GRAYSON



BRIARWOOD BLUFF LOT 0020

PLAN ID 010123

110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

DRAWING INDEX

A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLANS & DETAILS
A5.2	SECOND FLOOR PLANS & DETAILS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS

AREA TABULATION		
FIRST FLOOR	716	
SECOND FLOOR	780	
TOTAL	1496	
GARAGE	418	
FRONT PORCH (COVERED)	62	
REAR PATIO	120	

GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA

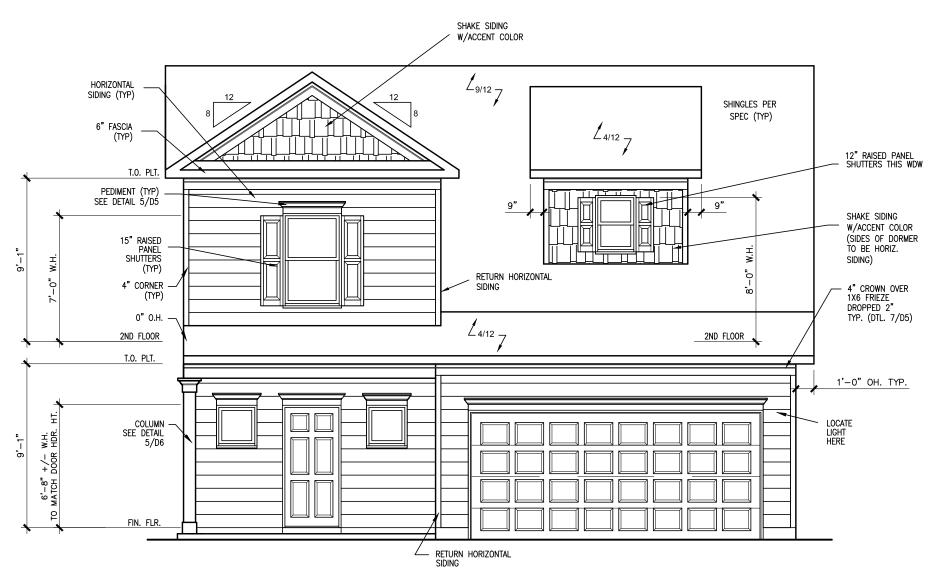
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

PLAN REVISIONS				
DATE	BY	REVISION	PAGE #	
5/30/2023	AW	Prototype walk revisions - see revision sheet	A3.1, A5.1, A5.2, A7.2, A7.3, A8.1	
1/24/2024	AW	Added optional side entry	ALL	

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

BRIARWOOD BLUFF LOT 0020



FRONT ELEVATION "A"

SCALE: 3/16"=1'-0"

DATE

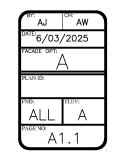
REVISION

REVISION

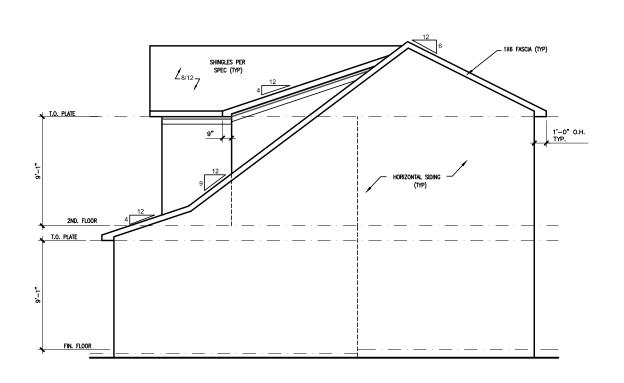
RETER AND THE PROPERTY OF THE PROPER

SMITH DOUGLAS HOMES

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

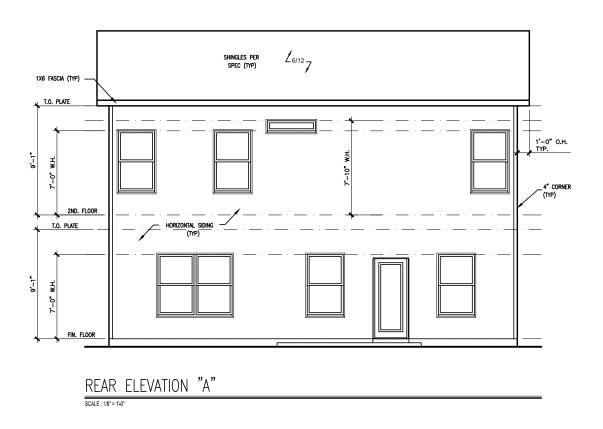


TO. PLATE TO. PLATE HORZONTAL SIGNIG TYP. TO. PLATE LEFT ELEVATION "A" SOME: 18" = 1-2"



RIGHT ELEVATION "A"

BRIARWOOD BLUFF LOT 0020



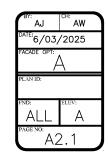


REAR SMITH DOUGLAS HOMES OUGLY I VALUE

ELEVATIONS
SIDES AND R
GRAYSON

SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans are not related trawings are not to be reproduced without writte consent from SMITH DOUGLAS HOMES.



34'-0" 14'-0" DROP 4" BELOW HOUSE SLAB 8'-3½" WH 1'-11" DROP 4" BELOW HOUSE SLAB START AT THIS CORNER TO LAY OUT PLATES DROP 4" BELOW HOUSE SLAB 14'-4" 16' X 7' OHGD (<u>R.O. 16'-3" X 7'-1 1</u>/2<u>")</u> WEATHER LIP

1'-10½"

16'-3" 20'-0"

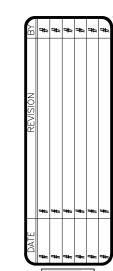
SLAB PLAN

SCALE : 1/8" = 1'-0"

BRIARWOOD BLUFF LOT 0020

*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN



SMITH DOUGLAS HOMES

FOUNDATION PLAN
SLAB PLAN
GRAYSON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SIDE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves it's
property rights in these
plans and drawings.
These plans and related

consent from SMITH DOUGLAS HOMES.

BY:
AJ CH:
AW

ATE: 6/03/2025

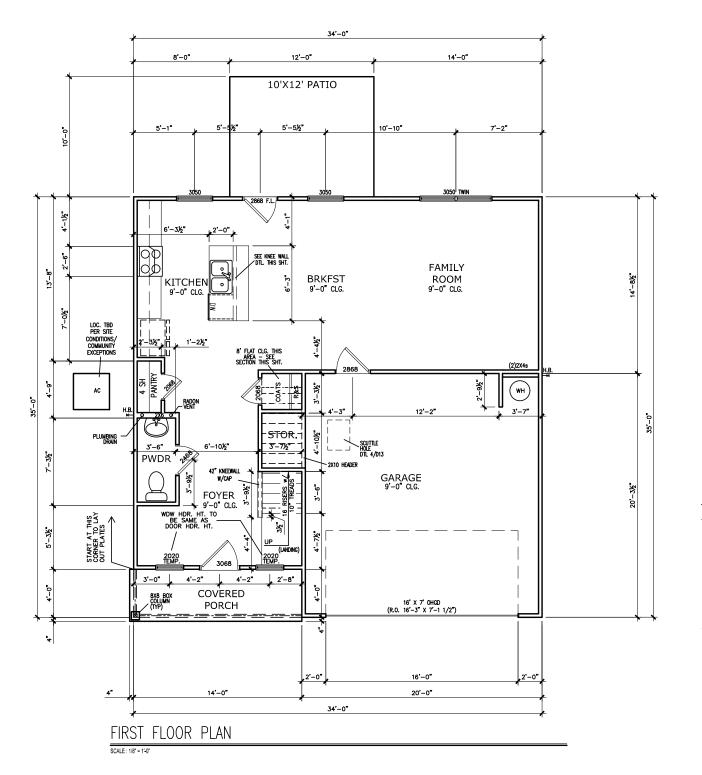
ACADE OPT:

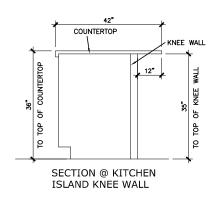
AN ID:

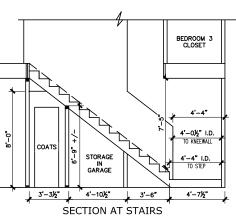
~A3.1

ALL

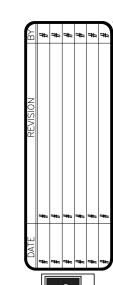
BRIARWOOD BLUFF LOT 0020







*RADON VENT PROVIDED PER LOCAL CODE





SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

FLOOR

FIRST

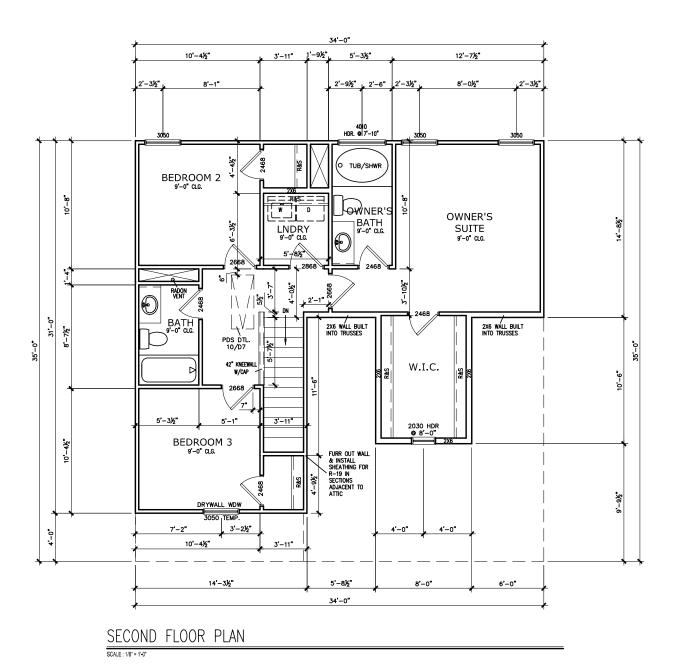
GRAYSON

FLOOR PLAN

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without writter consent from SMITH DOUGLAS HOMES.



BRIARWOOD BLUFF LOT 0020



*RADON VENT PROVIDED PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, & D12.2

SMITH DOUGLAS HOMES

FLOOR PLAN
SECOND FLOOR
GRAYSON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUPER 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves it's
property rights in these

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and raleted drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

BY:

AJ CH:

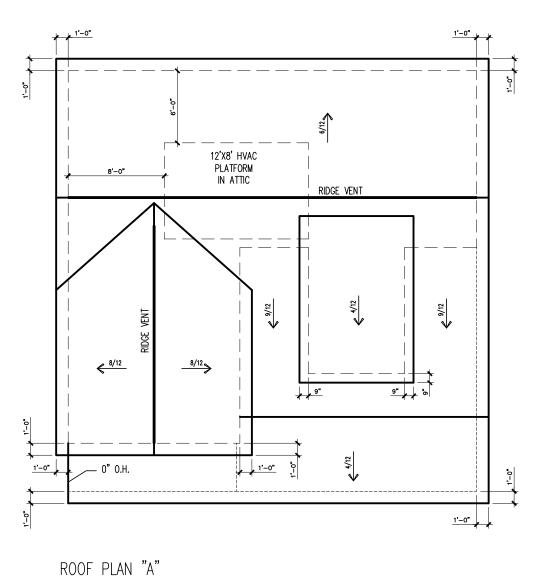
AW

DATE:
6/03/2025

FACADE OPT:

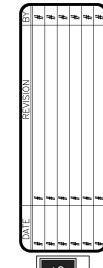
ALL

~A5.2



SCALE : 1/8" = 1'-0"

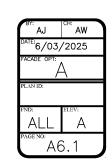
BRIARWOOD BLUFF LOT 0020







SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com



10'X12' PATIO 10'X12

FIRST FLOOR ELECTRICAL PLAN

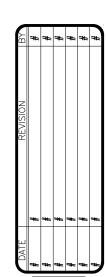
COVERED PORCH

SCALE : 1/8" = 1'-0"

BRIARWOOD BLUFF LOT 0020

ELECTRICAL LEGEND				
\$	SWITCH		TV	
\$3	3 WAY SWITCH	Ф	120V RECEPTACLE	
\$4	4 WAY SWITCH	P	120V SWITCHED RECEPTACLE	
Ø	CEILING FIXTURE	Φ	220V RECEPTACLE	
-ф _к	KEYLESS	PGFCI	GFCI OUTLET	
ΗØ	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCUIT	
0	CEILING FIXTURE	† _{GL}	GAS LINE	
•	FLEX CONDUIT	† _{wL}	WATER LINE	
СН	CHIMES	¥	HOSE BIBB	
₽H	TELEPHONE	8	FLOOD LIGHT	
SD/Cd ₩	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE	
SO	SECURITY OUTLET		OFILINO FAM	
	GARAGE DOOR OPENER		CEILING FAN	
	EXHAUST FAN		ELECTRICAL WIRING	
0	FAN/LIGHT		CEILING FIXTURE	
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES				
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)				
BREA	KFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCH	HEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO	STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILI	NG FAN	96" ABOVE FINISHED FLOOR		
FLOO	D LIGHT	10' MAX.	. ABOVE FIN. FLOOR	

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



SMITH DOUGLAS HOMES

ELECTRICAL PLAN
FIRST FLOOR
GRAYSON

SMITH DOUGLAS HOMES 110 VILLAGE TRAIL SUITE 115 WOODSTOCK, GA 30188 www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.



BEDROOM 2 OWNER'S SUITE FAN PREWIE BATH OWN.I.C.

SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

BRIARWOOD BLUFF LOT 0020

ELECTRICAL LEGEND					
\$	SWITCH	ŢV	TV		
\$3	3 WAY SWITCH	φ	120V RECEPTACLE		
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE		
Ø	CEILING FIXTURE	•	220V RECEPTACLE		
-\(\(\frac{1}{K} \)	KEYLESS	P _{GFCI}	GFCI OUTLET		
ΗØ	WALL MOUNT FIXTURE	Pafci	ARCH FAULT CIRCUI		
0	CEILING FIXTURE	† _{GL}	GAS LINE		
•	FLEX CONDUIT	† _{wL}	WATER LINE		
СН	CHIMES	¥	HOSE BIBB		
₽H	TELEPHONE	B	FLOOD LIGHT		
SD/Co ₩	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE		
SO	SECURITY OUTLET		05111110 5111		
	GARAGE DOOR OPENER		CEILING FAN		
	EXHAUST FAN		ELECTRICAL WIRING		
0	FAN/LIGHT	-\$-	CEILING FIXTURE		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES					
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)					
BREA	KFAST/DINING ROOM	63" ABOVE FINISHED FLOOR			
KITCH	IEN PENDANT LIGHTS	33" ABOVE COUNTER TOP			
TWO	STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR			
CEILIN	NG FAN	96" ABOVE FINISHED FLOOR			
FLOO	D LIGHT	10' MAX	. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

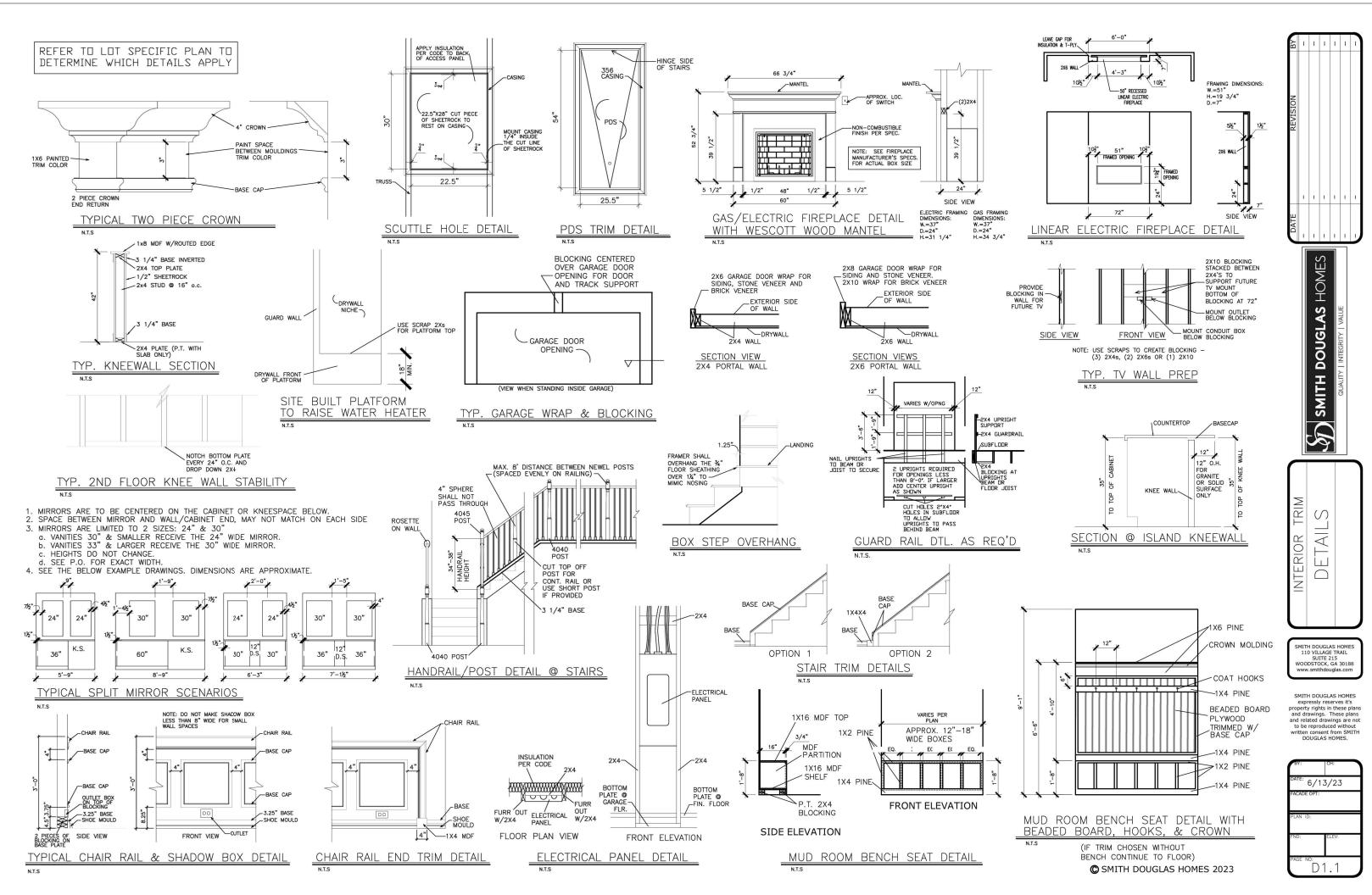


FLOOR SMITH DOUGLAS HOME SON

SMITH DOUGLAS HOMES
110 VILLAGE TEALL
SUITE: 115
WOODSTOCK, GA 30188
www.smithdouglos.com

SMITH DOUGLAS HOMES expressly reserves it's property rights in these plans and drawings. These plans and related drawings are not to be expreduced without written consent from SMITH DOUGLAS MOMES.





CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.l3l" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" O.C.	NAILS @ 16" O.C.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(I2) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (I) SIMPSON H2.5T	(4) TOENAILS + (I) SIMPSON H2.5T
GAB, END TRUSS TO DBL, TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 91/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2XI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG, W/DBL, TOP PL. & INSTALL ON TRUSS VERT FASTEN W/NAILS @ 6"O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL.
WALL TO FOUNDATION	MALL SHTG. LAP W/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

· 2½",XO.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"XO.120", SAME SPACING OR NUMBER OF NAILS. ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALL ATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A. ROOF TRUSSES:

- I/4" DEAD LOAD ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN AD JACENT TO ELOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x¼"
	3 FT. MAX	L3"x3"x¼"
6'-0"	I2 FT. MAX	L4"x3"x¼"
	20 FT. MAX	L5"x3½"x5%"
8'-0"	3 FT, MAX	L4"x4"x½" *
0-0	I2 FT. MAX	L5"x3½"x5%"
	I6 FT. MAX	L6"x3½"x3%"
9'-6"	I2 FT. MAX	L6"x3½"x5%"

L LINIELS: SHALL SUPPORT 2 3%" - 3 ½" VENEER W 40 psf MAXIMUM WEIGHT IG SHALL HAVE 4" MIN. BEARING IG SHALL HAVE 8" MIN. BEARING IG SHALL NOT BE FASTENED BACK TO HEADER.

< 46 SHALL NOT BE FASTIBLED BACK TO HEADER. IN MALL 046°02. W ½" DIA. x 3 ½" LONG LAS SCREDE DIA XT DOOD HEADER. IN MALL 046°02. W ½" DIA. x 3 ½" LONG LAS SCREDE DIA ZE LONG VERTICALLY SLOTTED HOLES. MAX. YEBER TH. APPLIES TO AN PORCITO OF BROCK OVER THE OPENING. ALL LINES SHALL BE LONG LES VERTICAL.</p>
ALL LINES SHALL BE LONG LES VERTICAL.
HEMB SUPPORTING VEDERS (3" MICE DE DETRICOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 ½" MICE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLON FOR NORTICAL DIST THIS HIGHIGI.

PRICTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE

'Arameters. En veneer use l4x3x/4".

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- FOOTING DESIGN 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING I/2" DIA. ANCHOR BOLTS @ 6'-0" O.C.7" MIN. EMBEDMENT
- FA4 ANCHOR STRAPS @ 6'-0" O.C
- FASTEN 2xi0 SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAX. FROM PLATE ENDS UTILIZING:
- I/2" DIA. BOLTS @ 2'-0" O.C ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W PERIMETER
- FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2. BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W PRESERVATIVE-TREATED
- WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD. FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
 - f'c = 4,000 psi: FOUNDATION WALLS 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
 - . 8' OR 9' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
 - 30 PCF TYPE (GW, GP, SW, SP) 45 PCF TYPE (GM, GC, SM, SM-SC, ML)
- IMPORTANT IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKELL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 1% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- PICAL REINFORGEMENT DETAILS: PROVIDE 3" MIN. GLEAR COVER WHERE CAST AGAINST FARTH LI/2" MIN CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24' FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIEY.

LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

OF. INDICATES TRUSS OVERFRAMING • 24" O.C. (TYP. U.N.O.)

INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C. MAX, JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR - JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS

- INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE (B.W.A.)

- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: IMPH WIND IN 2018 NCSBC:R

20MPH WIND IN 2018 IRC (120 MPH WIND SPEED IN ASCE 7 WIND MAP PER IRC R301211) EXP. B. RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 \$ 2018 IBC SECTION 1609) & ASCE 7 AS PERMITTED BY R30113 DE THE 2018 NOSBO:RC & 2018 IRC. ACCORDINGLY THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- •7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 8"XO.II3 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED

 VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT, STAPLE CONNECTION SPEC: 13/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR MALL - OR - 2X HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" OC FDGE FASTENING

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120 NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2×4
UP TO 8'-0"	(2)2×6	(3)2x6

• ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF, TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT. ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. • I-JOIST SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES € @ 12"o.c. FIELD.
- 2 3" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD. - 2 🖁 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

<u>ROOF FRAMING</u>

- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/ 2 1 × 0.131" NAILS @ 6"o.c. @ PANEL EDGES € @ 12" O.C. FIELD. - w/ 2 🖁 × 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD. - W/2 累"×0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W USP RTTA CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RTTA CLIPS AT 2-PLY GIRDER TRUSSES, (3) RT7A CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS SLABS ON GRADE BEAMS WALLS AND NON-BEARING LEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NOSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

LIVE = 20 PSF DEAD = 1 PSF T.C., 10 PSF B.C ROOF

LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS)

ADD'L IO PSF @ CERAMIC TILE IN BATHS & LAUND.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- CONNECTIONS TABLE (IRC. TABLE R6023(I)) OR ON PLANS ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O. WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W (1)2x JACK STUD & (1)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.. ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED

(I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.

- WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.) HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- PENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0xl0^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL $1\frac{3}{4}$ " MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS USP WS35 SCREWS (OR 3K" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER.

 APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3½" OR 5½" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 & 2x8
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF USP WS6 SCREWS (OR 6 $^3\!\!\!/_{\!\!4}$ " TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP \$ PA44E BASE, U.N.O.
- - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE EASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

BRIARWOOD

_OT 20

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERINS C-3825



Mulhern+Kulp project numbe 256-22018

SMK RAF issue date: 01.05.2023

REVISIONS

initial:

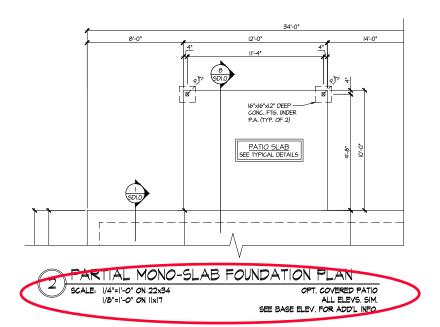
SMITH DOUGI HOMES

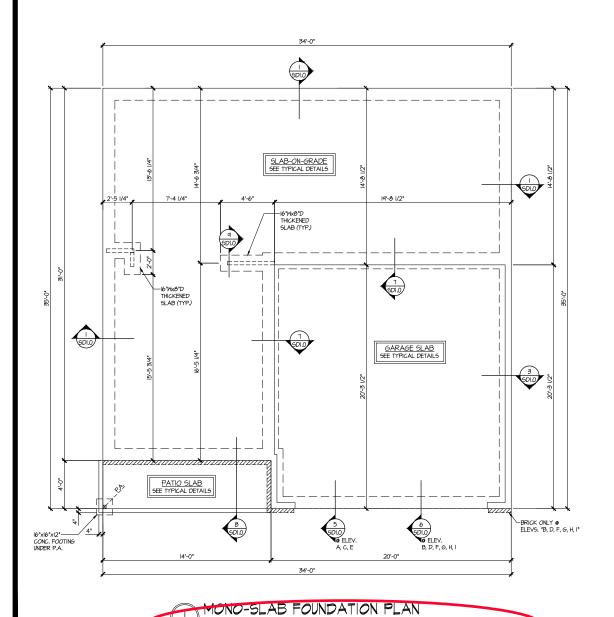
NOTES MODE STRUCTURAL

ZONI SON WIND 120 N

NERAL

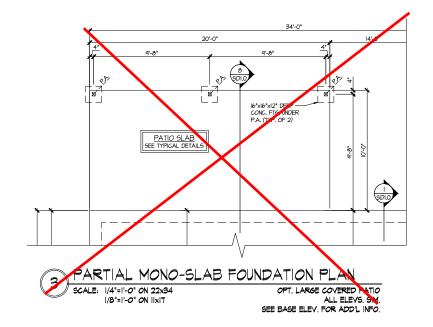
B

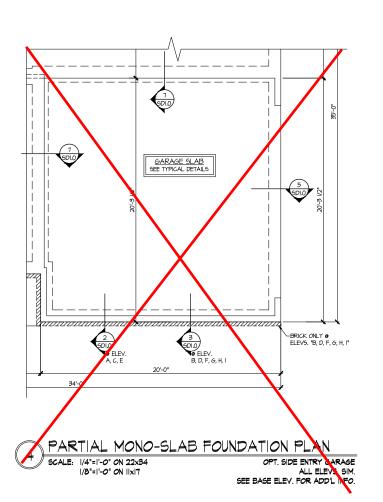


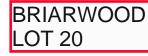


SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17

ALL ELEVS. SIM.







REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF.

MANUF, (TYP, UN.O.)

OF INDICATES TRUSS OVERFRAMING
24" O.C. (TYP, UN.O.)

F.J. NIDICATES 14" DEEP FLOOR 1-JOISTS © 24" O.C.
MAX. JOIST SERIES AND SPACING SHALL BE THE
RESPONSIBILITY OF THE MANUFACTURER
NOTE: 14" FLOOR TRUSSES © 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. - JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.

• IIIIIII INTERIOR BEARING WALL

• □=== BEARING WALL ABOVE (B.W.A.)

• --- BEAM/HEADER

• JL METAL HANGER

• * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

2/6/24

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

105 Brocksis Perkvey, 50th 105 - April 170-777-5004 - mallicandispose NC License # C-3825

Mulhern+Kulp project number: 256-22018

SMK RAP issue date: 01.05.2023

initial:

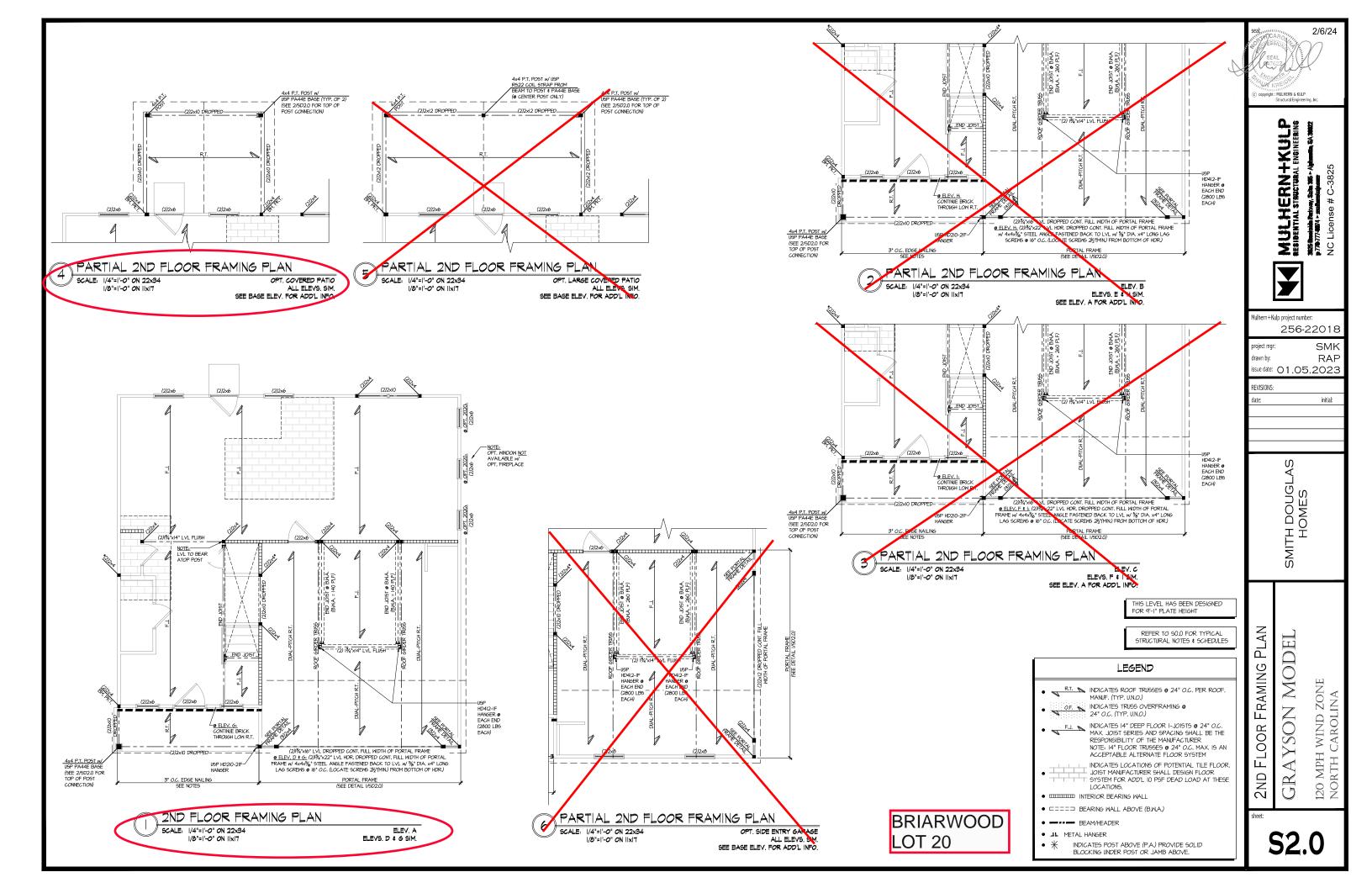
REVISIONS:

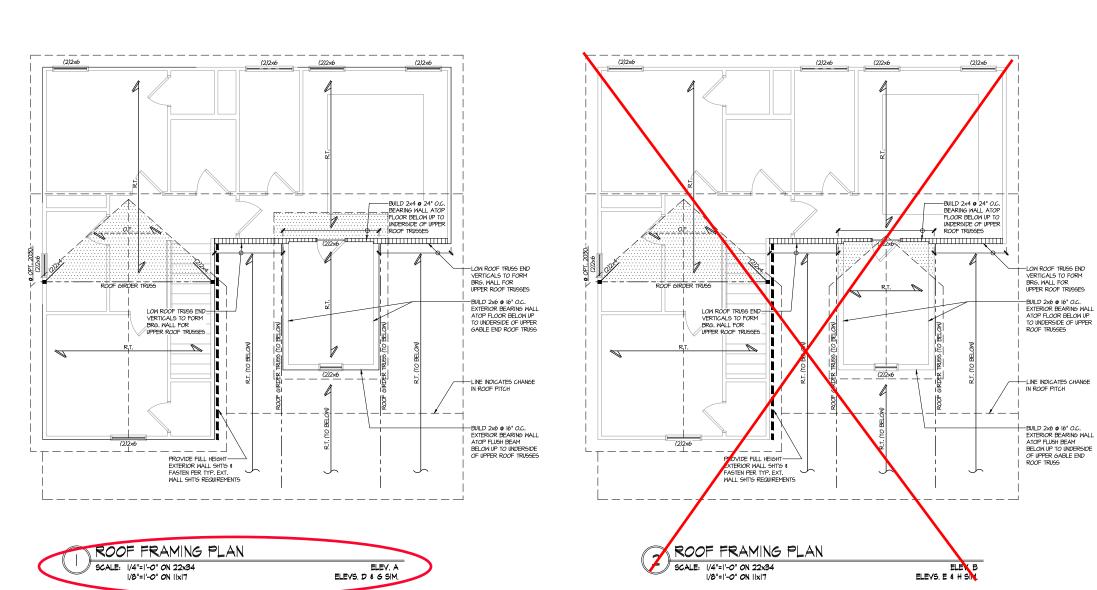
SMITH DOUGLAS HOMES

FOUNDATION

SON MODEI 120 MPH WIND ZONE NORTH CAROLINA GRA

MONO-SLAB





2/6/24

MULHERN + KULP

RESIDENTIAL STRUCTURAL ENGINEERING

RESIDENTIAL STRUCTURAL ENGINEERING

FIGHT SALVE ST



Mulhern+Kulp project number:

256-22018

SMK RAP issue date: 01.05.2023

REVISIONS:

initial:

SMITH DOUGLAS HOMES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

LOT 20

BRIARWOOD



F.J. INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C.
MAX, JOIST SERIES AND SPACING SHALL BE THE
RESPONSIBILITY OF THE MANUFACTURER
NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX, IS AN

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR

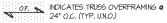
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE

• --- BEAM/HEADER

• JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)





ACCEPTABLE ALTERNATE FLOOR SYSTEM

LOCATIONS.

INTERIOR BEARING WALL

• CTTT BEARING WALL ABOVE (B.W.A.)

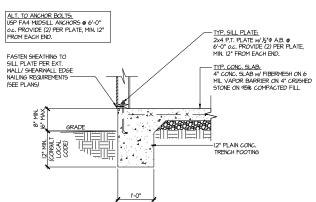
GRAYSON MODEL ROOF

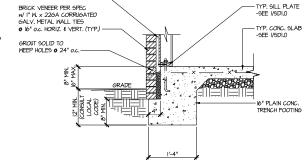
PLAN

FRAMING |

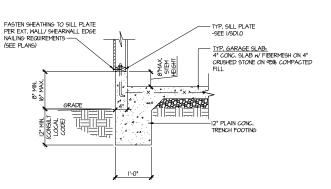
S3.0

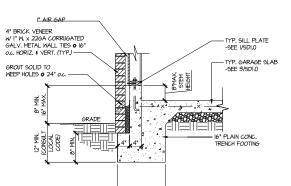
120 MPH WIND ZONE NORTH CAROLINA





I" AIR GAP -





TYPICAL SLAB ON GRADE
PERIMETER FOOTING

TYPICAL SLAB ON GRADE

PERIMETER FOOTING

*/ DRICK VENEER

-TYP. SILL PLATE BEYOND -SEE I/SDI.0 TYPICAL SLAB ON GRADE GARAGE

PERIMETER FOOTING

TYPICAL SLAB ON GRADE GARAGE

PERIMETER FOOTING

W DRICK VENEER

OPT. BRICK (SEE ARCH FOR LOCATIONS)

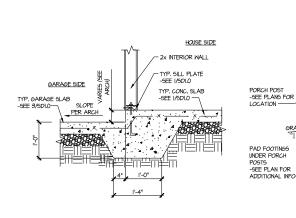
FASTEN SHEATHING TO— SILL PLATE PER EXT. WALL/ SHEARWALL EDGE NAILING REQUIREMENTS (SEE PLANG)

TYP, SILL PLATE BEYOND
SEE ISDID

TYP, GARAGE SLAB
SEE 3/5DID

TYP, GARAGE







TYPICAL SLAB ON GRADE GARAGE

S ENTRY @ PERIMETER FOOTING

TYPICAL SLAB ON GRADE GARAGE

ENTRY @ PERIMETER FOOTING

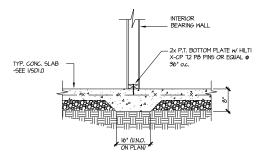
W PRICK VENER

TYPICAL MONOLITHIC INTERIOR

GARAGE FOOTING

TYPICAL SLAB ON GRADE PERIMETER

5 FOOTING @ PORCH/PATIO



TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

BRIARWOOD LOT 20

SEAL SEAL SEAL COPYRIGHT FOR A KULP Structural Engineering, Inc.

MULHERN+KULP RESIDENTIAL STRUCTURAL ENSINEERING SESTIMENT STRUCTURAL ENSINEERING PARTITION STRUCTURAL ENSINE PARTITION STRUCTURAL ENSINE NC License # C-3825

Y

Mulhern+Kulp project number: 256-22018

project mgr: SMK drawn by: RAP issue date: 01.05.2023

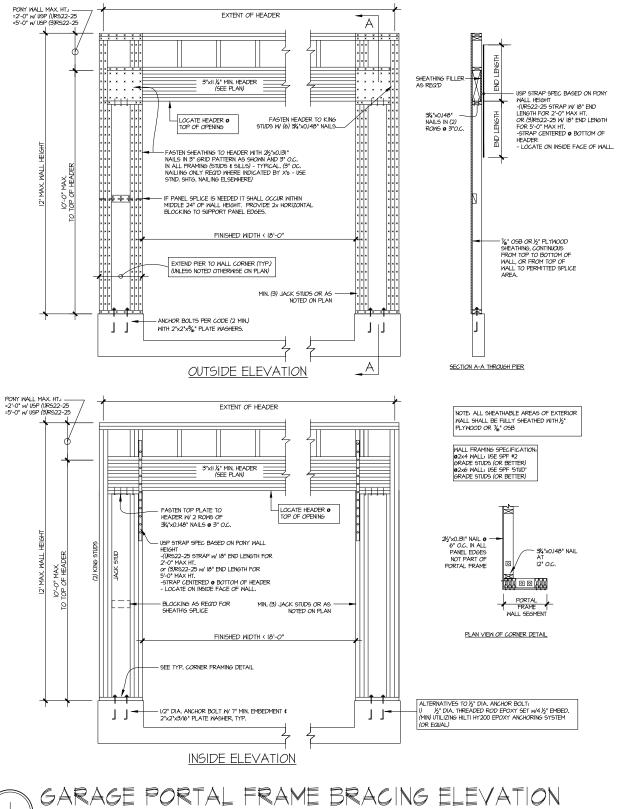
REVISIONS:
date: initial:

SMITH DOUGLAS HOMES

FOUNDATION DETAILS
GRAYSON MODEL

GRAYSON MC
120 MPH WIND ZONE
NORTH CAROLINA

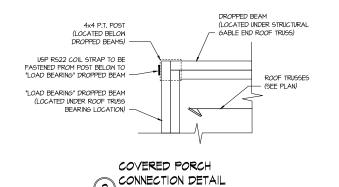
SD1.0



GARAGE PORTAL FRAME BRACING ELEVATION

SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR
120 MPH WIND SPEED (ULT)



SEAL SEAL STATE OF CONTROL OF CON

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENSINEERING

SESTMENT STRUCTURAL ENSINEERING

STRUCTURAL STRUCTURAL ENSINEERING

TO CLICENSE # C-3825

Y

Mulhern+Kulp project number: 256-22018

project mgr: SMK drawn by: RAP issue date: 01.05.2023

initial:

REVISIONS: date:

date:

SMITH DOUGLAS HOMES

N MODEL

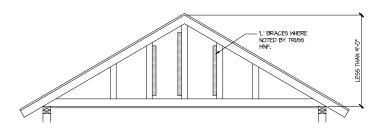
FRAMING DETAILS
GRAYSON MO

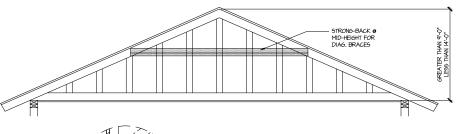
sheet:

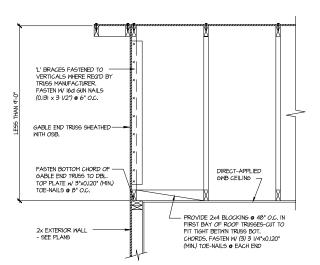
SD2.0

120 MPH WIND ZONE NORTH CAROLINA

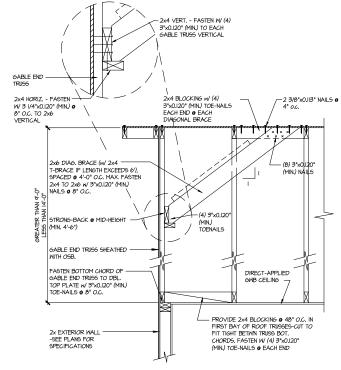
BRIARWOOD LOT 20







TYPICAL GABLE END BRACING DETAIL
SCALE: NONE REGID & GABLE END TRUSG
HEIGHT UP TO 4-0*



TYPICAL GABLE END BRACING DETAIL SCALE: NONE REOT & GABLE END TRUSS HEIGHT BETWIN 4"-0" TO 14"-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. 'L' BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS. NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9-0'. 'L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

BRIARWOOD LOT 20 MULLIERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
STRUCTURAL ENGINEERING
STRUCTURAL ENGINEERING
PARTICULAR
PART

In project number:

Mulhern+Kulp project number: 256-22018

project mgr: SMK drawn by: RAP issue date: 01.05.2023

REVISIONS:

te: initial:

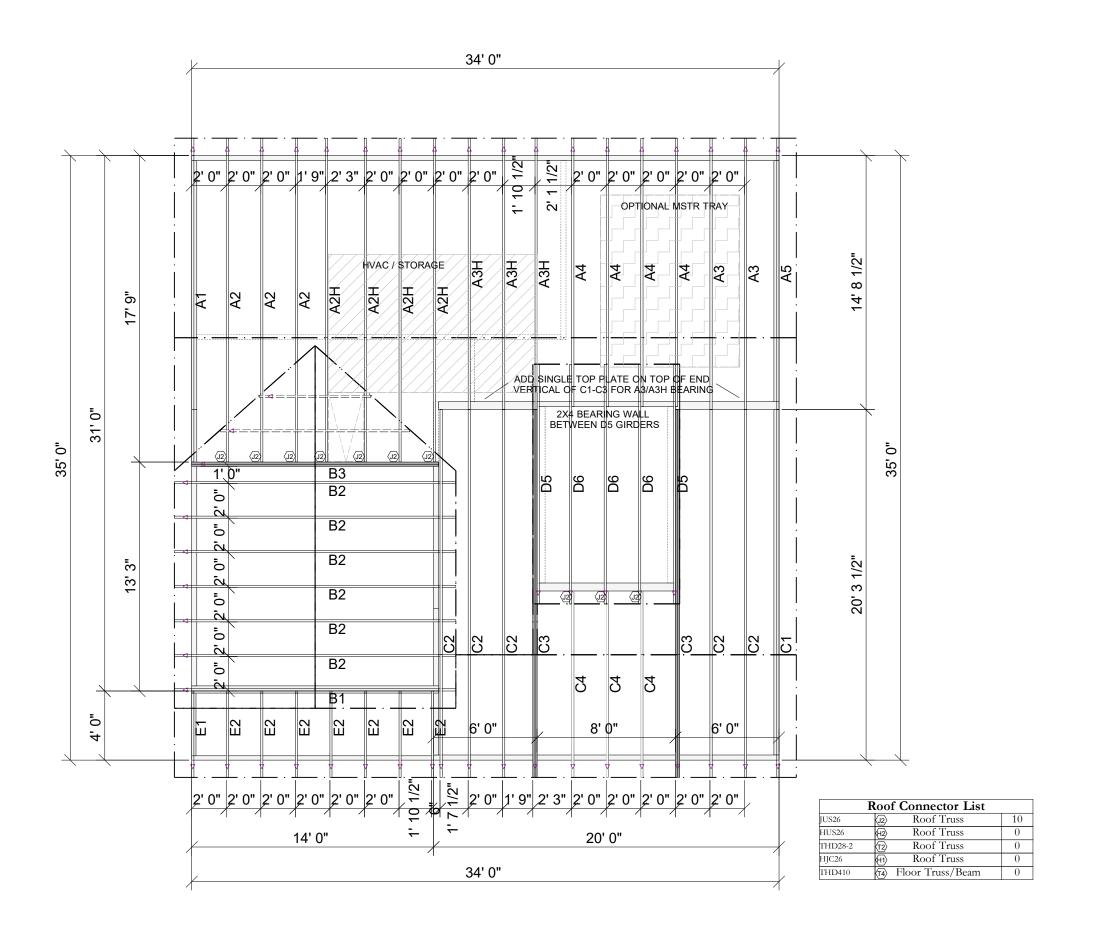
SMITH DOUGLAS HOMES

FRAMING DETAILS
GRAYSON MODEL

GRAYSON M(120 MPH WIND ZONE NORTH CAROLINA

SD2.1

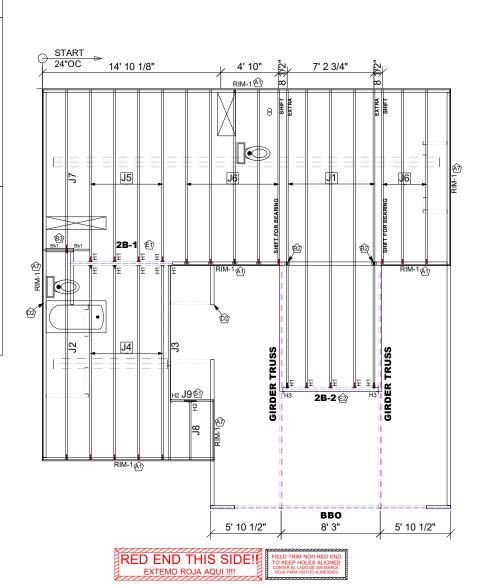
72515497 20 BRIARWOOD



BUILT SITE A UPP INDUSTRIES C UFP TRUSSTRAX 0 LINES: H LINES: VALLEY DOUGLAS SMITH Ŧ 66 56. LINE 圣 RIDGE GRAYSON A DSN sqft \sim 1532. AREA: DESIGNER AG LAYOUT DATE 4-4-25 ROOF ARCH DATE STRUC DATE JOB #: MASTER

E1 DOUBLE LVL

A1 1 1/8" RIMBOARD BAND



		Products			
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	25' 0"	14" TJI® 110	1	5	MFD
J2	18' 0"	14" TJI® 110	1	1	MFD
J3	17' 0"	14" TJI® 110	1	1	MFD
J4	17' 0"	14" TJI® 110	1	4	MFD
J5	15' 0"	14" TJI® 110	1	4	MFD
J6	15' 0"	14" TJI® 110	1	8	MFD
J7	14' 0"	14" TJI® 110	1	1	MFD
J8	5' 0"	14" TJI® 110	1	1	MFD
J9	4' 0"	14" TJI® 110	1	1	MFD
2B-1	9' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
2B-2	8' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
RIM-1	16' 0"	1 1/8" x 14" TJ® Rim Board	1	8	MFD
Bk1	2' 0"	14" TJI® 110	1	2	MFD

Connector Summary				
PlotID	Qty	Manuf	Product	
H1	14	MiTek	IHFL1714	
H2	2	MiTek	TFL1714	
H3	2	MiTek	HD412IF	

GENERAL NOTES:

1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.

AS SHOWN ON PLAN.
3) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST

DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
7.) INSTALL NAILS IN ALL HOLES PROVIDED IN

7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.

8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

FRAMER NOTE

DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

Avoid Plumbing Drops

FRAMER NOTE

. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE. 2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH

CRITICAL!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

PLAN LEGEND

*INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)

H-, 1H-, GDH- INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)

*BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY, REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM

(ADD LINE FOR EACH ADDITIONAL PLY)

SHIFT JOIST TO MISS PLUMBING, ALIGN WWALL OR SUPPORT FURNITURE

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN **LIGHTS, ETC... PRIOR TO JOIST**

SECUREMENT TO AVOID INTERFERENCE

LAYOUT FOR 19.2" O/C

1= 19-3/16" 9= 172-13/16" 2= 38-3/8" 10= 192" 3=57-5/8" 11= 211-3/16" 4= 76-13/16" 12= 230-3/8" 13= 249-13/16" 5= 96" 6= 115-3/16" 14= 268-13/16" 7= 134-3/8" 15= 288" 8= 153-5/8"

FIELD VERIFY DIMENSIONS TO **JOISTS LOCATED UNDER WALLS!!**

2ND FLOOR LAYOUT

2ND FLOOR PLACEMENT PLAN

SCALE: 1/8" = 1'

BUILT

البا

UFP



Lot 20 Briarwood Bluff

Smith Douglas Homes

Grayson A 2nd Floor

NC 27332

DESIGNER PB2 LAYOUT DATE 5/28/2025 ARCH DATE 12/14/2022 **STRUC DATE** 2/15/2023 JOB #: 25052180F2