

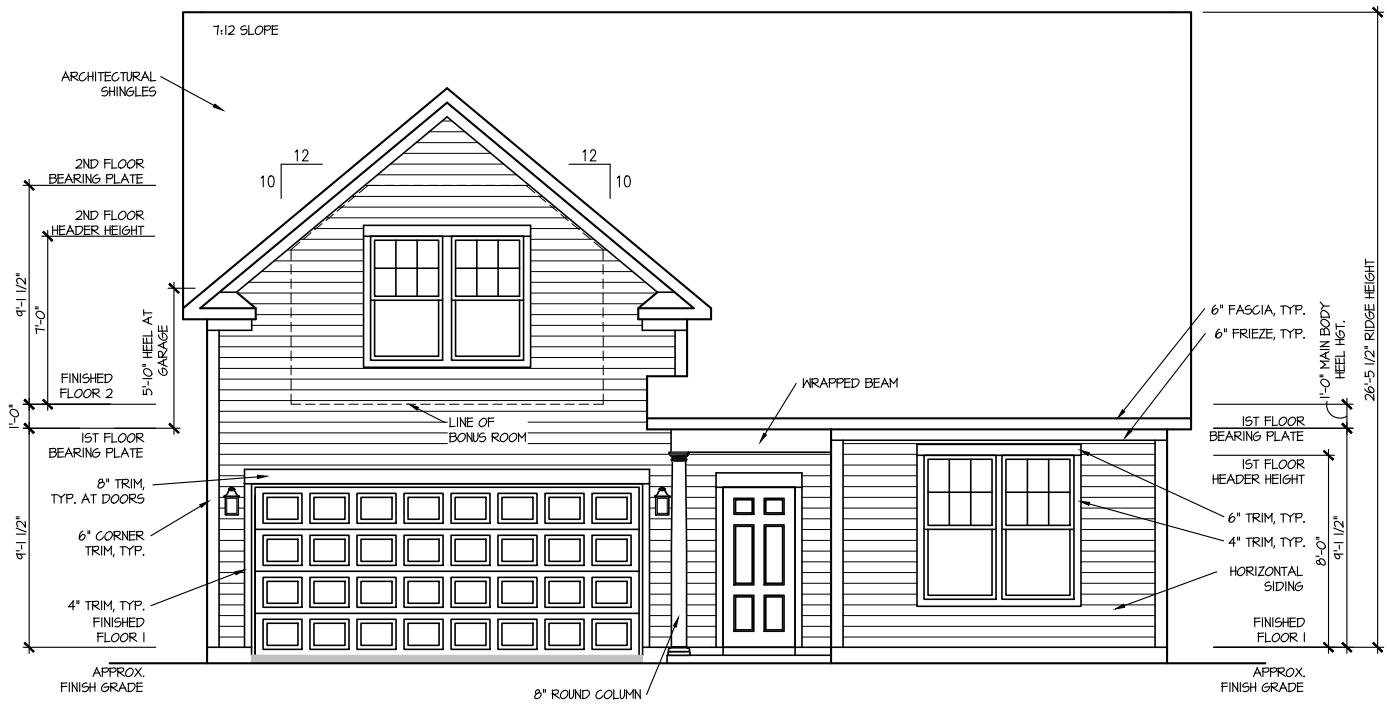
COOPER 3-RALE

RALEIGH - LOT 00.0174 THE FARM AT NEILL'S CREEK (MODEL# 1777)

ELEVATION 1 - GL

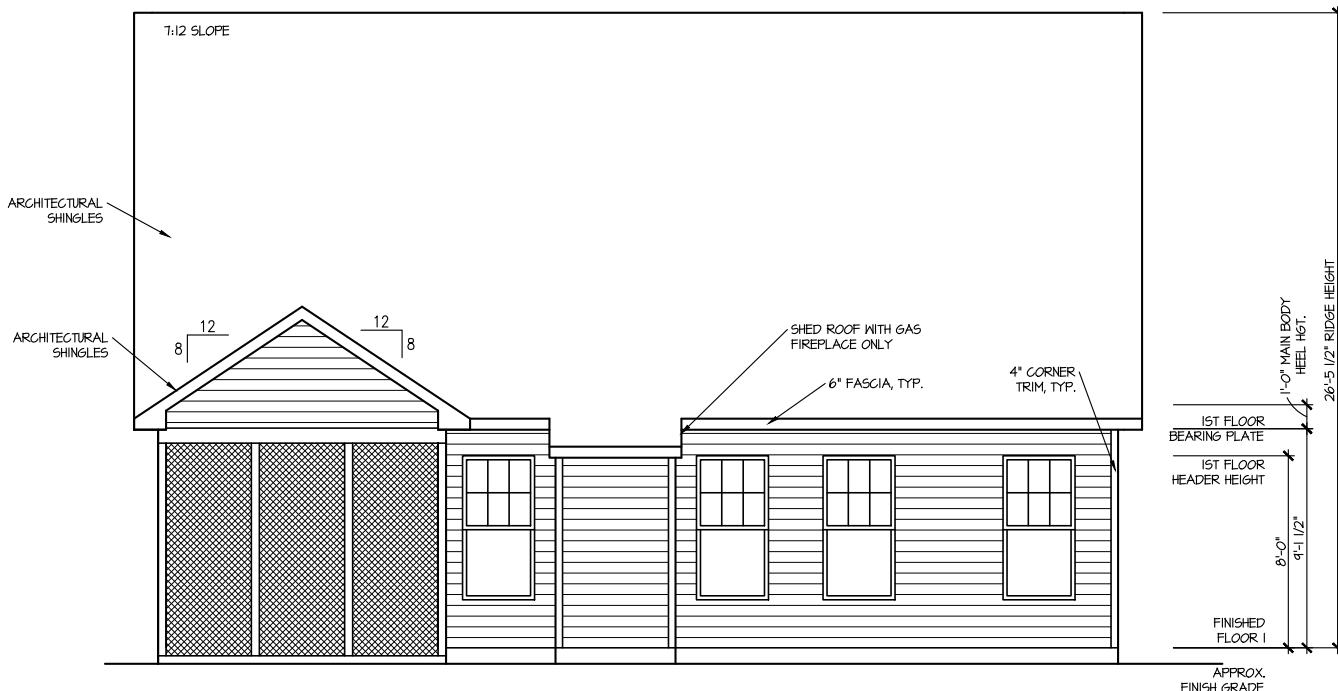


193 Appleseed Drive



FRONT ELEVATION I

SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

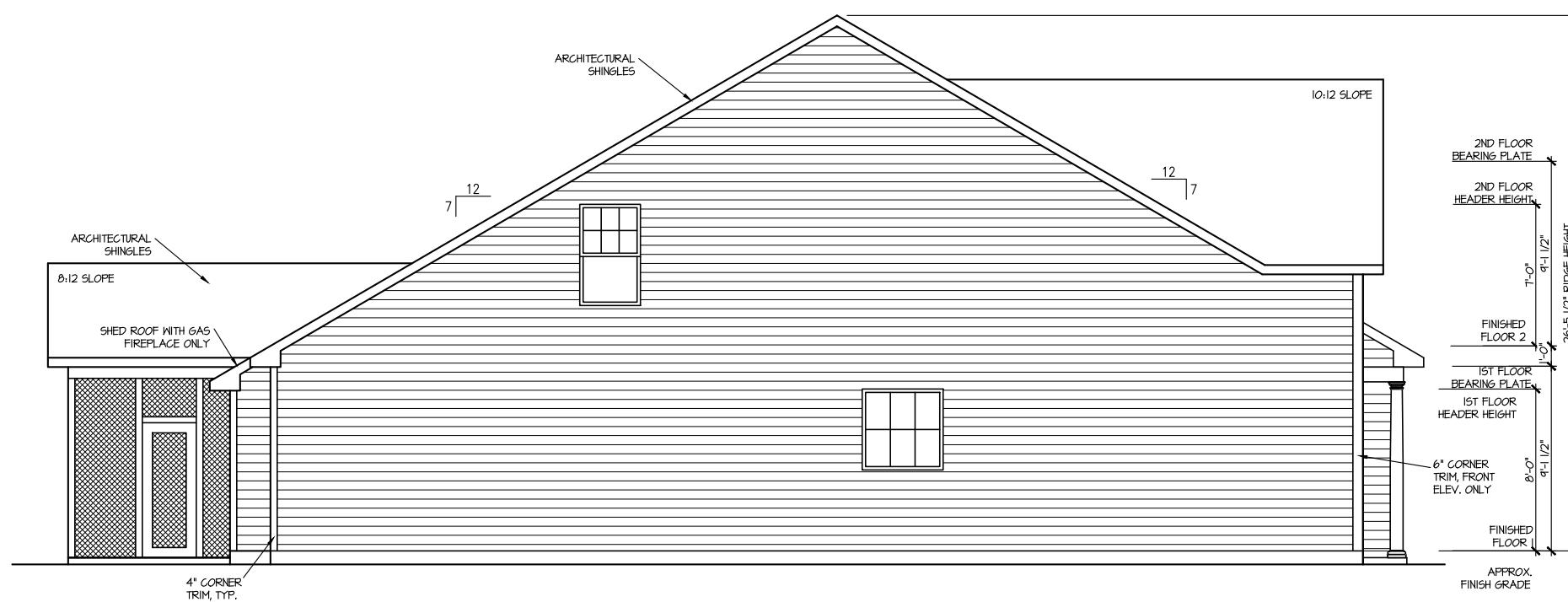
MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025

DRAWN BY:	ITS
DATE:	11/05/2025
PLAN NO.	1777

DRB
HOMES

HOUSE NAME:	COOPER 3
DRAWING TITLE	
FRONT & REAR ELEVATIONS	

SHEET No.
A



MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025

DRAWN BY:
ITS
DATE: 11/05/2025
PLAN NO.
1777

DRB HOMES

HOUSE NAME:
COOPER 3
DRAWING TITLE
RIGHT & LEFT ELEVATIONS

SHEET No.
A-2

ROOF VENTILATION CALCULATIONS:

ROOF AREA = 230 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 150 = 15.44 SQ. FT.
 1 TO 300 = 7.72 SQ. FT.
 50-80% IN TOP THIRD = 9.86 - 6.18 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.75 SQ. IN / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 1.81 SQ. IN / LINEAR FT.

LOWER VENTING (BOTTOM 2/3 RDS):
 14 LINEAR FEET OF SOFFIT \times 5.75 IN. = 2.43 SQ. FT.
UPPER VENTING (TOP 1/3 RDS):
 34 LINEAR FEET OF RIDGE \times 1.82 SQ. IN. = 4.88 SQ. FT.
 4.88 SQ. FT. BETWEEN 50% - 80%
 (1 TO 300 ALLOWED)

TOTAL ROOF VENTILATION: 7.81 SQ. FT. > 7.12 SQ. FT. (REQ'D)

NOTE:
ANY REQUIRED PASSIVE ROOF VENTILATION TO MEET THE FOLLOWING:
LOCATED ON THE REAR PLANE OF THE MAIN ROOF LINE
LOCATED IN THE UPPER $\frac{1}{6}$ OF THE ROOF MASSING
BE IN LINE AND EQUALLY SPACED (EACH ROW)

Architectural floor plan of a house with the following details:

- Shed Roof with Gas Fireplace:** Located in the rear section of the house.
- 12° Overhang at Rear (Typ.):** Indicated by an arrow at the rear of the house.
- 12° Overhang at Sides (Typ.):** Indicated by an arrow at the side of the house.
- 12° Overhang at Front (Typ.):** Indicated by an arrow at the front of the house.
- LINE OF BONUS w/ BED 4:** A shaded rectangular area representing a bonus room or fourth bedroom.
- APPROX. LOCATION OF RAISED TREY AT FAMILY ROOM:** Indicated by a dashed rectangular outline.
- 7:12 SLOPE:** Roof slope indicated for the main roof section.
- 8:12 SLOPE:** Roof slope indicated for the rear shed roof.
- 8:12 SLOPE:** Roof slope indicated for the side shed roof.
- 34 LF RIDGE VENT:** A horizontal line representing a ridge vent along the roofline.
- ATTIC ACCESS PER DIV. Specs. FIELD VERIFY LOCATION:** Two locations marked with dashed boxes for access to the attic.
- LINE OF BONDS w/ BED 4:** A line connecting two points on the roof, likely representing a bond or a specific structural detail.
- ATTIC ACCESS:** Indicated by arrows pointing to the left and right sides of the house.
- ATTIC ACCESS PER DIV. Specs. FIELD VERIFY LOCATION:** A location marked with a dashed box for access to the attic.
- WALKWAY:** A shaded rectangular area representing a walkway or porch.
- 7:12 SLOPE:** Roof slope indicated for the walkway area.
- 4'-8" FRONT WALL TO PORCH BEAM CENTERLINE:** A dimension line indicating the distance from the front wall to the centerline of the porch beam.
- 12° OVERHANG AT PORCH SIDE:** Indicated by an arrow at the side of the porch.

ROOF PLAN ELEV. I

SCALE: 1/2" = 1'-0"

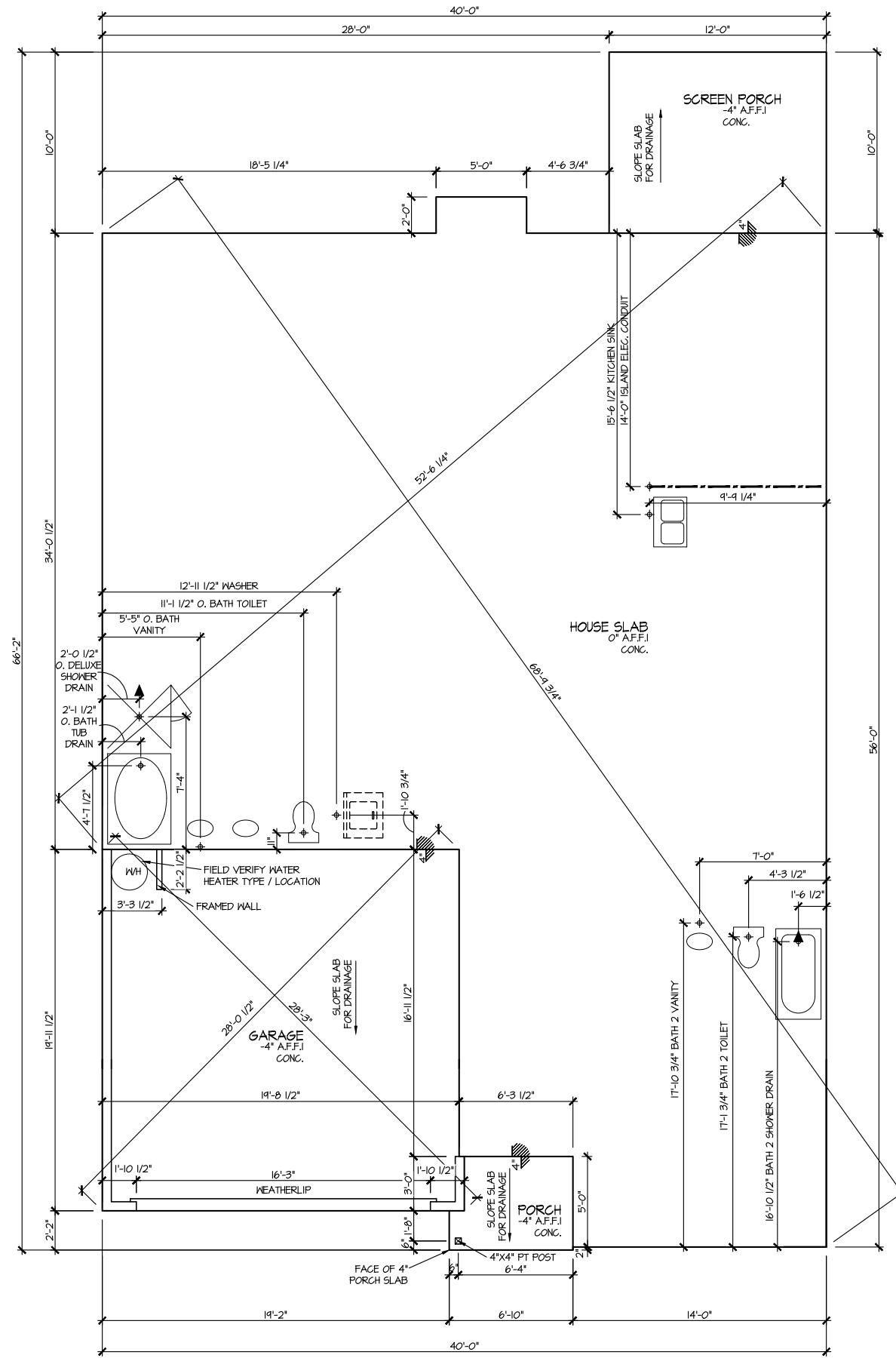
COOPER 3 **DRAWING TITLE** **ROOF PLAN**

HEET No.

DRAWN BY:
ITS
DATE: 11/05/2025
PLAN NO. 1777

300

FILE: Lot 00.0174 amendment.dwg DATE: 11/5/2025 10:41 AM



ELEVATION I
SLAB PLAN

SCALE: 1/8" = 1'-0"

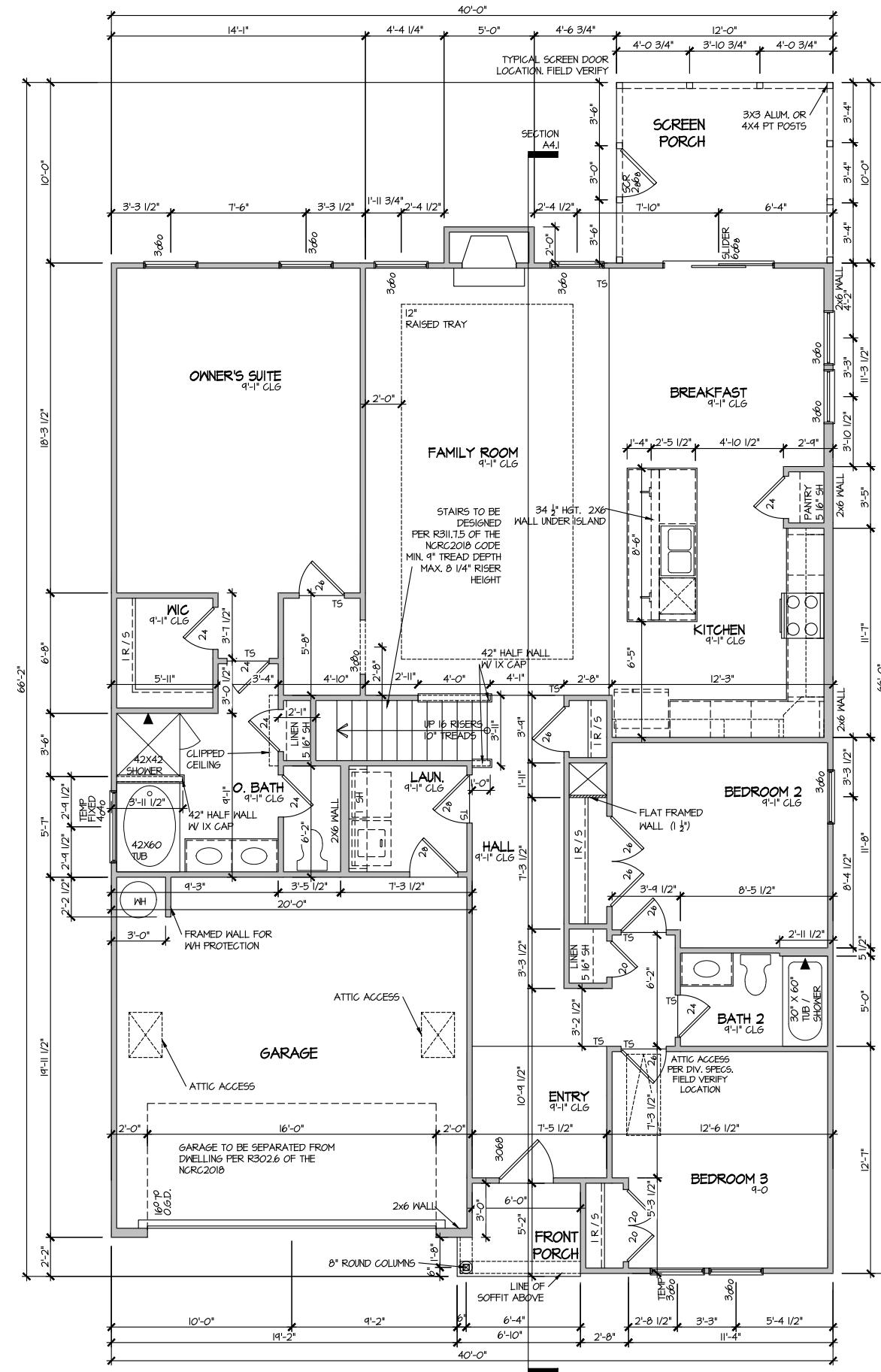
HOUSE NAME:
COOPER 3
DRAWING TITLE
SLAB PLAN

SHEET No.
A2

MASTER PLAN INFORMATION
REVISION DATE
4-RALE 02-24-2022
UPDATED DATE
02-19-2025

DRAWN BY:
ITS
DATE: 11/05/2025
PLAN NO.
1777

DRB
HOMES



ELEVATION I
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

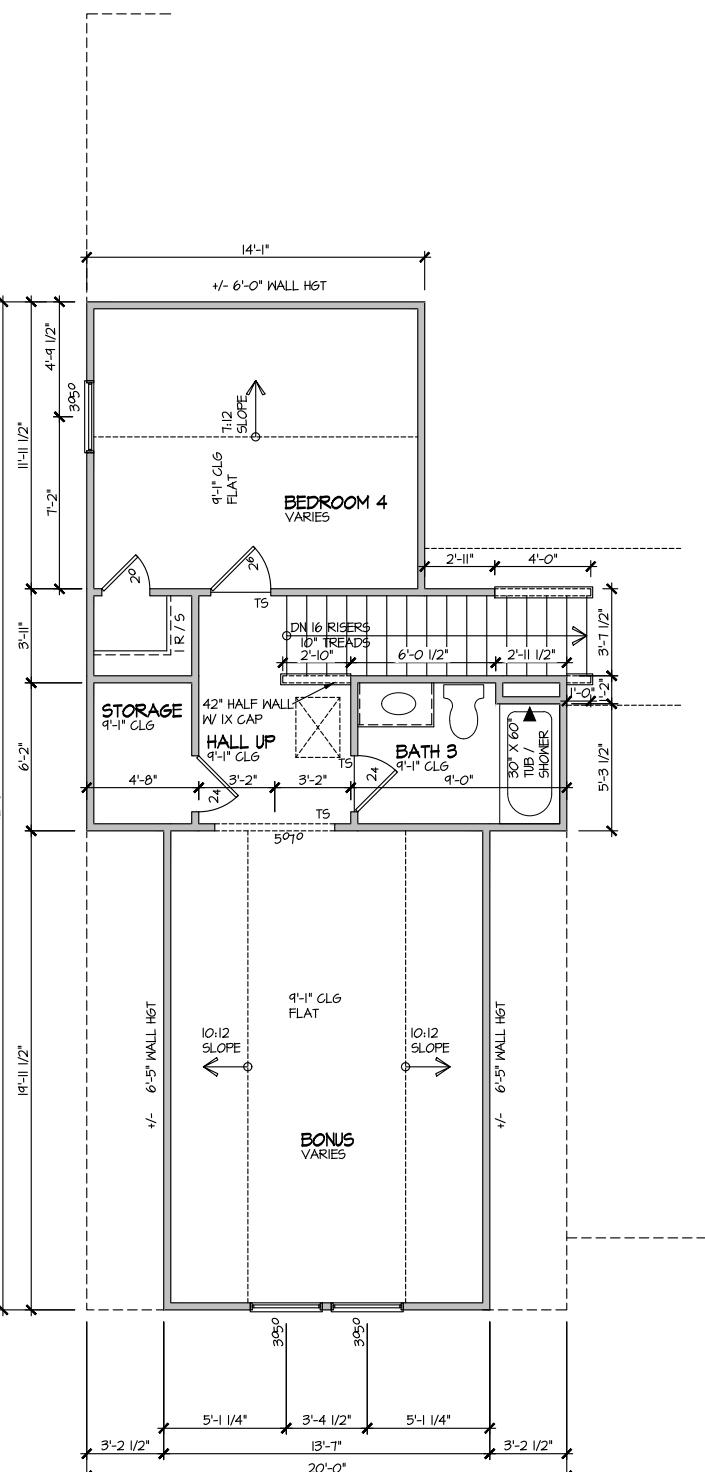
HOUSE NAME:
COOPER 3
DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.
A3

MASTER PLAN INFORMATION
REVISION DATE
4-RALE 02-24-2022
UPDATED DATE
02-19-2025

DRAWN BY:
ITS
DATE: 11/05/2025
PLAN NO.
1777

DRB HOMES



ELEVATION I
SECOND FLOOR PLAN

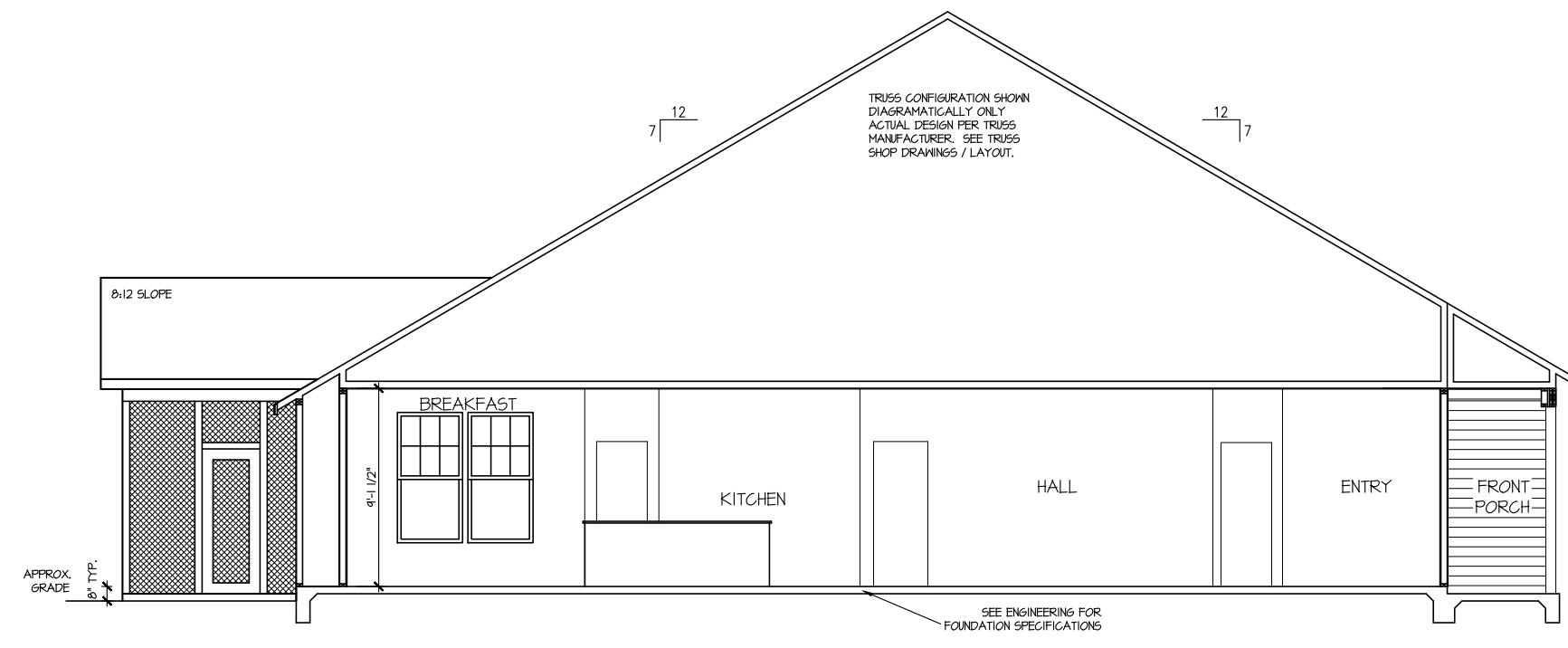
SCALE: 1/8" = 1'-0"

HOUSE NAME:
COOPER 3
DRAWING TITLE
SECOND FLOOR PLAN

SHEET No.
A3.2

MASTER PLAN INFORMATION
REVISION DATE 02-24-2022
4-RALE 02-19-2025
DRAWN BY: ITS
DATE: 11/05/2025
PLAN NO. 1777

DRB
HOMES



BUILDING SECTION

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025



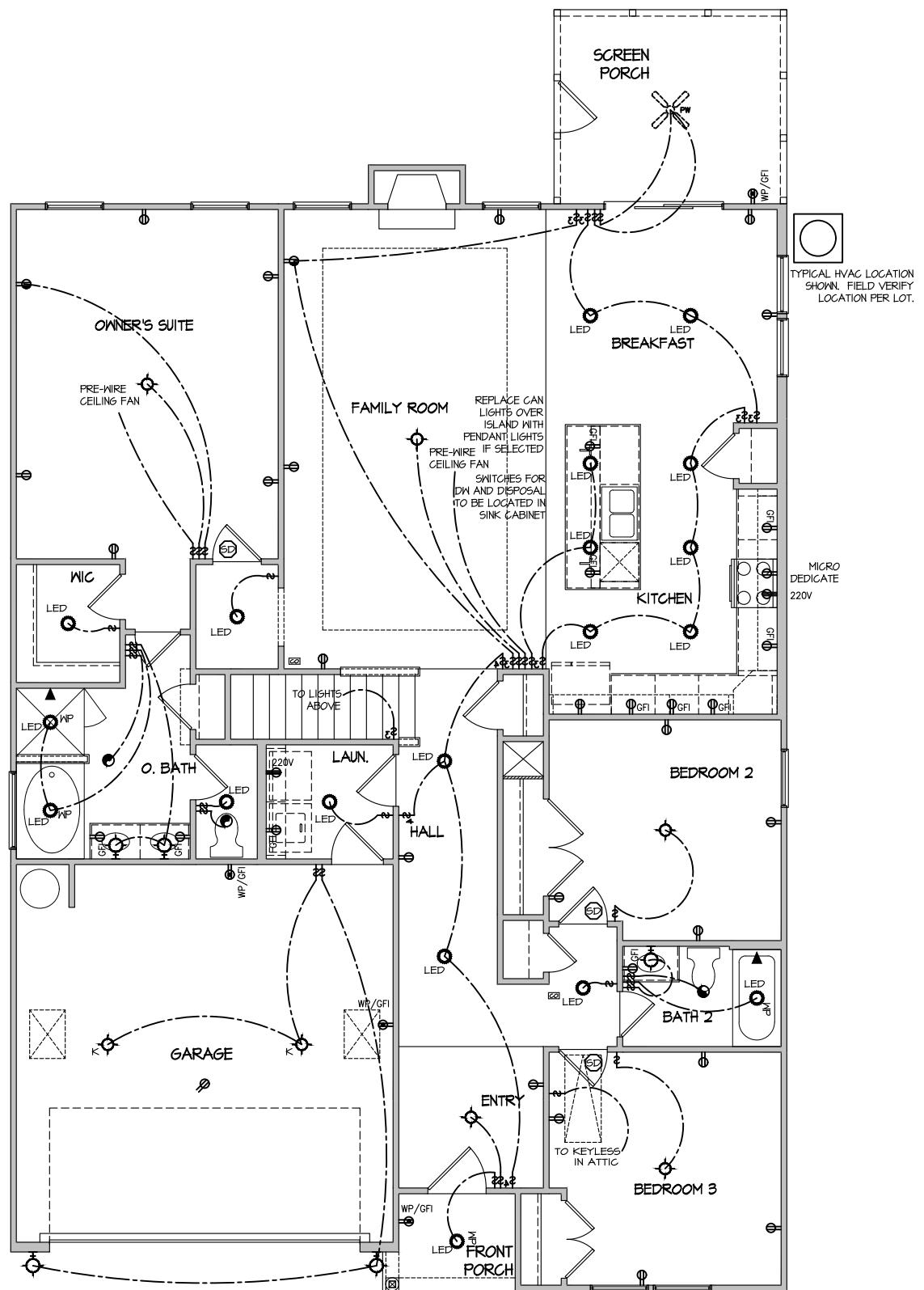
HOUSE NAME:	COOPER 3
DRAWING TITLE	
BUILDING SECTION	

SHEET No. A4.1

ELECTRICAL LEGEND

- \$_\$ SINGLE POLE SWITCH
- \$_3\$ THREE WAY SWITCH
- \$_4\$ FOUR WAY SWITCH
-  DUPLEX AFCI RECEPTACLE
-  DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
-  DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V  RECEPTACLE - 220V
- GFI  DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI  DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
-  SMOKE DETECTOR - WIRED IN SERIES
-  EXHAUST FAN MOTOR
-  CO DETECTOR
-  DOOR CHIME
-  LIGHT FIXTURE - WALL MOUNTED
-  LIGHT FIXTURE - CEILING MOUNTED
-  LIGHT FIXTURE - RECESSED CAN
-  LIGHT FIXTURE - LED SURFACE MOUNTED
-  PULLCHAIN LAMPHOLDER
-  KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

COOPER 3
DRAWING TITLE
FIRST FLOOR ELECTRICAL

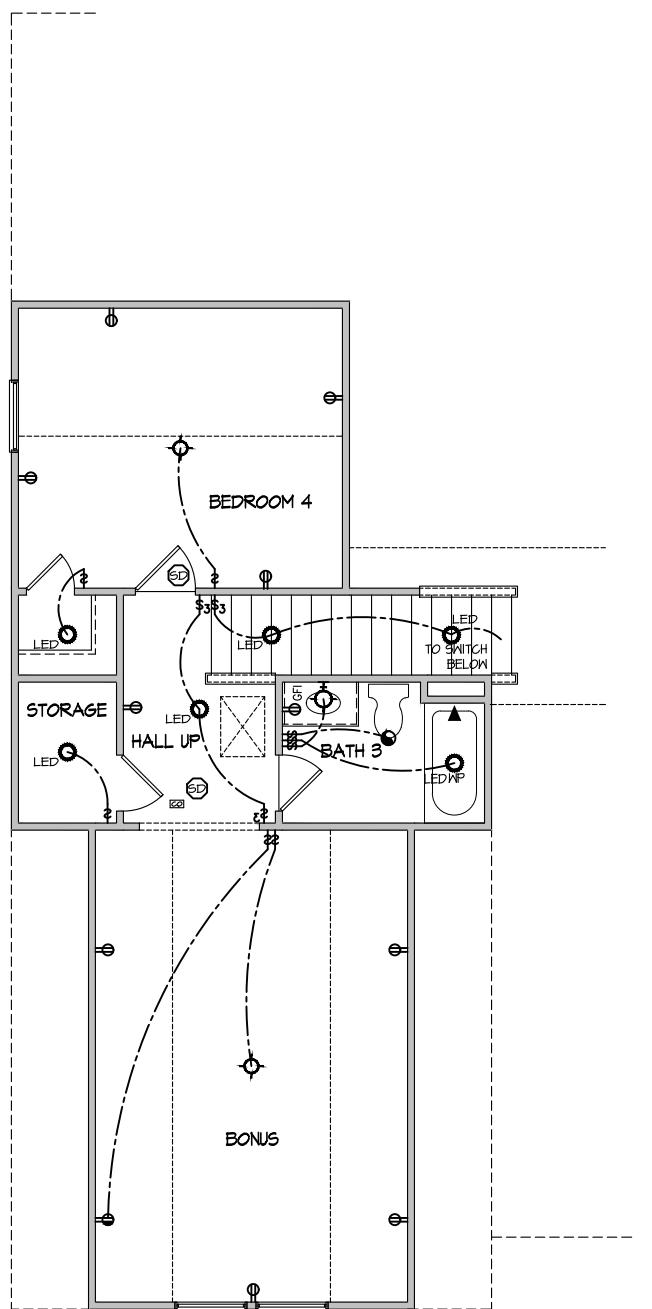
3
2
1

REVISION	DATE	UPDATED DA
4-RALE	02-24-2022	02-19-2025

F: 121 00 01174 amendment dwa DATE: 11/5/2025 10:41 AM

ELECTRICAL LEGEND	
\$	SINGLE POLE SWITCH
\$3	THREE WAY SWITCH
\$4	FOUR WAY SWITCH
□	DUPLEX AFCI RECEPTACLE
□	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
□	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
220V	RECEPTACLE - 220V
GFI	DUPLEX AFCI RECEPTACLE - GFI
WP/GFI	DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
SD	SMOKE DETECTOR - WIRED IN SERIES
•	EXHAUST FAN MOTOR
□	CO DETECTOR
☒	DOOR CHIME
□	LIGHT FIXTURE - WALL MOUNTED
□	LIGHT FIXTURE - CEILING MOUNTED
□	LIGHT FIXTURE - RECESSED CAN
□	LIGHT FIXTURE - LED SURFACE MOUNTED
□P	FULLCHAIN LAMPHOLDER
□K	KEYLESS LAMPHOLDER

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ELECTRICAL PLAN
SECOND FLOOR - ELEV. I

SCALE: 1/8" = 1'-0"

GENERAL STRUCTURAL NOTES	
FOUNDATION	
<ul style="list-style-type: none"> DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE. FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY. FASTEN 2x SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: <ul style="list-style-type: none"> 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C. 7" MIN. EMBEDMENT (CONC.) 15" MIN. EMBEDMENT (CMU) SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC.) SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU) (REFER TO DETAILS FOR 10' TALL WALL ANCHOR REQUIREMENTS) ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2. BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD. BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SFP OR SYP, "STUD" GRADE OR BETTER. CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: <ul style="list-style-type: none"> f'_c = 4,000 psi: FOUNDATION WALLS 2,500 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,000 psi: GARAGE & EXTERIOR SLABS ON GRADE f_y = 60,000 psi BASEMENT FOUNDATION WALL DESIGN BASED ON: <ul style="list-style-type: none"> 9' OR 10' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED. NOMINAL WIDTH (4 1/2" FOR 10" THICK WALL). BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL). BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK. PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS. <ul style="list-style-type: none"> FOR OPENINGS UP TO 36", PROVIDE MINIMUM 10" CONCRETE DEPTH OVER OPENING OR (3)2x10 W/ (2)2x6 JACK STUDS, U.N.O. LARGER OPENINGS SHALL BE PER PLAN. ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT. ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE. FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 15% COMPACTED FILL. PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. <ul style="list-style-type: none"> JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM) JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1.5 RATIO CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C210, TYPE S. CMU DESIGN PER ACI 530 & 530.1. CMU FOUNDATION WALLS SHALL HAVE "DUR-O-WALL" HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 4 GA. MINIMUM @ 16" O.C. PROVIDE 2x6 (MIN) x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE FASTENED PER ANCHORAGE SPECIFICATIONS NOTED ABOVE. TOP 2 COURSES (MIN) OF PIER TO BE GROUTED SOLID (8 COURSE MAX. PIER HEIGHT). PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE. TOP 2 COURSES (MIN) OF WALL TO BE GROUTED SOLID (8 COURSE MAX. WALL HEIGHT). DIMENSIONS BY OTHERS, BUILDER TO VERIFY. BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY. 	

GENERAL STRUCTURAL NOTES	
FOUNDATION	
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FLOOR FRAMING							
<ul style="list-style-type: none"> I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES MARBLE FLOORS - CONTACT MK FOR MARBLE FLOOR DESIGNS) AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD. METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. 							
<ul style="list-style-type: none"> DESIGN LOADS: <table border="0"> <tr> <td>ROOF</td> <td>DEAD = 7 PSF T.C., 10 PSF B.C.</td> </tr> <tr> <td></td> <td>LIVE = 16 PSF</td> </tr> <tr> <td></td> <td>LOAD DURATION FACTOR = 1.25</td> </tr> </table> 		ROOF	DEAD = 7 PSF T.C., 10 PSF B.C.		LIVE = 16 PSF		LOAD DURATION FACTOR = 1.25
ROOF	DEAD = 7 PSF T.C., 10 PSF B.C.						
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	LOAD DURATION FACTOR = 1.25						
<ul style="list-style-type: none"> FLOOR <table border="0"> <tr> <td>LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)</td> </tr> <tr> <td>DEAD = 10 PSF @ SOLID SAWN</td> </tr> <tr> <td>10 PSF T.C., 5 PSF B.C. (TRUSSES)</td> </tr> <tr> <td>(ADD'L 10 PSF @ TILE)</td> </tr> </table> 		LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)	DEAD = 10 PSF @ SOLID SAWN	10 PSF T.C., 5 PSF B.C. (TRUSSES)	(ADD'L 10 PSF @ TILE)		
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DEAD = 10 PSF @ SOLID SAWN							
10 PSF T.C., 5 PSF B.C. (TRUSSES)							
(ADD'L 10 PSF @ TILE)							

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS	
THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:	
120 MPH WIND IN 2018 NCSBC:RC (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.	
THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1604) & ASCE 7-10, AS PERMITTED BY R301.3 OF THE 2018 NCSBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.	

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER	
ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.	
TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDERS/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:	
A. ROOF TRUSS: 1/4" DEAD LOAD B. FLOOR TRUSS, ATTIC TRUSS, & I-JOISTS: 1/8" DEAD LOAD C. FLOOR TRUSS & ATTIC TRUSS ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)	

ENGINEERED BEAM MATERIAL SCHEDULE					
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)1 1/4" x 1 1/8" - F	3/8" x 1 1/8" - F	(3)1 1/4" x 1 1/8" - F	STEEL FLITCH PLATES - F	W12x14 - F
002	(3)1 1/4" x 1 1/8" - F	5/8" x 1 1/8" - F	(4)1 1/4" x 1 1/8" - F	STEEL FLITCH PLATES - F	W12x14 - F
003	(2)1 1/4" x 1 1/8" - F	3/8" x 1 1/8" - F	(3)1 1/4" x 1 1/8" - F	STEEL FLITCH PLATES - F	W12x14 - F
004	(2)1 1/4" x 1 1/8" - D	3/8" x 1 1/8" - D	(2)1 1/4" x 1 1/8" - D	(2)2x10 + (1)1 1/4" STEEL FLITCH PLATES - D	W8x10 - D

LEGEND	
INTERIOR BEARING WALL	INTERIOR BEARING WALL
BEARING WALL ABOVE	BEARING WALL ABOVE
BEAM / HEADER	BEAM / HEADER
INDICATES SHEAR WALL & EXTENT	INDICATES SHEAR WALL & EXTENT
EXTENT OF OVERFRAMING	EXTENT OF OVERFRAMING
JL METAL HANGER	JL METAL HANGER
* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
► INDICATES HOLD-DOWN OR STRAP.	► INDICATES HOLD-DOWN OR STRAP.

ALTERNATE F.J MANUFACTURERS	
• FLOOR JOISTS BY MANUFACTURER'S OTHER THAN THOSE SHOWN ON PLAN SHALL CONFORM TO THE APA PERFORMANCE RELATED I-JOISTS DESIGN AND CONSTRUCTION GUIDE. MINIMUM JOIST PROPERTIES INCLUDING, BUT NOT LIMITED TO, ALLOWABLE SHEAR, ALLOWABLE MOMENT, STRENGTH, AND STIFFNESS, SHALL MEET OR EXCEED THOSE LISTED FOR THE PRI-60 SERIES I-JOISTS. ALL ALLOWABLE HOLES, BEARING STIFFENERS, AND JOIST TO JOIST CONNECTIONS ARE PER THE JOIST MANUFACTURER.	

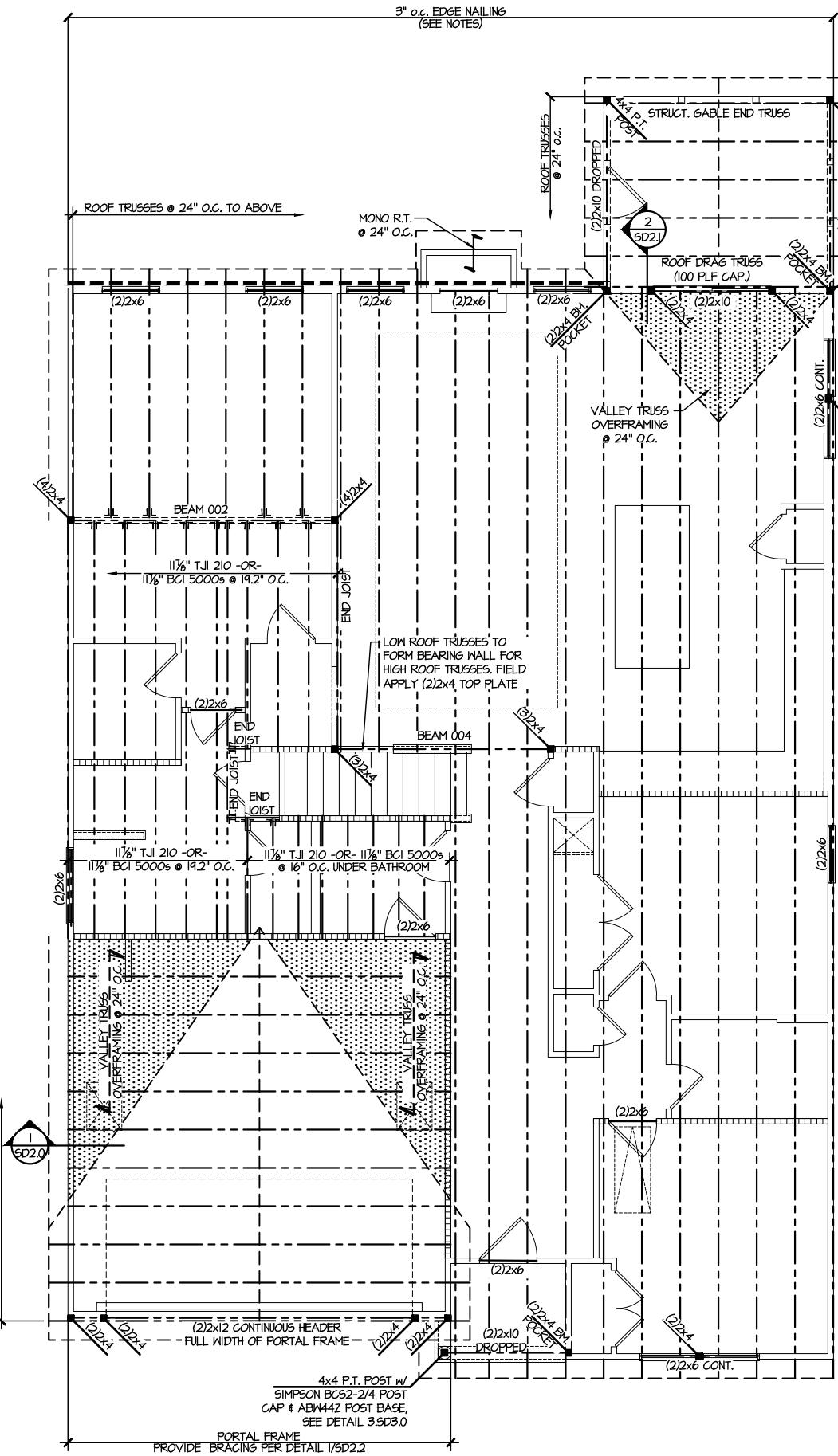
NON-BEARING HEADER SCHEDULE		
SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(1)2x4 FLAT	(1)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2x4
UP TO 8'-0"	(2)2x6	(3)2x6
UP TO 12'-0"	(2)2x8	(3)2x8

NOTES:

• ALL NON-BEARING INTERIOR STUD WALLS SHALL BE

CONSTRUCTED WITH 2x STUD GRADE MEMBERS

SPACED @ 24" O.C. (MAX.)



2ND FLOOR/LOW ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"

ALTERNATE F.J MANUFACTURERS

- FLOOR JOISTS BY MANUFACTURER'S OTHER THAN THOSE SHOWN ON PLAN SHALL CONFORM TO THE APA PERFORMANCE RELATED I-JOISTS DESIGN AND CONSTRUCTION GUIDE. MINIMUM JOIST PROPERTIES INCLUDING, BUT NOT LIMITED TO, ALLOWABLE SHEAR, ALLOWABLE MOMENT, STRENGTH, AND STIFFNESS, SHALL MEET OR EXCEED THOSE LISTED FOR THE PRI-60 SERIES I-JOISTS. ALL ALLOWABLE HOLES, BEARING STIFFENERS, AND JOIST TO JOIST CONNECTIONS ARE PER THE JOIST MANUFACTURER.

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

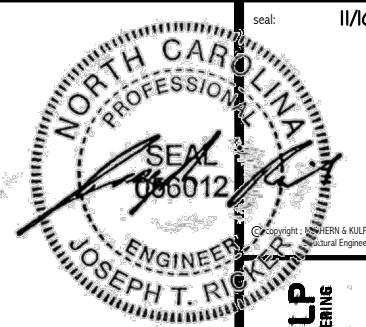
ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	$\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	(3) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	(2) $2 \times 12 + (1) \frac{3}{4}'' \times 1\frac{1}{8}''$ STEEL FLITCH PLATES - F	W12x14 - F
002	(3) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	$\frac{5}{8}'' \times 1\frac{1}{8}''$ - F	(4) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	(2) $2 \times 12 + (1) \frac{3}{4}'' \times 1\frac{1}{8}''$ STEEL FLITCH PLATES - F	W12x14 - F
003	(2) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	$\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	(3) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - F	(2) $2 \times 12 + (1) \frac{3}{4}'' \times 1\frac{1}{8}''$ STEEL FLITCH PLATES - F	W12x14 - F
004	(2) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - D	$\frac{3}{4}'' \times 1\frac{1}{8}''$ - D	(2) $\frac{3}{4}'' \times 1\frac{1}{8}''$ - D	(2) $2 \times 10 + (1) \frac{3}{4}'' \times 1\frac{1}{8}''$ STEEL FLITCH PLATES - D	W8x10 - D

- **BEAM NOTATION:**
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D15/D2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E15/D2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BEHIND BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8° O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8° O.C.

ROOF FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 174 - COOPER 1
RALEIGH, NC

sheet:



M&K project number:
126-22076

project mgr: JTR

drawn by: GTK

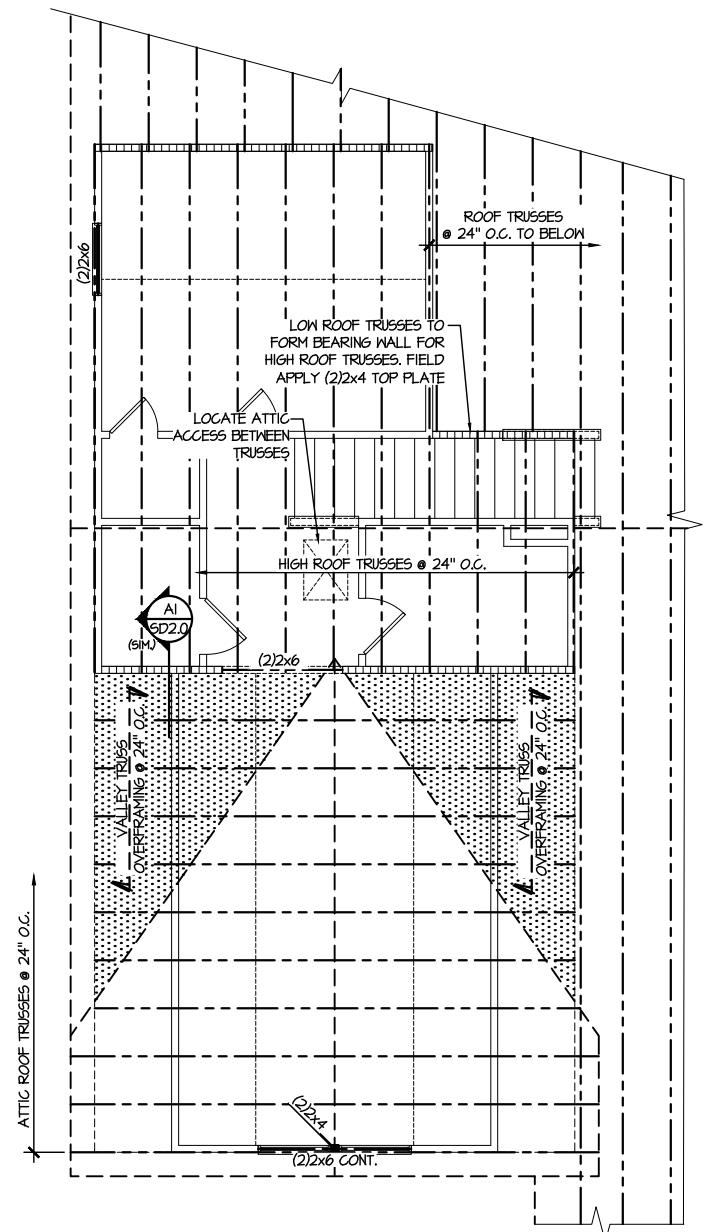
issue date: 06-11-25

REVISIONS:

date:	initial:
11-10-25	JAD

Page 1 of 1

The logo for DRB Homes. It features the letters 'DRB' in a large, bold, black font on the left, and the word 'HOMES' in a smaller, blue font on the right, stacked vertically.



1 ATTIC ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND	
•	INTERIOR BEARING WALL
•	BEARING WALL ABOVE
•	BEAM / HEADER
•	INDICATES SHEAR WALL & EXTENT
•	EXTENT OF OVERFRAMING
•	JL METAL HANGER
*	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▼	INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

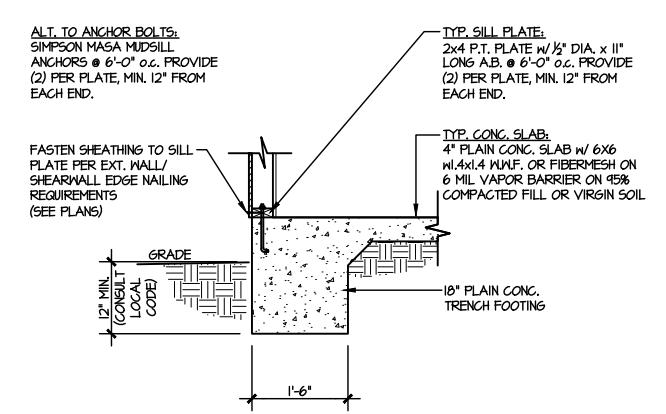
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ROOF FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 174 - COOPER 1
RALEIGH, NC

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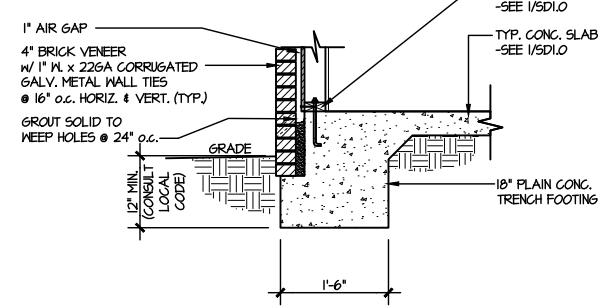
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p: 215.688.8000 • f: 215.688.8001
NC LICENSE #FC-3825

seal:
11/10/25
NORTH CAROLINA
PROFESSIONAL
ENGINEER
JOSEPH T. RICKER
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MULHERN & KULP
Structural Engineering



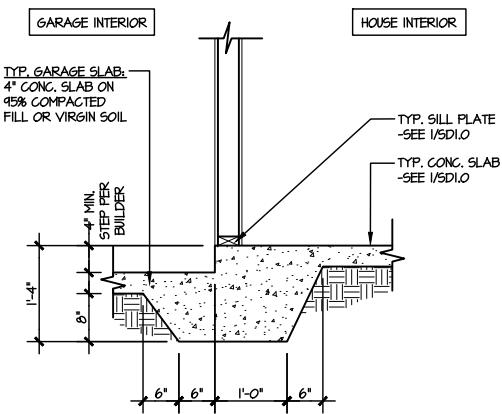
TYPICAL SLAB ON GRADE PERIMETER FOOTING

SCALE: 3/8"=1'-0"



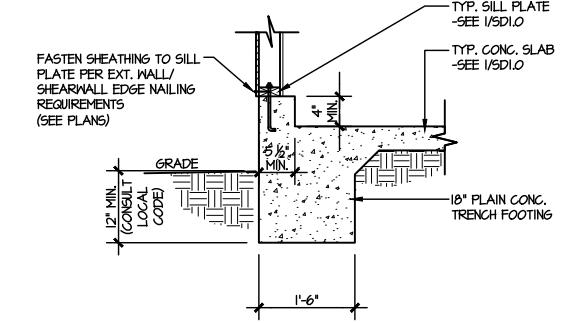
TYPICAL SLAB ON GRADE PERIMETER FOOTING

SCALE: 3/8"=1'-0"



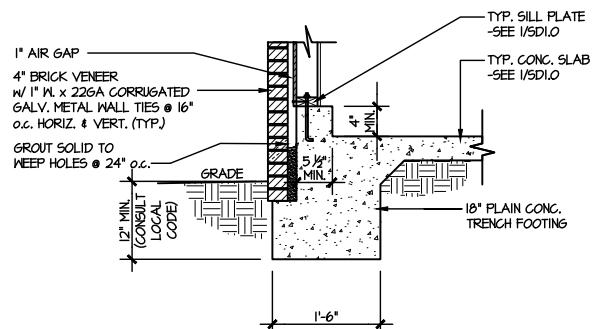
TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING

SCALE: 3/8"=1'-0"



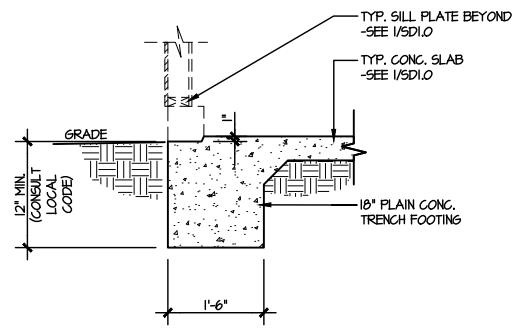
TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

SCALE: 3/8"=1'-0"



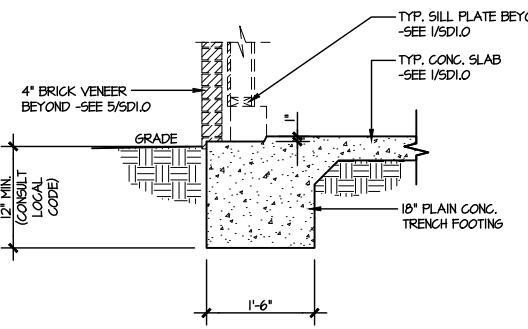
TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

SCALE: 3/8"=1'-0"



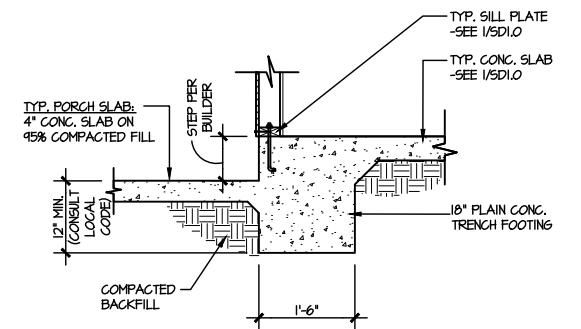
TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

SCALE: 3/8"=1'-0"



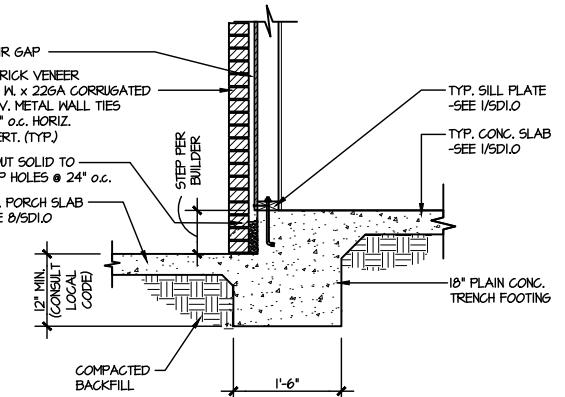
TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

SCALE: 3/8"=1'-0"



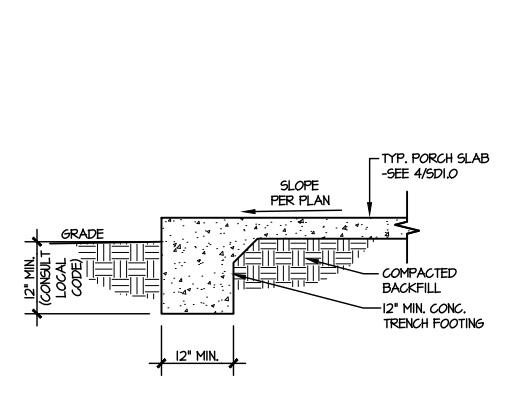
TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO

SCALE: 3/8"=1'-0"



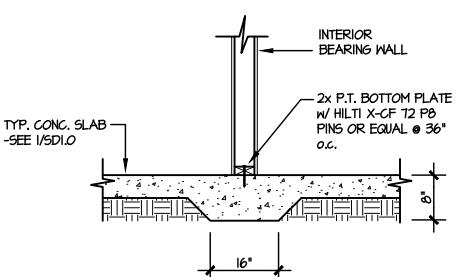
TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO

SCALE: 3/8"=1'-0"



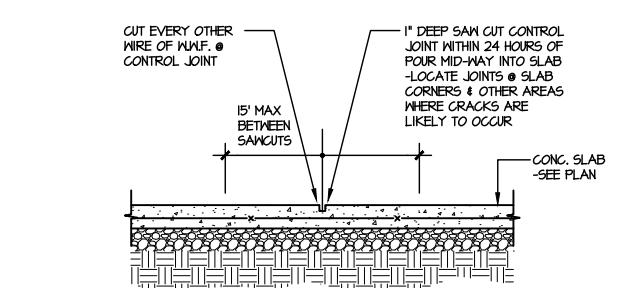
TYPICAL FOOTING @ PORCH SLAB

SCALE: 3/8"=1'-0"



TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

SCALE: 3/8"=1'-0"

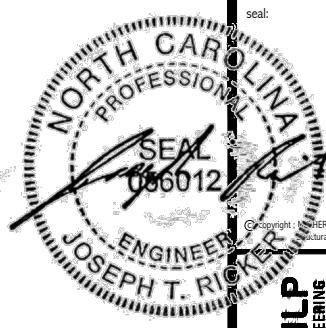


TYPICAL CONTROL JOINT

SCALE: 3/8"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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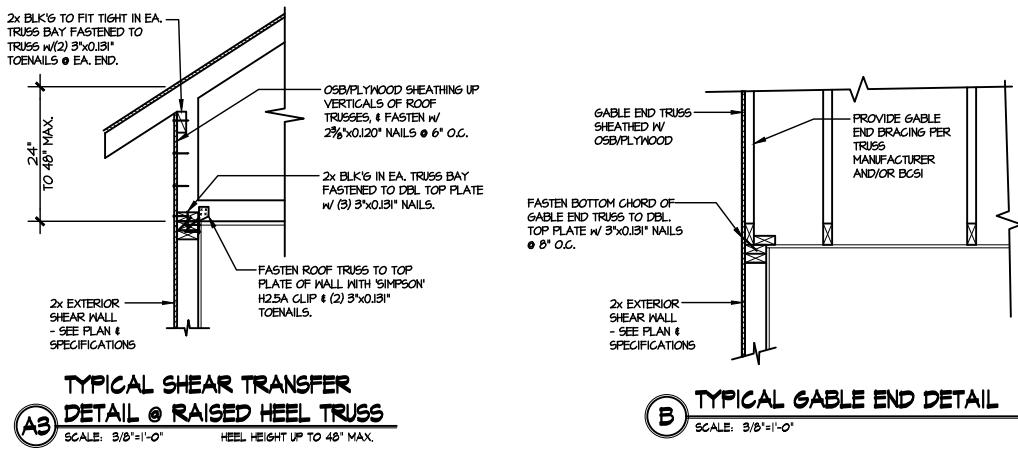
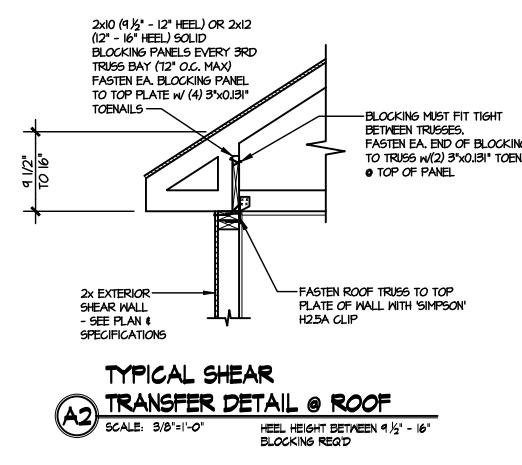
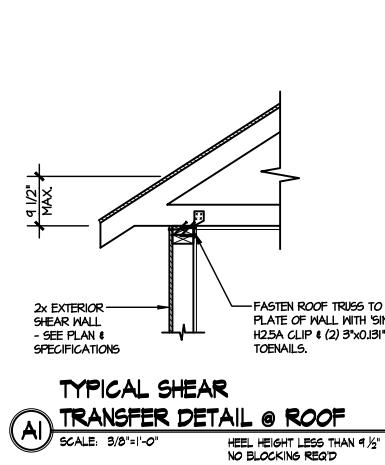


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drawn by: GTK
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REVISIONS:
date: initial:
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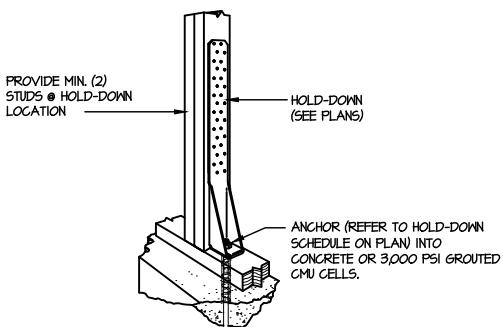
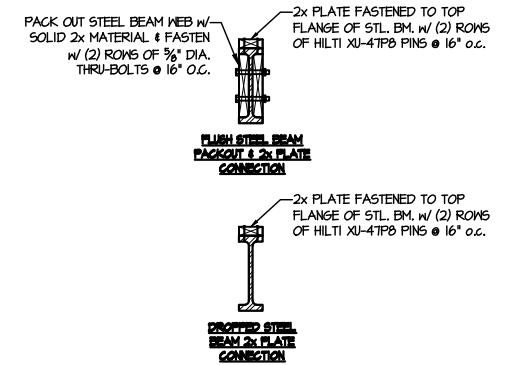
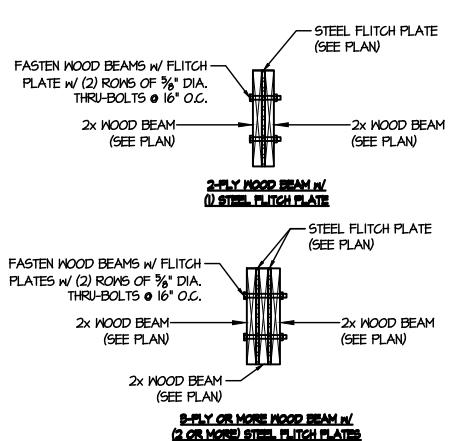
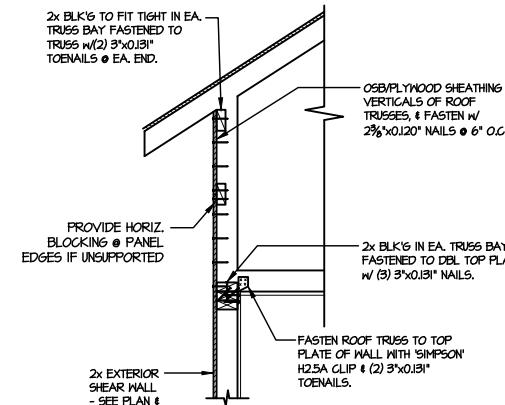
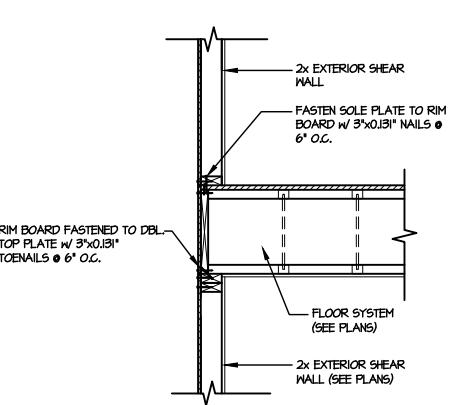
DRB HOMES

FOUNDATION DETAILS
FARM AT NEIL'S CREEK
LOT 174 - COOPER 1
RALEIGH, NC

sheet:
SD1.0



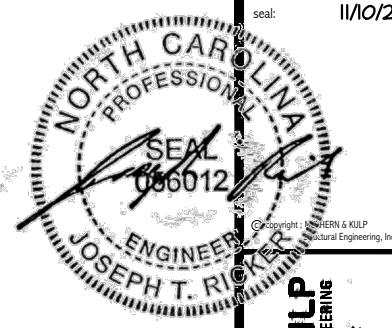
B TYPICAL GABLE END DETAIL



F TYPICAL HOLD DOWN INSTALLATION

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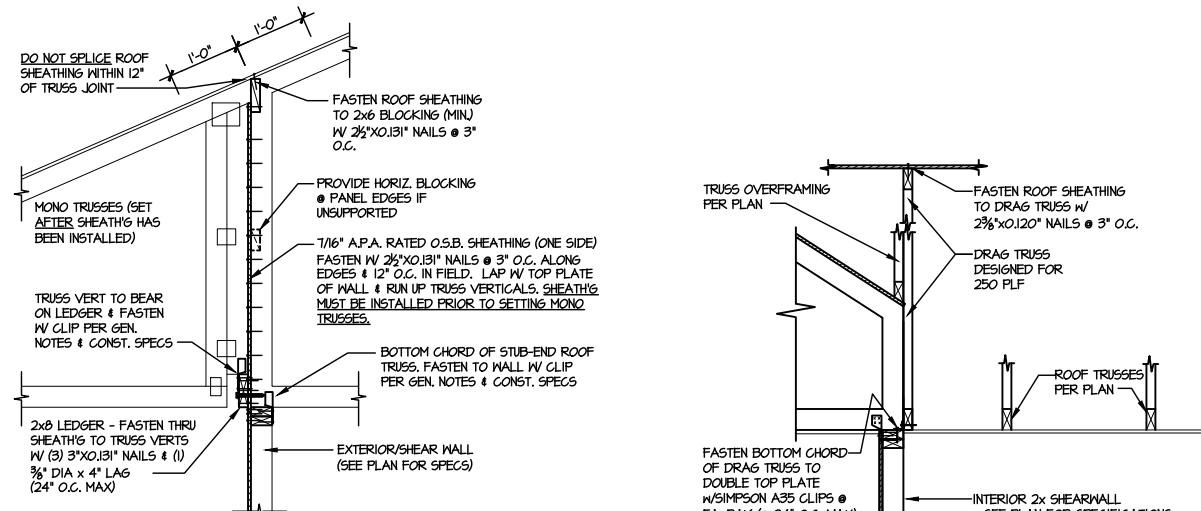
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DRB HOMES

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 174 - COOPER 1
RALEIGH, NC

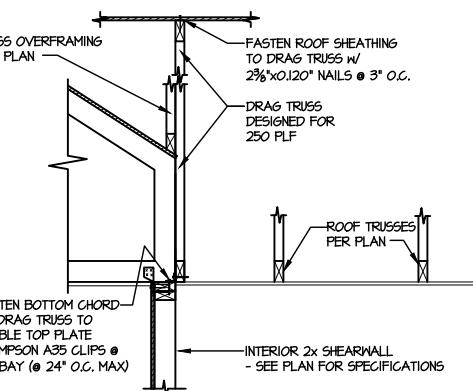
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SHEAR TRANSFER DETAIL @ BREAK IN TRUSSES OVER SHEAR WALL

SCALE: $3/4" = 1'-0" - 22 \times 34$
 $3/8" = 1'-0" - 11 \times 17$



**SHEAR TRANSFER DETAIL
AT INTERIOR SHEARWALL BELOW**

SCALE: 3/4"=1'

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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FARM AT NEIL'S CREEK

FRAMING DETAILS

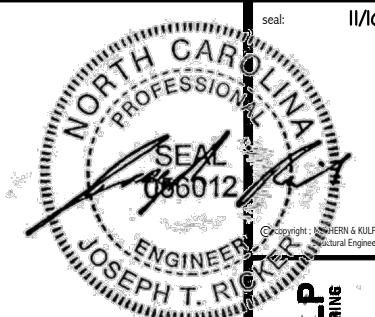
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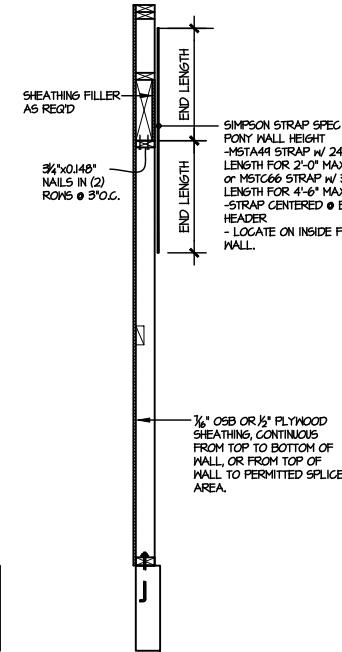
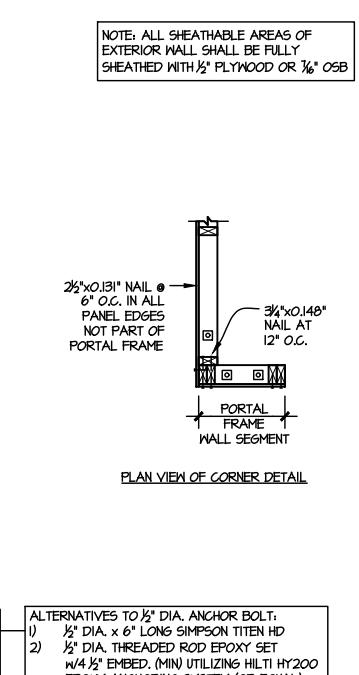
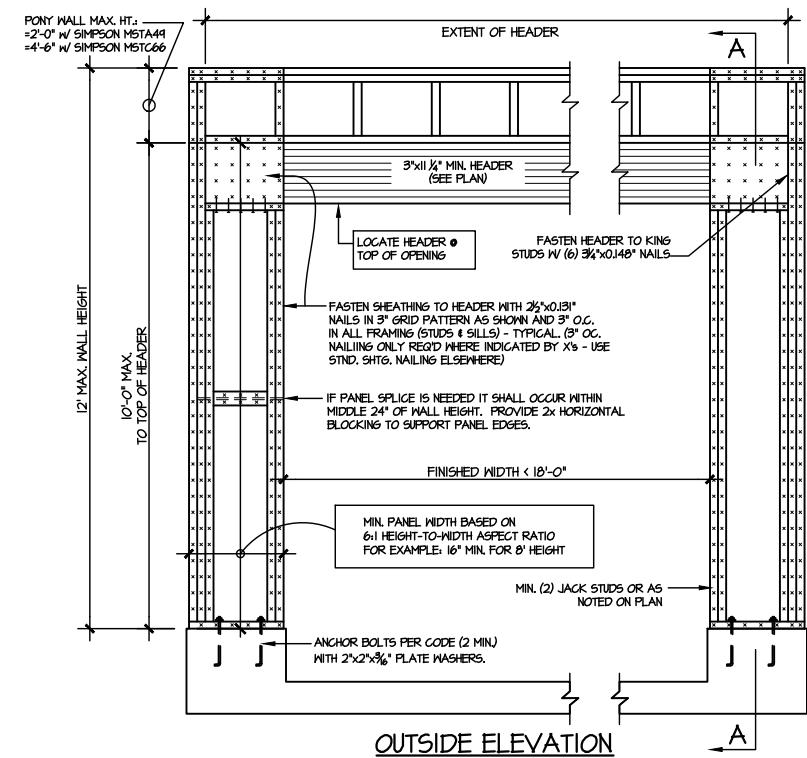
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FARM AT NEIL'S CREEK
LOT 174 - COOPER 1
RALEIGH, NC

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SD2.2



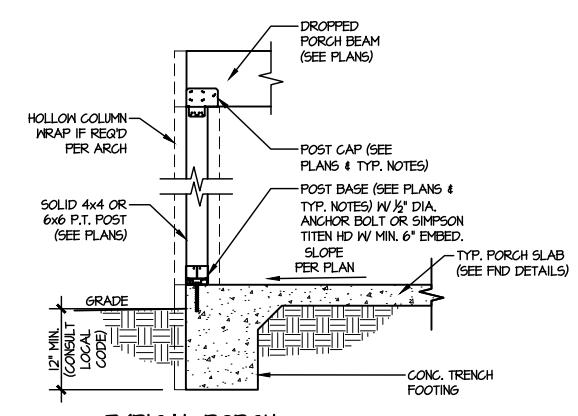
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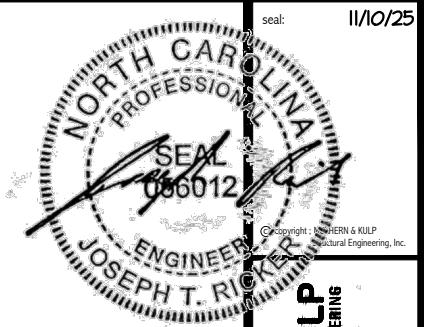


3

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 174 - COOPER 1
RALEIGH, NC

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HOMES

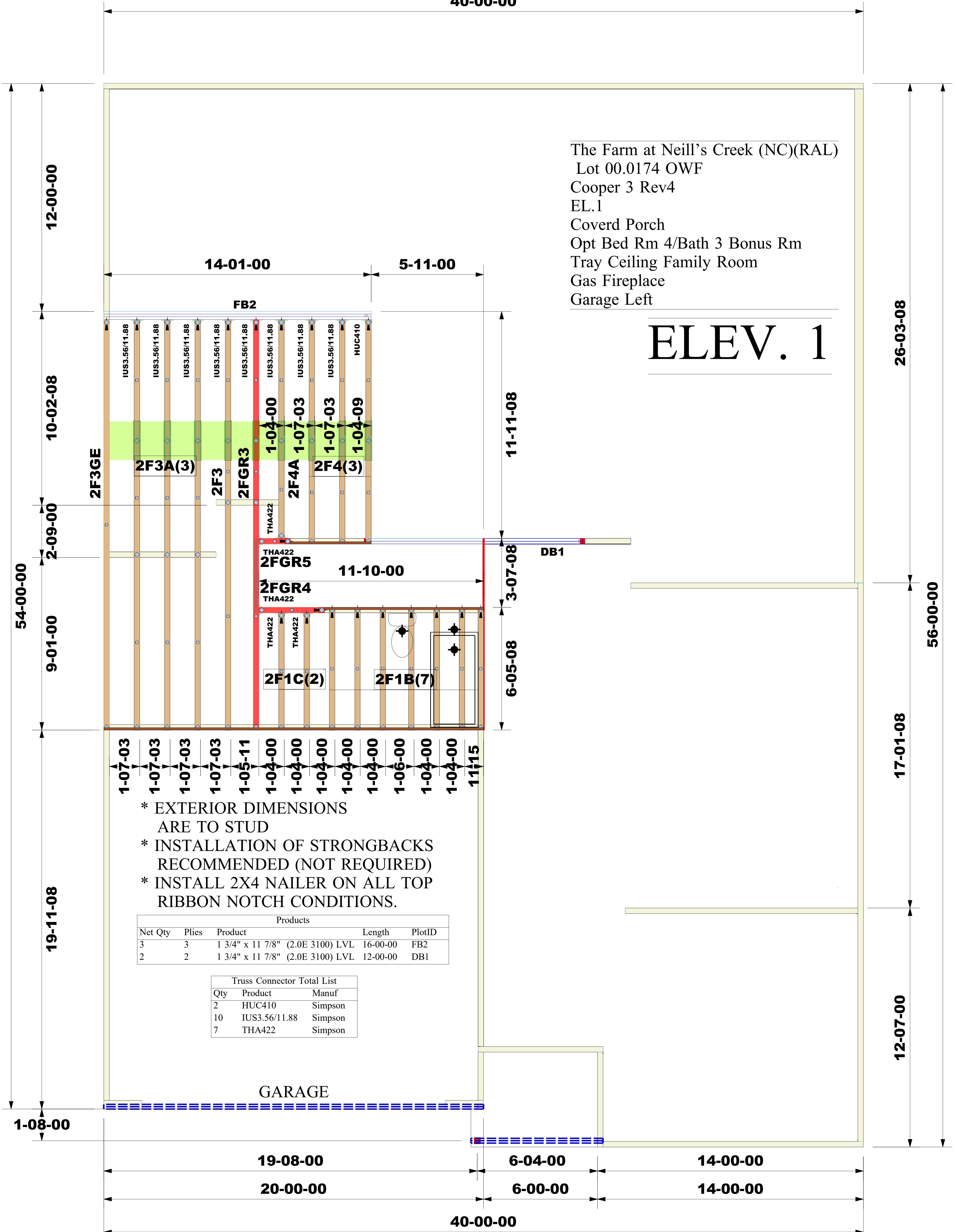
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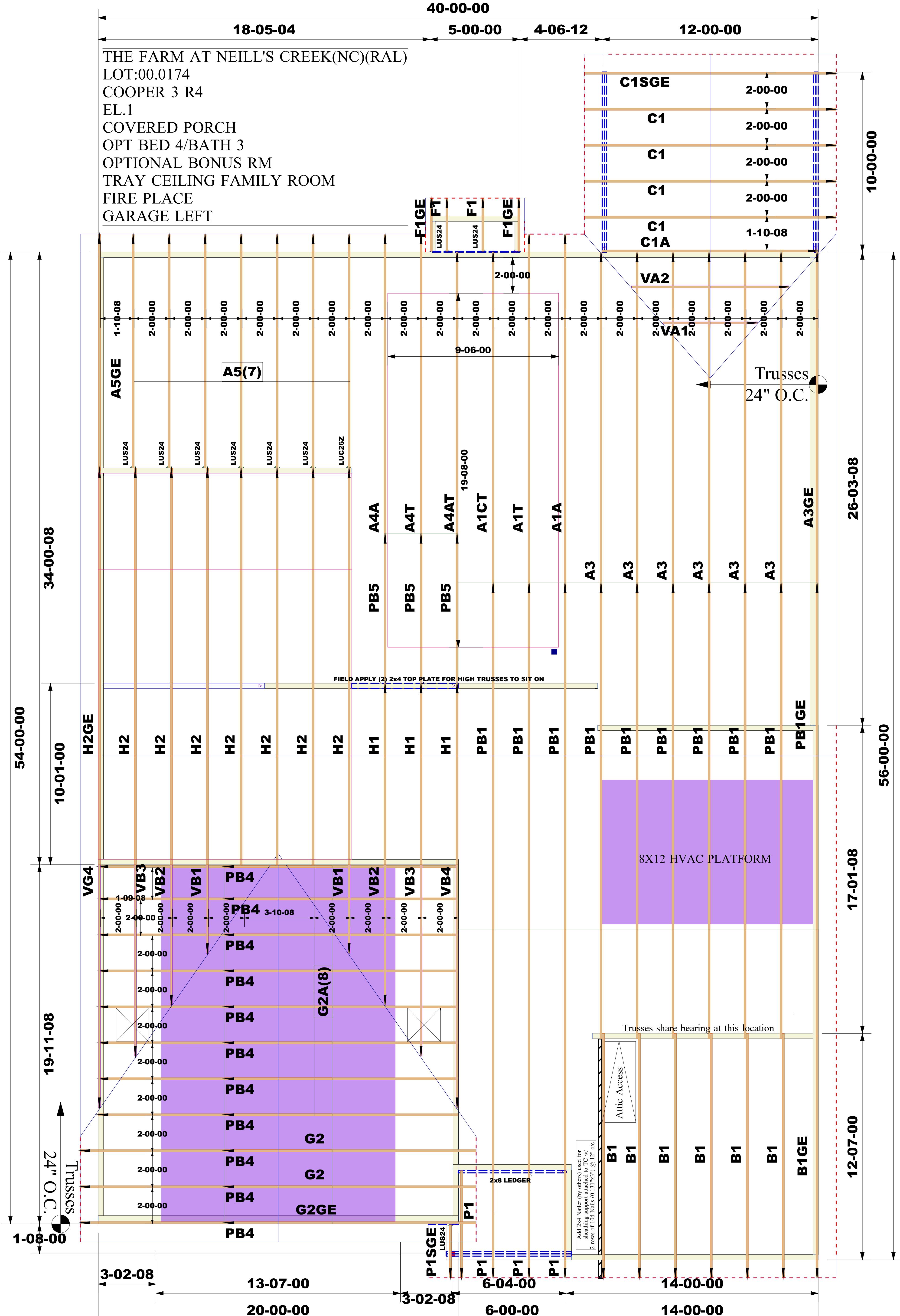
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Job #: 2505-7781	WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS FABRICATOR. IT IS THE RESPONSIBILITY OF THE TRUSSER AND CONTRACTOR TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TIPPING AND DOMESTIC DUE TO EARTHQUAKE. IT IS THE RESPONSIBILITY OF THE TRUSSER TO PROVIDE APPROPRIATE BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES CONVENTIONAL AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION.	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORT THE STRUCTURE AS REQUIRED. BROWN OUTLINES ENGINEERED SPEC. CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE MADE BY THE BUILDING APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.	Customer: DRB Raleigh Job Name: The Farm at Neill's Creek Lot 00.0174 OWF Lot #: 00.0174 Model Name: COOPER 3	 Third-Party Quality Assurance Licensee TPI Plant W974 Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591
Designer: Rajkumar yadav				
Sales Rep: Robbie Zarobinski				
				

ROOF TRUSS LAYOUT

SCALE: NTS



Truss Connector Total List		
Qty	Product	Manuf
1	LUC26Z	Simpson
11	LUS24	Simpson
145	Q	HC 54

EXTERIOR DIMENSIONS ARE
TO STUD.
TOE-NAIL CONNECTIONS U.N.O.
TRUSSES @ 2' O/C U.N.O.
SEE PROFILE DWGS. FOR TRUSS
ORIENTATION BEFORE INSTALLATION.

Job #: 2505-7782	WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION. THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.	Customer: DRB Raleigh Job Name: The Farm at Neill's Creek Lot 00.0174 Roof Lot #: 00.0174 Model Name: COOPER 3	 Third-Party Quality Assurance Licensee TP Plan W974
Designer: Rajkumar yadav	Sales Rep: Robbie Zarabinski			Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591