

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications. These plans and specifications are prepared solely by, and for the exclusive use of, NVR, Inc. and are solely for a family residence consisting of eight or fewer attached units with grade level exits and which is not part of or physically connected with any other buildings or residential units. NVR, Inc. does not provide any third party the opportunity to customize these plans. The respective drawings contained herein shall be used only as construction assembly drawings by NVR, Inc. and its subcontractors. Any unauthorized use of these plans without the written consent of NVR, Inc. is prohibited.

GRAND CAYMAN

DIV-COMM-LOT-UNIT

RLH-VK-0113

COMM-LOT

KIPLING VILLAGE - 0113

STREET ADDRESS

56 SAINTSBURY DRIVE

APT. NO.

CITY

FUGUAY VARINA

STATE

NC

ZIP

27526

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

James Gates
06/10/2025



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STRUCTURAL DESIGN CRITERIA
<ul style="list-style-type: none">ALL LOCAL AND STATE CODESROOF LIVE LOAD20 psfULTIMATE WIND SPEED130 mphWIND EXPOSURE CATEGORYBSEISMIC DESIGN CATEGORYA / B

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR SLAB FOUNDATION (BASE SF)	1533 SF
	1533 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE SLAB FOUNDATION	443 SF
	443 SF

UNFINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
REAR COVERED PORCH (ADD. SF)	144 SF
FRONT COVERED PORCH (ADD. SF)	25 SF
	169 SF

TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR SLAB FOUNDATION (BASE SF)	1533 SF
	1533 SF

SET NO. - VERSION

SHEET NO.

PAGE NO.

GCM00 - 01

CS-1

RELEASE NO. ----

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1. These plans and specifications are designed for the exclusive use by NVR, Inc. for the purpose of residential construction. As such, these products are offered for sale in NVR, Inc. communities only. NVR, Inc. is a production homebuilder and does not intend to provide the opportunity to customize these plans. The respective drawings contained herein in shall only be used as construction assembly drawings by NVR, Inc., and their sub-contractors. Any unauthorized use of these plans without the written consent of NVR, Inc. is prohibited. All standard notes, section markers, elevation markers and title markers that reference "A-11" shall be considered "N-11" for sheet reference.
2. These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements.
3. These plans are not to be scaled for construction purposes. Dimension lines and notes supersede all scale references.
4. Single Family Attached/Detached - Automatic residential fire sprinkler systems shall be installed in accordance with NCRBC P2204 or NFPA 13D where required.
5. This note sheet only covers major code requirements. The plans are intended to comply with all current applicable codes or engineering design in accordance with Section 301.3.

1. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes including, but not limited to:

NGRC 2018, NCMC 2018, NCPC 2018, NCF6C 2018, NEC 2020 w/ NC Amendments
NCEC 2018, NCCFC 2018

2. Constr. Type: V-B

3. Max Stories: 3

1. Insulation requirements per 2018 NCRS Chapter II, Energy Efficiency, or Chapter 4 of the 2018 North Carolina Energy Conservation Code (NCECC), or Chapter 4 of the 2015 International Energy Conservation Code (IECC), Residential Energy Efficiency by the prescriptive method. See NVR "Standard Energy Package" for field procedures and details.

R-values shown below are the minimum used.

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	FRAME WALL R-VALUE 2x4 / 2x6	FLOOR R-VALUE	BASEMENT WALL R-VALUE UNFIN. / FIN.	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
3	0.35	0.30	30	15 / 19	19	5 / 15	NA	5 / 15
4	0.35	0.30	30	15 / 19	19	10 / 15	10	10 / 15

- Table of Loads for House Structure. Per Table 301.5

Floor Living Areas - 40# P.S.F. (Live)
 - 10# P.S.F. (Dead) unless noted otherwise
 by calculations

Floor Sleeping Areas - 30# P.S.F. (Live) unless noted otherwise
 - 10# P.S.F. (Dead) by calculations
 unless noted otherwise
 by calculations

Garage Floors - 50# P.S.F. (Live)
 - 50# P.S.F. (Dead)

Roof Areas - Top Chord - 20# P.S.F. (Live)
 - 10# P.S.F. (Dead)
 - 10# P.S.F. (Live) (Attics without storage)
 - 20# P.S.F. (Live) (Attics with limited storage)
 - 10# P.S.F. (Dead)

Habitable Attics
Trusses - 30# P.S.F. (Live)
 - Areas up to 130 mph ultimate wind speed per
 Table R301.2(4)

Walls - Exposure category 'B'
 - Areas up to 130 mph ultimate wind speed per
 Table R301.2(4)

Vult	115 mph	130 mph
Vasd	84 mph	101 mph

Note: Linear interpolation between
contour lines permitted.

Stairs - 40# P.S.F. (Live)
 - 10# P.S.F. (Dead)

Allowable deflection of structural members per IRC Table R301.7

Design Criteria

- Design Codes:
1. National Design specification for Wood Construction by National Forest Products Association.
 2. Specification for the Design Fabrication and Erection of Structural Steel for Buildings by American Institute of Steel Construction.

Materials:

Headers*	Southern Pine (KD-19), No. 1 Grade
Studs	Spruce-Pine-Fir, Stud Grade
Jacks	Spruce-Pine-Fir, Stud Grade
Beams**	Southern Pine (KD-19), No. 1 Grade
Joints	2x10 Hem-Fir (KD-19), No. 2 Grade or better (NGLIB & WKPFA)
	2x8 Southern Pine (KD-19), No. 1 Grade or better
	2x10 Spruce-Pine-Fir (KD-19), No. 2 Grade or better (NLGA)
LVL	1.9E Minimum

- * Where required, Laminated Veneer Lumber may be used per Engineering
 ** Structural Steel - A.S.T.M. A36

5. All plan and reinforced concrete shall comply with requirements in **ACI 318**.
6. Concrete footings shall be poured a maximum 5' slump, 5 bags mix, and 2500 psi minimum strength per **Table R402.2**. Concrete walls shall be poured a maximum 5' slump, 5 1/2-bag mix, and 3000 psi minimum strength per **Foundation Wall Design table** below. Special soil and or wall height conditions may require a higher psi mix.
7. Walls and footings designed as unreinforced unless otherwise specified on foundation plans or details. "Special soil and/or site conditions may require the addition of reinforcing."
8. Footing frost depth to be no less than 12" per **R403.1.4** and **Table R301.2(1)**.
9. Minimum Soil Bearing Capacity shall be 2,000 PSF per **Table R401.4.1**.
10. Slab requirements:
 - Interior slabs on grade (excluding garage slabs) to be minimum 3-1/2" concrete (may be represented on plans as nominal 4") over 4" sub-base, with vapor barrier (6-mil polyethylene) as required per **Section 506** and a minimum 2500 PSI per **Table R402.2**.
 - Non-structural garage slabs shall be nominal 3-1/2" thick and shall be installed on compacted / undisturbed soil per **Table R402.2**. Slabs shall be 3500 PSI air-entrained concrete.
 - Structural garage slabs utilizing grade beams shall be nominal 4" thick. Slabs shall be 3500 PSI air-entrained concrete.
 - Porch slab and exterior concrete work shall be nominal 4" minimum 3500 PSI air-entrained concrete with 6x6 IN. 4x4 mesh or equivalent fiber mesh reinforcement.
11. Unconditioned floor spaces shall have a minimum net area of ventilation not less than 1 square foot for each 150 square feet of area, unless the ground surface is covered by a Class I vapor retarder. To achieve the minimum net area of ventilation shall not be less than 1 square foot for each 1500 square feet of area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of the building, per **R408.1.2**.
12. Foundation drains shall be located per local codes and according to local site conditions. Drain discharge by gravity or mechanical means to conform with approved site plan and installed per **Section R405.1**.
13. The top course of block of foundation walls shall be semi-solid block or open cores of hollow block shall be filled with mortar.
14. Block piers to be solid block or mortar-filled hollow block.
15. A poured concrete foundation wall designed to withstand an equivalent fluid weight of 30# per cubic ft. may be substituted where masonry units (block) are shown on plans.
16. Concrete and masonry foundation walls shall be dampproofed with min. 3/8" portland cement paring from footing to top of finished grade. The paring shall be covered with a coat of approved bituminous material applied at the recommended rate per **R406.1**.
17. Where required, concrete and masonry foundation walls shall be waterproofed with an approved membrane extending from footing to top of finished grade. The joints in the membrane shall be lapped and sealed with an adhesive compatible with the waterproofing membrane. Waterproofing to be in accordance with **R406.2**.
18. Reserved for future use.
19. Foundation framing anchors shall be 1/2"x18" anchor bolts with 7" minimum embedment or Simpson Strong-Tie MASA / USP FA3 (6 gauge steel, galvanized) or equivalent set in concrete or grouted cell, 1'-0" maximum from corners and spaced at a maximum of 6'-0" and in the middle third of the width of the plate. For walls connecting offset braced wall panels, those 24" in length or shorter shall have min. (1) anchor strap and those 12" or shorter can be replaced without. Towholes in seismic design category "C" shall require a .224" x 3" x 3" plate washer per **R403.1.6.1** and maximum anchor bolt spacing for buildings over two stories shall be 4'.
20. Steel columns and bases shall be given a shop coating of rust-inhibitive paint or equivalent to provide corrosion resistance per **R407.2**.
21. For masonry veneers:

Per **R703.6.4.1** - Corrugated sheet metal veneer ties shall be a minimum of No. 22 U.S. gauge by 7/8 inch. Each tie shall be spaced not more than 32" o.c. horizontally and 24" o.c. vertically and shall support not more than 2.67 square feet of wall area. For townhouses in Seismic Design Category C and in wind areas of more than 30 pounds per square foot pressure, each tie shall support not more than 2 square feet of wall area.

Additional metal ties shall be provided around all wall openings greater than 16 inches (406 mm) in either dimension. Metal ties around the perimeter of openings shall be spaced not more than 3 feet (914 mm) on center and placed within 12 inches (305 mm) of the wall opening.

Per **R703.2** - One layer of No. 15 asphalt felt or other approved water-resistive barrier shall be provided behind brick.

Per **R703.8.4** - Provide minimum 1-inch air space between brick veneer and sheathing.

Per **R703.8.6** - Provide minimum 3/16" diameter weep holes at 33" on center maximum, located immediately above the flashing.

Per R103.8.5 - When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 6 mil plastic flashing shall be attached to the sheathing wherever necessary to prevent moisture penetration behind the veneer. See NVR Flashing Details.

18. Reserved for future use.
19. Foundation wall strip footing thickness to be 8" (or 6" with a single story) unless otherwise noted as specified by engineering. Strip footing projections beyond the face of the foundation wall shall not exceed the footing thickness. Bump out footings, pier pads, and any other footing identified as being greater than 8" in thickness shall not be reduced.
20. Block foundation walls may be substituted for poured foundation walls shown on foundation plans provided all requirements of **Section R404** are met.
21. Termite treatment provided below slabs or to framing members per **R310.1**

FOUNDATION WALL DESIGN^(c)
NCRBC PRESCRIPTIVE CODE OR ENGINEERED DESIGN PER ACI 332

WALL HEIGHT	WALL THICKNESS	LATERAL SOIL PRESSURE (kN/m ²)	UNBALANCED EARTH PRESSURE (kN/m ²)	VERTICAL EARTH PRESSURE (kN/m ²)	HORIZONTAL EARTH PRESSURE (kN/m ²)
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HEIGHT	THICKNESS	LOAD (d)	FILL	REINFORCING (d)	REINFORCING (d)
8'-0"	8"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED (d)	3- #4 BARS (d,e)
		60	6'-0"	NOT REQUIRED (d)	3- #4 BARS (d,e)
			7'-0"	#4 @ 22" O.C. (d)	3- #4 BARS (d,e)
	10"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
9'-0"	8"	45	7'-0"	NOT REQUIRED (d)	4- #4 BARS (d,e)
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (d,e)
		60	7'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (d,e)
			8'-0"	#4 @ 15" O.C. (d)	4- #4 BARS (d,e)
	10"	45	7'-0"	NOT REQUIRED	3- #4 BARS (g)
			8'-0"	NOT REQUIRED (d)	4- #4 BARS (d,e)
		60	7'-0"	NOT REQUIRED (d)	4- #4 BARS (d,e)
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (d,e)

NOTE: BACKFILLING OF THE FOUNDATION SHALL NOT TAKE PLACE BEFORE THE BASEMENT SLAB IS IN PLACE AND THE FLOOR FRAMING IS ERECTED OR UNLESS WALLS ARE ADEQUATELY BRACED.

- a. SOIL CLASSES GM, GC, SM, SM-SC AND ML - 45 PSF
- b. SOIL CLASSES SC, MH, ML-CL AND CL - 60 PSF
- b. SPACING SHOWN IS BASED UPON $F_y = 60,000$ PSI
STEEL FOR $F_y = 40,000$ PSI STEEL, REDUCE SPACINGS BY 0.67
- c. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI
- d. ENGINEERED DESIGN PER ACI 332-14, REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION
- e. FOR ALL WALL HEIGHTS, ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24", ONE IN THE BOTTOM 24" WITH THE REMAINING BARS EQUALLY SPACED, MAINTAIN 2" OF CONCRETE COVER BETWEEN INSIDE FACE OF WALL AND FACE OF HORIZONTAL BARS.
- f. ONE BAR WITHIN 12" OF TOP AND AT MID-HEIGHT OF WALL PER TABLE 404.1.2(1).
- g. ONE BAR WITHIN 12" OF TOP AND ONE EACH AT THIRD POINT OF WALL HEIGHT PER TABLE 404.1.2(1).

3. Habitable attics and sleeping rooms shall have a window or door as a second means of egress that shall be minimum 5.7 sq. ft. openable area (5.0 sq. ft. if at grade level) with maximum sill height 44" above finish floor (min. hgt. 24", min. width 20") per **R310.1**.
4. All emergency escape and rescue openings shall have a minimum net clear openable area of 4 sq. ft. The minimum net clear opening height shall be 20" and a minimum net clear opening width of 20". Emergency escape and rescue openings must have a minimum total glazing area of not less than 5 sq. ft. in the case of a ground window and not less than 5.7 sq. ft. in the case of an upper story window per **R310.2.1**. Window wells where required, shall be installed per **R310.2.3** with a minimum of 9 sq ft and a minimum horizontal projection and width of 36". Wells with a greater depth of 44" shall have permanently affixed ladder or steps per **R310.2.3.1**.
5. Clear opening heights for exterior doors to be 6'-6" minimum per **R311.2**. All interior doors providing egress/escape routes shall have nominal minimum dimensions of 2'-6" by 6'-8" per **R311.6.1**. Habitable rooms with double doors less than 5'-0" in total width (less than 2'-6" per door slab) shall have a total opening width of at least 2'-6" with no side bolts or locking devices installed on either door.
6. Sliding glass drs/patio drs/skds must be safety glazed per **R308.4**.
7. Interior stairways shall have minimum head room of 6'-8" per **311.7.1.2** and minimum tread depth of 4" and maximum riser height of 8 1/4". Handrails are required for stairs with four or more risers and shall have minimum height of 34" and maximum height of 38" above treads and landings. Handrail to have maximum 4 1/2" projection into width of stair per **Section R311.7**. Enclosed accessible space under stairs shall have vertical clear stair surface and any soffits protected on the enclosed side with 1/2" gypsum board per **R302.1**.
8. Guard rails to have minimum height of 36" and shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter per **R312**.
9. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter per **R312.1.3**.
10. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a stairway in accordance with **Section R311.7** (see item #5 above) or a ramp in accordance with **Section R311.8**.
11. Handrails shall be installed on exterior stairs having (4) or more risers per **R311.7.8**. Guards shall be installed at exterior porches / decks that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
12. All flashing used (including at windows, doors, and with stone or masonry veneer) shall be corrosion-resistant per **R103.4**. See NVR Flashing Details.
13. Wood framed bearing walls shall 2 x 6 at 24" o.c. maximum or 2 x 4 at 16" o.c. maximum per **Table R602.3(3)** and **Table R602.3(5)** unless otherwise noted on plans.
14. All exterior sheathing to be structural sheathing designed in accordance with **R602.10**.
15. An approved water-resistant barrier shall be applied over sheathing of exterior walls per **Section R103.2**.
16. Interior sheathing shall be 1/2" gypsum wall board unless otherwise noted. Exceptions may include, but are not limited to, special requirements for wall bracing and fire separation.
17. Screw fastening is typical for gypsum installation and nailing will only be permitted at the perimeter of the board.
 - All screws shall be corrosion-resistant Type W1-14" drywall only screws.

SCREW FASTENING SCHEDULE			
WITH ADHESIVE			
Framing Spacing	Ceilings	Load-brg. walls	Non-load-brg. walls
16	16	24	24
24	16	16	24
WITHOUT ADHESIVE			
Framing Spacing	Ceilings	Load-brg. walls	Non-load-brg. walls
16	12	16	16
24	12	12	12

- For 1/2" wallboard, nally shall be 1-1/4" long, 1/4" head and .048 diameter shanks, with annular ring or acceptable equivalent for equivalent, and comply with ASTM C518M.
- For 5/8" wallboard, nally shall be 1-3/8" long, 1/4" head and .048 diameter shanks.
- Garages shall be completely separated from the residence and attic area by not less than 1/2" gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" type X gyp. board. Where a structure is supporting a floor-ceiling assembly due to living space above the garage, the structure shall also be protected by not less than 1/2" gypsum board per Section R302.6. Openings and penetrations through the separation shall be protected by sealing the area around the penetration per Section R302.5. The garage door shall be a 20-minute fire-rated door and be equipped with a self-closing device installed per Section R302.5.1.
- Asphalt shingles shall be installed per Section R405.2. For roof slopes of 2:12 through 4:12, in lieu of two layers of underlayment, a self-adhering polymer-modified bitumen underlayment shall be used per Section R405.1. Exception #1.
- Attic spaces shall be ventilated w/ ridge and soffit vents unless otherwise noted. Venting provided per R606.2.
- Fireblocking shall be installed between ceiling and floor openings per R302.11. Draftstopping to be installed in accordance with R302.12.
- Water closet, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall, part of the clear or closet flange, 36 inches center-to-center - between adjacent fixtures. There shall be a clearance of not less than 21 inches in front of the water closet, lavatory or bidet to any wall, fixture or door per P2705.1.
- Heating and cooling equipment installation shall be in accordance with IRC Chapter 14 and the International Mechanical Code.
- Mechanical fireplaces shall be installed per Section R1004 and I005.
- Single family attached structures to have 2-hour dwelling unit separation wall continuous to roof deck. Roofing material to be minimum class "C" over approved fire retardant wood decking extending 4" each side of dwelling unit separation wall per R302.2 and R302.3.
- Untreated wood shall be minimum 8" above finish grade per R311. Item #2.
- Bottom plates on slob and any wood in contact w/ concrete or masonry to be pressure treated material per Section R317.
- Exterior egress swing doors shall open onto a landing not more than 8 1/4" below the top of the threshold when door swings in and 1 1/2" below the top of the threshold when the door swings out. The landing shall extend a minimum of 36" in the direction of travel and be at least the width of the doorway served per R313.3.
- Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screens, louvers, or grills having a min. opening size of 1/4" and maximum of 1/2" in any dimension per R306.6.
- Fasteners and connectors for pressure preservative-treated wood shall be hot-dipped galvanized steel.
- Windows that have an operable opening more than 72" above finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located, glazing between the floor and 24" shall be fixed or have openings through which a 4" dia. sphere cannot pass per Section R312.2.
- The final grade shall fall a minimum of 6 inches within the first 10 feet of the foundation per R401.3.
- One- and two-family dwelling construction (R302.11).
Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment and shall be per Section R606. Where the property line is 10 feet or more from the building face, the provisions of this code section shall not apply.
Townhouse construction (R302.2.5).
Projections extending into the fire-separation distance shall have not less than 1-hour fire-resistive construction on the underside. Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment. Vents shall be nominal 2-inch continuous or equivalent intermittent and shall not exceed the minimum net free air requirements of Section R606.2 by more than 50%. Vents in soffit are not allowed within 4 feet of fire walls or property lines per R302.2.5 and R302.2.6.
- 1-hour fire-rated construction required on projections within 2' to 3' of lot line per R302.1. No projections allowed within 2' of property line.
- 1-hour fire-rated construction required on townhouse eaves within 3' of the property line.
- Note: Single Family Detached product will NOT be built with 3' of the property line.
- Wall bracing is designed in compliance with Section R602.10. When wall bracing is beyond the criteria for a prescriptive approach, the structure is analyzed utilizing engineering in compliance with the North Carolina Building Code (NCBC). Refer to house-specific wall bracing detail sheets and wall bracing standard details. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Category C.
- Minimum floor sheathing shall be 5/8" tongue & groove decking underlayment grade plumed and sanded, exterior glue, glued and nailed on joists to meet "American Plywood Association" approved glued floor system, unless otherwise specified.

1. Ground-fault and arc-fault circuit interrupter protection is provided per **NFPA 70** (National Electric Code).
2. Electric panel box installation to be in accordance with **NFPA 70, Article 408 Section III**. Location may vary by design.
3. Approved smoke detectors shall be installed in each sleeping room; outside each separate sleeping area in the immediate vicinity of the bedrooms; and on each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. Where more than one smoke detector is required, the detectors shall be installed in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. All smoke detectors shall receive their primary power from the building wiring and be equipped with a battery backup.
4. Unless listed for installation in such locations, smoke detectors shall be installed at least 10 feet from a cooking appliance, at least 3 feet from the door to a bathroom containing a tub or shower, at least 3 feet from any air supply registers, and at least 3 feet from the tip of a ceiling fan blade. In sleeping rooms, smoke detectors should be located in the vicinity of the room entrance. They shall be installed at the highest portion of the ceiling (including tray or coffered ceilings) or within 12 inches vertically from the highest point in rooms with sloped ceilings.
5. Interior stairs shall be provided with an artificial light source in the vicinity of each landing or directly above each stair. The light source shall be located above each landing to a level not less than 1ft measured at the center of the tread or landing per **R303.7**.
6. Outlets within 6' of a sink must be GFI protected.
7. An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. **R315.3**.
8. Outlets installed in laundry areas must be GFI protected.


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REV.	NO.	DATE	REMARKS
1		1/6/14	MBT - CODE UPDATES FOR 2016 NCEBC
2		3/1/14	MBT - UPDATED ENRGY NOTES
3		12/16/22	CAP - REVISE NOTE FOR 204 OR 2X6 EXTERIOR WALLS

06/10/2025

NORTH CAROLINA
PROFESSIONAL
SEAL
44932
ENGINEER
JONATHAN EDWARD ABERTS
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SHEET NO.	MODEL	SET NO.
SS-1	NCRC 2018 SPEC SHEET	VERSION
	DRAWING TITLE	DRAWN BY
	SINGLE FAMILY ATTACHED	DATE:
	SINGLE FAMILY DETACHED	OPTION
	OPTION DESCRIPTION	
	NC State Building Code - Residential Code 2018	



Version 4.0
(Last Revised 04/26/19)

ROOF VENTILATION CALCULATIONS

HOUSE NAME	GRAND CAYMAN
HOUSE VERSION	1
PRODUCT LINE	RYANHOMES
VENTILATION VALUES	
SOFFIT:	9.9 sq in of vent per lf
RIDGE:	18 sq in of vent per lf
BOX / GABLE VENT:	45 sq in of vent per unit

USER GUIDE	YES	(any)		(any)	VENT OK	No action req'd.
	NO	YES		OK	VENT OK	No action req'd.
	NO	YES		LOW	FAIL	Increase ridge
	NO	YES		HIGH	FAIL	Decrease ridge
	NO	NO		(any)	FAIL	Increase total vent

ELEVATION "J"															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
Without Rear Porch	287999	1919.99	960.00	90.125	892.24	22	396.00			1288.24	NO	YES	41.25%	OK	
With Rear Porch	308159	2054.39	1027.20	92.375	914.51	23	414.00			1328.51	NO	YES	40.30%	OK	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

ELEVATION "K" or "L"															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
Without Rear Porch	287999	1919.99	960.00	90.125	892.24	22	396.00			1288.24	NO	YES	41.25%	OK	
With Rear Porch	308159	2054.39	1027.20	92.375	914.51	23	414.00			1328.51	NO	YES	40.30%	OK	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

Rear Porch															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
	20160	134.40	67.20	18	178.20		0.00			178.20	YES	N/A	N/A	N/A	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

ADDITIONAL AREAS OF ROOF VENTILATION															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			



Version 3.0
(Last Revised 04/26/19)

HOUSE VOLUME CALCULATIONS

HOUSE NAME	GRAND CAYMAN
HOUSE VERSION	GCM00 / 01
PRODUCT LINE	RYANHOMES

Note: The volume of the structure has been computed in accordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5;23-2.28. Volume computation)

ELEVATION "J", "K", "L"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house	1680.00	13.30	22348
Garage bump out from main house	320.00		3647
		Total House Volume	25994

Additional areas of volume to be added to total house volume as needed			
Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Covered Porch "EPE"	140.00	9.44	1321
Full Basement "FBA"	1584.67	8.63	13668
Crawl space "FCA"	1584.67	0.80	1268

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DIV-COMM-LOT-UNIT				RLH-VK-013			
COMM-LOT				KIPLING VILLAGE - 013			
STREET ADDRESS				APT. NO.		----	
CITY				STATE		ZIP	
FLOQUAY VARINA				NC		27526	

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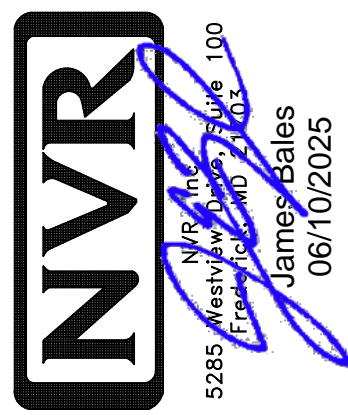
MODEL GRAND CAYMAN DRAWING TITLE ROOF VENT AND VOLUME CALCULATIONS VOLUME CALCULATIONS	SET NO. GCM00	VERSION 01	RELEASE NO. ----
	DRAWN BY	DATE	OPTION
	OPTION DESCRIPTION		
SHEET NO. CA-1	2		

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PLH-VK-013

DIV - COMM - LOT - UNIT
RLH-
COMM - LOT
KIPLING VILLAGE - 0113

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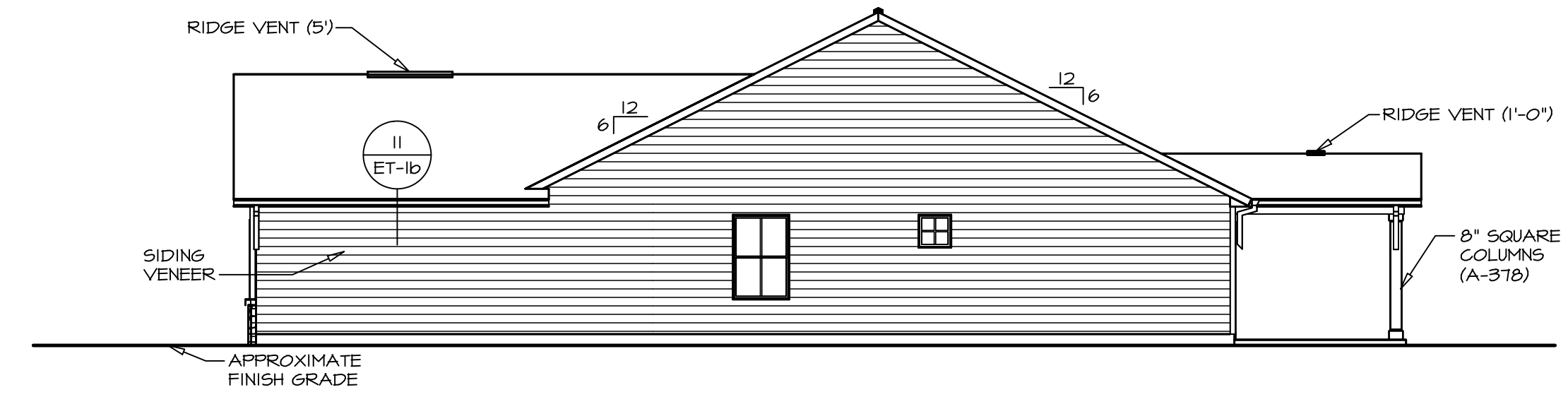


SET NO. 6CM00	VERSION 01	RELEASE NO. ----
DRAWN BY BN		DATE: 02/21/78
OPTION		

SHEET NO.	MODEL	GRAND CAYMAN
	DRAWING TITLE ELEVATIONS	
NC-1		

4

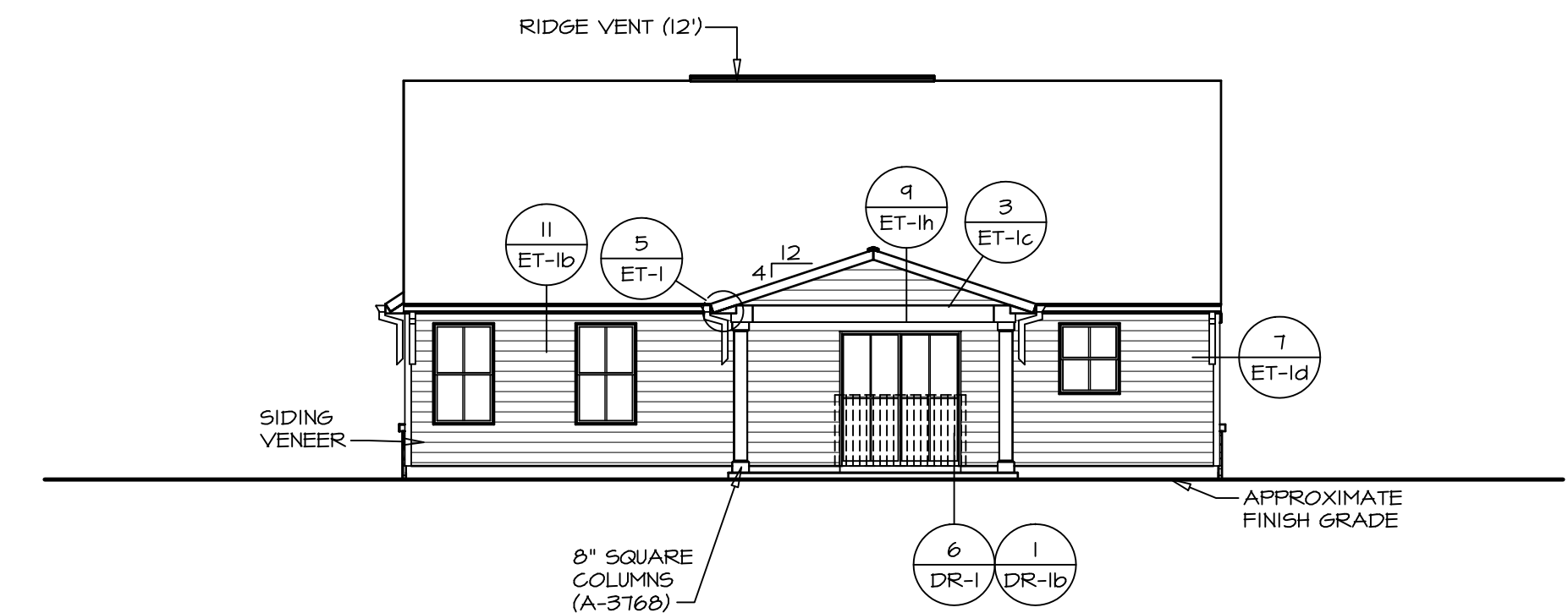
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2
NC-1

RIGHT ELEVATION

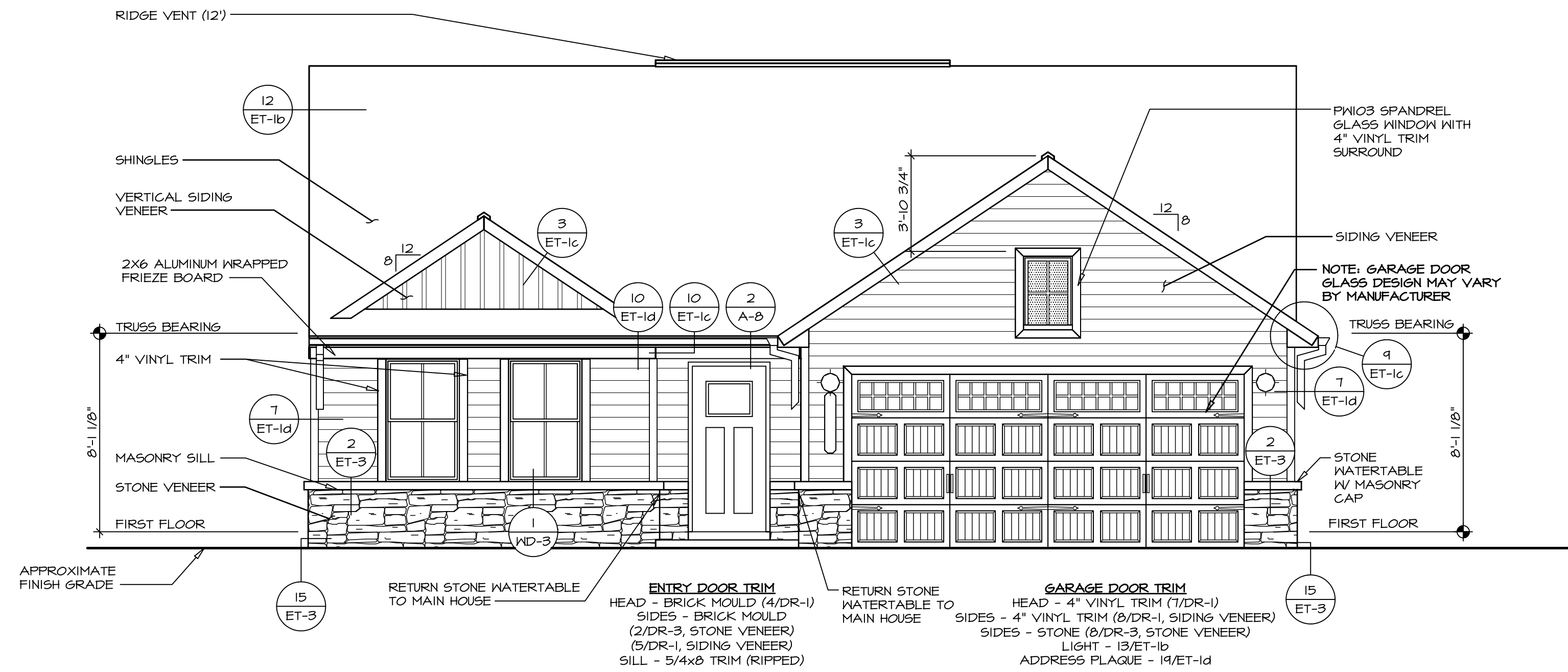
SCALE: 1/8" = 1'-0"



3
NC-1

REAR ELEVATION

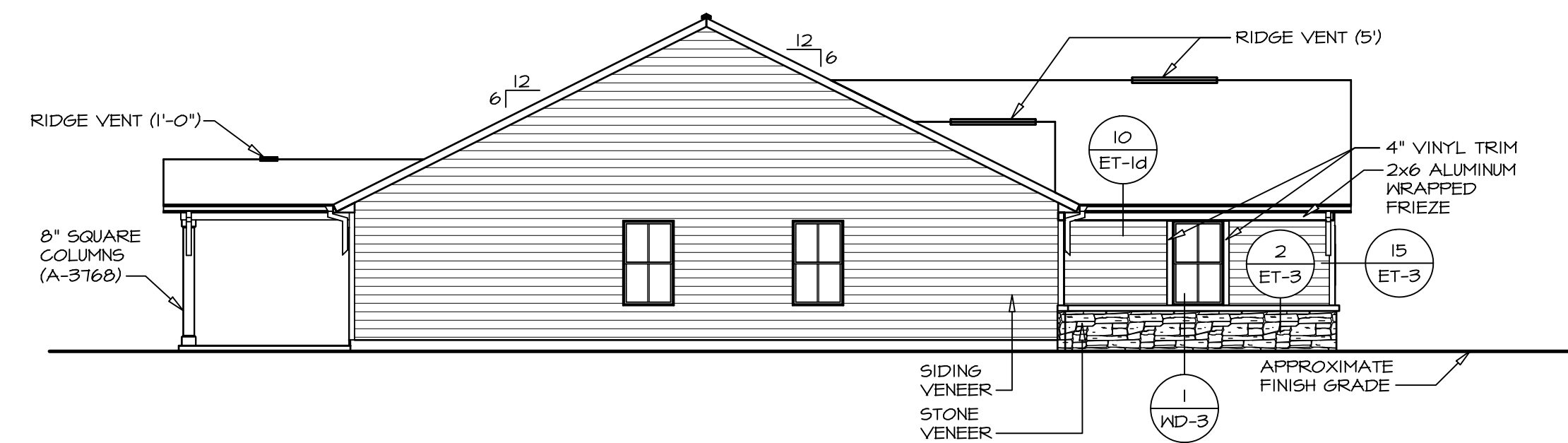
SCALE: 1/8" = 1'-0"



1
NC-1

FRONT ELEVATION "J"

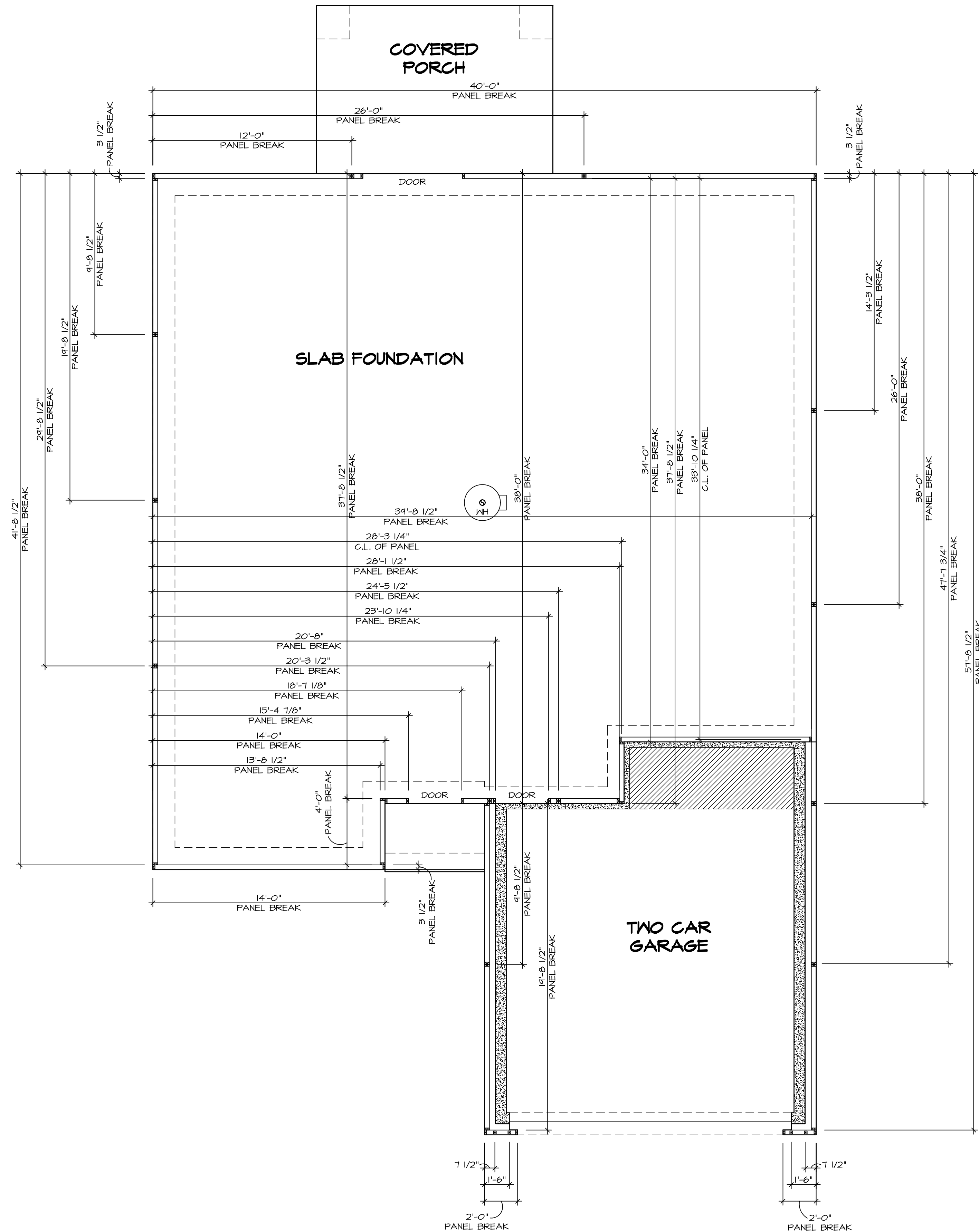
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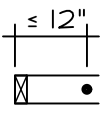
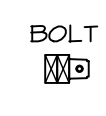
4
NC-1

LEFT ELEVATION

SCALE: 1/8" = 1'-0"



1
NC-4
FOUNDATION HOLD DOWN DETAIL
SCALE: 1/4" = 1'-0"

HOLD DOWN NOTES	
REFER TO DETAIL (11/FD-1) FOR HOLD DOWN OFFSET DIMENSIONS. REFER TO DETAIL (12/FD-1) FOR HOLD DOWNS ON CMU BLOCK.	
	1. ALL PANELS GREATER THAN 24" SHALL HAVE AN ANCHOR WITHIN 12" OF THE PANEL BREAKS / ENDS. (SEE DETAIL SHEET FC-1 FOR MORE INFORMATION ON ANCHOR DETAILS)
	1. STRAP: a. ON FOUNDATION USE (STD14) b. ON FLOOR SYSTEM USE (STD14RJ) 2. ALL OTHER HOLD DOWN SEE DETAIL WB- FOR MORE INFORMATION. 3. STRAP LOCATION ON PLANS SHOWN BY DASHED DIMENSION TO CENTER OF STUDS
OR	
1. THREADED ROD 2. ALL OTHER HOLD DOWN SEE DETAIL WB- FOR MORE INFORMATION. 3. BOLT LOCATION ON PLANS SHOWN BY SOLID DIMENSION TO CENTER OF BOLT	

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DIV-COMM-LOT-UNIT RLH-VK-0113		COMM-LOT KIPLING VILLAGE - 0113		APT. NO. ----	STATE NC	ZIP 27526
STREET ADDRESS 56 SAINTSBURY DRIVE		CITY FLOUJAY VARIANA				

06/10/2025
NORTH CAROLINA PROFESSIONAL SEAL
44932
ENGINEER
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Frederick, MD 21703

SET NO. 60MOO	VERSION 01	RELEASE NO. ----
DRAWN BY CEL	DATE:	OPTION

MODEL
GRAND CAYMAN
DRAWING TITLE
FOUNDATION HOLD DOWN

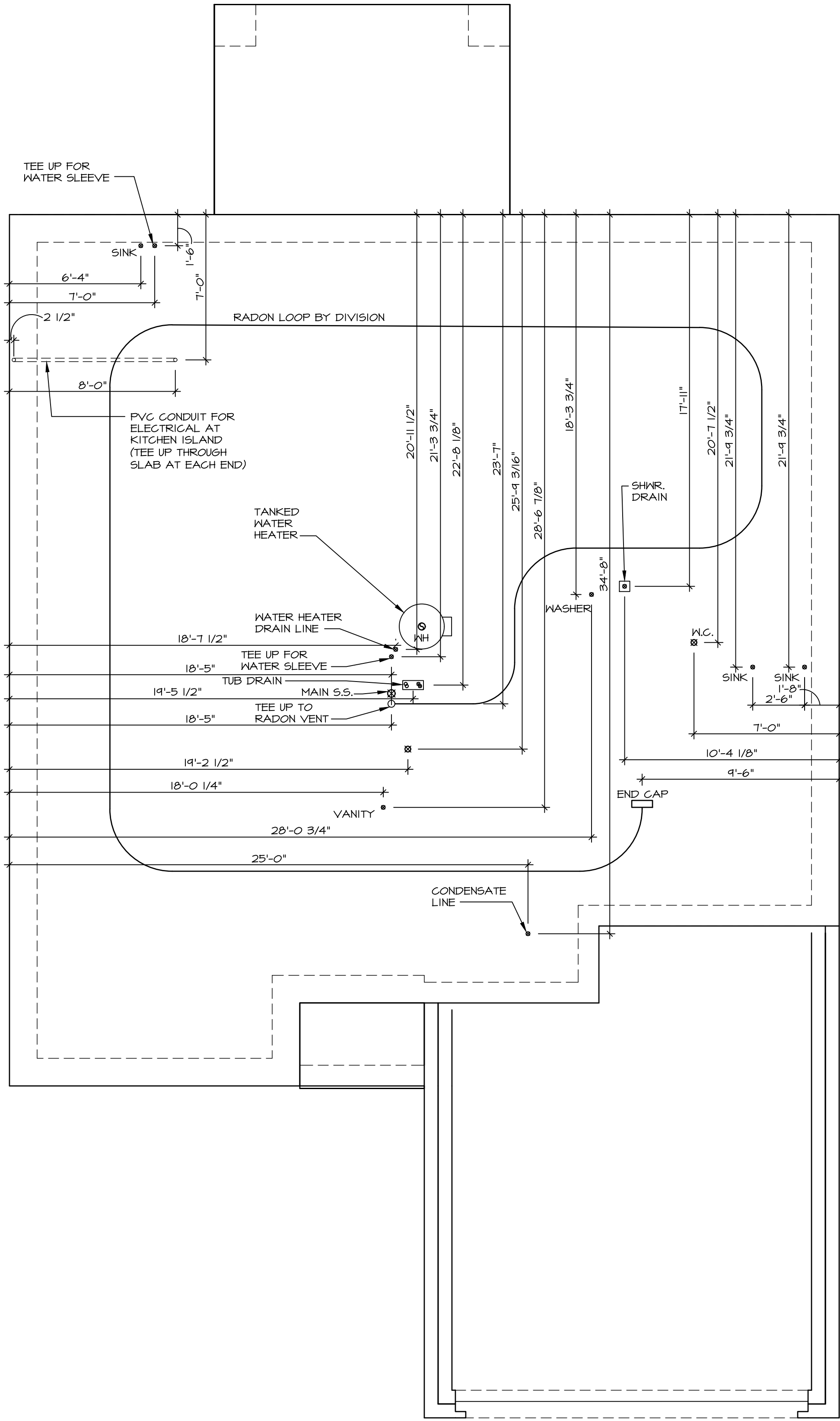
SHEET NO.
NC-4

OPTION DESCRIPTION
8

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INSTALLATION OF RADON STACK AND
LOOP TO BE DETERMINED BY DIVISION

- PLUMBING NOTES:**
- RADON REMEDIATION
RADON LOOP:
- (4") PERFORATED "LOOP"
 - MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
 - LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
 - TO BE CORRUGATED PIPE
 - SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
- STACK REQUIREMENTS:
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
 - NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 - PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
 - ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 - SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.



1
NC-5
PLUMBING PLAN
SCALE: 1/4" = 1'-0"

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DIV-COMM-LOT-UNIT	RLH-VK-0113
COM-LOT	KIPFLING VILLAGE - 0113
STREET ADDRESS	56 SAINTSBURY DRIVE
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

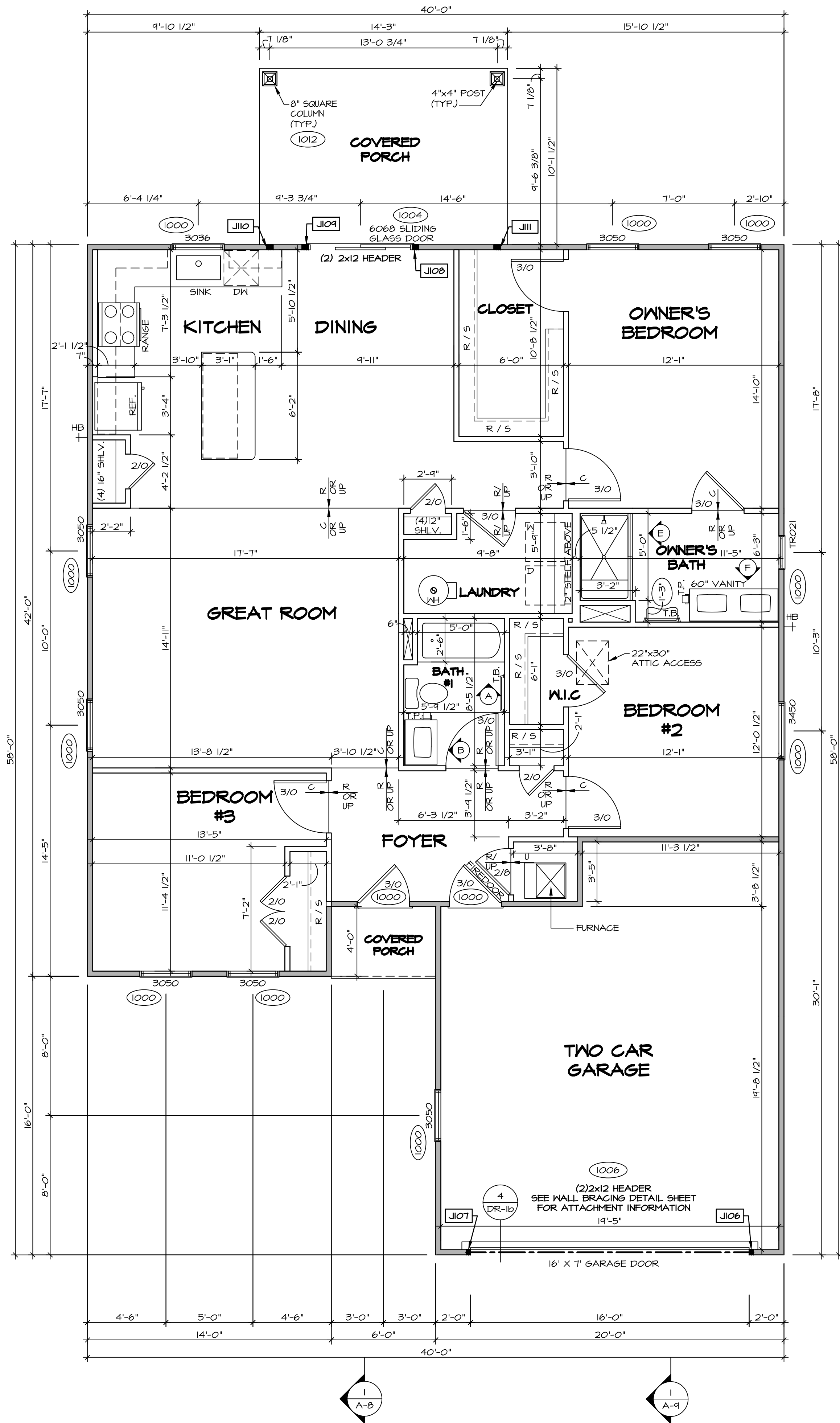
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SET NO. 60M00	VERSION 01
RELEASE NO. ----	DRAWN BY HNP
DATE: 02/20/20	OPTION

MODEL GRAND CAYMAN	OPTION DESCRIPTION
DRAWING TITLE PLUMBING	
SHEET NO. NC-5	9

FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENS. NUM.	REMARKS
J106	JACK - (2) 2X4 SPF STUD GRADE	1006	
J107	JACK - (2) 2X4 SPF STUD GRADE	1006	
J108	JACK - (3) 2X4 SPF STUD GRADE	1004	
J109	JACK - (3) 2X4 SPF STUD GRADE	1004	
J110	JACK - (3) 2X4 SPF STUD GRADE	1012	
J111	JACK - (3) 2X4 SPF STUD GRADE	1012	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARINGS, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2". UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL 8/IT-1B FOR 3/4" FIRE STOPPING AT BULKHEAD / CEILING PANELS.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO GRIPPLERS ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.
- INTERIOR HEADER HEIGHT FOR 8' CEILING WILL BE 6'-11", 9' CEILING WILL BE 7'-11", 10' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.
- ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT BLOCKING INSTALLED.
- NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

GYPSUM NOTES:

AT GARAGE:

GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

- BEARING WALL
- NON BEARING WALL
- MASONRY WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTING/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG
- SEE FA DETAILS FOR FIRE ASSEMBLIES
- SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

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DIV-COMM-LOT-UNIT
RLH-VK-0113

COM-LOT
KIPLING VILLAGE - 0113

STREET ADDRESS
56 SAINTSEBURY DRIVE

CITY
FLOUJAY VARIANA

STATE
NC

ZIP
27526

06/10/2025

NORTH CAROLINA PROFESSIONAL SEAL

44932

ENGINEER

EDWARD ADERTS

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SET NO. 60M00

VERSION 01

RELEASE NO. ----

DRAWN BY HNT

DATE: 02/21/20

OPTION

MODEL

GRAND CAYMAN

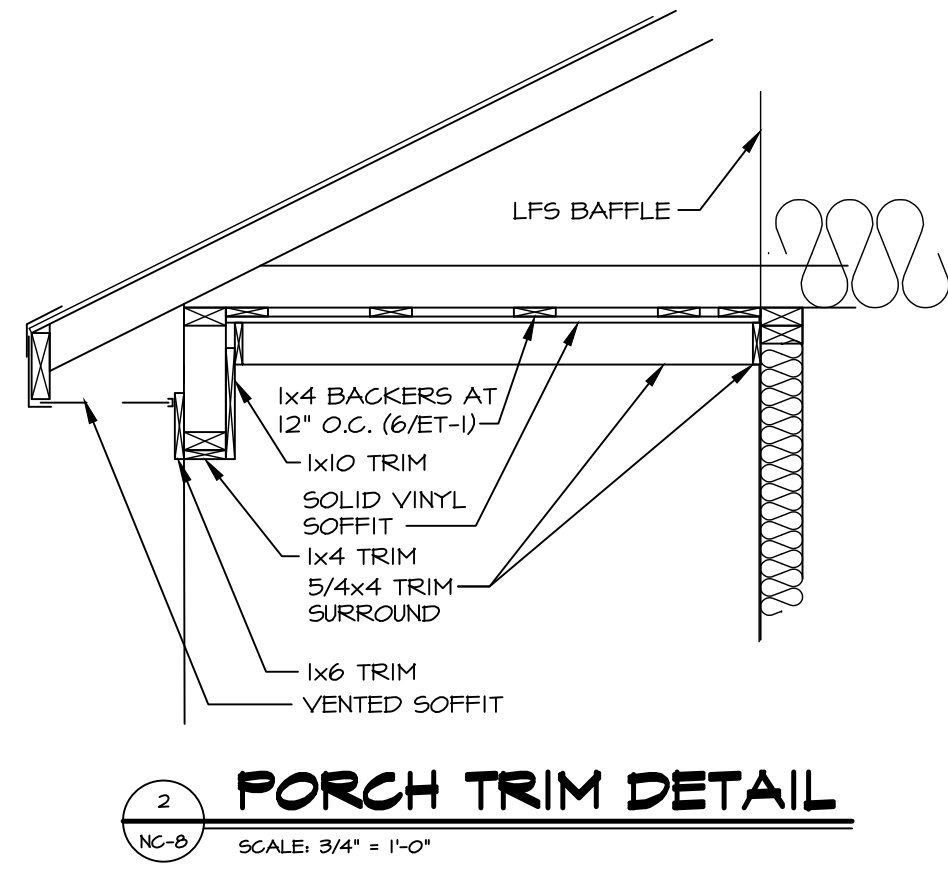
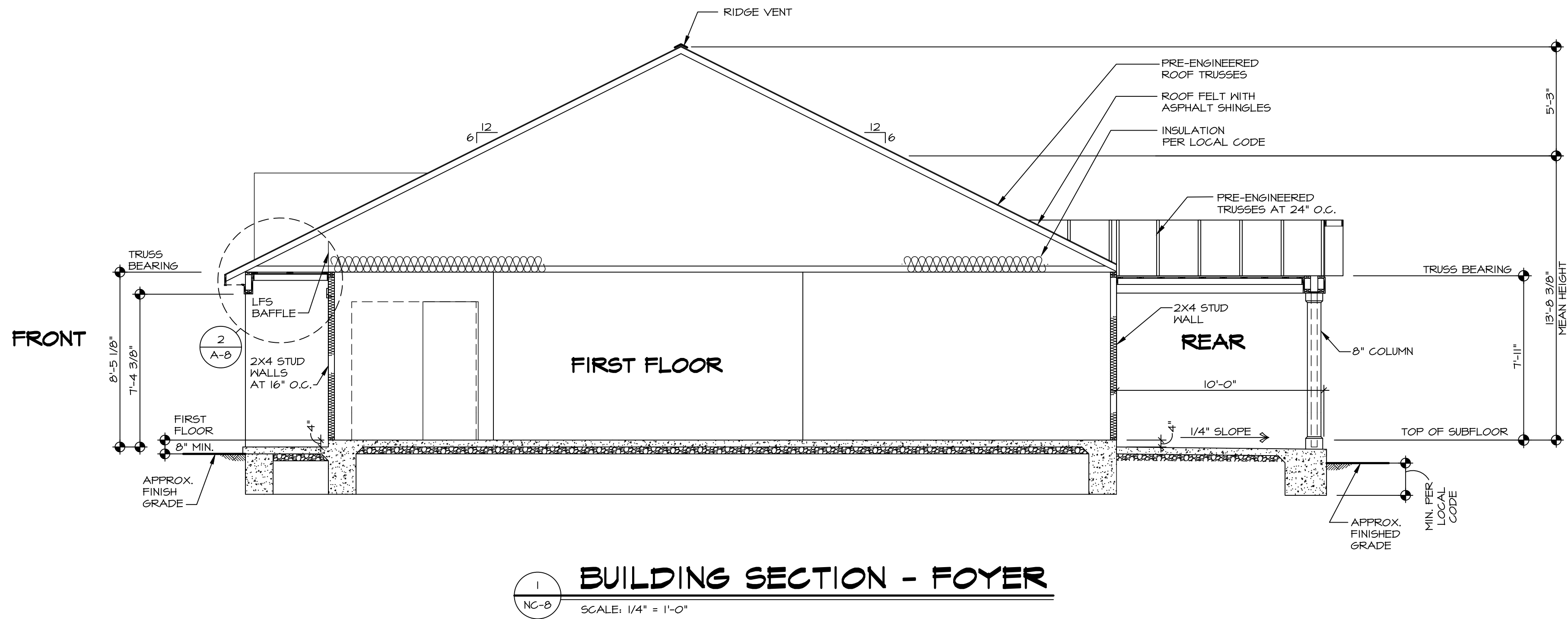
DRAWING TITLE

FIRST FLOOR PLAN

OPTION DESCRIPTION

NC-7

II



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DIV-COMM-LOT-UNIT

COM-Lot

KIPLING VILLAGE - 0113

STREET ADDRESS

56 SAINTSBURY DRIVE

CITY

FUQUAY VARIANA

STATE

NC

ZIP

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Fayetteville, NC 28404
James Sales
06/10/2025

SET NO. 60M00

VERSION 01

RELEASE NO. ----

DRAWN BY HNP

DATE: 02/20/20

OPTION

MODEL

GRAND CAYMAN

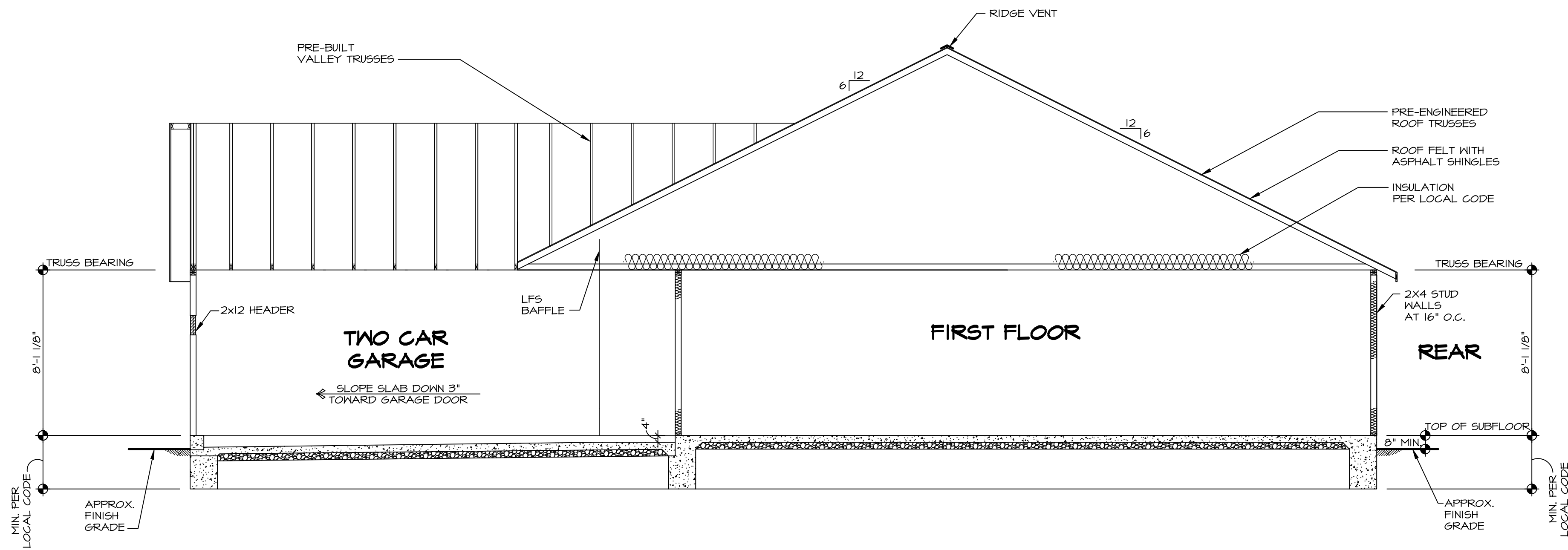
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BUILDING SECTION

OPTION DESCRIPTION

NC-8

12

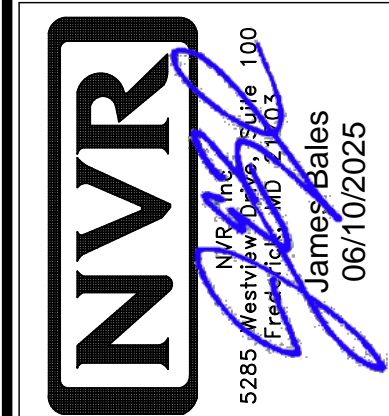


BUILDING SECTION - GARAGE
SCALE: 1/4" = 1'-0"

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DIV-COMM-LOT-UNIT	RLH-VK-0113
COMM-LOT	KIPLING VILLAGE - 0113
STREET ADDRESS	56 SAINTSBURY DRIVE
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

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SHEET NO.	MODEL	SET NO.	VERSION	RELEASE	DRAWN BY	DATE	OPTION
NC-9	GRAND CAYMAN	60000	01	----	HNP	02/20/20	
	BUILDING SECTION - GARAGE						

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RLH-VK-01B

DIV-COMM-LOT-UNIT
COM-LOT
KIPLING VILLAGE - 01B
STREET ADDRESS
56 SAINTSBURY DRIVE
CITY
FLOUJAY VARINA
STATE
NC
ZIP
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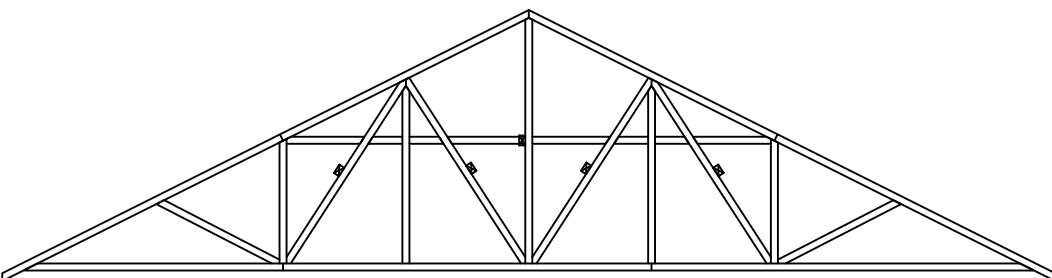
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VERSION 01
RELEASE NO. ----
DRAWN BY BN
DATE: 2/02/20
OPTION

MODEL
GRAND CAYMAN
DRAWING TITLE
TRUSS BRACING DETAILS

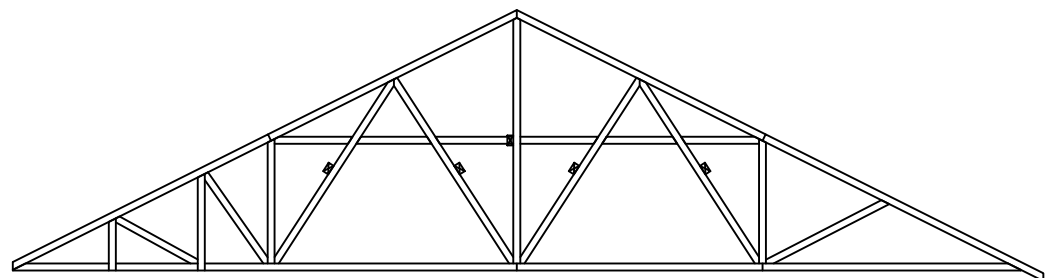
SHEET NO.
S-4

OPTION DESCRIPTION

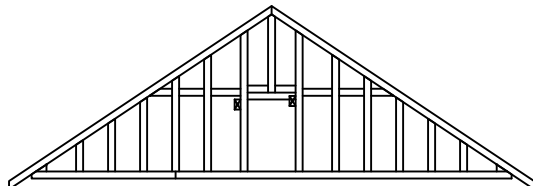
21



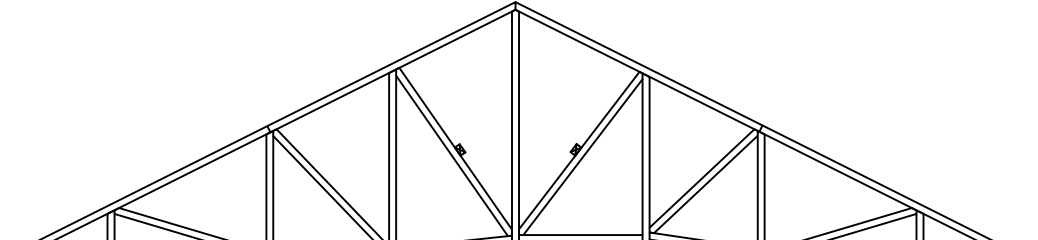
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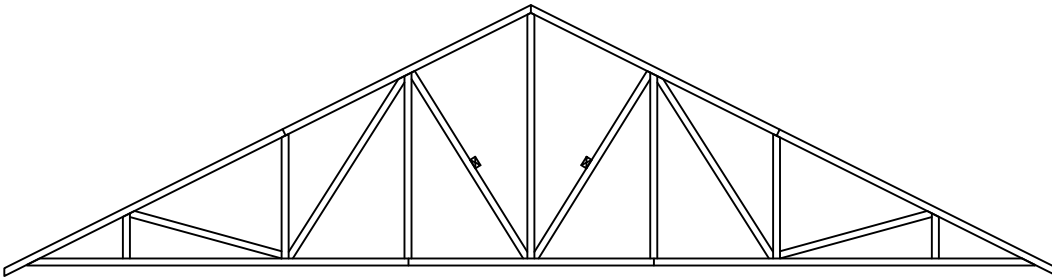
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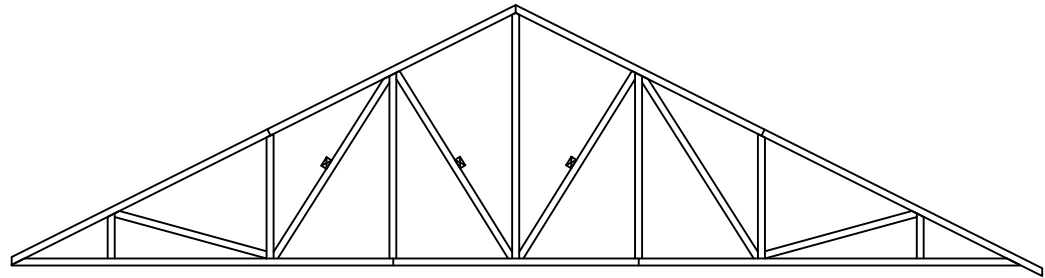
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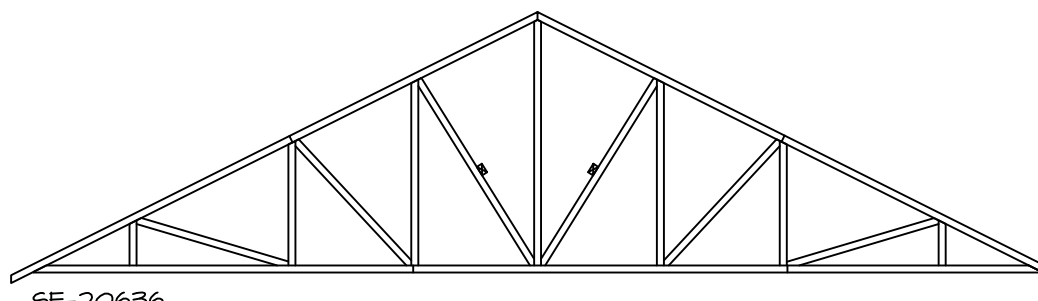
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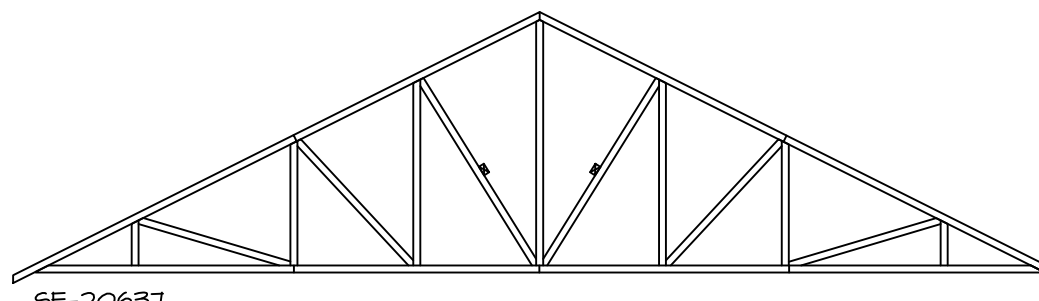
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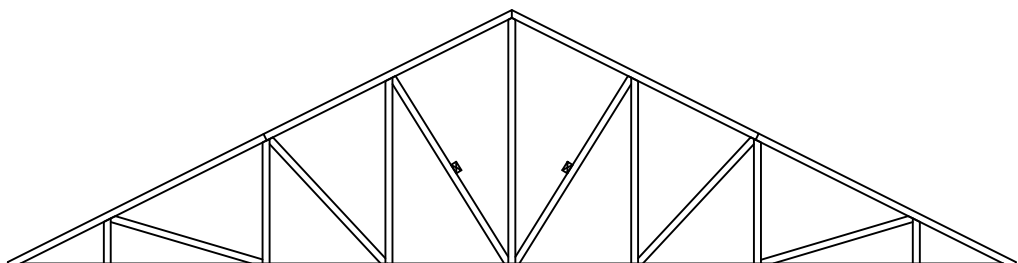
SE-20635



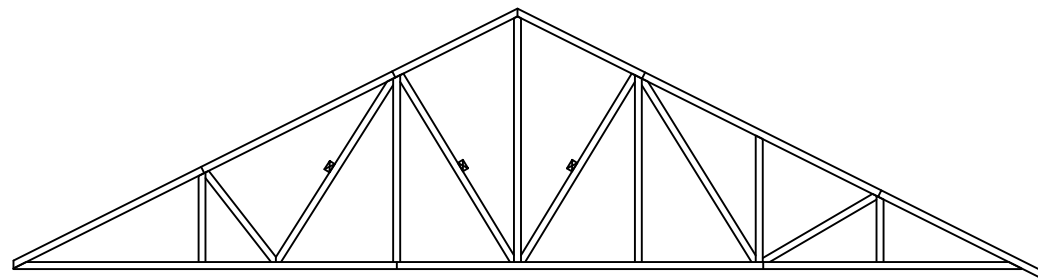
SE-20636



SE-20637



SE-20638



SE-20645

1
S-4

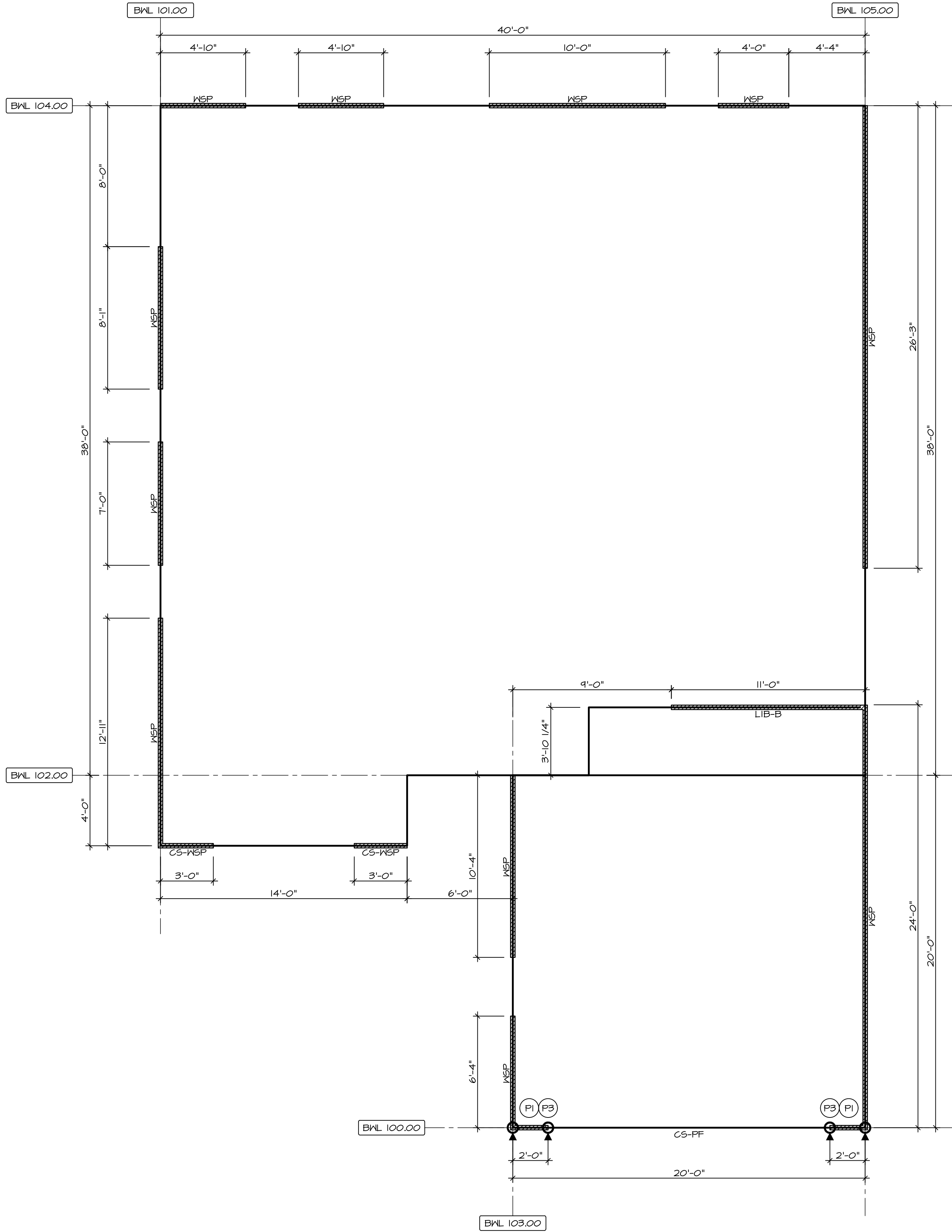
TRUSS BRACING DETAILS

SCALE: 1/8" = 1'-0"

TRUSS BRACING NOTES:

- IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.
- 2X4 SPT#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) 10D NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- WEB "T" BRACE, DETAIL 3/RF-1c, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 2X4 LATERAL BRACING.
- DIAGONAL BRACING REQUIRED WHEN LATERAL BRACING IS REQUIRED (4/RF-1c)
- STUDDED GABLE BRACING DETAIL (1/RF-1c) TO BE UTILIZED FOR TRUSSES 6'-4" IN HEIGHT OR GREATER.
- PARTIALLY SHEATHED GABLES, SEE (5/RF-1c) FOR "L" BRACING WHEN REQUIRED.
- LATERAL BRACING CAN BE APPLIED TO EITHER SIDE OF THE WEB MEMBER IDENTIFIED IN THE DRAWINGS.
- SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.

BRACED WALL LINE SCHEDULE				
WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	METHOD
130 MPH	BNL 100.00	5.25'	6.00'	CONTINUOUS (WITH GNB)
130 MPH	BNL 101.00	8.63'	21.44'	WSP (WITH GNB)
130 MPH	BNL 102.00	15.84'	17.00'	LIB
130 MPH	BNL 103.00	5.05'	16.66'	WSP (WITH GNB)
130 MPH	BNL 104.00	10.12'	23.66'	WSP (WITH GNB)
130 MPH	BNL 105.00	9.04'	50.25'	WSP (WITH GNB)



1
5-5
FIRST FLOOR BRACED WALL
SCALE: 1/4" = 1'-0"

BRACING LEGEND

BNL XXX.XX

BRACED WALL LINE I.D.

HOUSE WALL

BRACED WALL PANEL

WSP

WOOD STRUCTURAL PANEL

GB

GYPSUM BOARD (1) SIDED OR (2) SIDED

GB-BW

GYPSUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL *GB-BW-2*)

LIB

LET-IN BRACING (SEE STANDARD DETAIL *F / WB-2*)

CS-WSP

CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL

CS-PF

CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL *A, C / WB-2*)

CS-G

CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS

HD

HOLD-DOWN
1. SEE SHEET *NB-2 "P."*
INDICATOR SCHEDULE AND DETAILS
2. ARROW INDICATES LOCATION

NOTES:
HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED.

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT

RLH-VK-01B

COMM-LOT

KIPLING VILLAGE - 01B

STREET ADDRESS

56 SAINTSBURY DRIVE

CITY

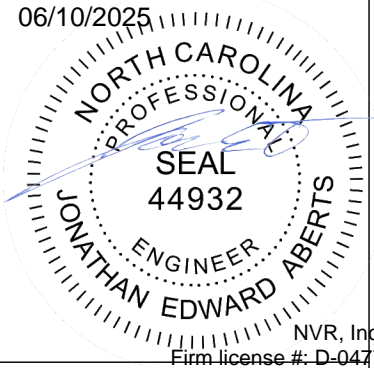
FUQUAY VARIANA

STATE

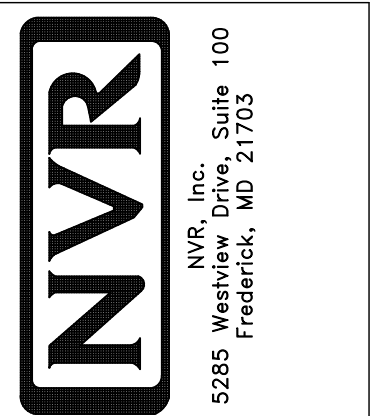
NC

ZIP

27526



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FASTENING SCHEDULE			
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS	6" O.C.	6" O.C.
	ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
1/2" GYPSUM WALLBOARD (W METHOD GB-I, GB-2)	1-1/4" LONG, 1/4" HEAD, .048" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.
	CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
1/2" GYPSUM WALL BOARD BLOCKED AT THE EDGES (W METHOD GB-BW-1, GB-BW-2, ENG-BW)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USED CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

NOTES:
1. MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.
2. SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
3. USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.
4. WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE WSP METHOD.

SET NO. 60M00

VERSION 01

RELEASE NO. ----

DRAWN BY CEL

DATE:

OPTION

MODEL

GRAND CAYMAN

DRAWING TITLE

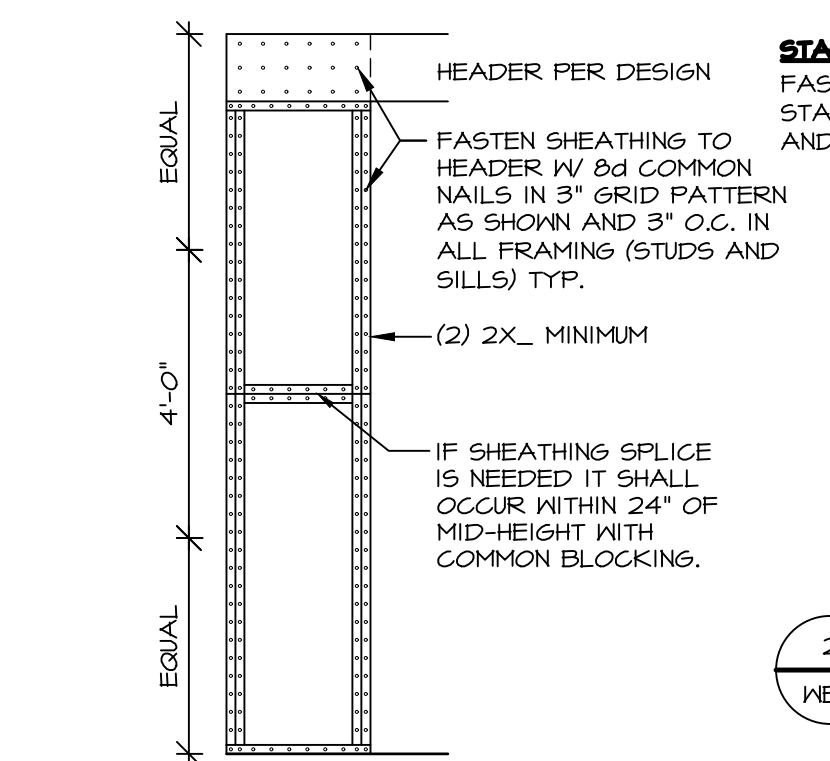
BRACED WALL

OPTION DESCRIPTION

SHEET NO.

5-5

22



1
WB-1
SCALE 3/8" = 1'-0"

TP31 TIE PLATE AT INTERSECTION OF PANELS (WHERE APPLICABLE) PER ENGINEERED DESIGN

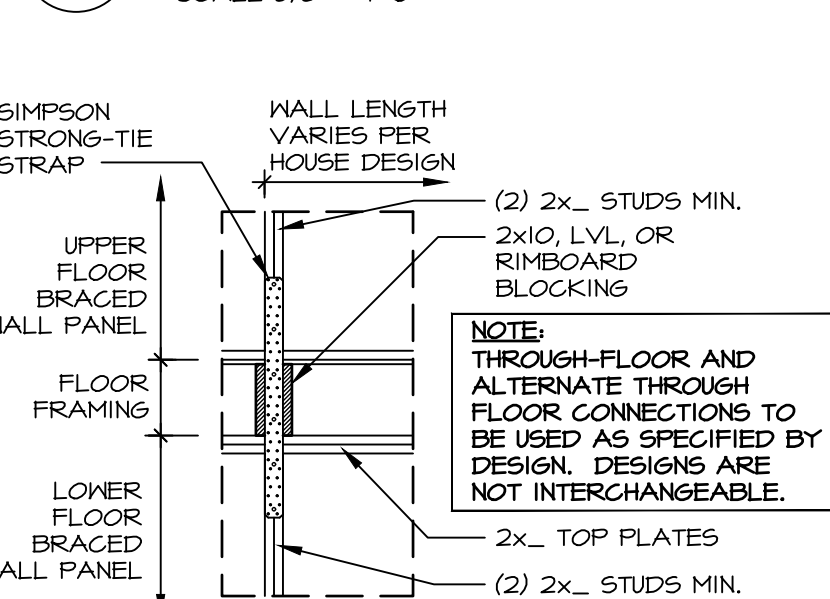
FASTEN SHEATHING CONTINUOUSLY ACROSS PANEL AND HEADER. FASTEN SHEATHING TO HEADER USING (4) ROWS OF 8d NAILS AT 3" O.C. (IN A 3" GRID PATTERN) AND TO ALL OTHER FRAMING MEMBERS AT 3" O.C. (TYP.)

FASTEN HEADER TO TOP PLATE WITH (2) ROWS OF 16d SINKERS AT 3" O.C. (TYP.)

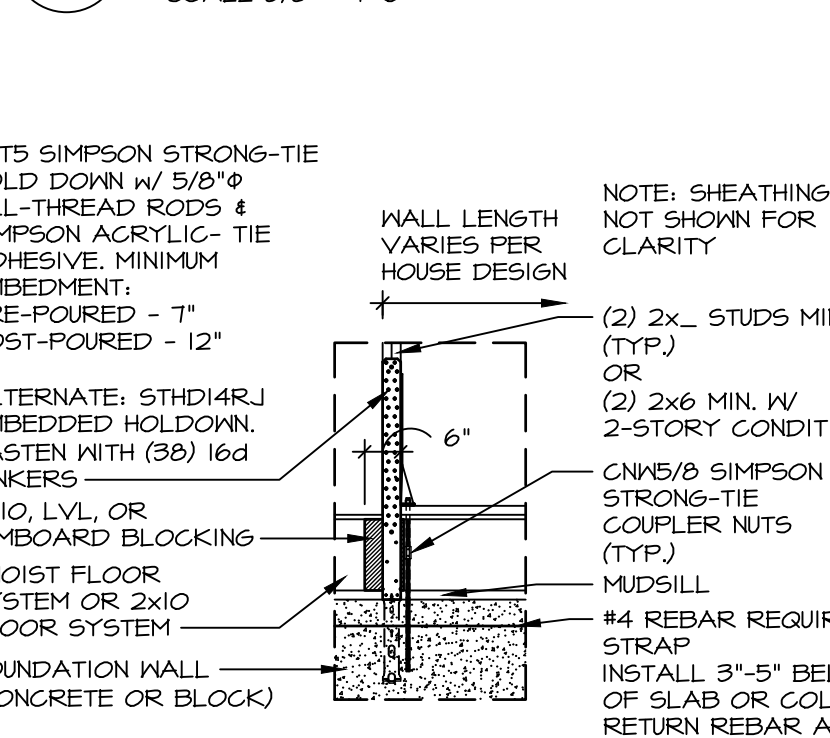
1000 LB. LSTA24 HEADER STRAP TO JACK STUD, INSTALLED ON INTERIOR SIDE OF PANEL

MIN. (2) 2x6

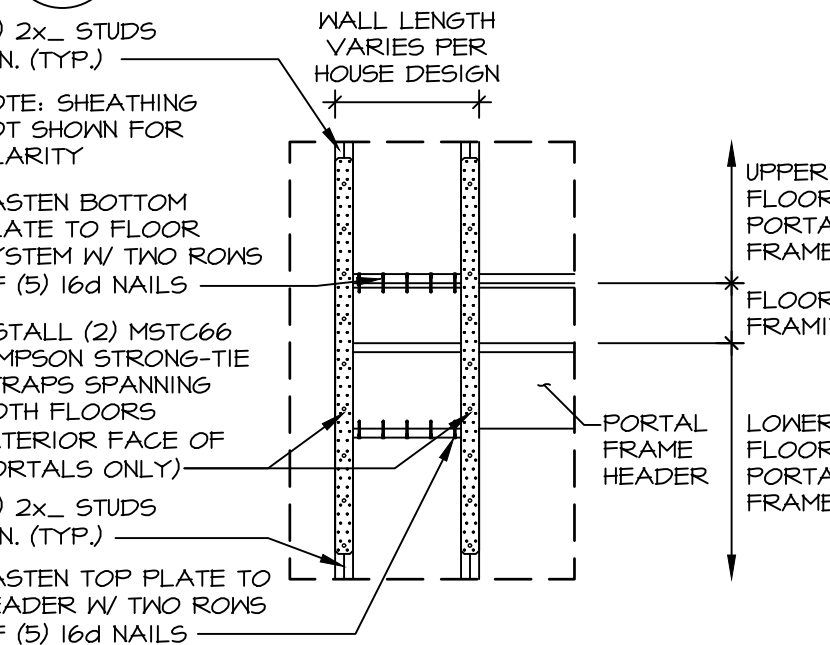
3
WB-1
SCALE 3/8" = 1'-0"



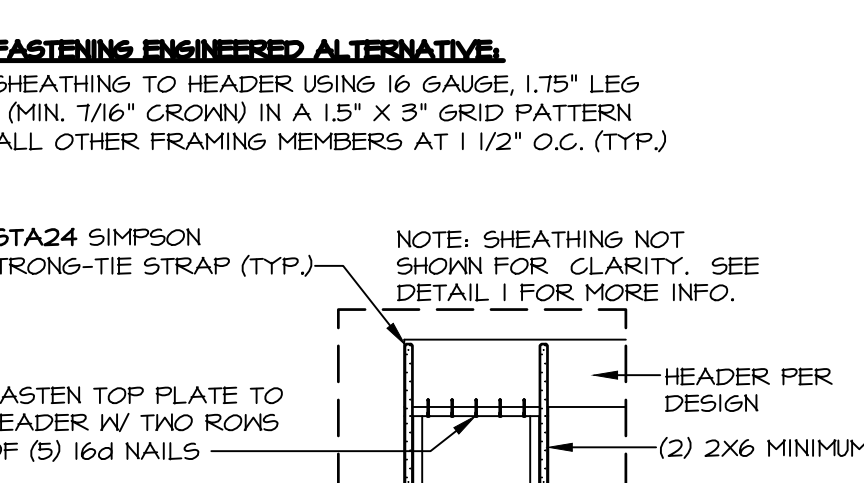
5
WB-1
SCALE 3/8" = 1'-0"



7
WB-1
SCALE 3/8" = 1'-0"



9
WB-1
SCALE 3/8" = 1'-0"



2
WB-1
SCALE 3/8" = 1'-0"

STAPLE FASTENING ENGINEERED ALTERNATIVE:
FASTEN SHEATHING TO HEADER USING 16 GAUGE, 1 1/2" LEG STAPLES (MIN. 7/16" GROUND) IN A 1 1/2" X 3" GRID PATTERN AND TO ALL OTHER FRAMING MEMBERS AT 1 1/2" O.C. (TYP.)

LSTA24 SIMPSON STRONG-TIE STRAP (TYP.)

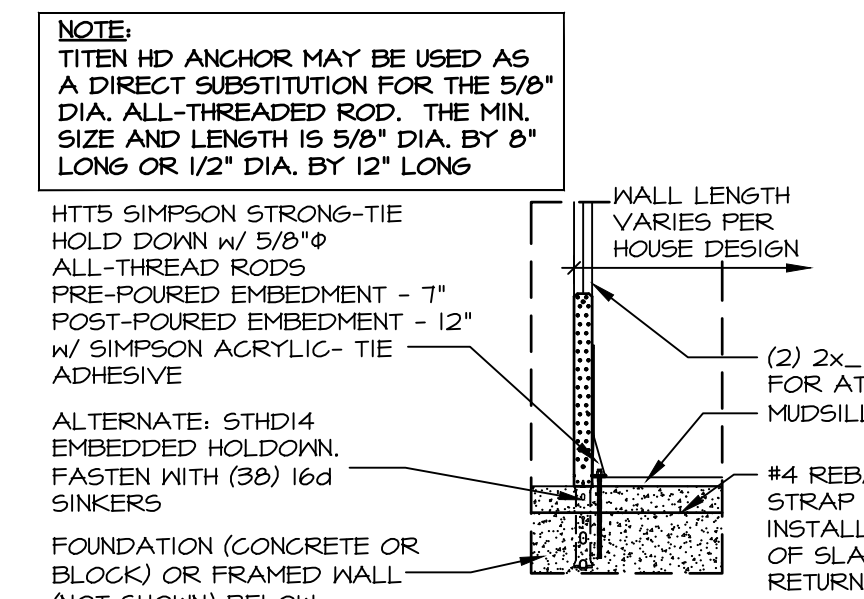
NOTE: SHEATHING NOT SHOWN FOR CLARITY. SEE DETAIL 1 FOR MORE INFO.

FASTEN TOP PLATE TO HEADER W/ TWO ROWS OF (5) 16d NAILS

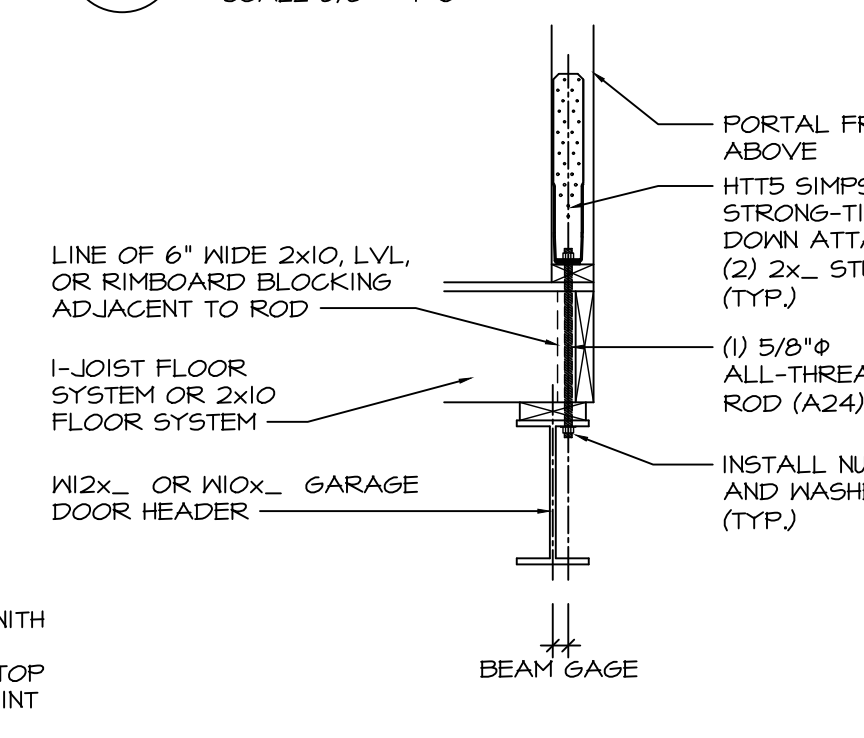
HEADER PER DESIGN

(2) 2x6 MINIMUM

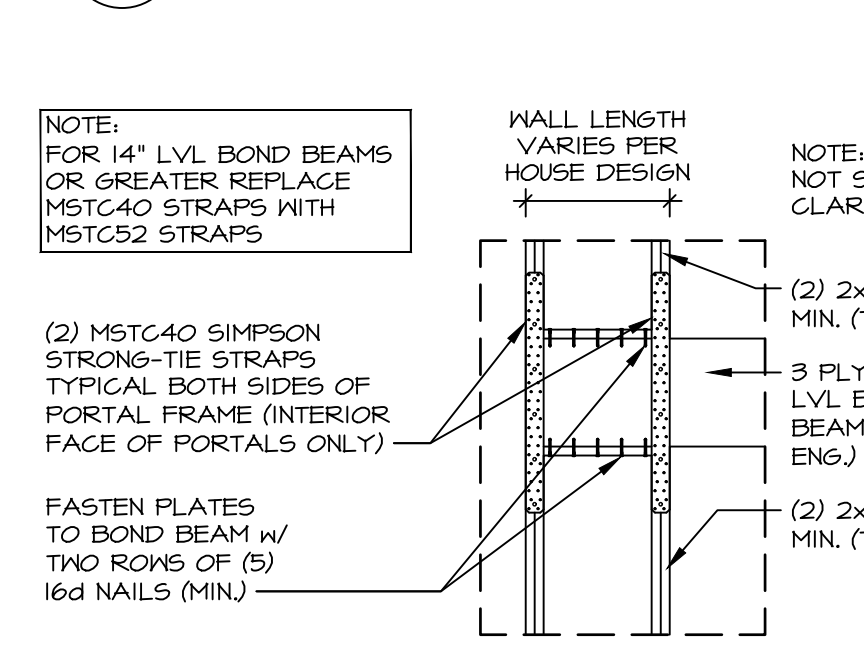
4
WB-1
SCALE 3/8" = 1'-0"



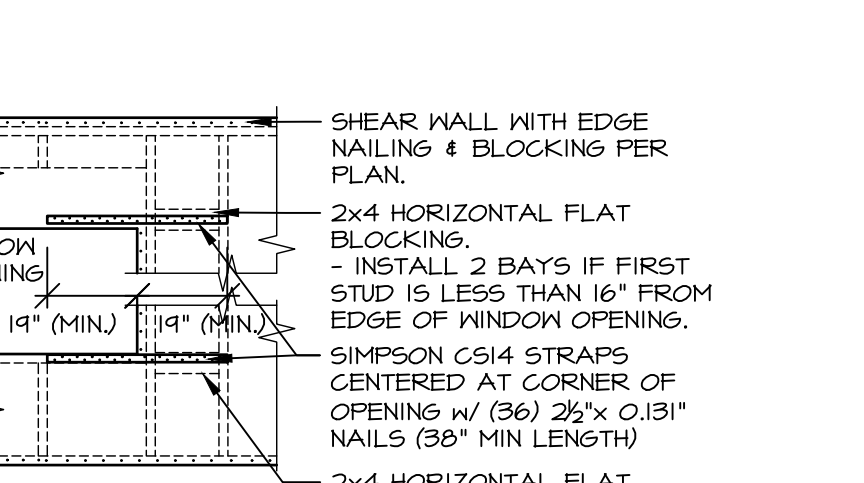
6
WB-1
SCALE 3/8" = 1'-0"



8
WB-1
SCALE 3/8" = 1'-0"



10
WB-1
SCALE 3/8" = 1'-0"



20
WB-1
SCALE 3/8" = 1'-0"

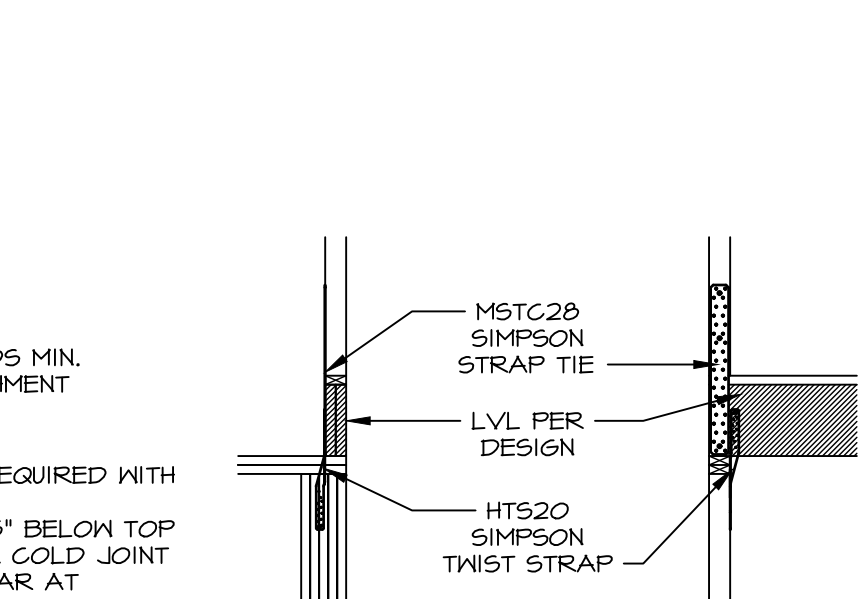
REQUIRED ONLY @ OPENINGS AS SPECIFIED ON PLAN.

STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHES. UNLESS OTHERWISE NOTED 4" MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR WINDOW NAILING

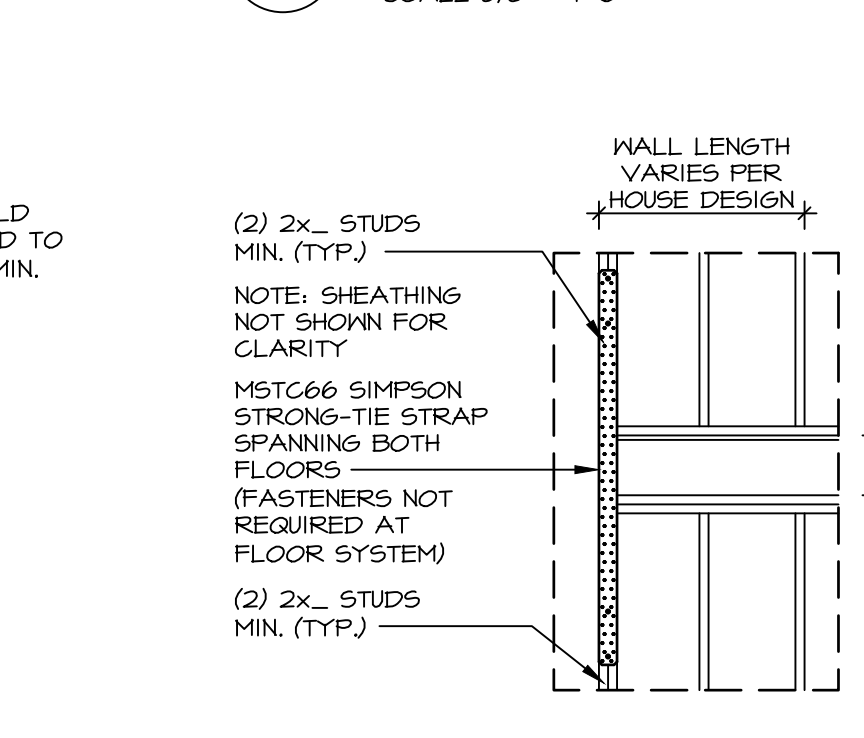
WHERE STRAP DETAIL IS SPECIFIED AT DOOR OPENINGS, STRAPPING IS ONLY REQUIRED AT THE TOP OF THE OPENING

NOTE: THROUGH-FLOOR AND ALTERNATE THROUGH FLOOR CONNECTIONS TO BE USED AS SPECIFIED BY DESIGN. DESIGNS ARE NOT INTERCHANGEABLE.

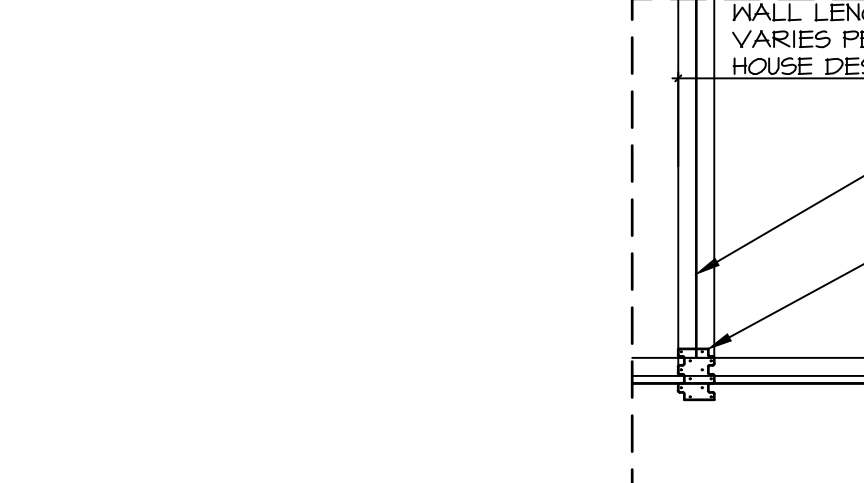
11
WB-1
SCALE 3/8" = 1'-0"



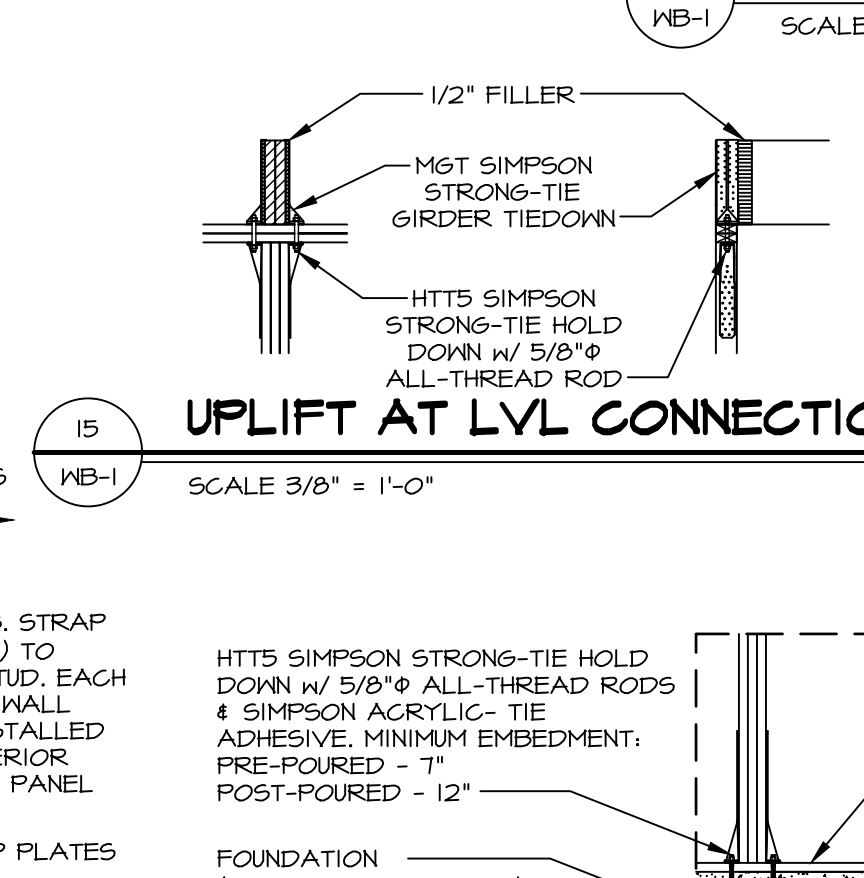
21
WB-1
SCALE 3/8" = 1'-0"



22
WB-1
SCALE 3/8" = 1'-0"



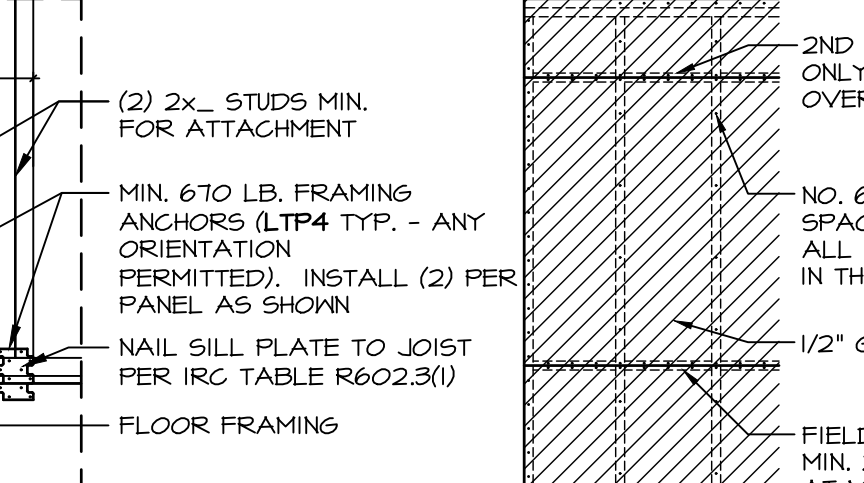
19
WB-1
SCALE 3/8" = 1'-0"



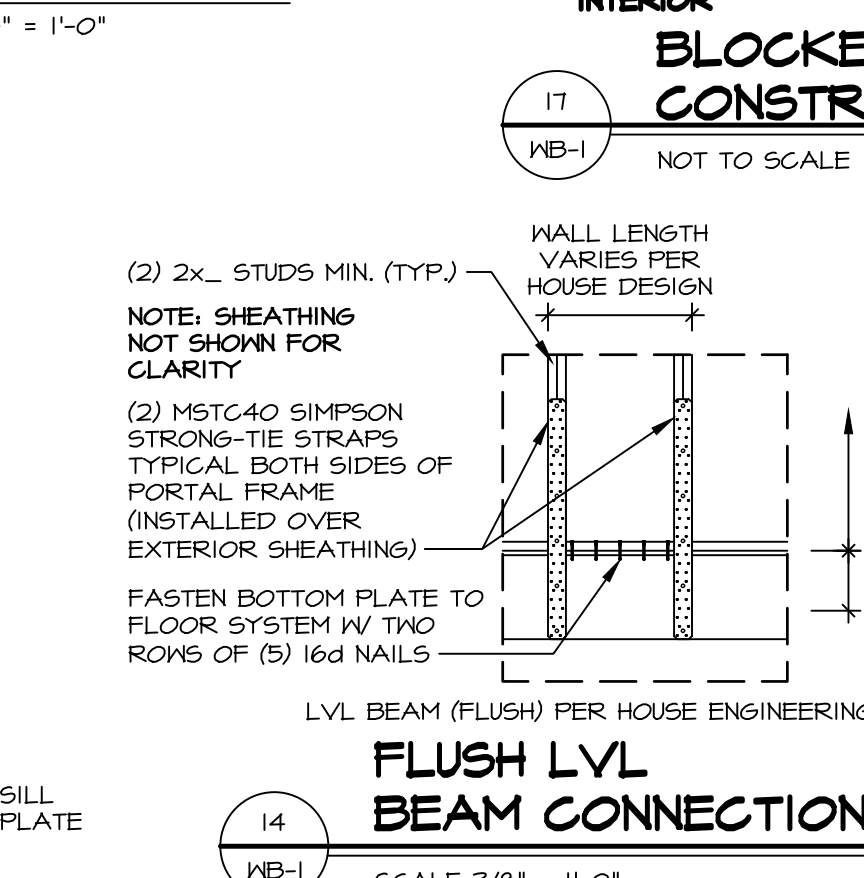
15
WB-1
SCALE 3/8" = 1'-0"



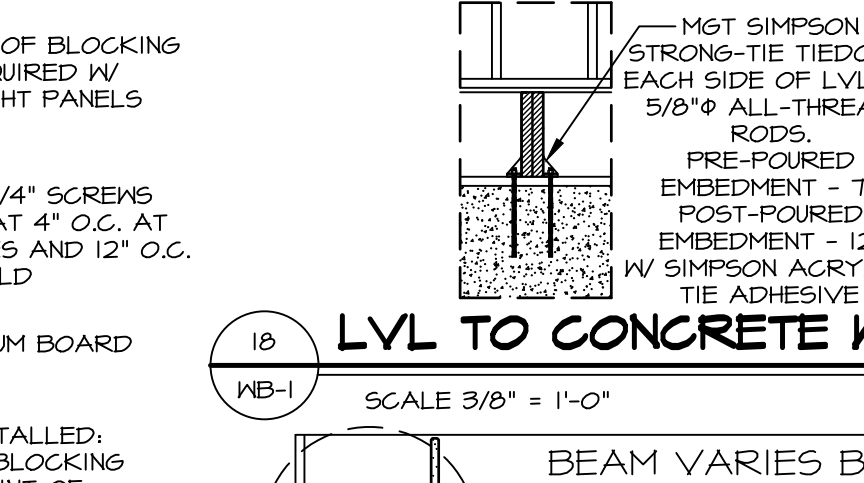
16
WB-1
SCALE 3/8" = 1'-0"



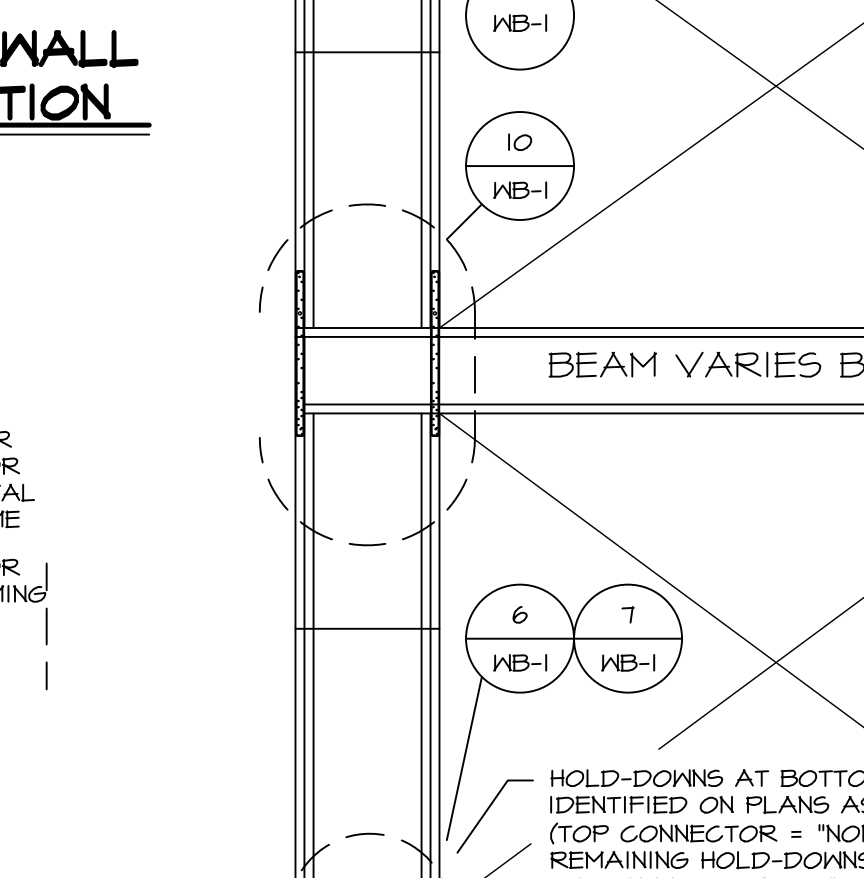
17
WB-1
NOT TO SCALE



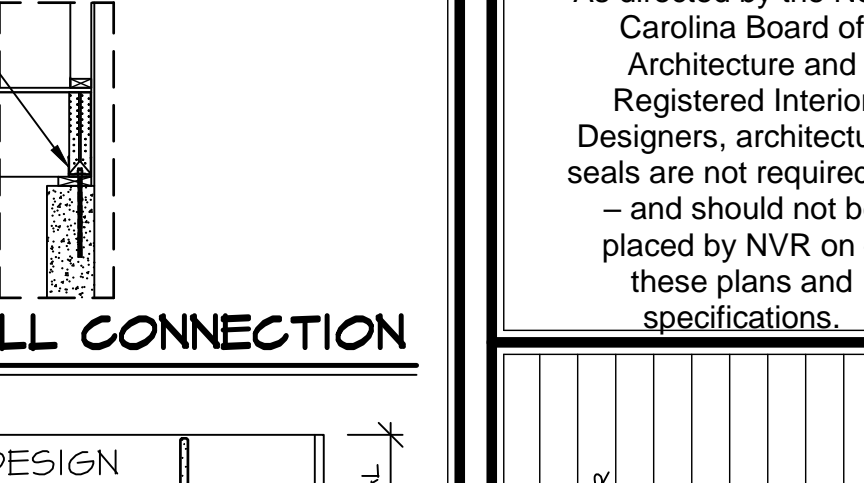
14
WB-1
SCALE 3/8" = 1'-0"



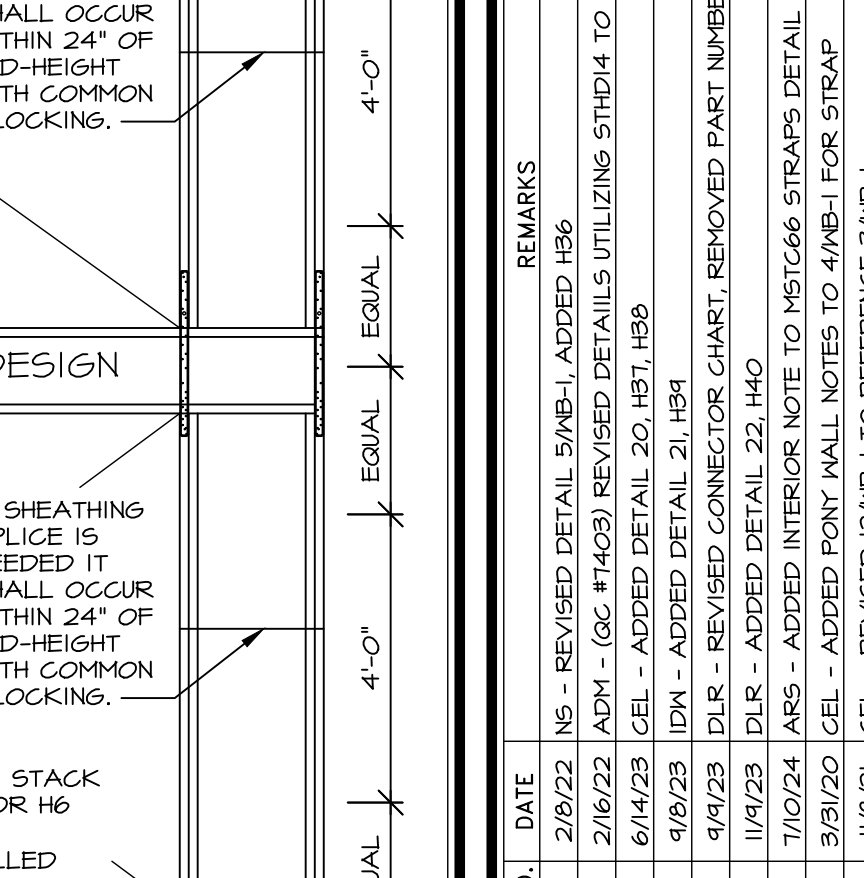
18
WB-1
SCALE 3/8" = 1'-0"



12
WB-1
NOT TO SCALE



13
WB-1
SCALE 3/8" = 1'-0"



10
WB-1
SCALE 3/8" = 1'-0"

ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL	ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
H1	HTT5	1	WB-1	NONE	N/A	N/A	H21	MSTC52	1	WB-1	LSTA24	1	WB-1
H2	HTT5	1	WB-1	LSTA24	1	WB-1	H22	MSTC52	1	WB-1	LSTA24	1	WB-1
H3	HTT5	1	WB-1	LSTA24	1	WB-1	H23	MSTC52	1	WB-1	MST48	1	WB-1
H4	HTT5	1	WB-1	MST48	1	WB-1	H24	MSTC40	1	WB-1	LSTA24	1	WB-1
H5	HTT5	1	WB-1	MSTC40	1	WB-1	H25	MSTC40	1	WB-1	LSTA24	1	WB-1
H6	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	NONE	N/A	N/A	H26	MSTC40	1	WB-1	MST48	1	WB-1
H7	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	LSTA24	1	WB-1	H27	LSTA36	1	WB-1	NONE	N/A	N/A
H8	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	LSTA24	1	WB-1	H28	MSTC40	1	WB-1	NONE	N/A	N/A
H9	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	MST48	1	WB-1	H29	MSTC40	1	WB-1	LSTA24	1	WB-1
H10	HTT5 5/8" A24 THR. ROD C/NK5/8 COUPLER	1	WB-1	MSTC40	1	WB-1	H30	HTT5	2	WB-1	MST HTT5 5/8" A24 THR. ROD	2	WB-1
H11	HTT5 5/8" A24 THR. ROD	1	WB-1	NONE	N/A	N/A	H31	MSTC40	1	WB-1	NONE	N/A	N/A
H12	HTT5 5/8" A24 THR. ROD	1	WB-1	LSTA24	1	WB-1	H32	MSTC40	1	WB-1	LSTA24	1	WB-1
H13	HTT5 5/8" A24 THR. ROD	1	WB-1	LSTA24	1	WB-1	H33	NONE	N/A	N/A	MGT	2	WB-1
H14	HTT5 5/8" A24 THR. ROD	1	WB-1	LSTA24	1	WB-1	H34	LTP4	1	WB-1	NONE	N/A	N/A
H15	HTT5 5/8" A24 THR. ROD	1	WB-1	MSTC40	1	WB-1	H35	LTP4	1	WB-1	LSTA24	1	WB-1
H16	MSTC66	1	WB-1	NONE	N/A	N/A	H36	MSTC52	1	WB-1	NONE	N/A	N/A
H17	MSTC66	1	WB-1	LSTA24	1	WB-1	H37	CS14	1	WB-1	CS14	1	WB-1
H18	MSTC66	1	WB-1	LSTA24	1	WB-1	H38	NONE	N/A	N/A	CS14	1	WB-1
H19	MSTC66	1	WB-1	MST48	1	WB-1	H39	MSTC28 HTS20	1	WB-1	NONE	N/A	N/A
H20	MSTC52	1	WB-1	NONE	N/A	N/A	H40	MSTC66	1	WB-1	NONE	N/A	N/A

NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS FOR CMU FOUNDATIONS SEE 12/FD-1.

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications.

REV. NO.	DATE	REMARKS
18	2/16/22	WB - REVISED DETAIL 5/WB-1, ADDED HB6
20	2/16/22	ADN - (GC #1468) REVISED DETAILS UTILIZING STUDS TO INCLUDE REBAR
21	6/14/23	ADN - ADDED DETAIL 20, 157, 158
22	9/12/23	LDX - REVISED CONNECTOR CHART, REMOVED PART NUMBERS
23	9/12/23	LDX - ADDED DETAIL 21, 151
24	11/12/23	DLR - ADDED INTERIOR NOTE TO MSTC66 STRAPS DETAIL #1 (ARC-1195)
25	11/12/23	JAS - ADDED DETAIL 22, 140
17	9/12/20	CEL - ADDED DETAIL 17 FOR STRAP
19	11/12/20	CEL - REVISED DETAIL 19 TO REFERENCE 9/WB-1

06/10/2025

NORTH CAROLINA PROFESSIONAL SEAL 44932

JOHN EDWARD ADAMS

ENGINEER

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NVR

NVR, Inc.
Westview Drive, Suite 100
Frederick, MD 21703

SHEET NO. **WB-1**

MODEL **WALL BRACING DETAILS**

DRAWING TITLE **ENGINEERED WALL BRACING DESIGN**

DESIGNED BY **KFT**

DRAWN BY **KFT**

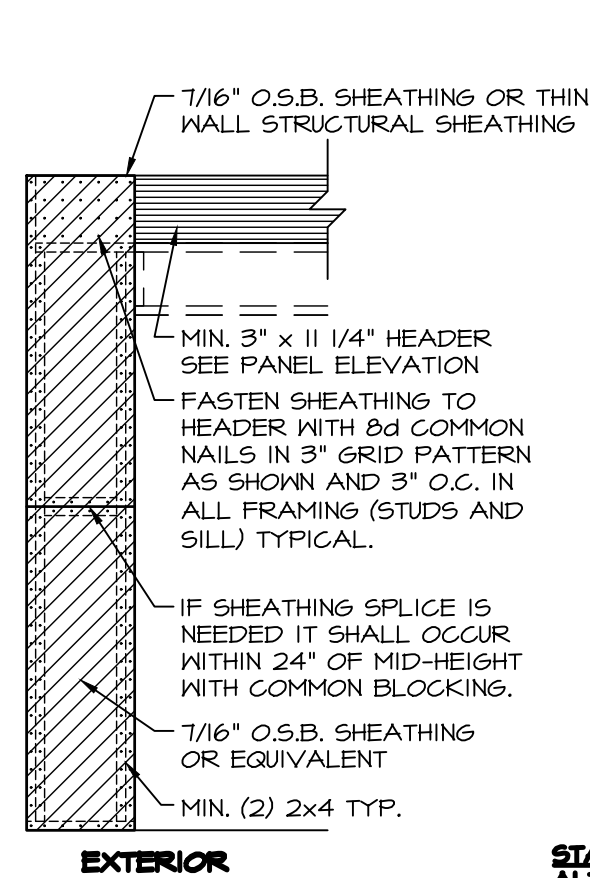
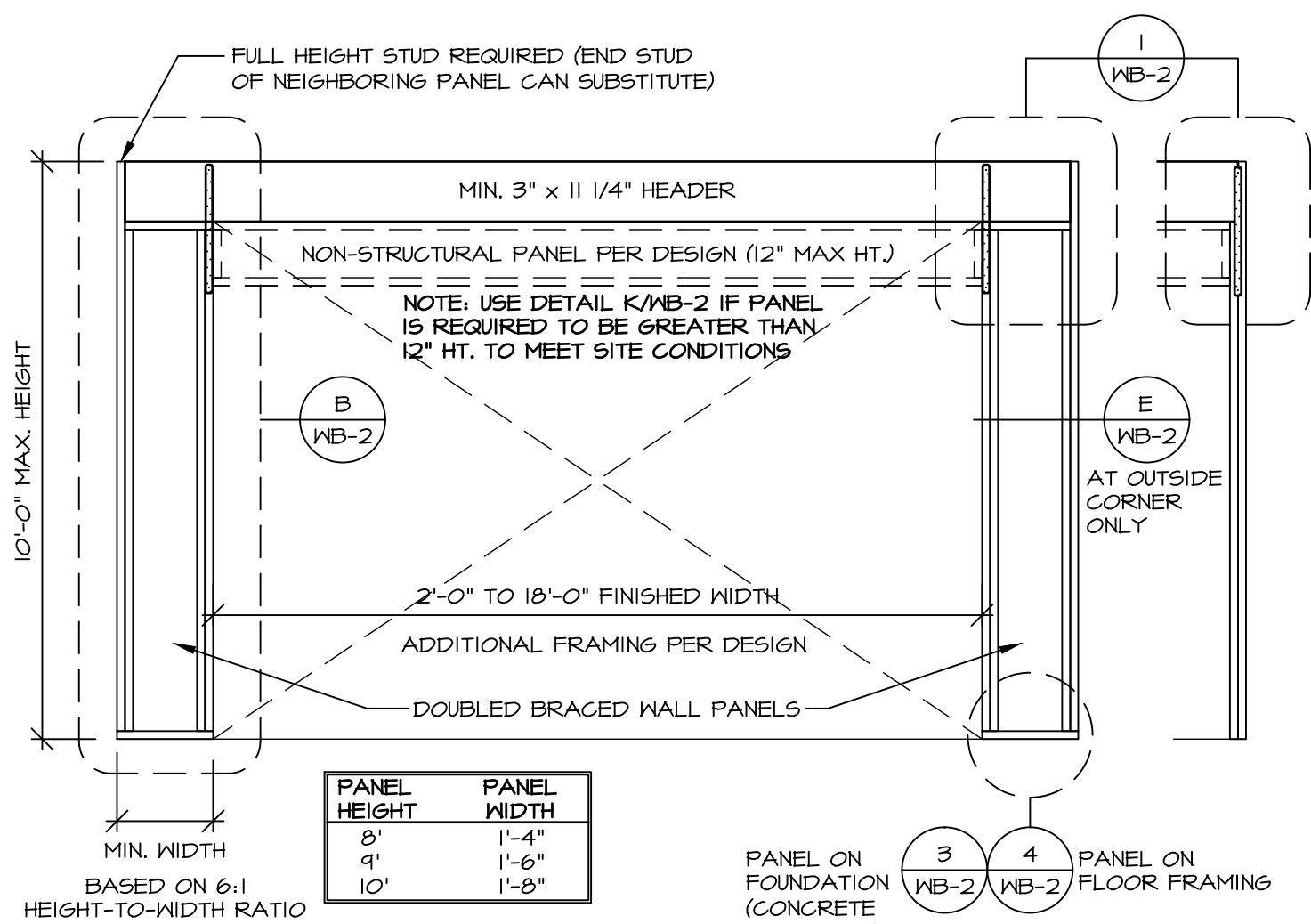
CHECKED BY **KFT**

DATE: **2/16/12**

OPTION

PROJECT DETAILS: **NVR - Wall Bracing WB1 - BRACED WALL - ENG.dwg**

05/20/25 - 3:07 PM

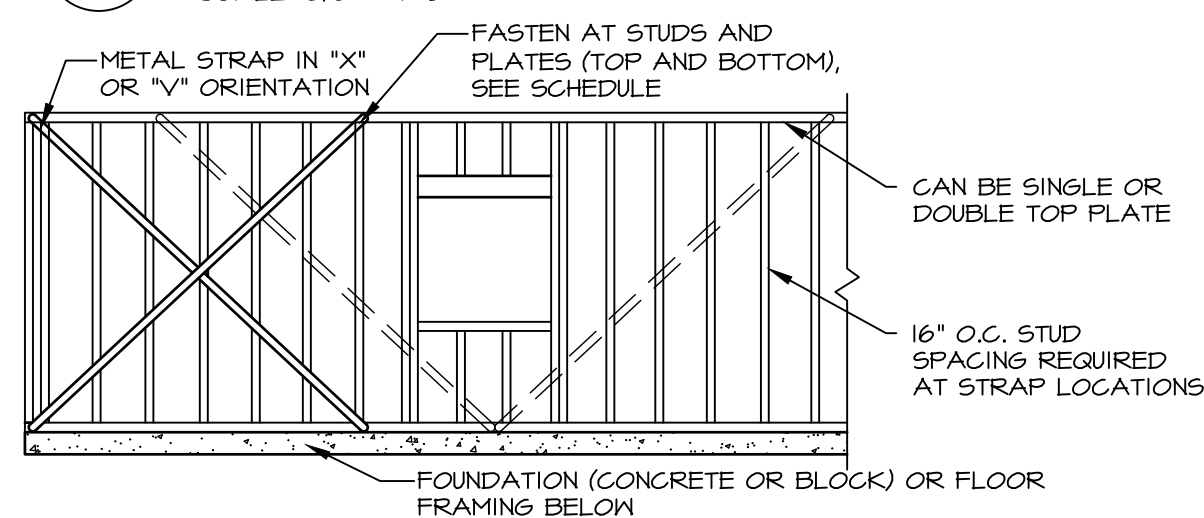


PORTAL FRAME: SHEATHING APPLICATION DETAIL

SCALE: 3/8" = 1'-0"

CONTINUOUSLY SHEATHED PORTAL FRAME

SCALE: 3/8" = 1'-0"



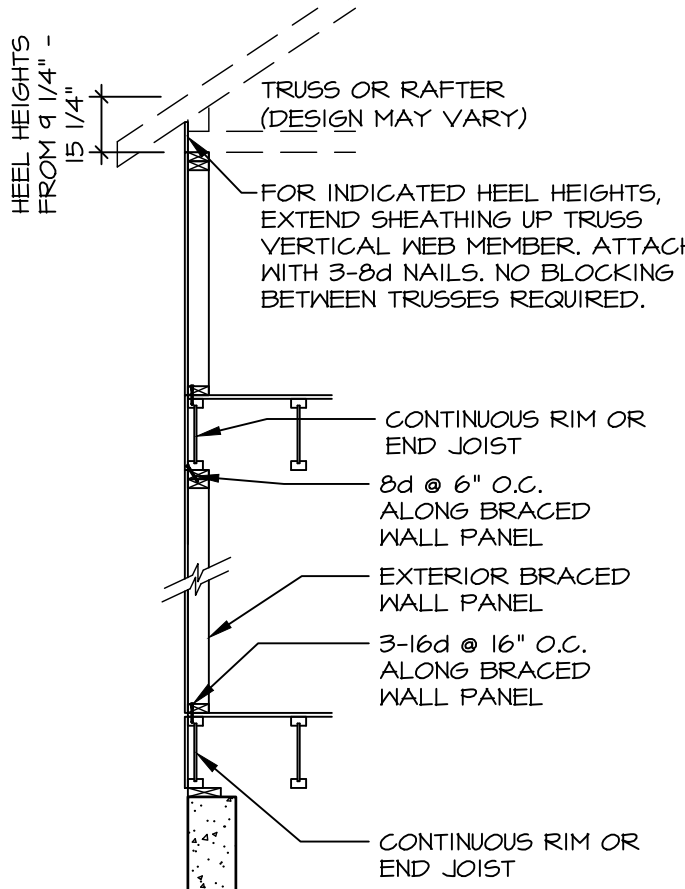
SIMPSON STRONG-TIE	FASTENERS
LIB-A = MB106	(3) 16d
LIB-B = MB126	(3) 16d
LIB-C = MB143C	(1) 8d

LET-IN BRACING

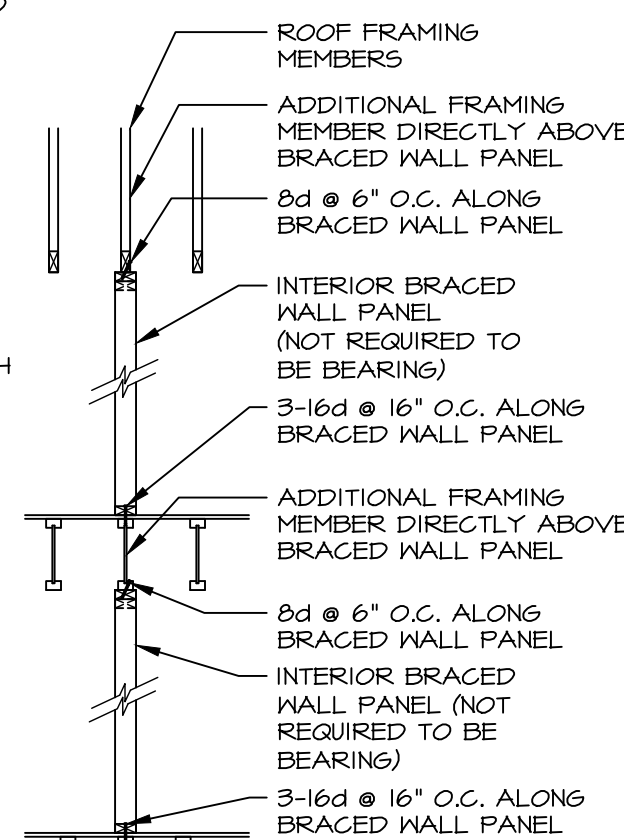
NOT TO SCALE

NOTE: FOR TRUSSES WITH HEEL HEIGHTS GREATER THAN 15'-1/4", THE INTERIOR CEILING DIAPHRAGM AND EXTERIOR SHEATHING INSTALLED ON EXPOSED TRUSS HEELS ARE USED FOR LATERAL SUPPORT.

SEE ALTERNATE EXTERIOR WALL BRACING PANEL AS REQUIRED WITH CANTILEVER.



BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING



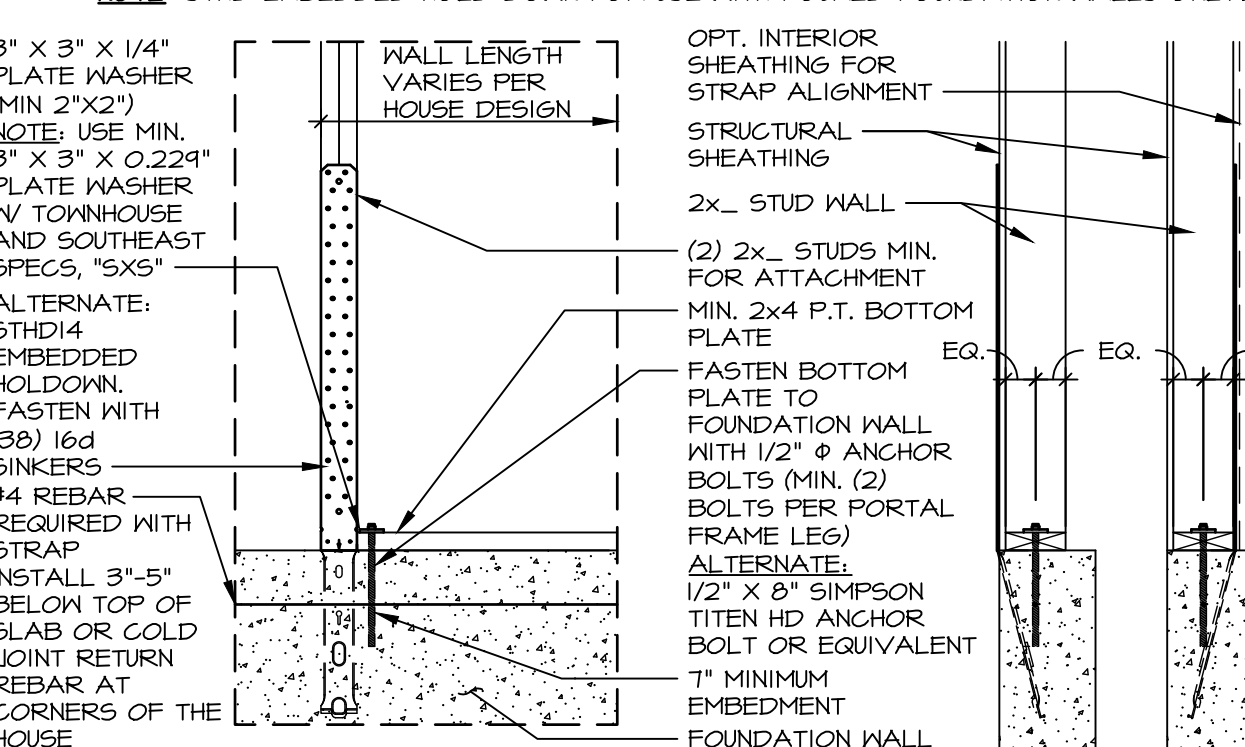
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

WALL BRACING PANEL CONNECTION DETAILS

SCALE: 3/8" = 1'-0"

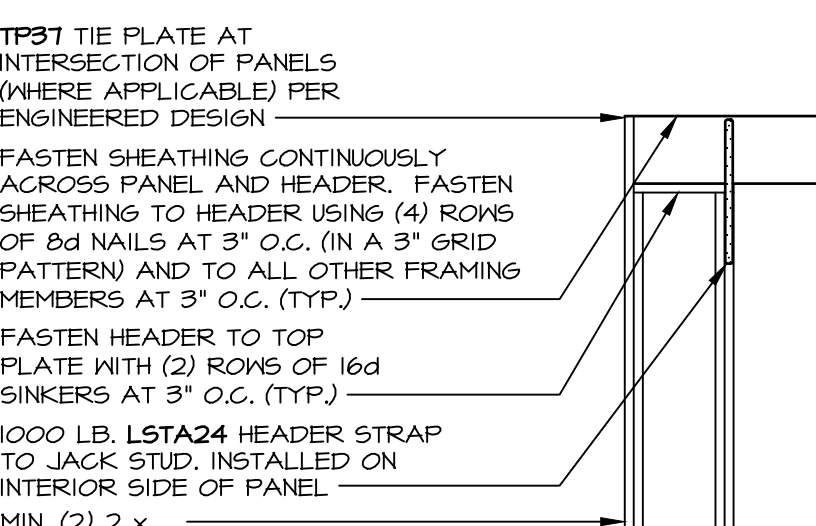
APPLIES TO I-JOIST, NOMINAL LUMBER AND FLOOR TRUSS FLOOR SYSTEMS

NOTE: STD EMBEDDED HOLD DOWN FOR USE WITH POURED FOUNDATION WALLS ONLY.



HOLD-DOWN DETAIL: FOUNDATION

SCALE: 3/4" = 1'-0"



CONTINUOUSLY SHEATHED PORTAL: TYP. HEADER / PANEL CONNECTION

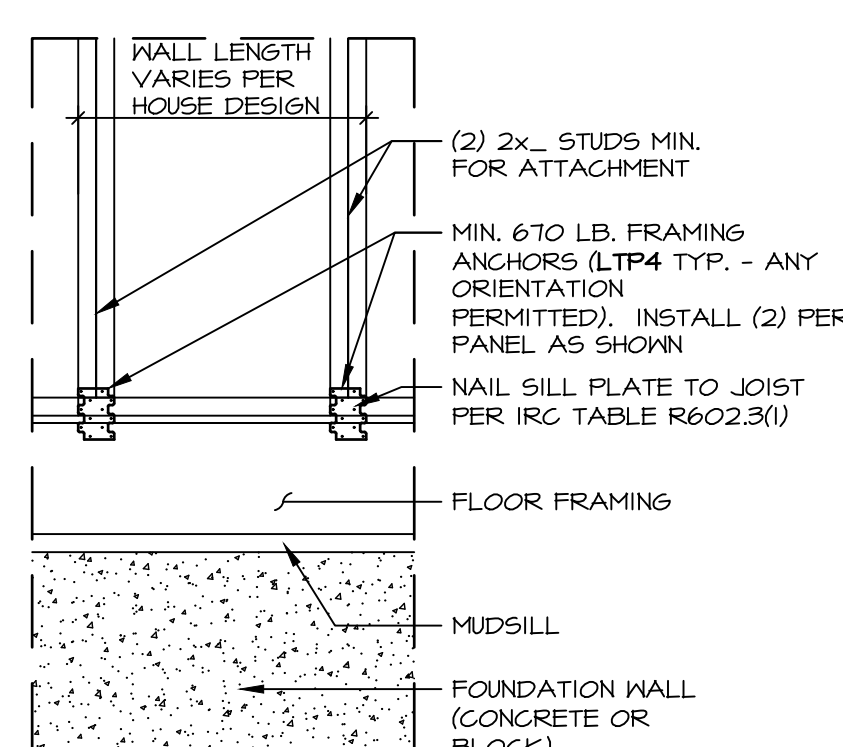
SCALE: 3/8" = 1'-0"

ALTERNATE PORTAL FRAME: HEADER / PANEL CONNECTION

SCALE: 3/8" = 1'-0"

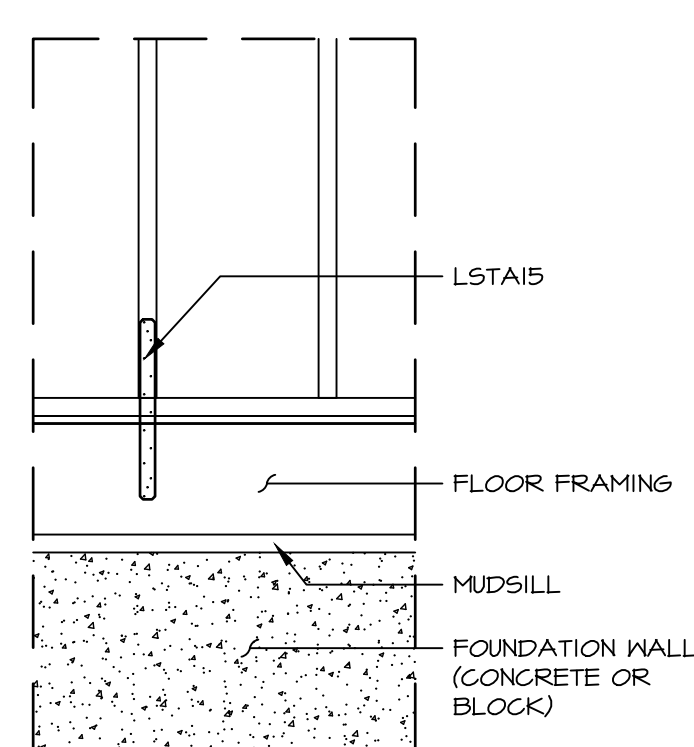
HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0"



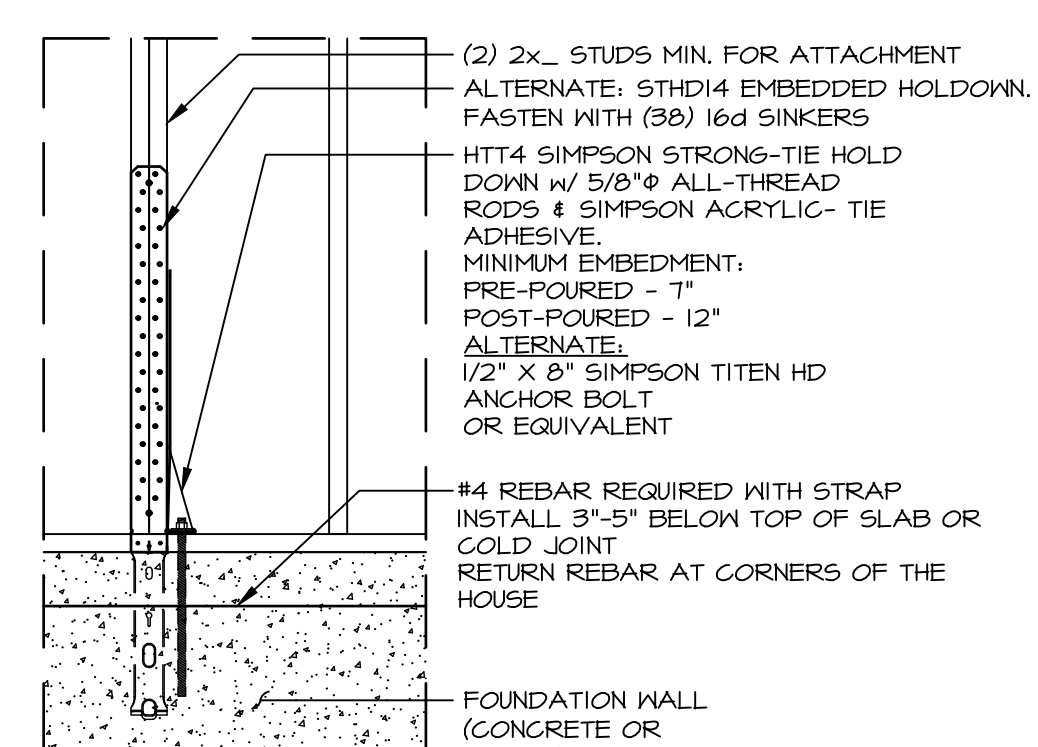
HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0"



HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0"



HOLD-DOWN DETAIL: FOUNDATION

SCALE: 3/4" = 1'-0"

ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
P1	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) MB-2	NONE	N/A	N/A
P2	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) MB-2	LSTA24	1	(1) MB-2
P3	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) MB-2	MST48	1	(2) MB-2
P4	LTP4	1	(4) MB-2	NONE	N/A	N/A
P5	LTP4	1	(4) MB-2	LSTA24	1	(1) MB-2
P6	LTP4	1	(4) MB-2	MST48	1	(2) MB-2
P7	LSTA15	1	(5) MB-2	NONE	N/A	N/A
P8	HTT4 5/8" A24 THR. ROD	1	(6) MB-2	NONE	N/A	N/A
P9	NONE	N/A	N/A	LSTA24	1	(1) MB-2
P10	NONE	N/A	N/A	MST48	1	(2) MB-2

NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

REV. NO.	DATE	REMARKS
31	1/11/24	ARS - GC#B503 DETAIL B REVISED STAPLE SIZE FROM 1 1/4" TO 1 3/4"
32	1/23/24	DLR - GC#B164 - REVISED DETAIL E/MB-2 CORNER DETAIL
33	3/25/24	ARS - ADDED TO DETAIL H GC-FRM-44201
34	10/25/20	CEL - REVISED MB-2 TO INCLUDE FLOOR TRUSSES
35	10/13/20	CEL - ADDED NOTES DETAIL MB-2 TO USE K/MB-2
36	4/1/21	ARS - REV. DET. C PONY WALL NOTES
37	6/9/21	CEL - GC#F1328 - REVISED MB-2 TO REMOVE USE OF FLAT BLOCKING
38	12/13/22	DLR - GC#B261 - REVISED MB-2 NAIL BRACING DET. AND ALT. FINISHING TO MB-2
39	9/1/23	DLR - GC#B628 - REVISED CONNECTOR CHART, REMOVED PART NUMBERS

06/10/2025
NORTH CAROLINA PROFESSIONAL SEAL 44932
ENGINEER
NVR, INC.
EDWARD ALBERTS

NVR, INC.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 1
VERSION 1
DRAWN BY ELH
DATE: 4/8/14
OPTION

MODEL: WALL BRACING DETAILS
DRAWING TITLE: PREScriptive WALL BRACING DESIGN
SHEET NO. WB-2
OPTION DESCRIPTION

X:\NVR\2024\AS SOLID CA for Solid Detail\WB2 - BRACED WALL - PREScriptive.dwg 05/08/25 - 10:40 am