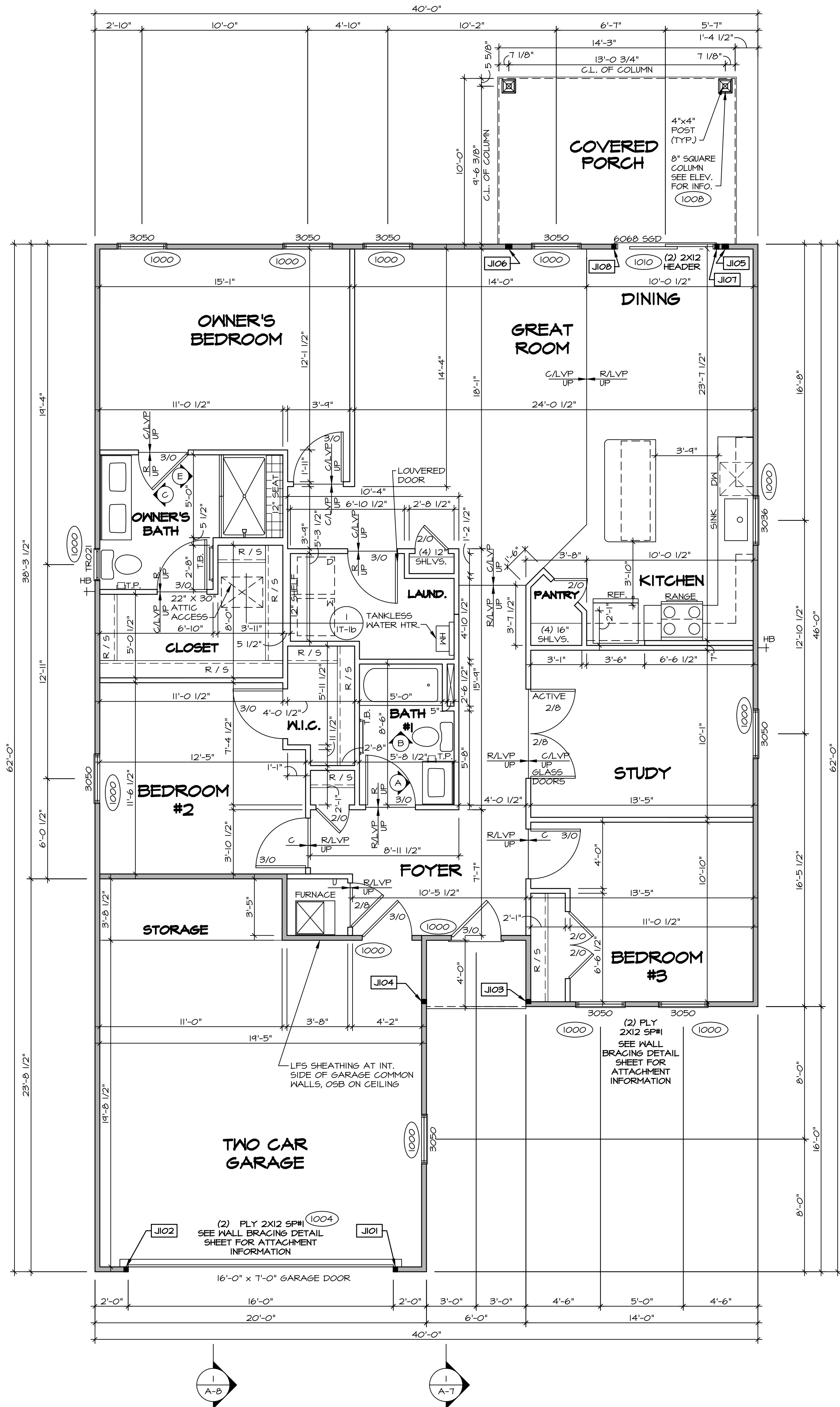
- (4") PERFORATED "LOOP"
- MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINPILE
- LOOP TO BE SEPARATE FROM ANY DRAINPILE ELEMENTS
- TO BE CORRUGATED PIPE
- SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK

STACK REQUIREMENTS:

- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
- 30' PART OF STACK TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
- PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER DISPOSITIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
- MINIMIZATION TO BE IN MIN 1/2" OR RIGID
- SCREEN OR VENT CAP INSTALLED TO KEEP FEET OUT OF RADON VENT AT ROOF TERMINATION

PLUMBING PLAN





**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES:**

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL 8/IT-1B FOR 3/4" FIRE STOPPING AT BULKHEAD / CEILING PANELS.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION. OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.
- INTERIOR HEADER HEIGHT FOR 8' CEILING WILL BE 6'-11", 9' CEILING WILL BE 7'-11", 10' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.
- ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT BLOCKING INSTALLED.
- NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

**GYPSUM NOTES:**

**AT GARAGE:**

GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

**AT STAIRS:**

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

**LEGEND**

- BEARING WALL
- NON BEARING WALL
- MASONRY WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTING/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG
- SEE FA DETAILS FOR FIRE ASSEMBLIES
- SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

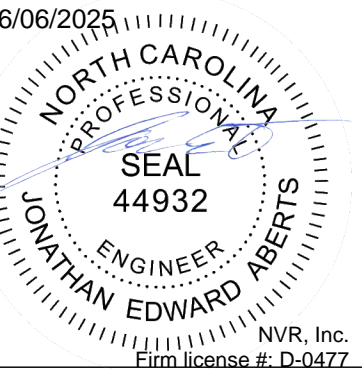
ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED

FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J101	JACK - (2) 2X4 SFF STUD GRADE		1004	
J102	JACK - (2) 2X4 SFF STUD GRADE		1004	
J103	JACK - (2) 2X4 SFF STUD GRADE		1006	
J104	JACK - (2) 2X4 SFF STUD GRADE		1006	
J105	JACK - (3) 2X4 SFF STUD GRADE		1008	
J106	JACK - (3) 2X4 SFF STUD GRADE		1008	
J107	JACK - (2) 2X4 SFF STUD GRADE		1010	
J108	JACK - (2) 2X4 SFF STUD GRADE		1010	

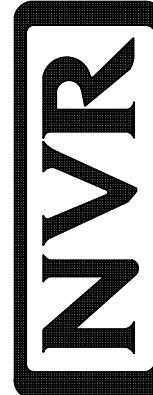
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

**RLH-VK-0018**

DIV-COMM-LOT-UNIT  
COMM-LOT  
KILLING VILLAGE - 0018  
STREET ADDRESS  
251 SOUTH BREEZE WAY  
CITY  
FUGUAY VARINA



© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.



NVR, Inc., Suite 100  
5285 Westwood Drive  
Frederick, MD 21703

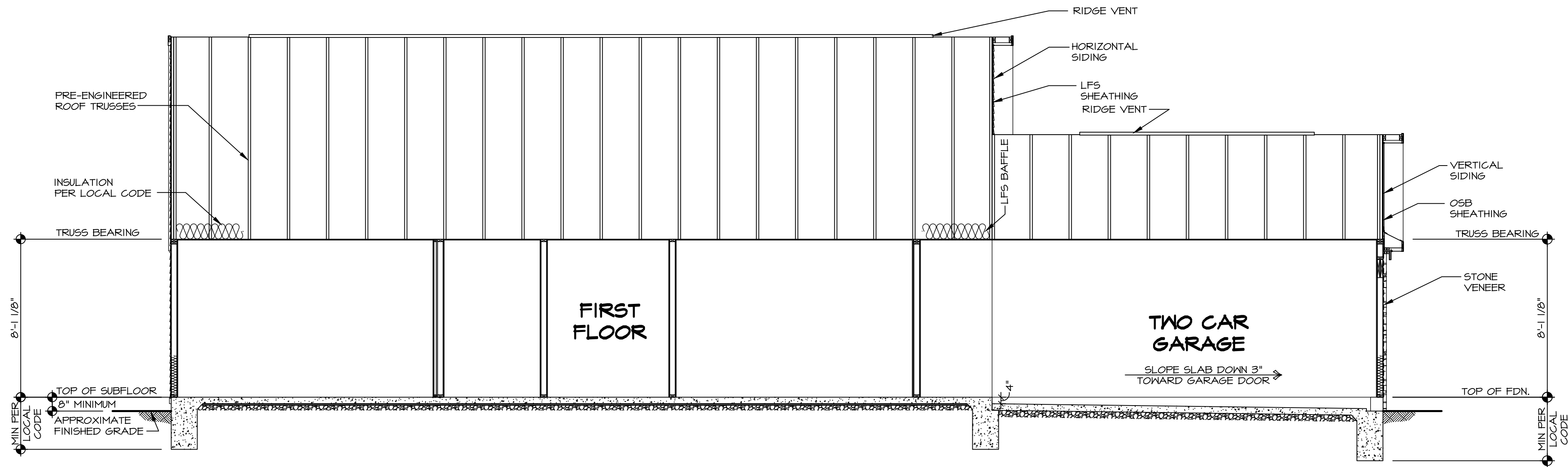
SET NO. D5F00  
VERSION 01  
RELEASE NO. ----  
DRAWN BY SKB  
DATE:  
OPTION

**DOMINICA SPRING**  
DRAWING TITLE  
FIRST FLOOR PLAN  
**NC-6**  
OPTION DESCRIPTION  
12



SHEET NO. NC-7 13



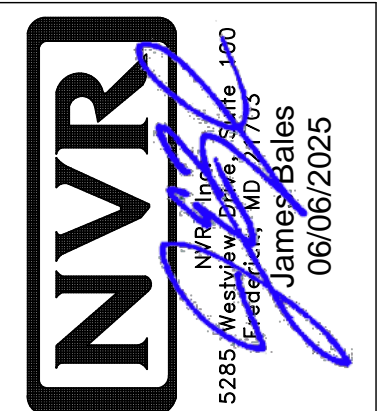


**BUILDING SECTION - GARAGE**  
SCALE: 1/4" = 1'-0"

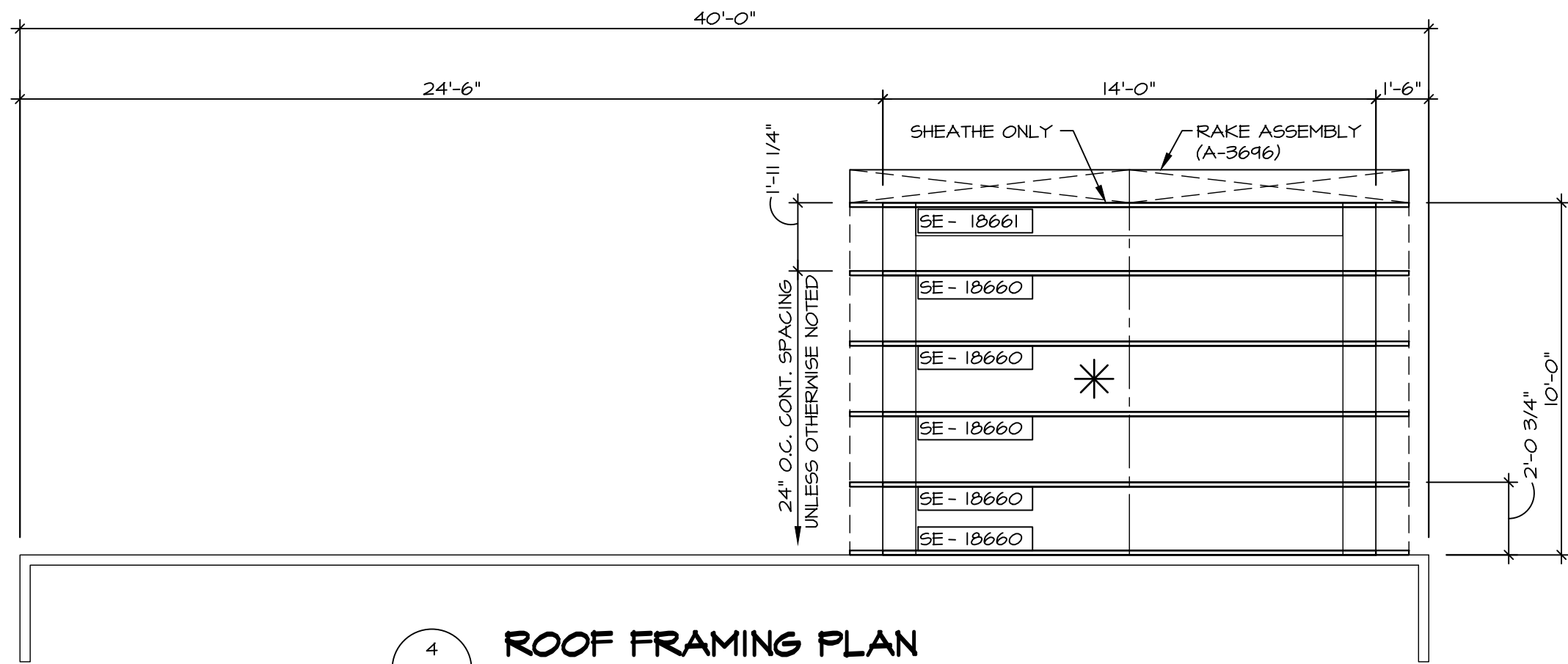
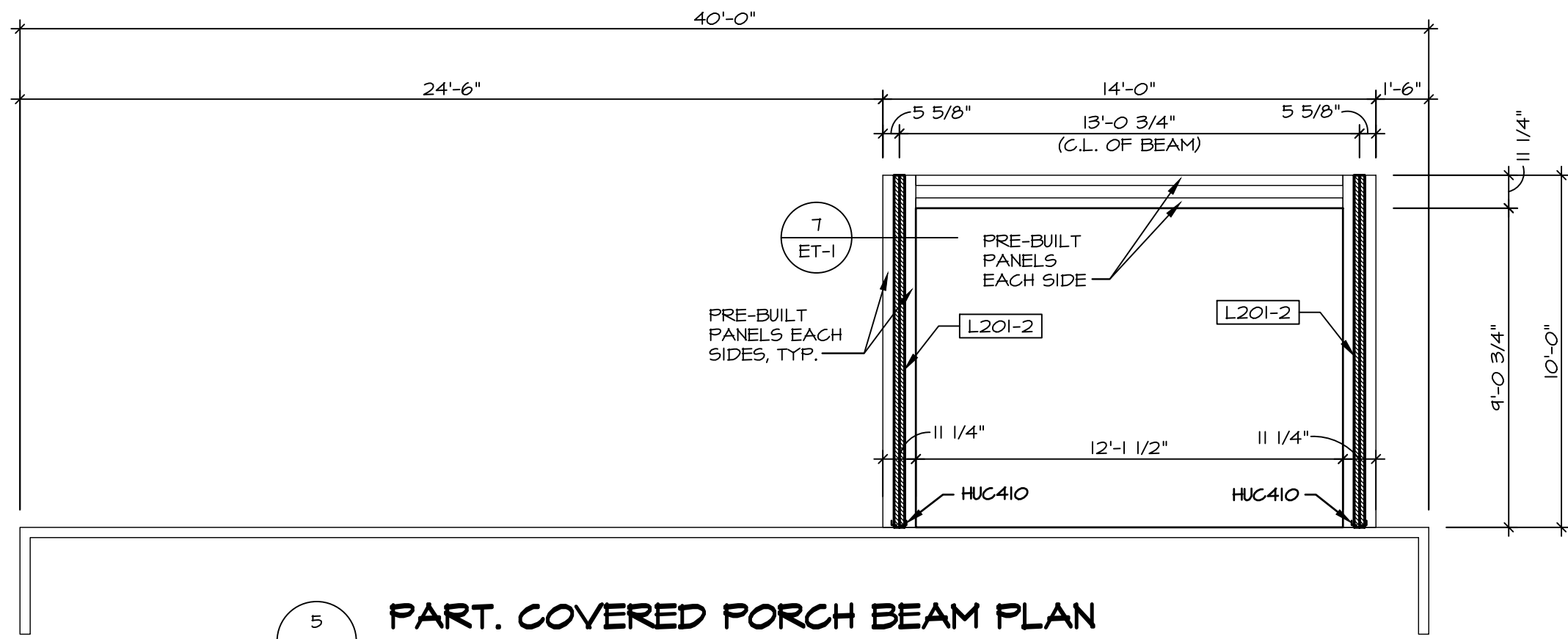
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT <b>RLH-VK-0018</b>			
COMM-LOT KIPLING VILLAGE - 0018	APT. NO. -----	STATE NC	ZIP 27526
STREET ADDRESS 251 SOUTH BREEZE WAY			
CITY FUGUAY VARINA			

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than that first obtaining the expressed written consent of NVR, Inc.

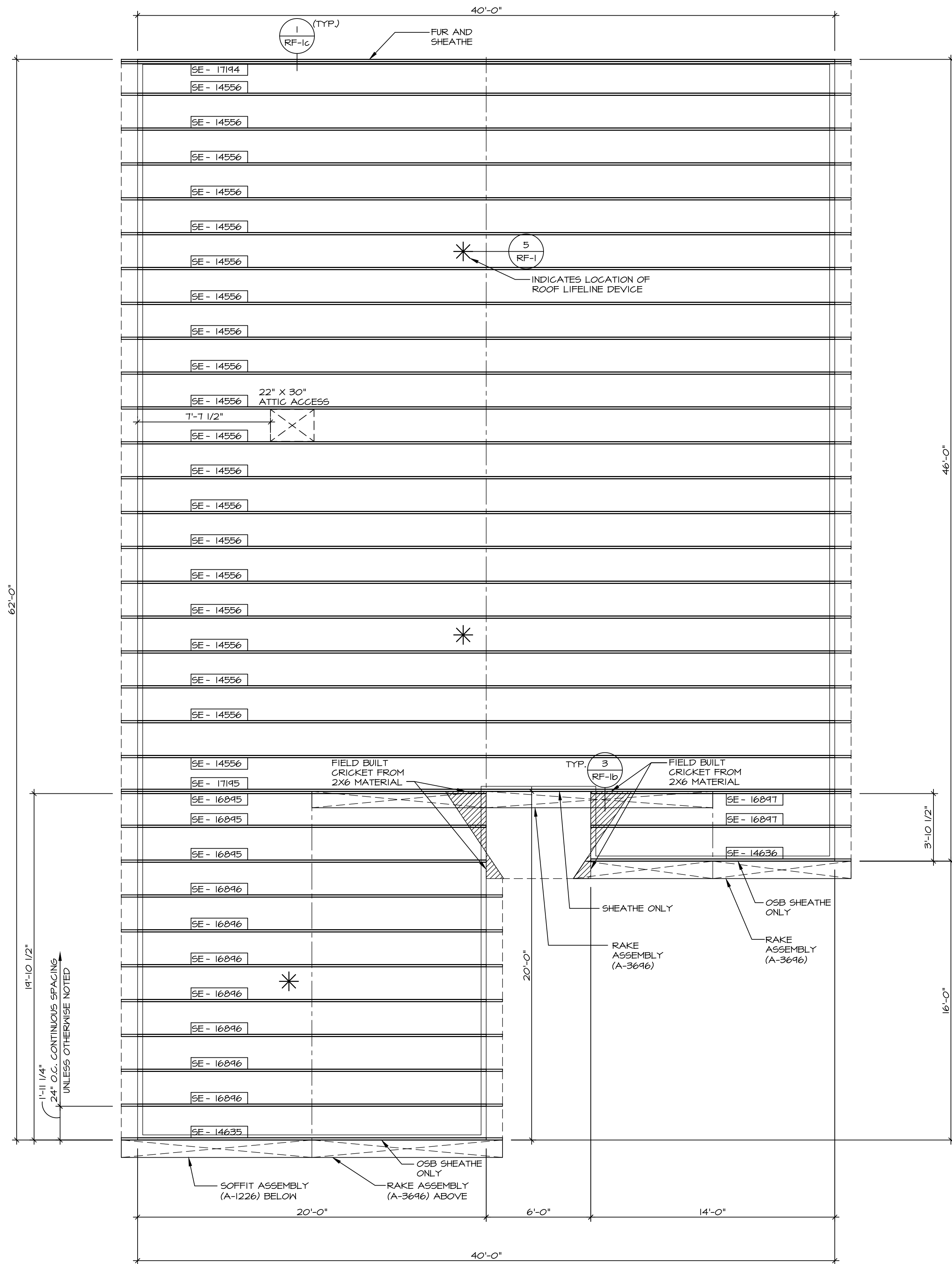


SHEET NO. <b>NC-8</b>	MODEL <b>DOMINICA SPRING</b>	SET NO. DSFOO
	DRAWING TITLE BUILDING SECTION - GARAGE	VERSION 01
	OPTION DESCRIPTION	RELEASE NO. ---- DRAWN BY SKED DATE: OPTION
14		



TRUSS SCHEDULE					
QUANTITY	SPECS	TRUSS NUMBER	LENGTH	ROOF PITCH (X/12)	REMARKS
20	SE	14556	40'-0"	6/12	-
4	SE	14561	3'-10 1/2"	4/12	-
1	SE	14635	20'-0"	6/12	-
1	SE	14636	14'-0"	6/12	-
3	SE	16845	20'-0"	6/12	-
7	SE	16846	20'-0"	6/12	-
2	SE	16847	14'-0"	6/12	-
1	SE	17184	40'-0"	6/12	-
1	SE	17185	40'-0"	6/12	-
5	SE	18660	14'-0"	6/12	-
1	SE	18661	14'-0"	6/12	-

FIELD INSTALLED ROOF FRAMING BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
BIOI	BEAM BUILT 2X8 - 2 PLY RFF	6'-0"	1006	
L201-2	LVL 1.75 - 04-04	10'-0"	1008	A.I



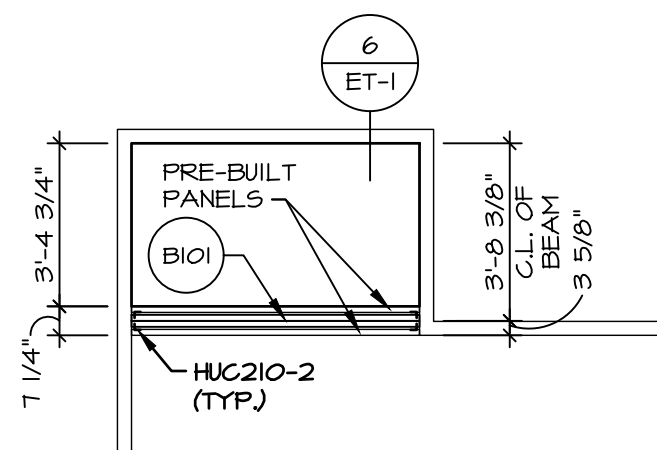
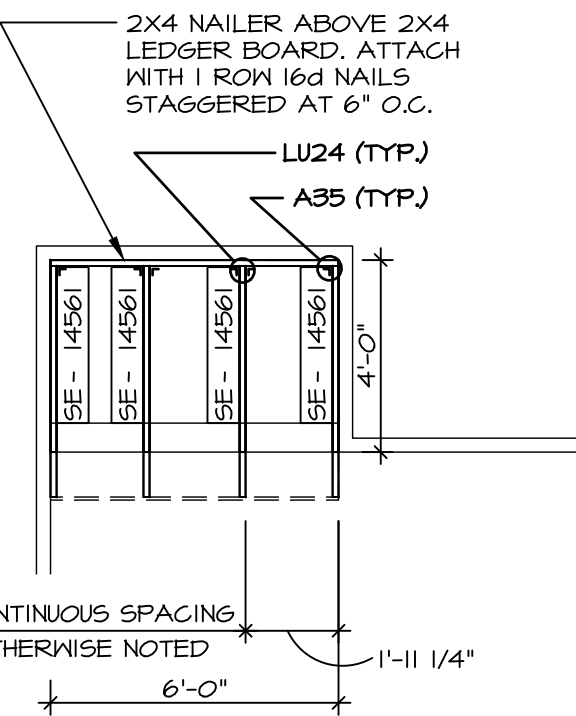
**LVL PLY TO PLY FASTENING SCHEDULE:** (WHERE APPLICABLE BASED ON LVL USAGE)

- 1.A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C.
- 2.A - (2) PLY 14" UP TO AND INCLUDING 18": FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C.
- 3.A - (2) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C.
- 4.A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 5.A - (3) PLY 14" UP TO AND INCLUDING 18": FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 6.A - (3) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 7.A - (4) PLY (ALL SIZES): FASTEN PLYS WITH (3) ROWS OF SDPN22634 STRUCTURAL WOOD SCREWS, OR EQUIVALENT, AT 16" O.C. STAGGERED. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

**LEGEND**

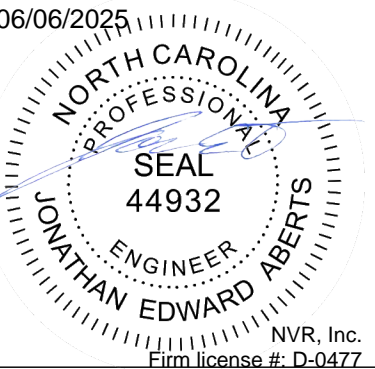
- BEARING WALL
- MASONRY WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
- BEAM/HEADER
- FOOTINGS/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG
- SEE FA DETAILS FOR FIRE ASSEMBLIES
- SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

- ROOF FRAMING NOTES:**
1. REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
    - 1.1. TRUSS TIE-DOWNS (1/RF-I)
    - 1.2. PIGGYBACK TRUSS ATTACHMENT (2/RF-I)
    - 1.3. VALLEY GABLE TRUSS BRACING (3/RF-I)
    - 1.4. GABLE BRACING (1/RF-I)
    - 1.5. TURN GABLE BRACING (1/RF-I)
    - 1.6. TRUSS LATERAL BRACING (2/RF-IC)
    - 1.7. LIFELINE ATTACHMENT (5/RF-I)
    - 1.8. FALL PROTECTION ON PLATFORM TRUSS (1/RF-I)
  2. IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED
  3. ALL FINISHED ROOF OVERHANGS ARE TO BE 12" FROM FRAMED WALL UNLESS OTHERWISE NOTED.

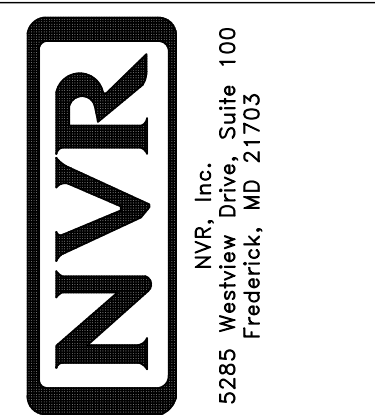


As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications.

DIV-COMM-LOT-UNIT			
RLH-VK-0018			
COM-LOT	COM-LOT	APT. NO.	----
KLING VILLAGE - 0018	STREET ADDRESS	251 SOUTH BREEZE WAY	CITY
			STATE
			ZIP



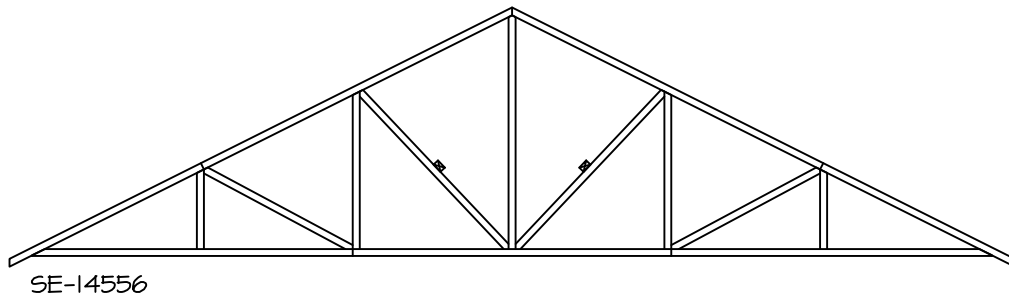
NVR, Inc. expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.



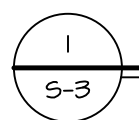
SET NO.	DSFOO
VERSION	01
RELEASE NO.	----
DRAWN BY	SGA
DATE:	
OPTION	

MODEL	DOMINICA SPRING	
	DRAWING TITLE	
SHEET NO.	S-2	
	OPTION DESCRIPTION	
		21





SE-14556



## TRUSS BRACING DETAILS

SCALE: 1/8" = 1'-0"

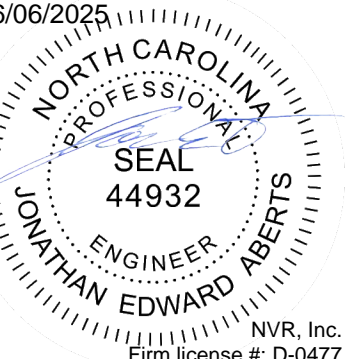
### ROOF FRAMING NOTES:

- REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
  - TRUSS TIE-DOWNS (1/RF-I)
  - PIGGYBACK TRUSS ATTACHMENT (2/RF-I)
  - VALLEY GABLE TRUSS BRACING (3/RF-I)
  - GABLE BRACING (1/RF-IG)
  - TURN GABLE BRACING (1/RF-I)
  - TRUSS LATERAL BRACING (2/RF-IC)
  - LIFELINE ATTACHMENT (5/RF-I)
  - FALL PROTECTION ON PLATFORM TRUSS (1/RF-I)
- IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED.
- ALL FINISHED ROOF OVERHANGS ARE TO BE 12" FROM FRAMED WALL UNLESS OTHERWISE NOTED.

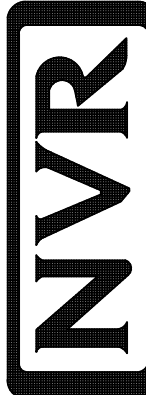
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT  
RLH-VK-0018

COMM-LOT KIPLING VILLAGE - 0018	APT. NO. ----	ZIP 27526
STREET ADDRESS 251 SOUTH BREEZE WAY	STATE NC	
CITY FLOUJAY VARINA		



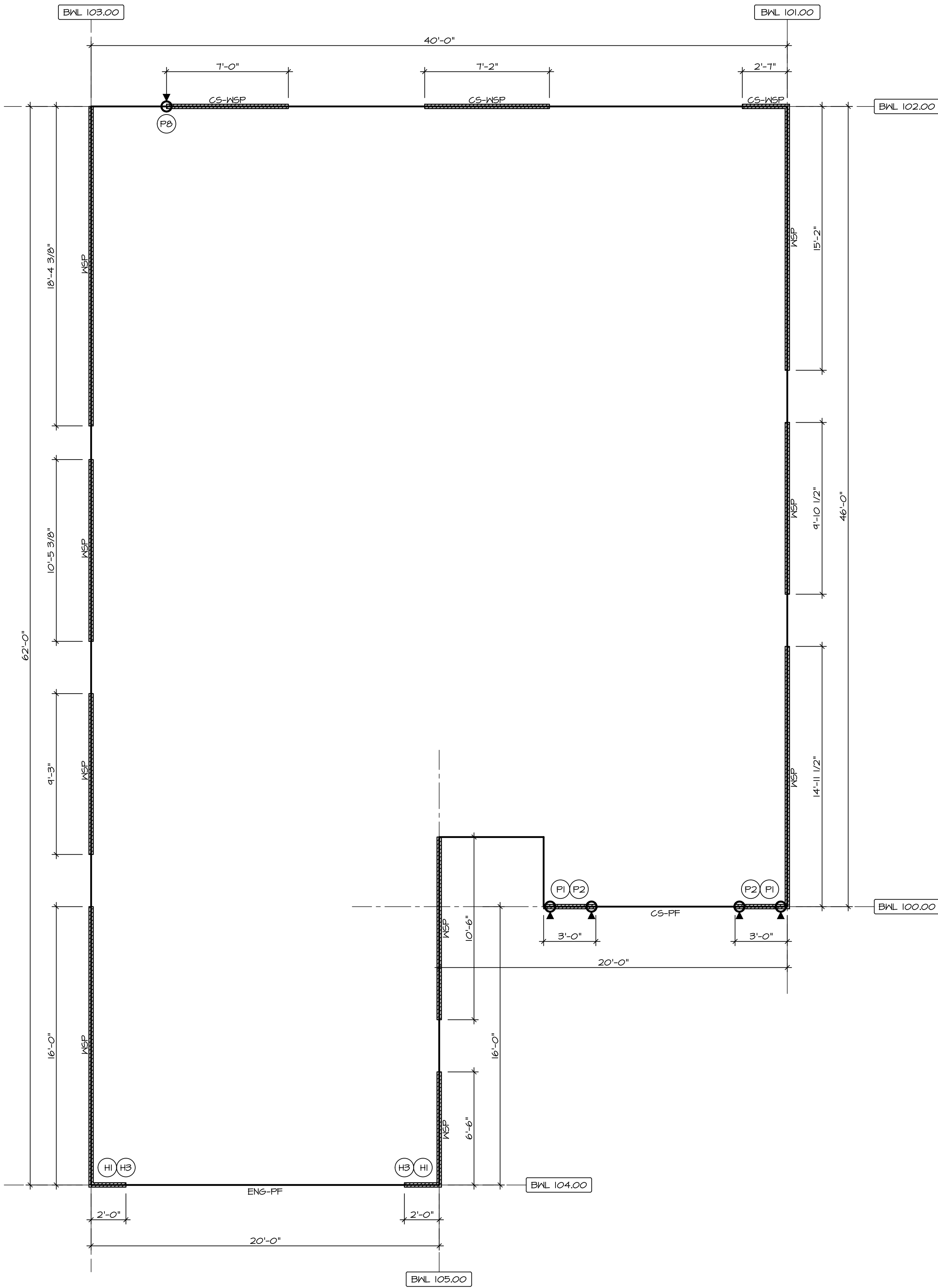
© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than that first obtaining the express written consent of NVR, Inc.



NVR, Inc., Suite 100  
5285 Westview Drive  
Frederick, MD 21703

SHEET NO. <b>S-3</b>	MODEL <b>DOMINICA SPRING</b>	SET NO. DSFOO
	DRAWING TITLE TRUSS BRACING DETAILS	VERSION 01
	OPTION DESCRIPTION	RELEASE NO. ---- DRAWN BY SGA DATE: OPTION
22		

BRACED WALL LINE SCHEDULE				
WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	METHOD
130 MPH	BWL 100.00	8.60'	9.00'	CONTINUOUS (WITH GNB)
130 MPH	BWL 101.00	8.12	40.00'	WSP (WITH GNB)
130 MPH	BWL 102.00	12.54'	16.75'	CONTINUOUS (WITH GNB)
130 MPH	BWL 103.00	8.90'	54.06'	WSP (WITH GNB)
130 MPH	BWL 104.00	--	--	ENGINEERED
130 MPH	BWL 105.00	4.71'	17.00'	WSP (WITH GNB)



1  
S-4  
FIRST FLOOR WALL BRACING DETAIL  
SCALE: 1/4" = 1'-0"

### BRACING LEGEND

BWL XXXXX	BRACED WALL LINE I.D.
—	BRACED WALL LINE
—	HOUSE WALL
▨	BRACED WALL PANEL
(X)	ENGINEERING PAGE NUMBER
WSP	WOOD STRUCTURAL PANEL
GB	GYPSUM BOARD (1) SIDED OR (2) SIDED
GB-BW	GYPSUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL 6 /WB-2)
LIB	LET-IN BRACING (SEE STANDARD DETAIL F /WB-2)
CS-WSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL
CS-PF	CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C /WB-2)
CS-G	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS
ENG-WSP-A	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'A' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-B	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'B' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-C	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING ON BOTH SIDES OF THE WALL TYPE 'C' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-PF	ENGINEERED DESIGN W/ PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL PAGE WB-1)
ENG-GBI-A	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE 'A' FASTENING REQUIREMENTS
ENG-GBI-B	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE 'B' FASTENING REQUIREMENTS
ENG-BW	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD W/ BLOCK WALL CONSTRUCTION (SEE STANDARD DETAIL 17/WB-1)
HO	HOLD-DOWN: 1. SEE SHEET WB-2 FOR "P." INDICATOR SCHEDULE AND DETAILS 2. SEE SHEET WB-1 FOR "H." INDICATOR SCHEDULE AND DETAILS 3. ARROW INDICATES LOCATION.

**NOTES:**  
HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED. ENGINEERED WALL LINES ARE IN COMPLIANCE WITH INTERNATIONAL BUILDING CODES (IBC).

### FASTENING SCHEDULE

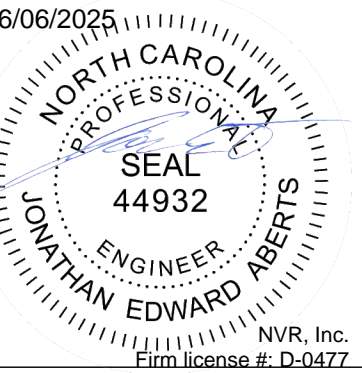
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
PRESCRIPTIVE 7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS	6" O.C.	6" O.C.
	ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
ENGINEERED 7/16" WOOD STRUCTURAL PANELS (W METHOD ENG-WSP-A, ENG-WSP-B, ENG-WSP-C)	A - 8d COMMON NAILS	4" O.C.	6" O.C.
	A - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
	B - 8d COMMON NAILS*	3" O.C.	6" O.C.
	B - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	N/A	6" O.C.
	C - 8d COMMON NAILS* SHEATHING ON BOTH SIDES OF THE WALL	3" O.C.	6" O.C.
	C - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES SHEATHING ON BOTH SIDES OF THE WALL	N/A	6" O.C.
1/2" GYPSUM WALLBOARD (W METHOD GB-1, GB-2, ENG-GBI-A)	1-1/4" LONG, 1/4" HEAD, .092" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.
	CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
1/2" GYPSUM WALL BOARD BLOCKED AT THE EDGES (W METHOD GB-BW-1, GB-BW-2, ENG-BW)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USE CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

**NOTES:**  
1. MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.  
2. SPECIFIED GYPSUM FASTENINGS REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.  
3. USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.  
4. STAPLE ALTERNATIVE FOR USE IN FIELD ONLY. WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE WSP/ENG-WSP-A METHOD.

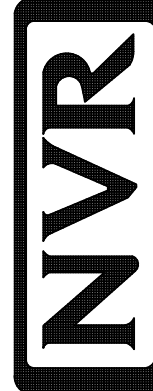
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT  
RLH-VK-0018

COM-LOT KLIPLING VILLAGE - 0018	APT. NO. ----	ZIP 27526
STREET ADDRESS 251 SOUTH BREEZE WAY	CITY FLOUJAY VARINA	STATE NC



© NVR, Inc. expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any project without the express written consent of NVR, Inc.

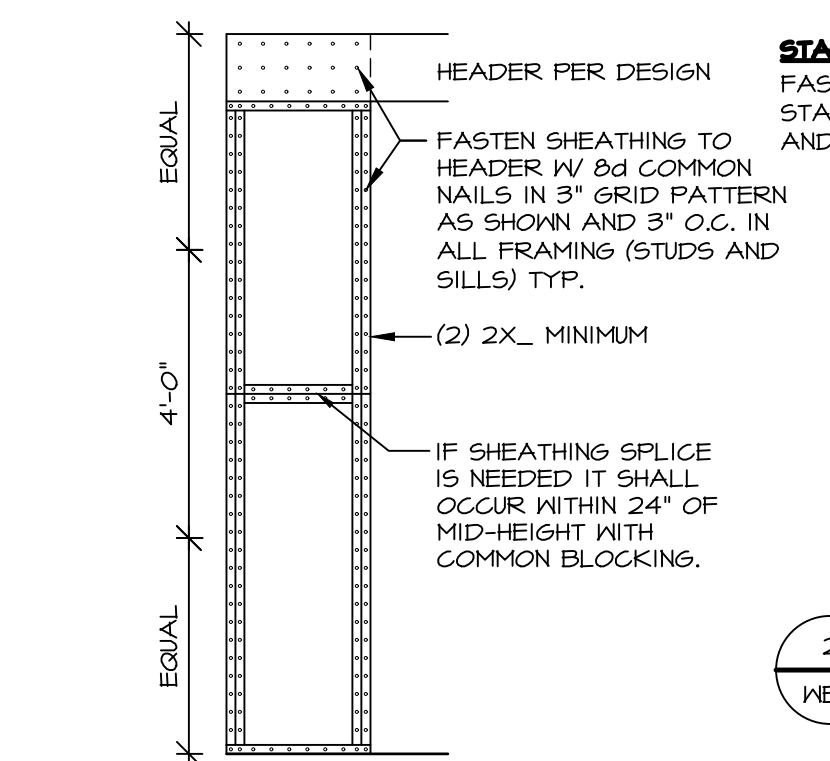


NVR, Inc.  
5285 Westwood Circle, Suite 100  
Frederick, MD 21703

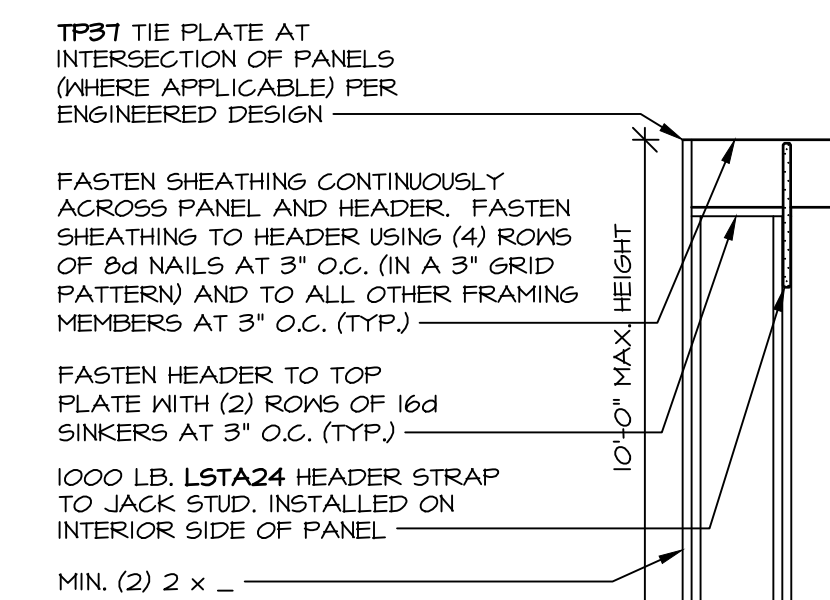
SET NO. D5F00	VERSION 01
RELEASE NO. ----	DRAWN BY BRK
DATE:	OPTION

MODEL DOMINICA SPRING	DRAWING TITLE BRACED WALL
SHEET NO. S-4	OPTION DESCRIPTION

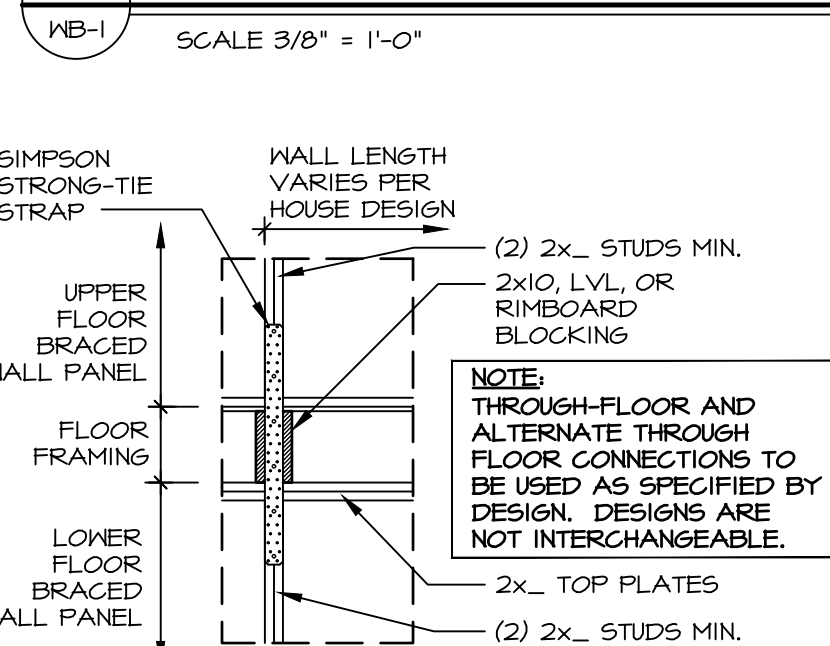




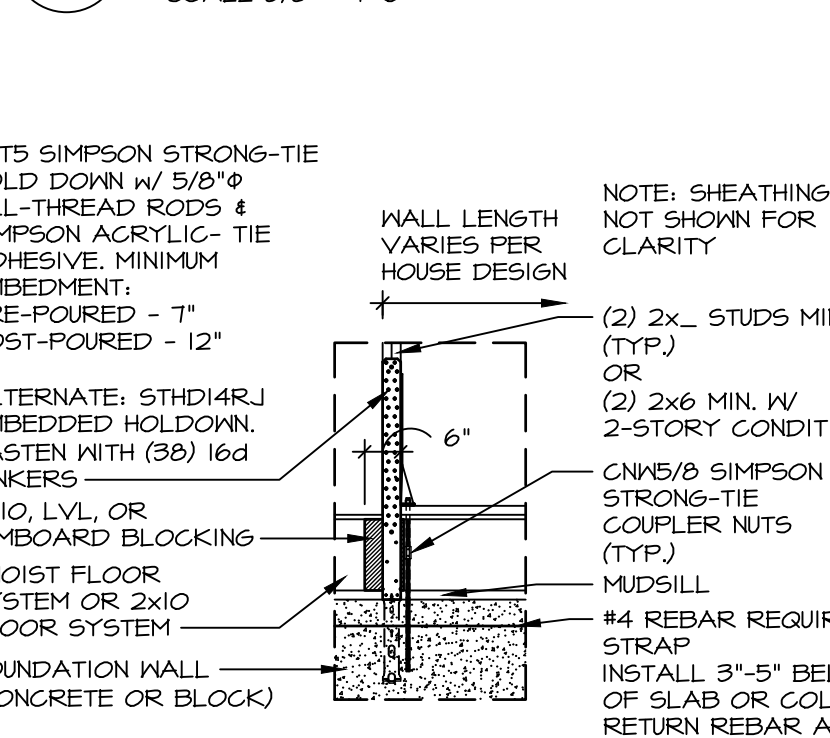
1  
WB-1  
SCALE 3/8" = 1'-0"



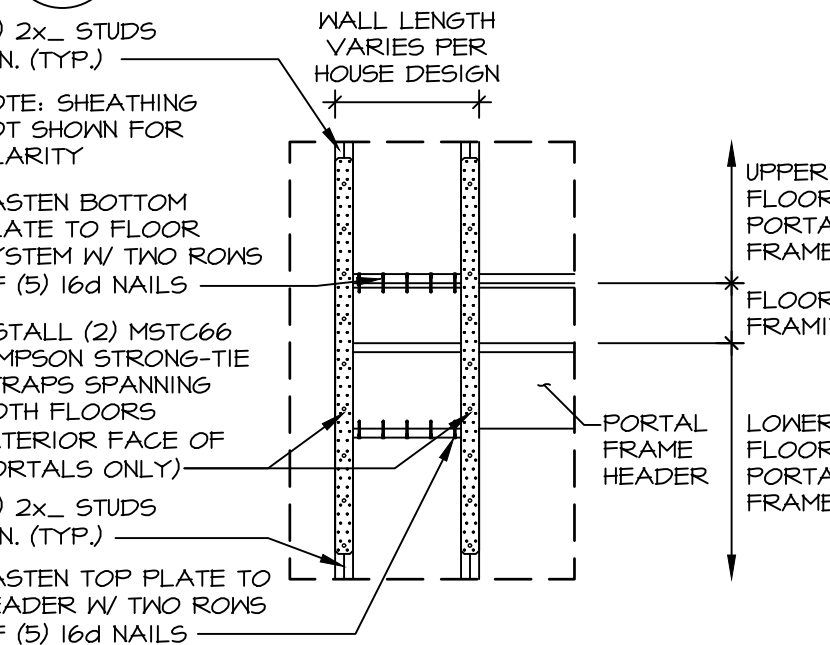
2  
WB-1  
SCALE 3/8" = 1'-0"



3  
WB-1  
SCALE 3/8" = 1'-0"



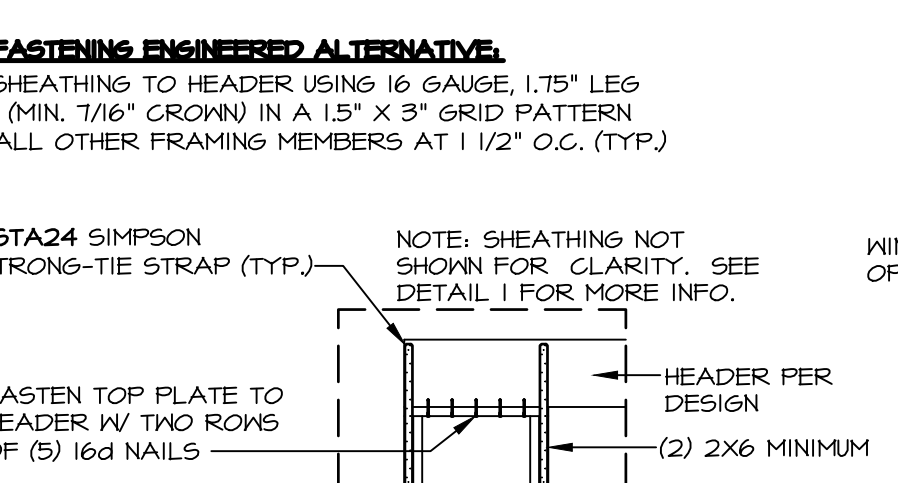
4  
WB-1  
SCALE 3/8" = 1'-0"



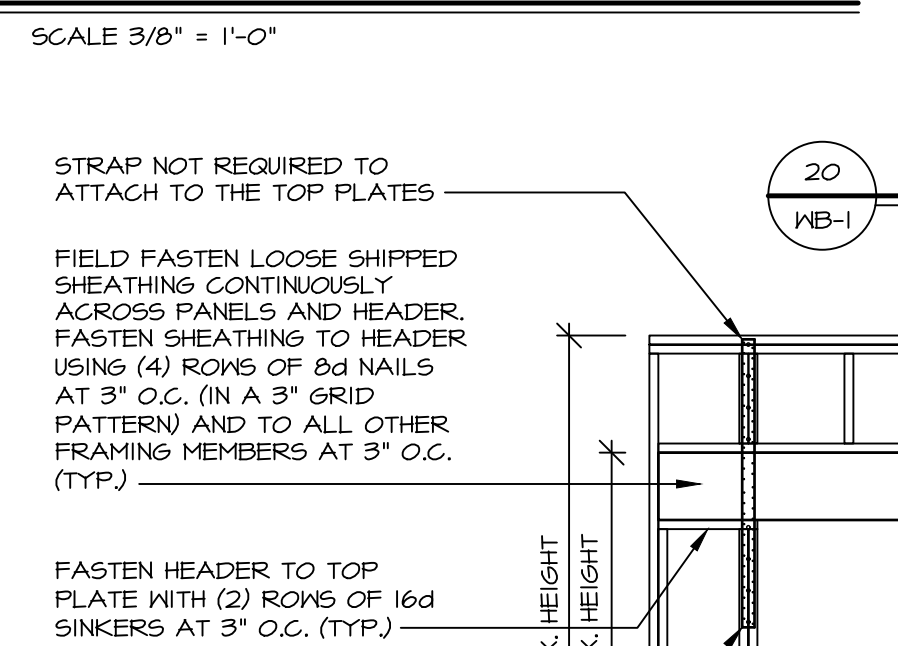
5  
WB-1  
SCALE 3/8" = 1'-0"



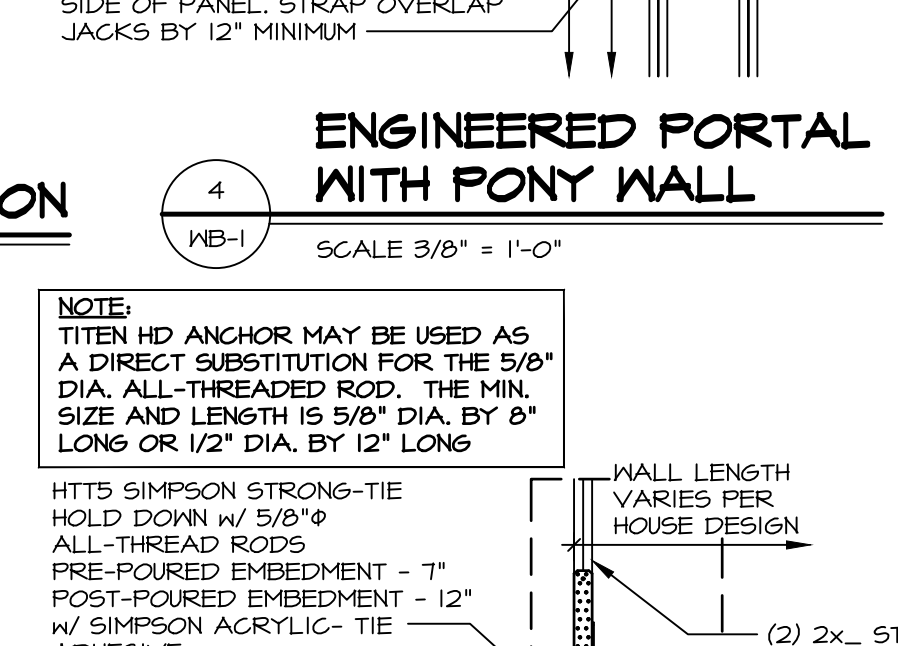
6  
WB-1  
SCALE 3/8" = 1'-0"



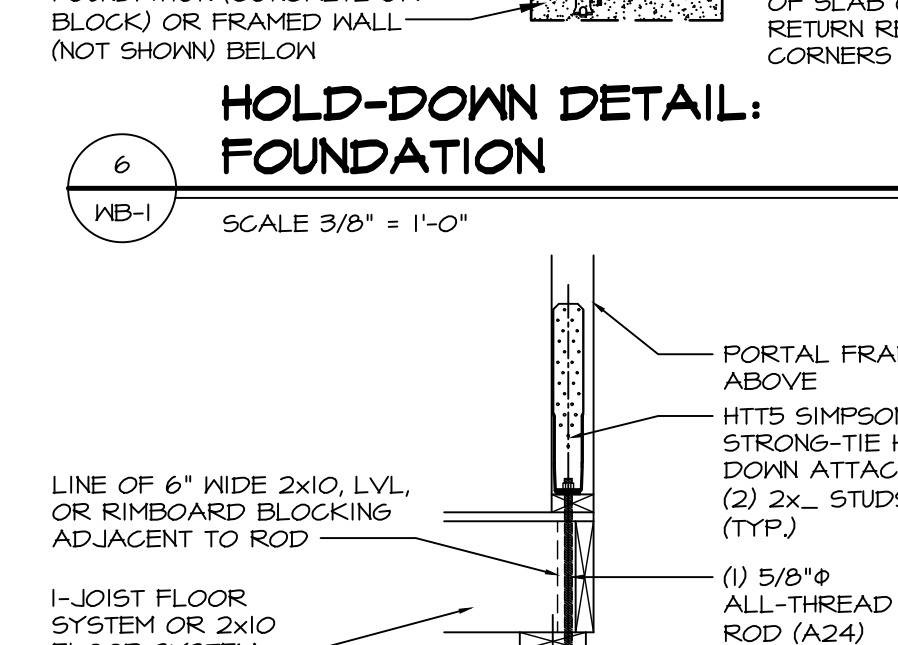
7  
WB-1  
SCALE 3/8" = 1'-0"



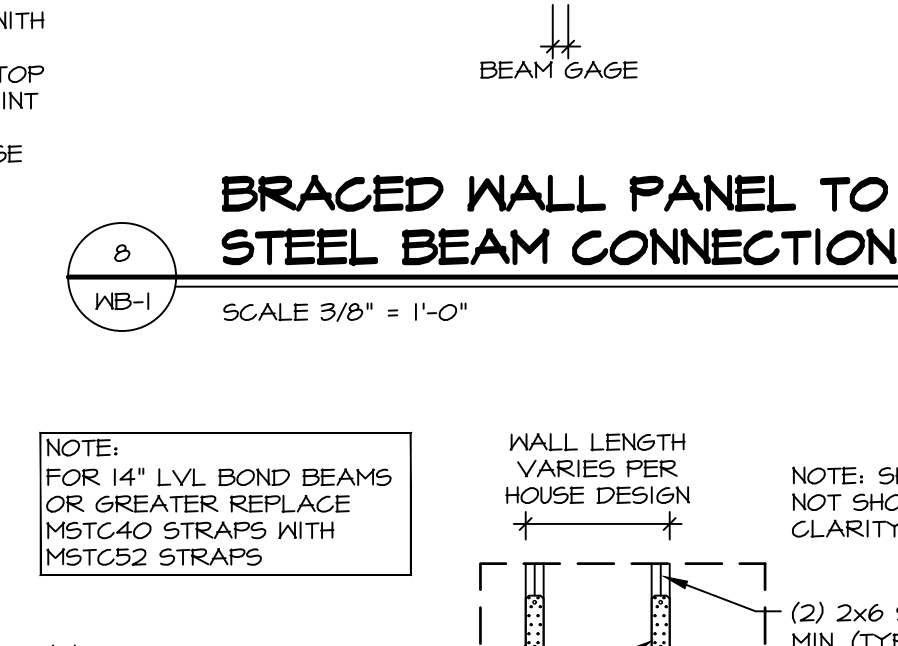
8  
WB-1  
SCALE 3/8" = 1'-0"



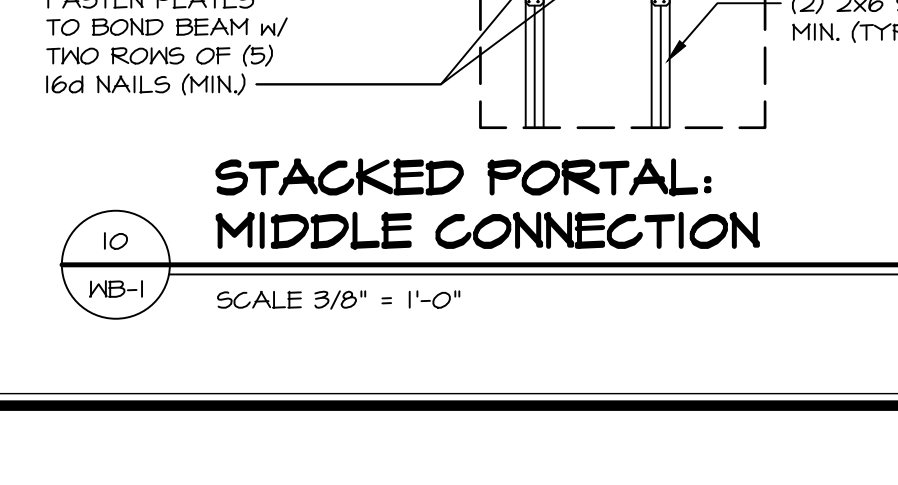
9  
WB-1  
SCALE 3/8" = 1'-0"



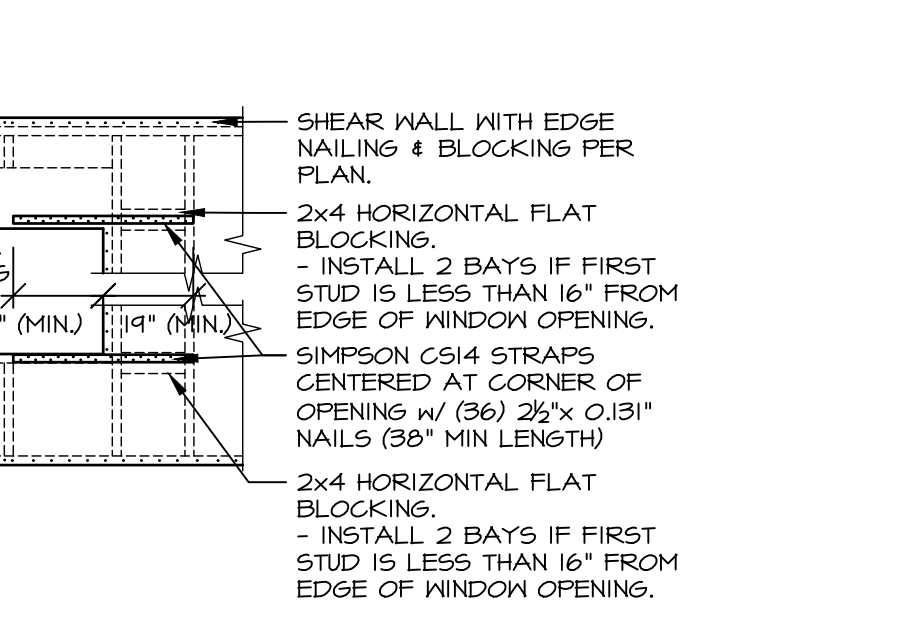
10  
WB-1  
SCALE 3/8" = 1'-0"



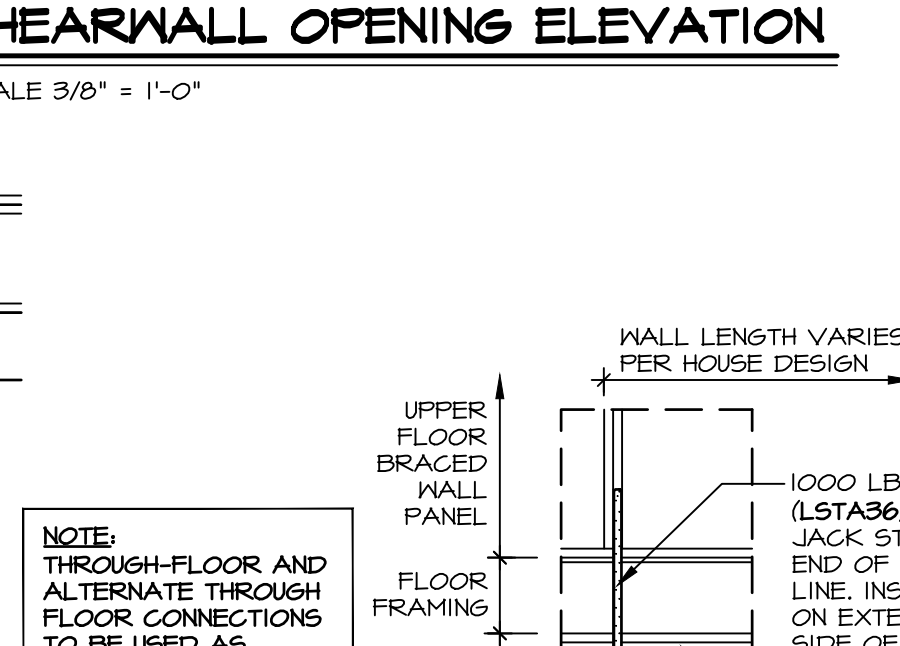
11  
WB-1  
SCALE 3/8" = 1'-0"



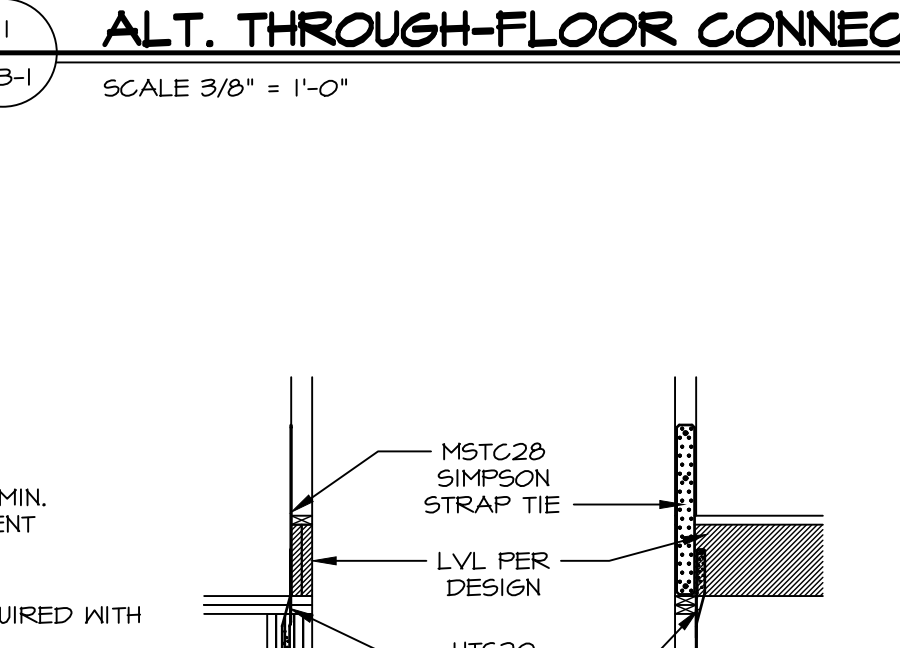
12  
WB-1  
SCALE 3/8" = 1'-0"



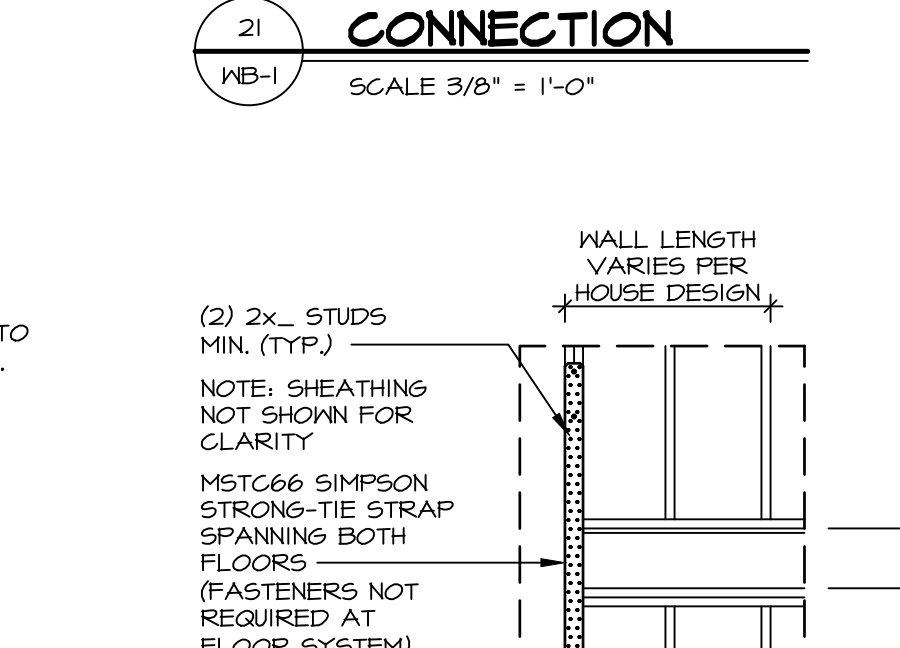
13  
WB-1  
SCALE 3/8" = 1'-0"



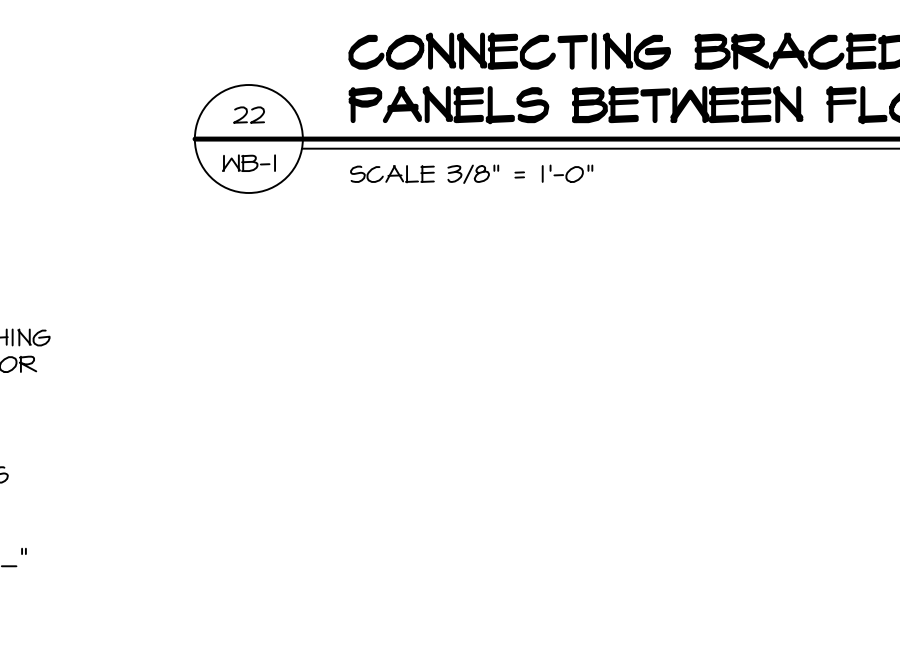
14  
WB-1  
SCALE 3/8" = 1'-0"



15  
WB-1  
SCALE 3/8" = 1'-0"



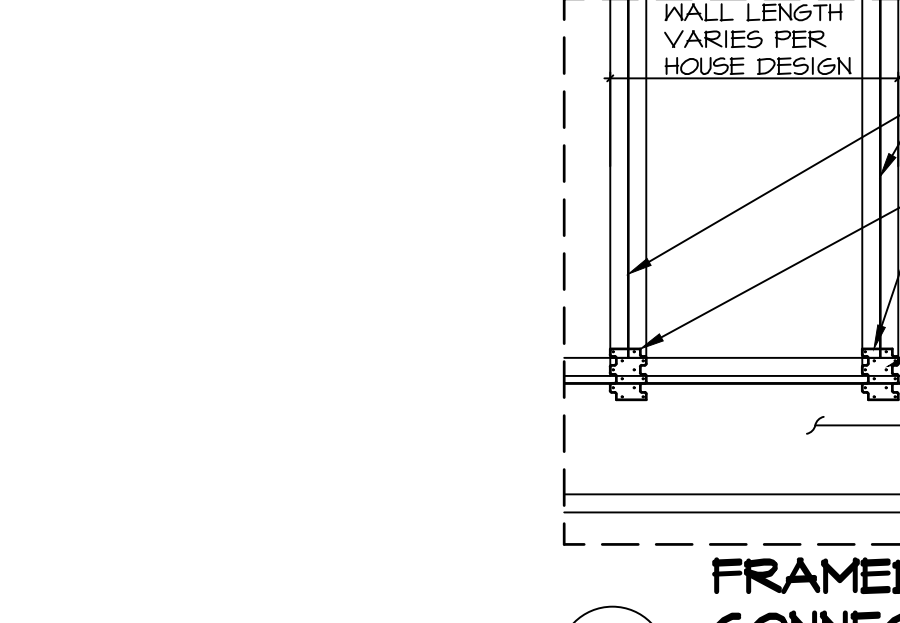
16  
WB-1  
SCALE 3/8" = 1'-0"



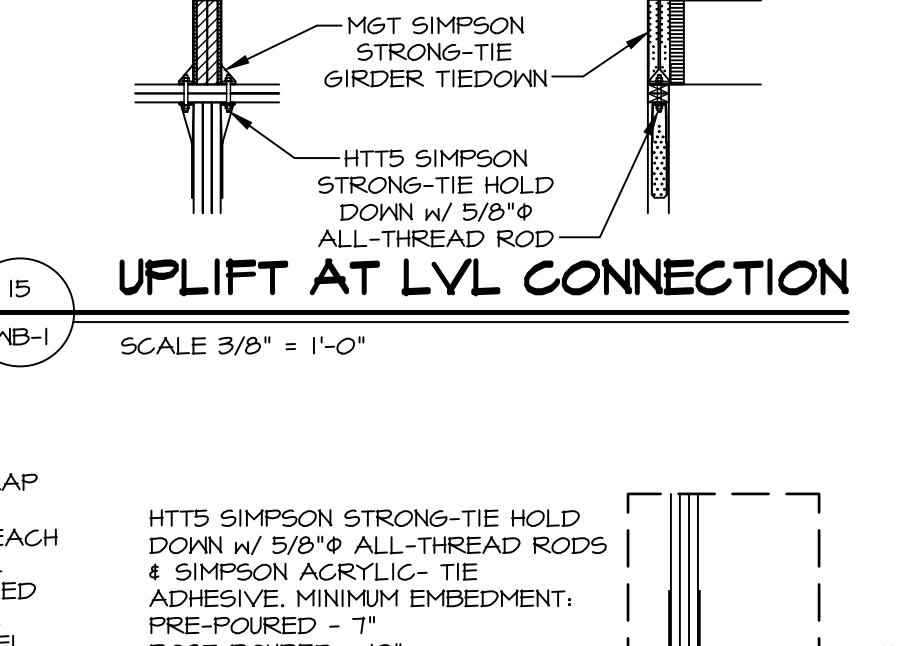
17  
WB-1  
SCALE 3/8" = 1'-0"



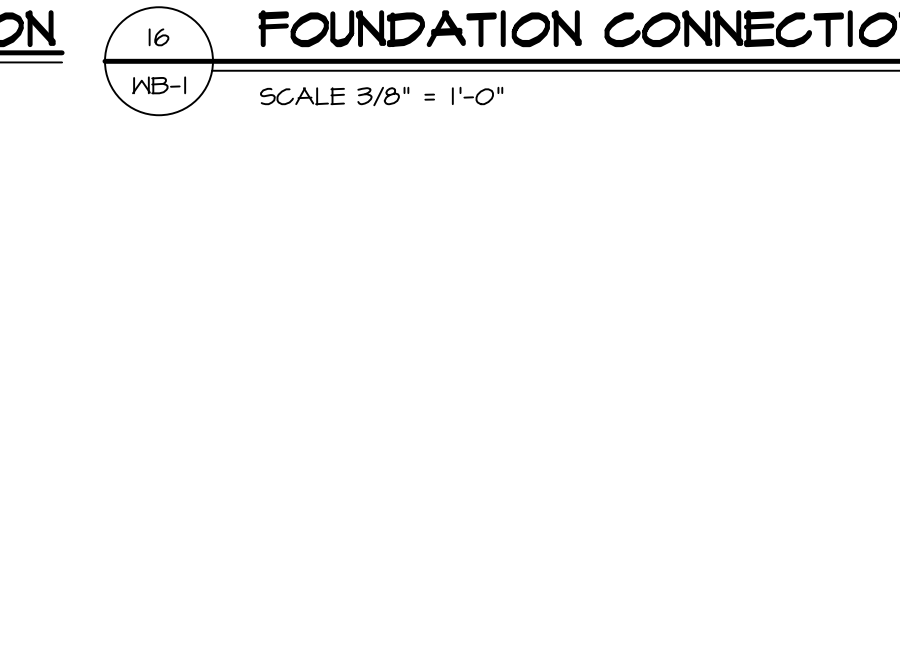
18  
WB-1  
SCALE 3/8" = 1'-0"



19  
WB-1  
SCALE 3/8" = 1'-0"



20  
WB-1  
SCALE 3/8" = 1'-0"



21  
WB-1  
SCALE 3/8" = 1'-0"



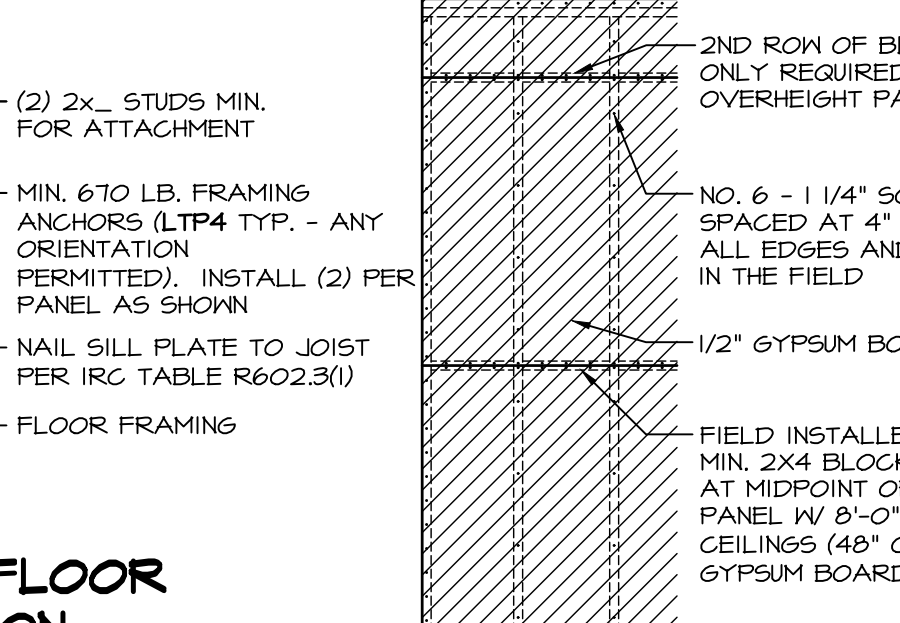
22  
WB-1  
SCALE 3/8" = 1'-0"



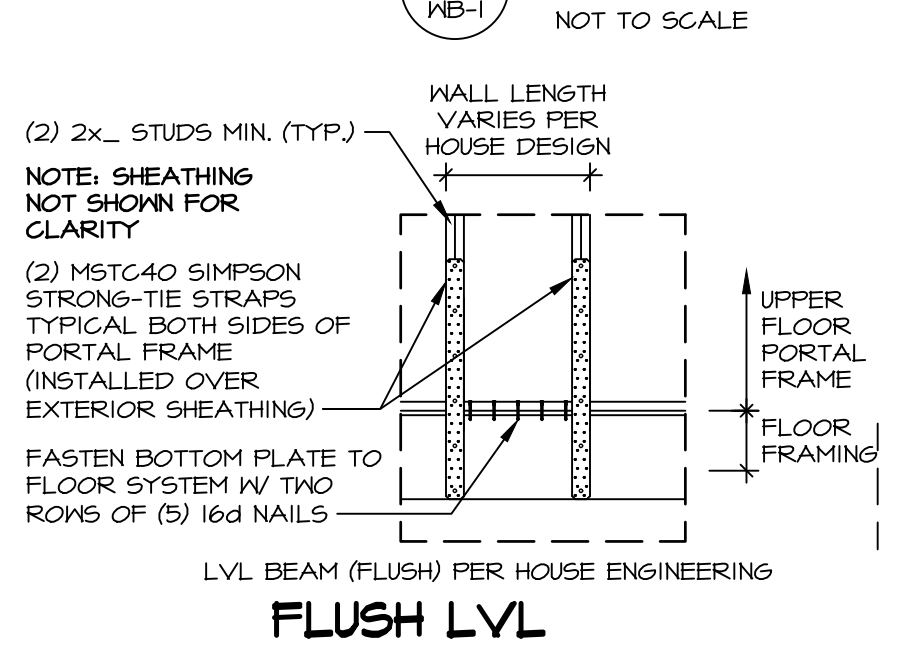
23  
WB-1  
SCALE 3/8" = 1'-0"



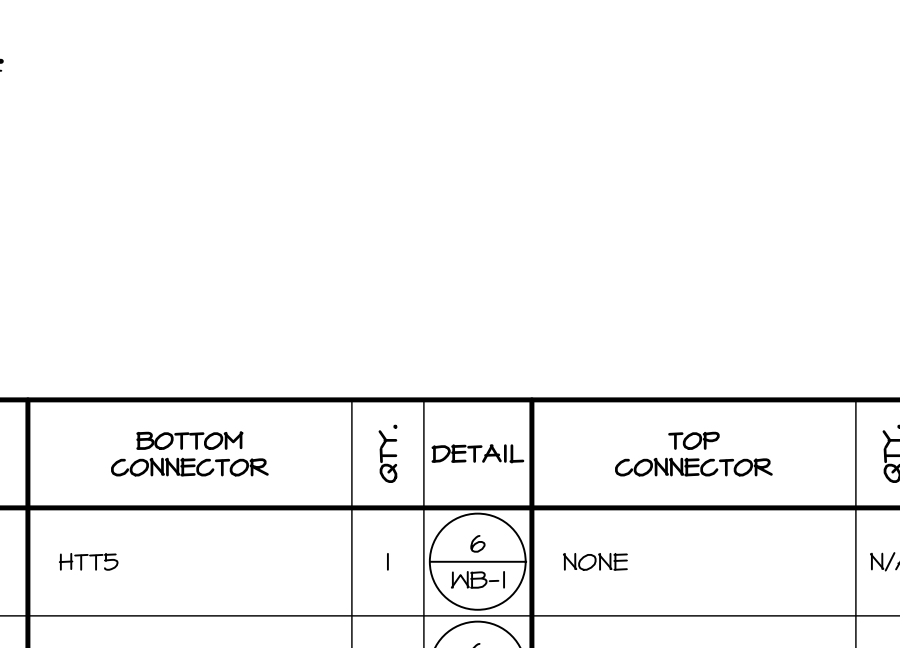
24  
WB-1  
SCALE 3/8" = 1'-0"



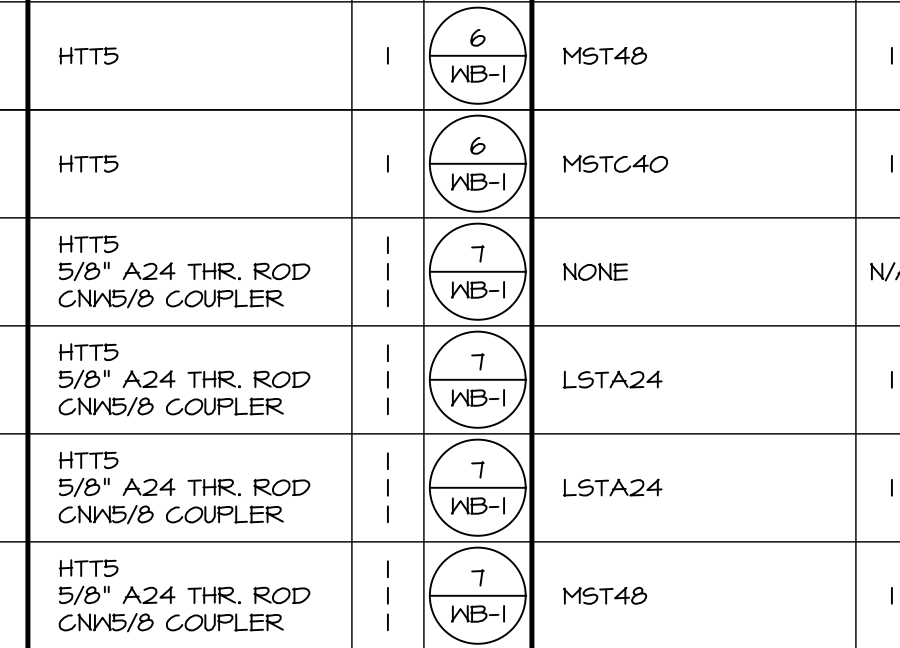
25  
WB-1  
SCALE 3/8" = 1'-0"



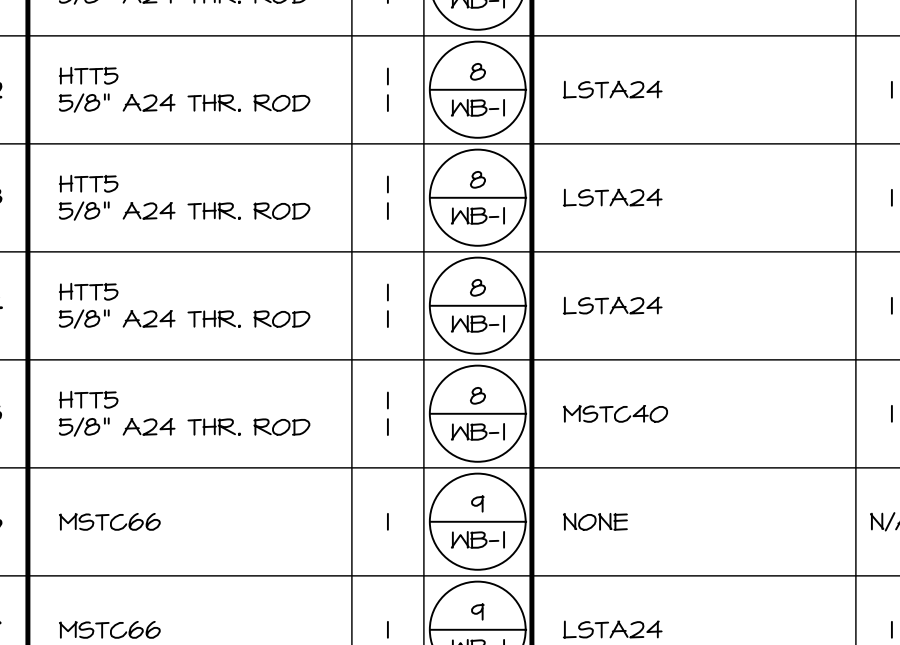
26  
WB-1  
SCALE 3/8" = 1'-0"



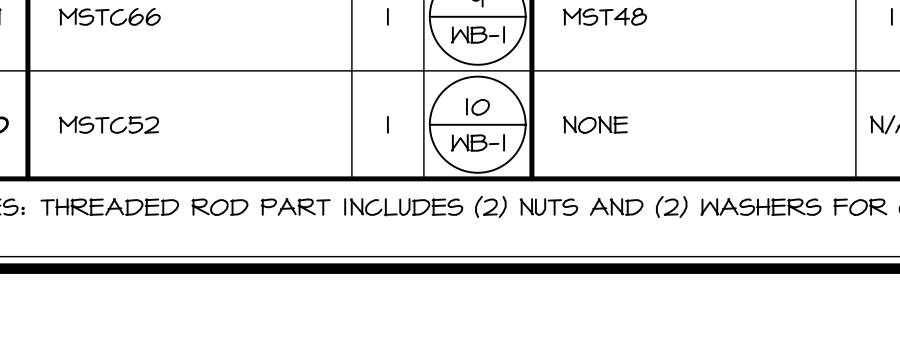
27  
WB-1  
SCALE 3/8" = 1'-0"



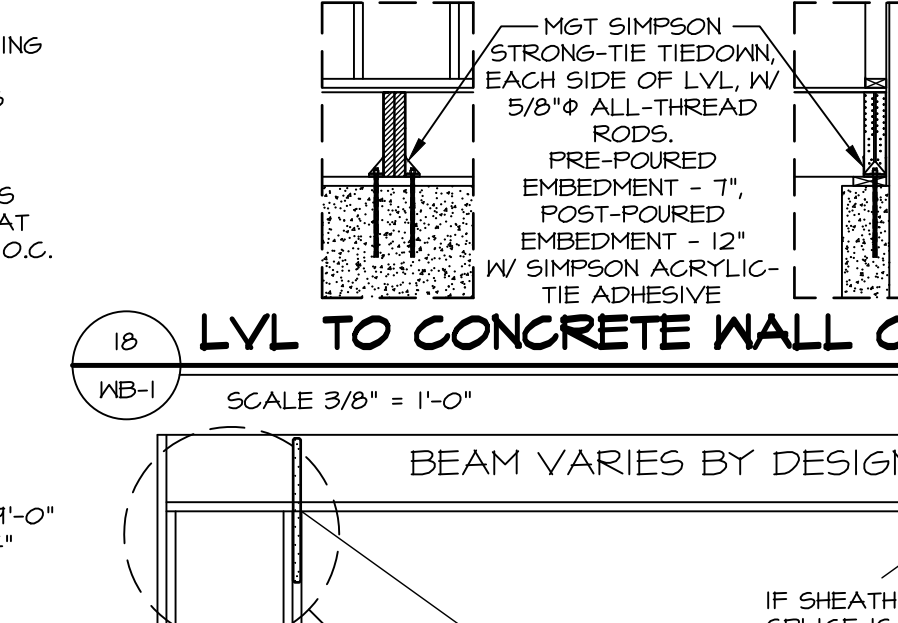
28  
WB-1  
SCALE 3/8" = 1'-0"



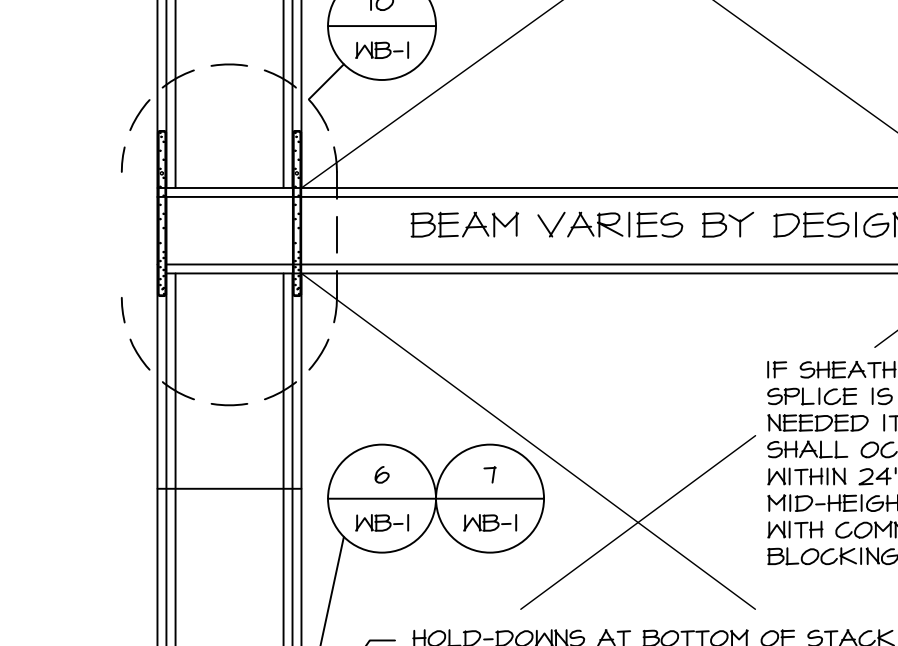
29  
WB-1  
SCALE 3/8" = 1'-0"



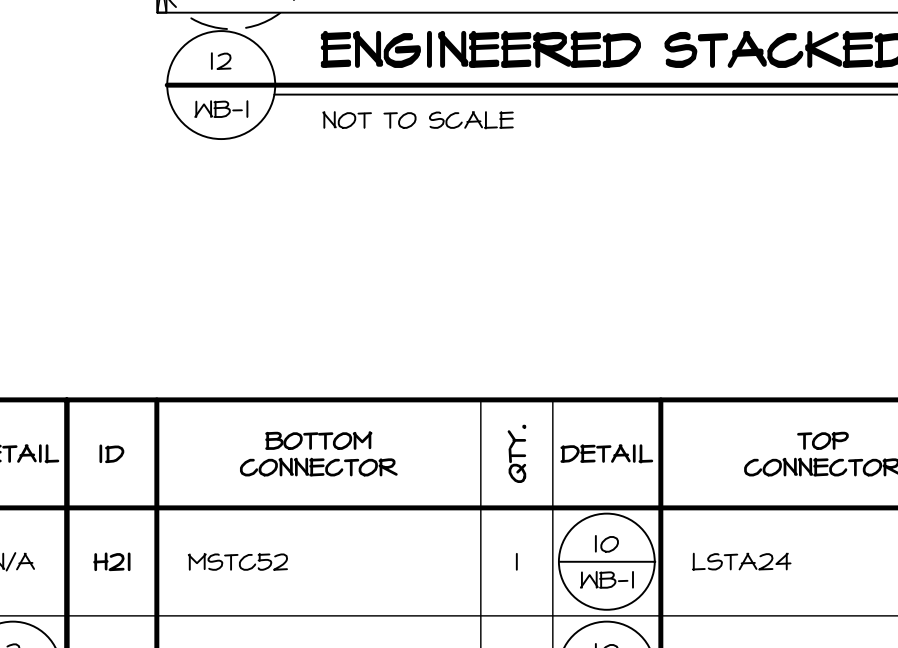
30  
WB-1  
SCALE 3/8" = 1'-0"



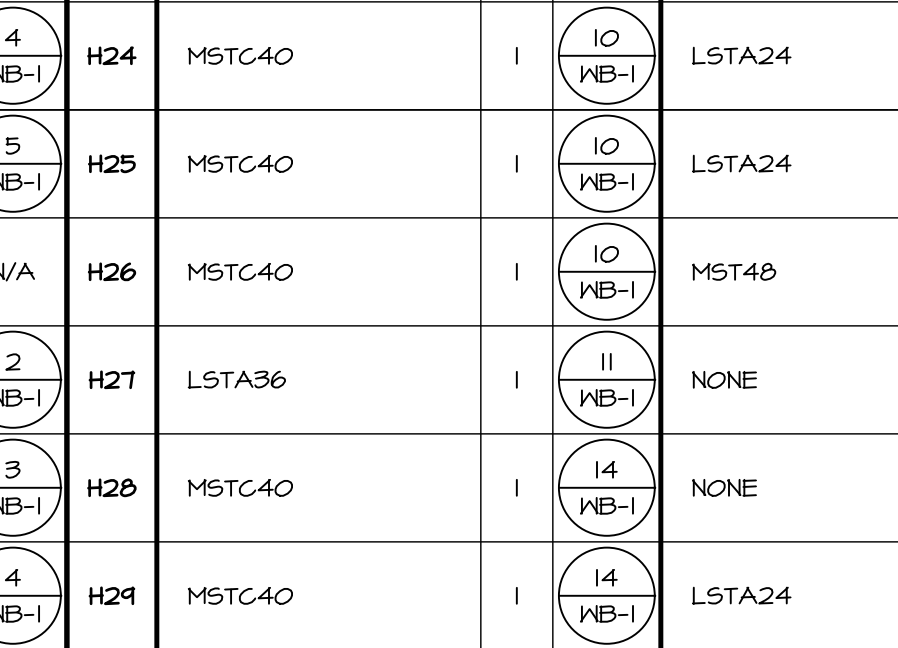
31  
WB-1  
SCALE 3/8" = 1'-0"



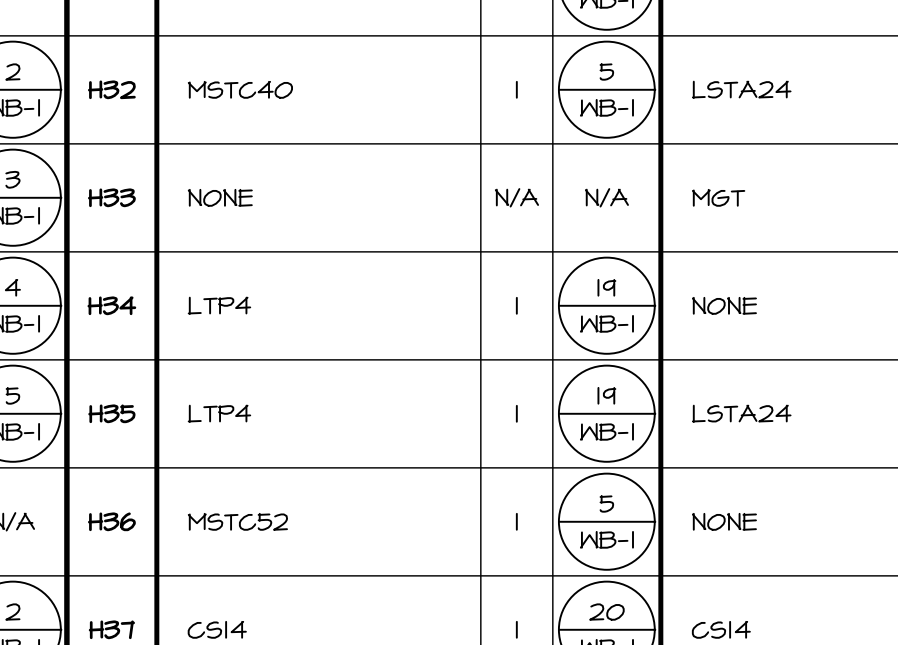
32  
WB-1  
SCALE 3/8" = 1'-0"



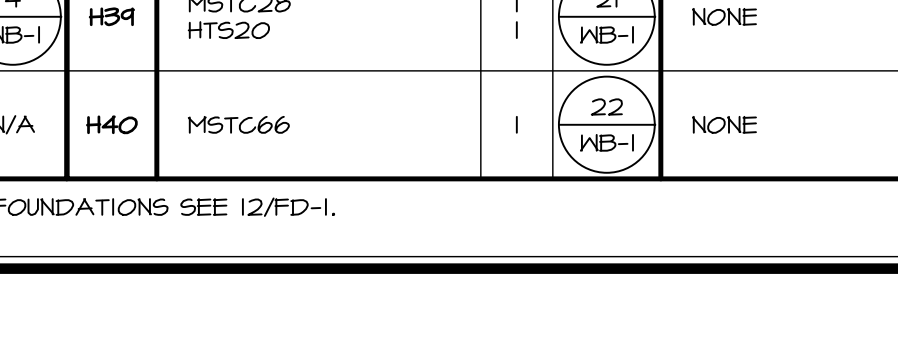
33  
WB-1  
SCALE 3/8" = 1'-0"



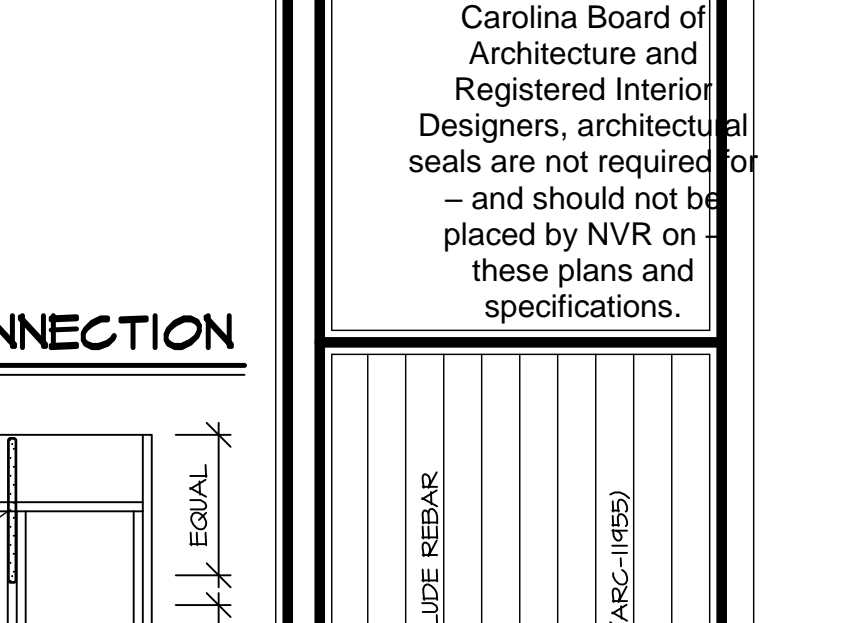
34  
WB-1  
SCALE 3/8" = 1'-0"



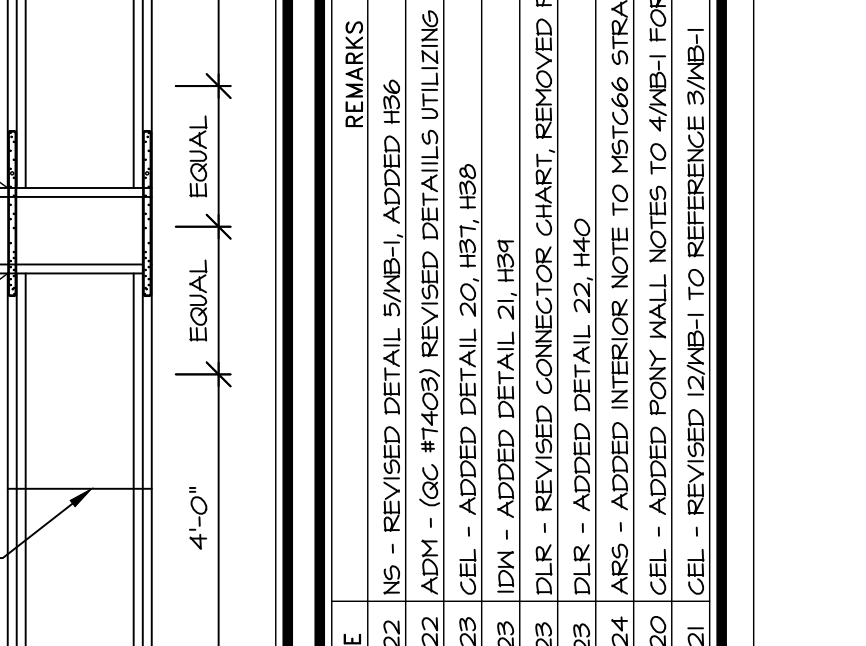
35  
WB-1  
SCALE 3/8" = 1'-0"



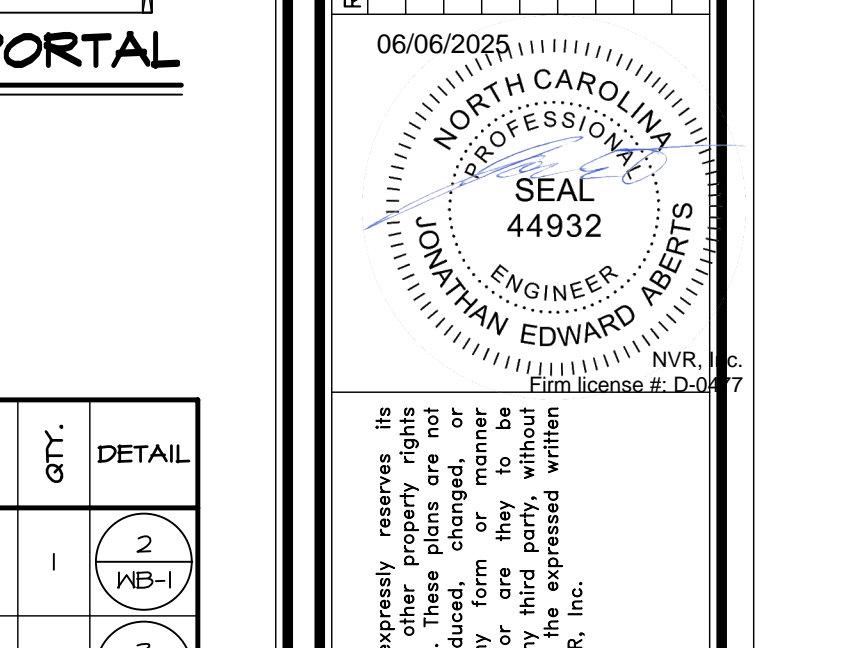
36  
WB-1  
SCALE 3/8" = 1'-0"



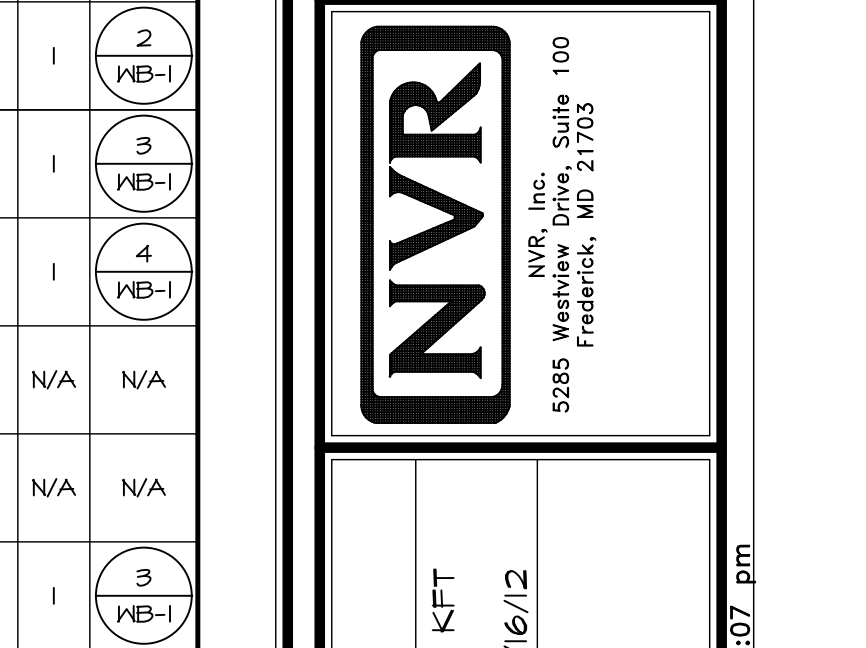
37  
WB-1  
SCALE 3/8" = 1'-0"



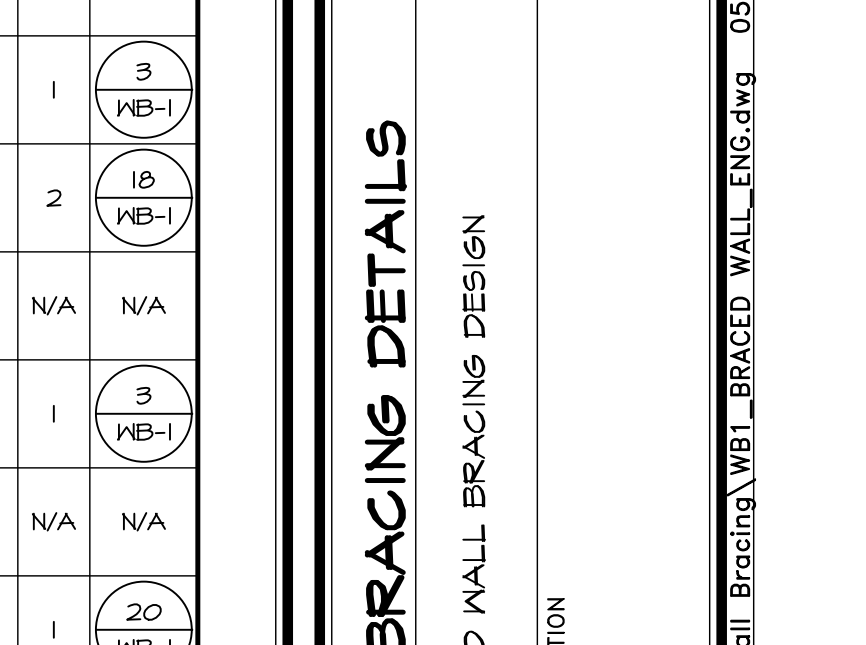
38  
WB-1  
SCALE 3/8" = 1'-0"



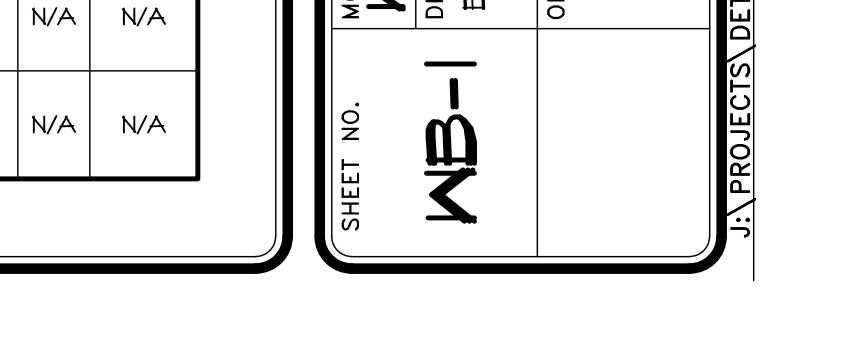
39  
WB-1  
SCALE 3/8" = 1'-0"



40  
WB-1  
SCALE 3/8" = 1'-0"



41  
WB-1  
SCALE 3/8" = 1'-0"



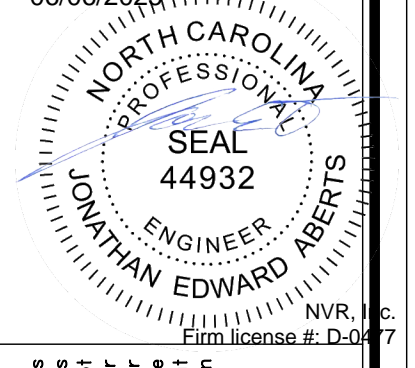
42  
WB-1  
SCALE 3/8" = 1'-0"

ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL	ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
H1	HTT5	1	WB-1	NONE	N/A	N/A	H21	MSTC52	1	WB-1	LSTA24	1	WB-1
H2	HTT5	1	WB-1	LSTA24	1	WB-1	H22	MSTC52	1	WB-1	LSTA24	1	WB-1
H3	HTT5	1	WB-1	LSTA24	1	WB-1	H23	MSTC52	1	WB-1	MST48	1	WB-1
H4	HTT5	1	WB-1	MST48	1	WB-1	H24	MSTC40	1	WB-1	LSTA24	1	WB-1
H5	HTT5	1	WB-1	MSTC40	1	WB-1	H25	MSTC40	1	WB-1	LSTA24	1	WB-1
H6	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	NONE	N/A	N/A	H26	MSTC40	1	WB-1	MST48	1	WB-1
H7	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	LSTA24	1	WB-1	H27	LSTA36	1	WB-1	NONE	N/A	N/A
H8	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	LSTA24	1	WB-1	H28	MSTC40	1	WB-1	NONE	N/A	N/A
H9	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	MST48	1	WB-1	H29	MSTC40	1	WB-1	LSTA24	1	WB-1
H10	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	MSTC40	1	WB-1	H30	HTT5	2	WB-1	MST HTT5 5/8" A24 THR. ROD	2	WB-1
H11	HTT5 5/8" A24 THR. ROD	1	WB-1	NONE	N/A	N/A	H31	MSTC40	1	WB-1	NONE	N/A	N/A
H12	HTT5 5/8" A24 THR. ROD	1	WB-1	LSTA24	1	WB-1	H32	MSTC40	1	WB-1	LSTA24	1	WB-1
H13	HTT5 5/8" A24 THR. ROD	1	WB-1	LSTA24	1	WB-1	H33	NONE	N/A	N/A	MGT	2	WB-1
H14	HTT5 5/8" A24 THR. ROD	1	WB-1	LSTA24	1	WB-1	H34	LTP4	1	WB-1	NONE	N/A	N/A
H15	HTT5 5/8" A24 THR. ROD	1	WB-1	MSTC40	1	WB-1	H35	LTP4	1	WB-1	LSTA24	1	WB-1
H16	MSTC66	1	WB-1	NONE	N/A	N/A	H36	MSTC52	1	WB-1	NONE	N/A	N/A
H17	MSTC66	1	WB-1	LSTA24	1	WB-1	H37	CS14	1	WB-1	CS14	1	WB-1
H18	MSTC66	1	WB-1	LSTA24	1	WB-1	H38	NONE	N/A	N/A	CS14	1	WB-1
H19	MSTC66	1	WB-1	MST48	1	WB-1	H39	MSTC28 HTS20	1	WB-1	NONE	N/A	N/A
H20	MSTC52	1	WB-1	NONE	N/A	N/A	H40	MSTC66	1	WB-1	NONE	N/A	N/A

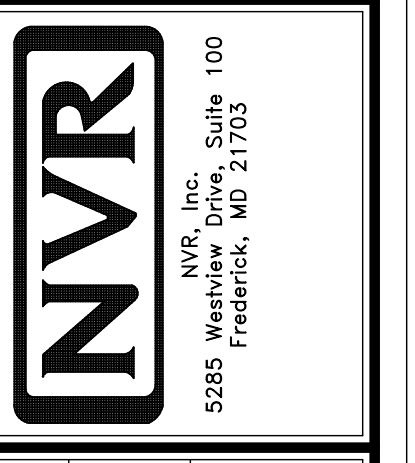
NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS FOR CMU FOUNDATIONS SEE 12/FD-1.

As directed by the North Carolina Board of Registered Interior Designers, architectural seals are not required – and should not be placed by NVR on these plans and specifications.

REV. NO.	DATE	REMARKS
1	2/16/22	NB - REVISED DETAIL 5/WB-1, ADDED HB6
2	2/16/22	ADN - (CG HT408) REVISED DETAILS UTILIZING STUDS TO INCLUDE REBAR
3	6/14/23	CEL - ADDED DETAIL 20, 157, 158
4	9/12/23	LDX - REVISED CONNECTOR CHART, REMOVED PART NUMBERS
5	9/12/23	DLR - ADDED DETAIL 22, H40
6	11/01/24	JAS - ADDED INTERIOR NOTE TO MSTC66 STRAPS DETAIL #4 (ARC-1195)
7	3/29/20	CEL - ADDED DETAIL 10 FOR STRAP
8	11/01/20	CEL - REVISED DETAIL 10 TO REFERENCE 8/WB-1

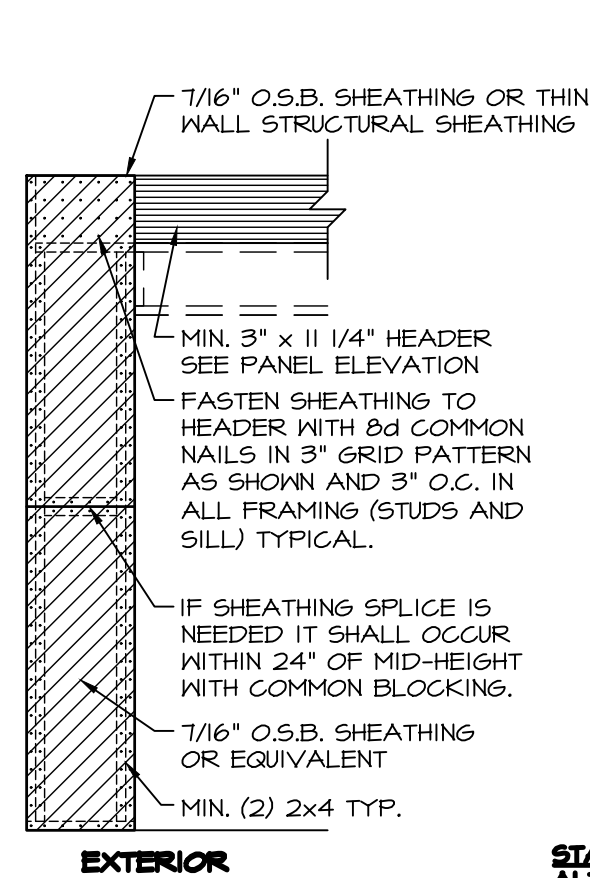
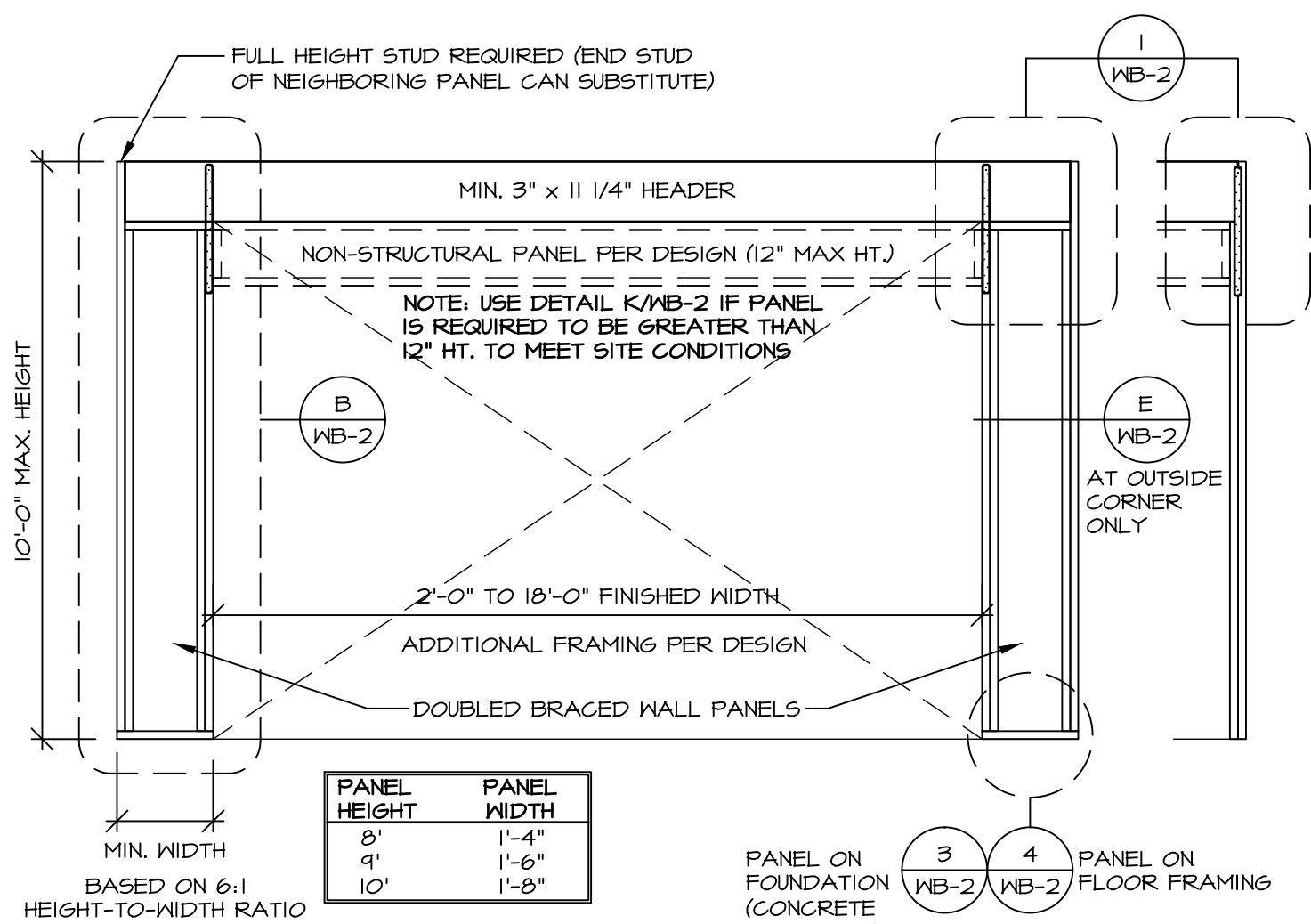


NVR, Inc. The owner, expressly reserves its copyright and other property rights in this drawing. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of NVR, Inc.



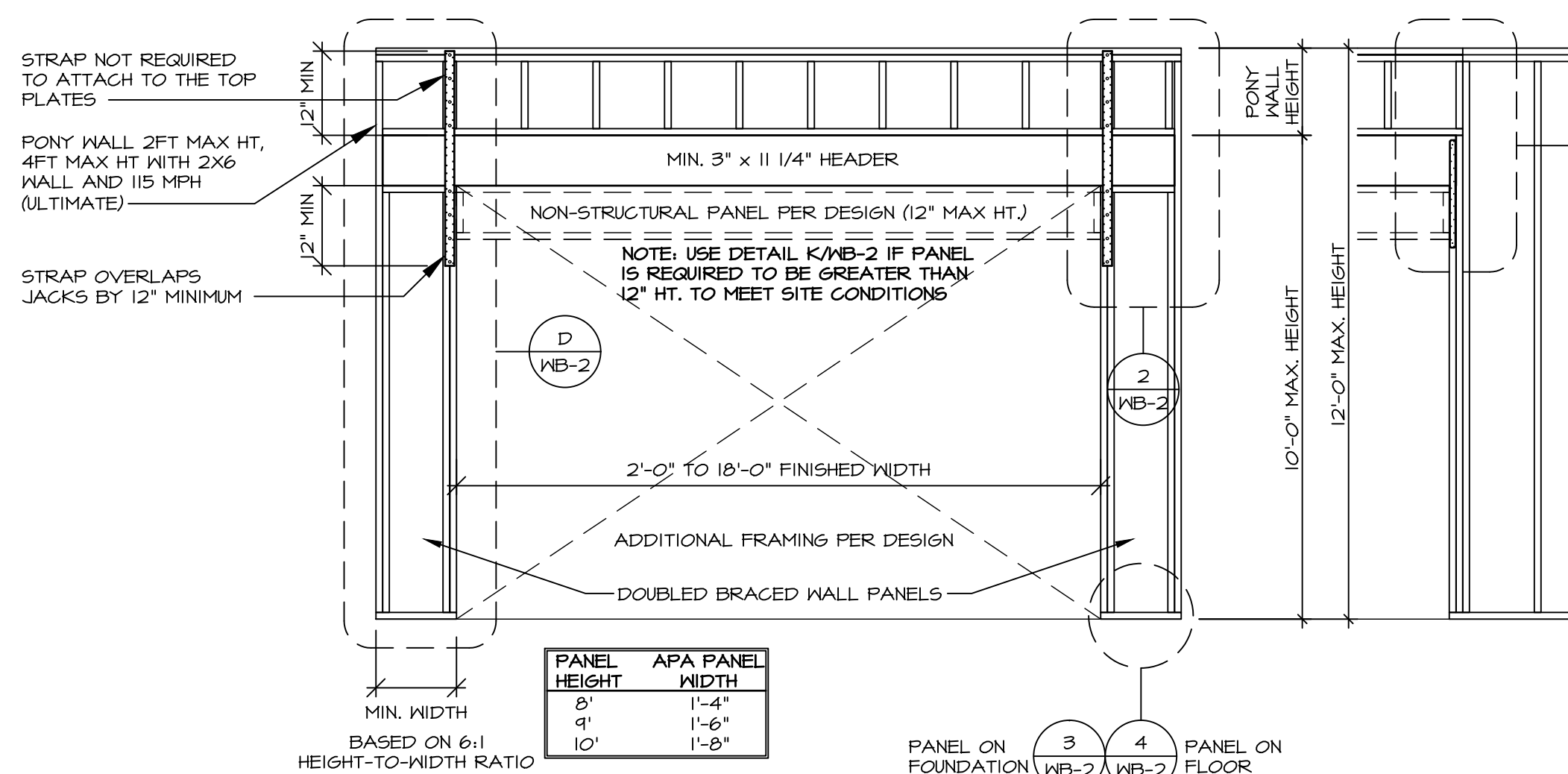
SHEET NO.	MODEL	WALL BRACING DETAILS	VERSION	DRAWN BY	KFT	DATE	2/16/12	OPTION	DESCRIPTION
WB-1		ENGINEERED WALL BRACING DESIGN							





## PORTAL FRAME: SHEATHING APPLICATION DETAIL

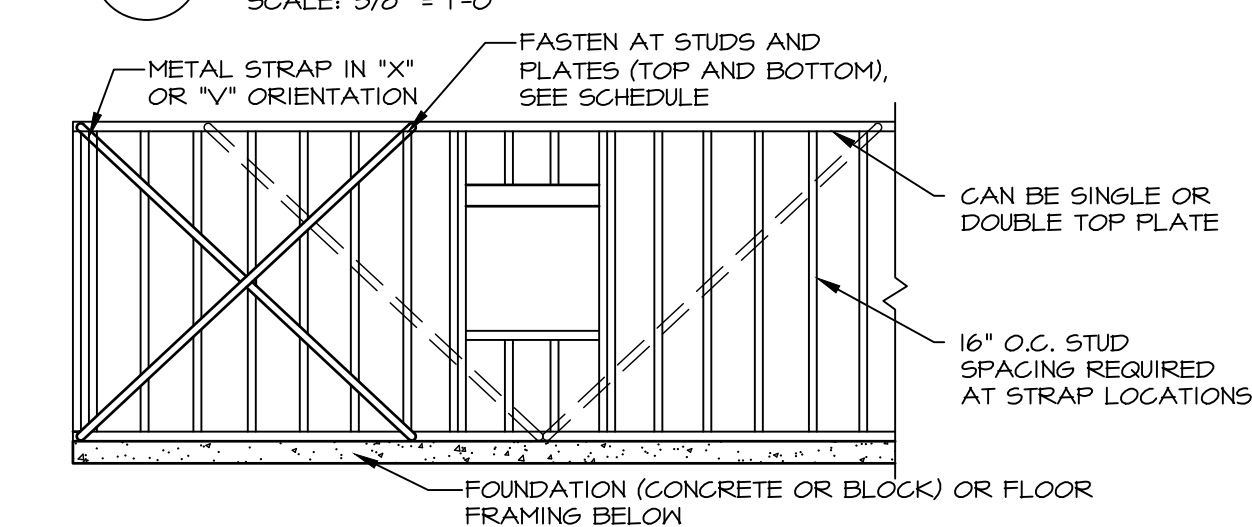
**STAPLE FASTENER ENGINEERED ALTERNATIVE FOR O.S.B.**  
FASTEN SHEATHING TO HEADER USING 16 GAUGE, 1 3/4" LEG STAPLES (MIN. 15/16" CROWN) IN A 3" X 1 1/2" GRID PATTERN AND TO ALL OTHER FRAMING MEMBERS AT 1 1/2" O.C. (TYP.)



## ALTERNATE PORTAL FRAME

## ALTERNATE PORTAL FRAME: SHEATHING APPLICATION DETAIL

## CONTINUOUSLY SHEATHED PORTAL FRAME



SIMPSON STRONG-TIE	FASTENERS
LIB-A = MB106	(3) 16d
LIB-B = MB126	(3) 16d (1) 8d
LIB-C = MB143G	(4) 16d

## LET-IN BRACING

NOT TO SCALE

## BLOCKED WALL CONSTRUCTION

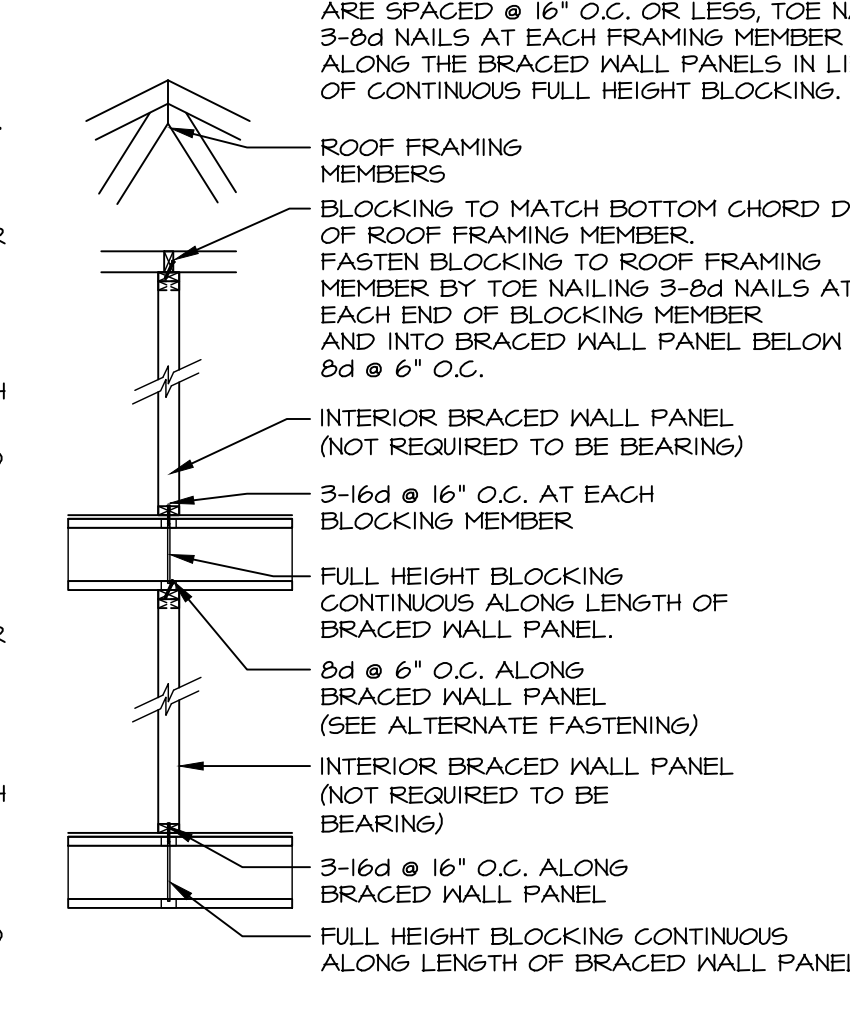
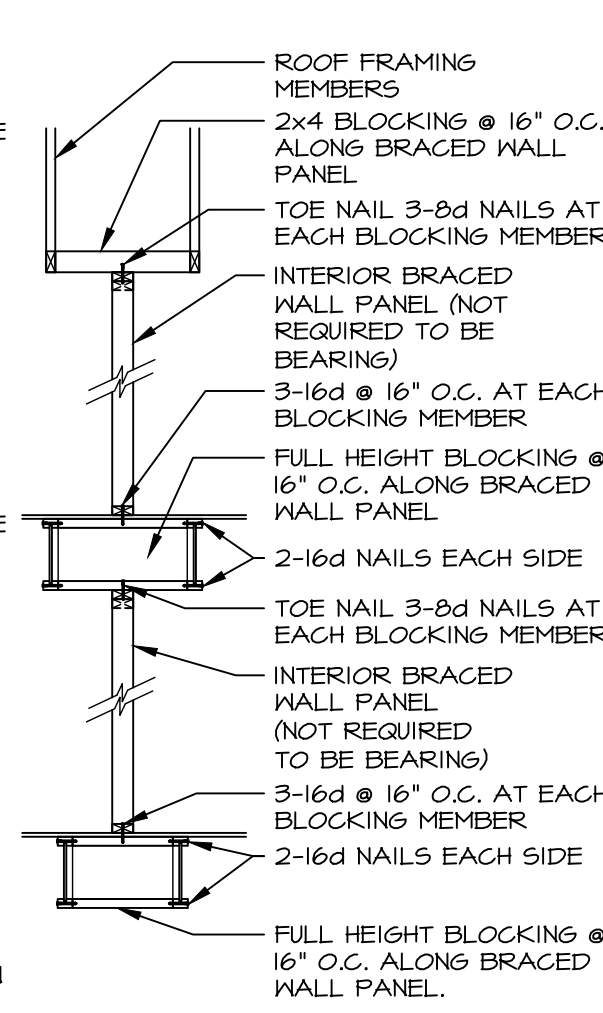
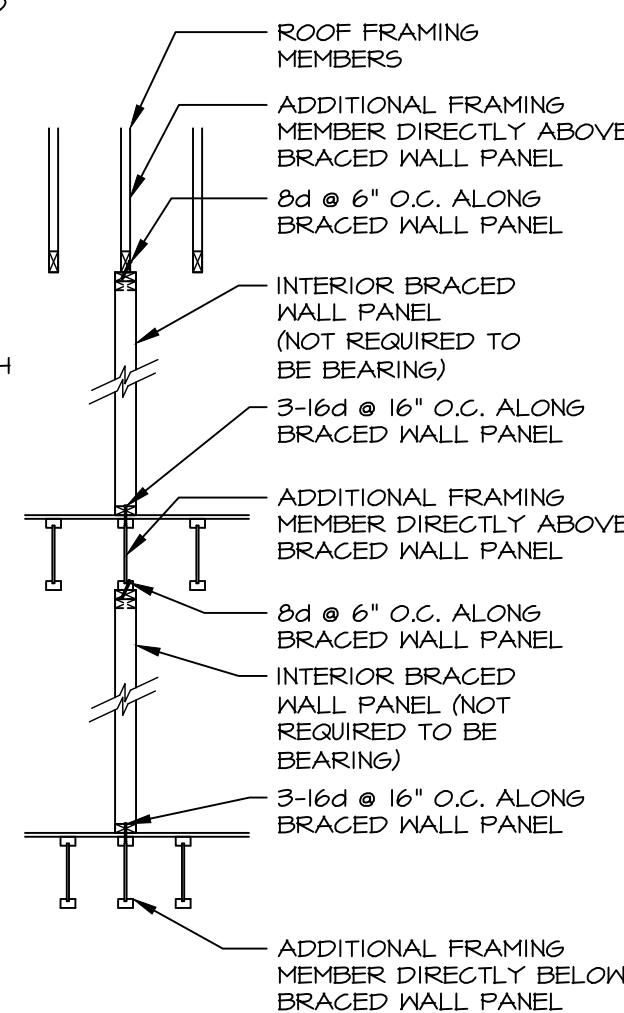
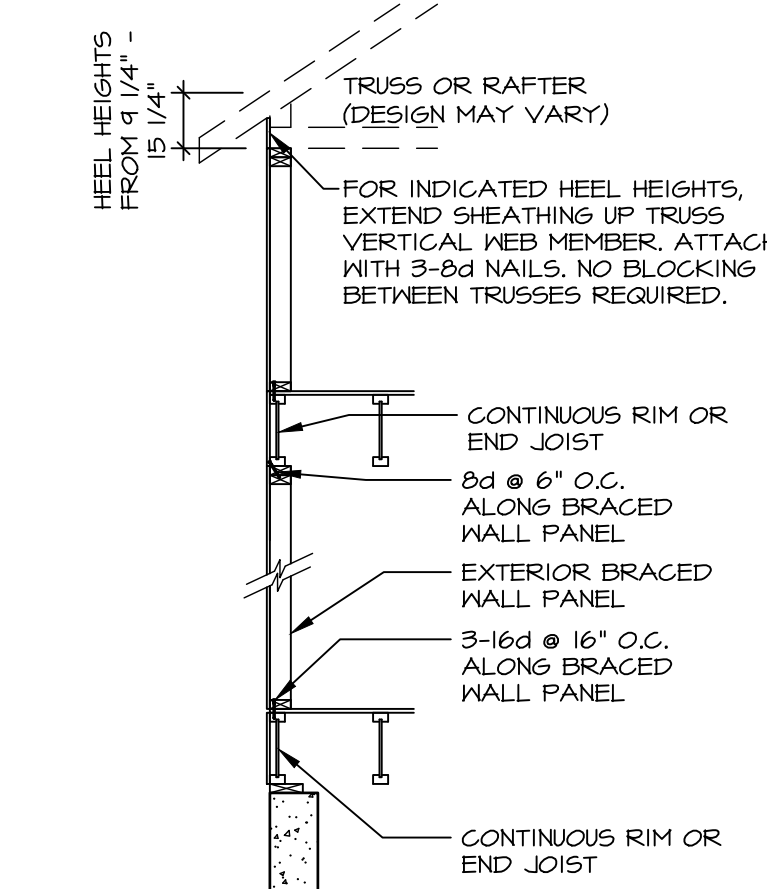
NOT TO SCALE

## INFILL PANEL DETAIL

NOT TO SCALE

**NOTE:** FOR TRUSSES WITH HEEL HEIGHTS GREATER THAN 15'-1/4", THE INTERIOR CEILING DIAPHRAGM AND EXTERIOR SHEATHING INSTALLED ON EXPOSED TRUSS HEELS ARE USED FOR LATERAL SUPPORT.

SEE ALTERNATE EXTERIOR WALL BRACING PANEL AS REQUIRED WITH CANTILEVER.

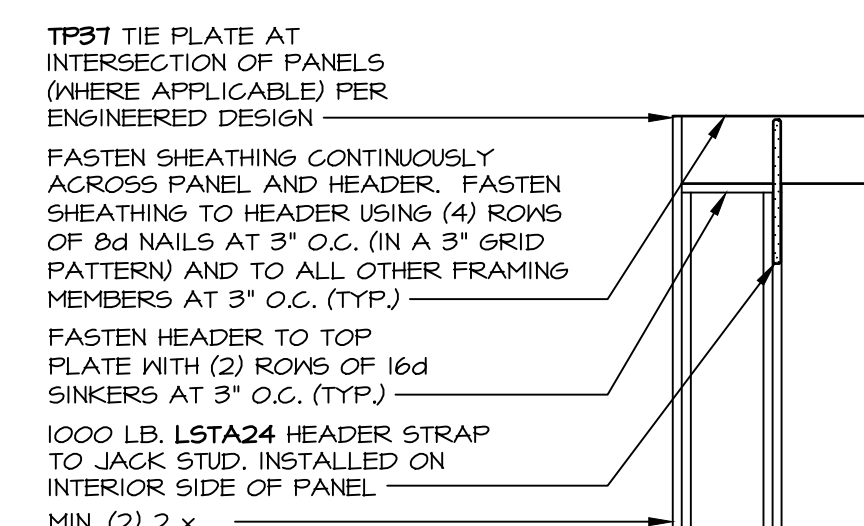


## WALL BRACING PANEL CONNECTION DETAILS

SCALE: 3/8" = 1'-0"

APPLIES TO I-JOIST, NOMINAL LUMBER AND FLOOR TRUSS FLOOR SYSTEMS

**NOTE:** STD EMBEDDED HOLD DOWN FOR USE WITH POURED FOUNDATION WALLS ONLY.



## CONTINUOUSLY SHEATHED PORTAL: TYP. HEADER / PANEL CONNECTION

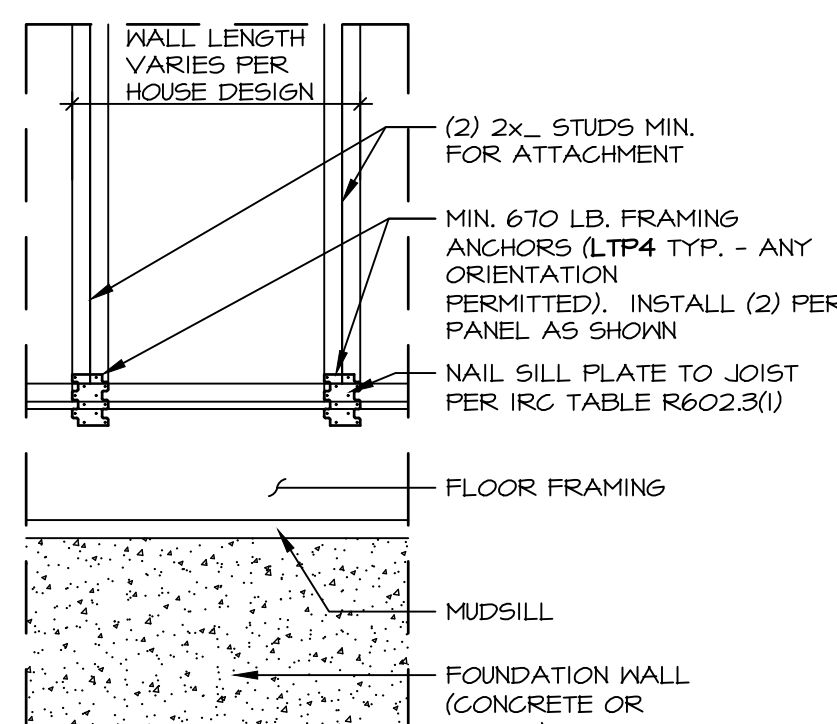
SCALE: 3/8" = 1'-0"

## ALTERNATE PORTAL FRAME: HEADER / PANEL CONNECTION

SCALE: 3/8" = 1'-0"

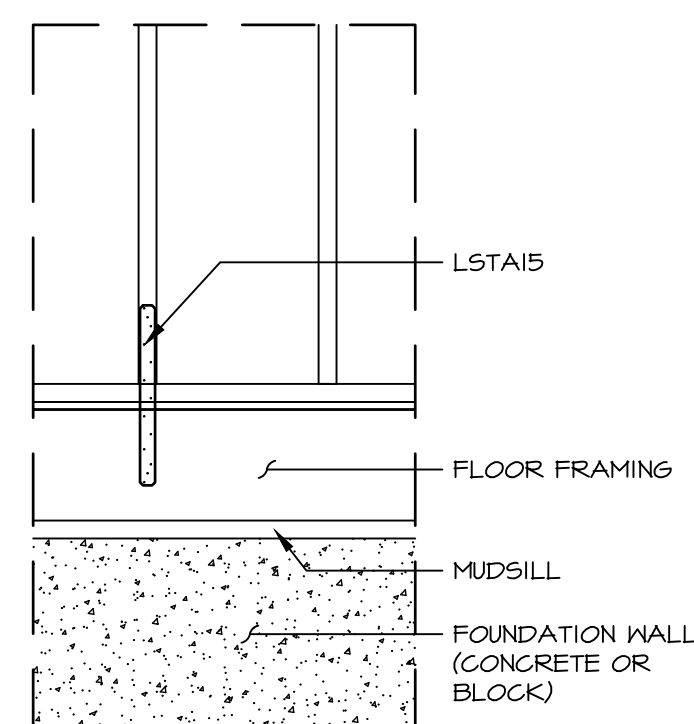
## HOLD-DOWN DETAIL: FOUNDATION

SCALE: 3/4" = 1'-0"



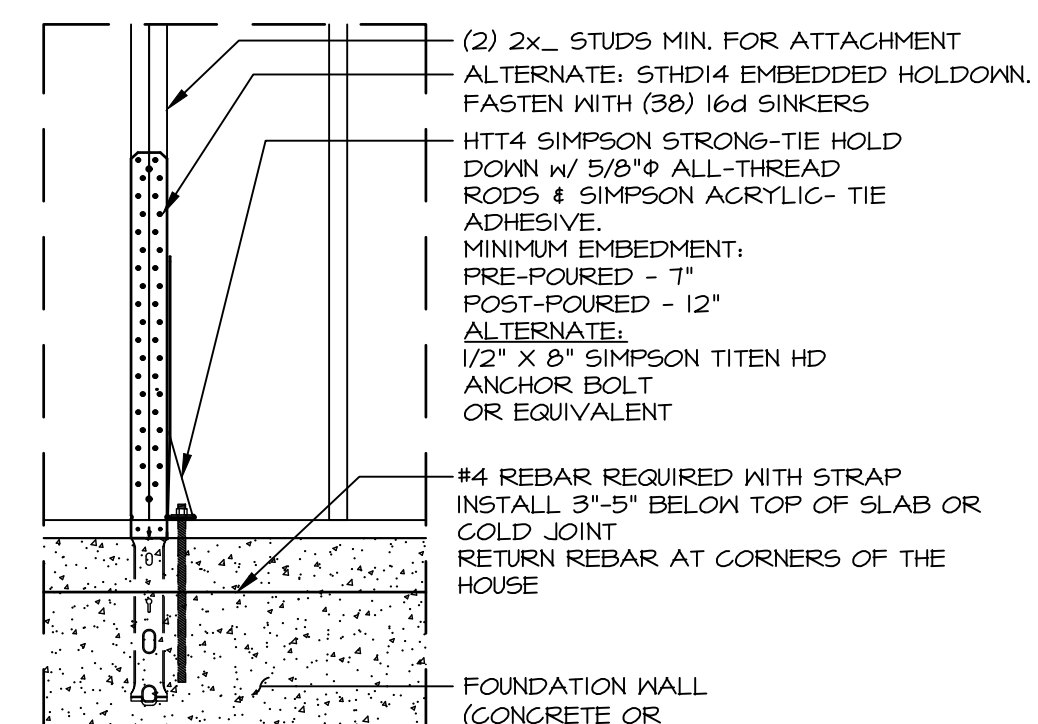
## HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0"



## HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0"



## HOLD-DOWN DETAIL: FOUNDATION

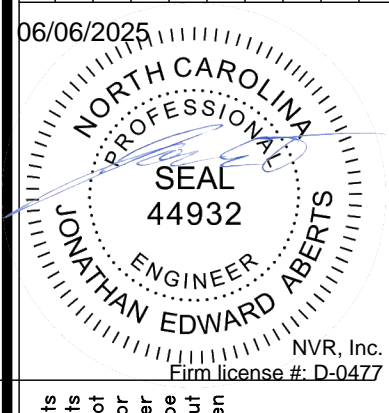
SCALE: 3/4" = 1'-0"

ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
P1	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) MB-2	NONE	N/A	N/A
P2	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) MB-2	LSTA24	1	(1) MB-2
P3	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) MB-2	MST48	1	(2) MB-2
P4	LTP4	1	(4) MB-2	NONE	N/A	N/A
P5	LTP4	1	(4) MB-2	LSTA24	1	(1) MB-2
P6	LTP4	1	(4) MB-2	MST48	1	(2) MB-2
P7	LSTA15	1	(5) MB-2	NONE	N/A	N/A
P8	HTT4 5/8" A24 THR. ROD	1	(6) MB-2	NONE	N/A	N/A
P9	NONE	N/A	N/A	LSTA24	1	(1) MB-2
P10	NONE	N/A	N/A	MST48	1	(2) MB-2

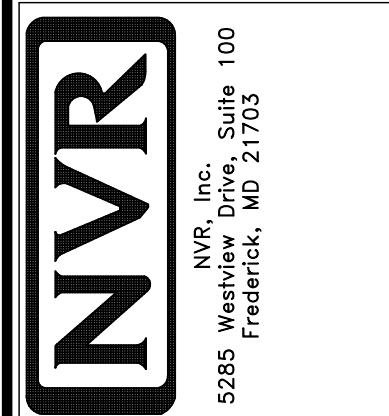
NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

REV. NO.	DATE	REMARKS
31	1/11/24	ARS - GC48503 DETAIL B REVISED STAPLE SIZE FROM 1 1/4" TO 1 3/4"
32	1/23/24	DLR - GC48164 - REVISED DETAIL E/MB-2 CORNER DETAIL
33	3/25/24	ARS - ADDED TO DETAIL H GC-FRM-44201
34	10/25/20	CEL - REVISED MB-2 TO INCLUDE FLOOR TRUSSES
35	10/13/20	CEL - ADDED NOTES DETAILING WHEN TO USE K/MB-2
36	4/1/21	ARS - REV. DET. C PONY WALL NOTES
37	6/9/21	CEL - GC48129 - REVISED MB-2 TO REMOVE USE OF FLAT BLOCKING
38	12/13/22	DLR - GC48261 - REVISED PONY WALL BRACING DET. AND ALT. FINING. TO MB-2
39	9/1/23	DLR - GC48628 - REVISED CONNECTOR CHART, REMOVED PART NUMBERS



The owner, expressly reserves its right to make any changes or modifications to these plans and specifications without notice, and the contractor shall be bound to accept and execute any such changes or modifications without cost to the owner.



SET NO.	VERSION	DRAWN BY	DATE	OPTION
1	1	ELH	4/8/14	

MODEL	DRAWING TITLE	OPTION DESCRIPTION
WB-2	WALL BRACING DETAILS	PREScriptive WALL BRACING DESIGN

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.