

GRAYSON

BRIARWOOD BLUFF
LOT 0020



QUALITY | INTEGRITY | VALUE

PLAN ID 010123

110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLANS & DETAILS
A5.2	SECOND FLOOR PLANS & DETAILS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS

AREA TABULATION	
FIRST FLOOR	716
SECOND FLOOR	780
TOTAL	1496
GARAGE	418
FRONT PORCH (COVERED)	62
REAR PATIO	120

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
5/30/2023	AW	Prototype walk revisions - see revision sheet	A3.1, A5.1, A5.2, A7.2, A7.3, A8.1
1/24/2024	AW	Added optional side entry	ALL

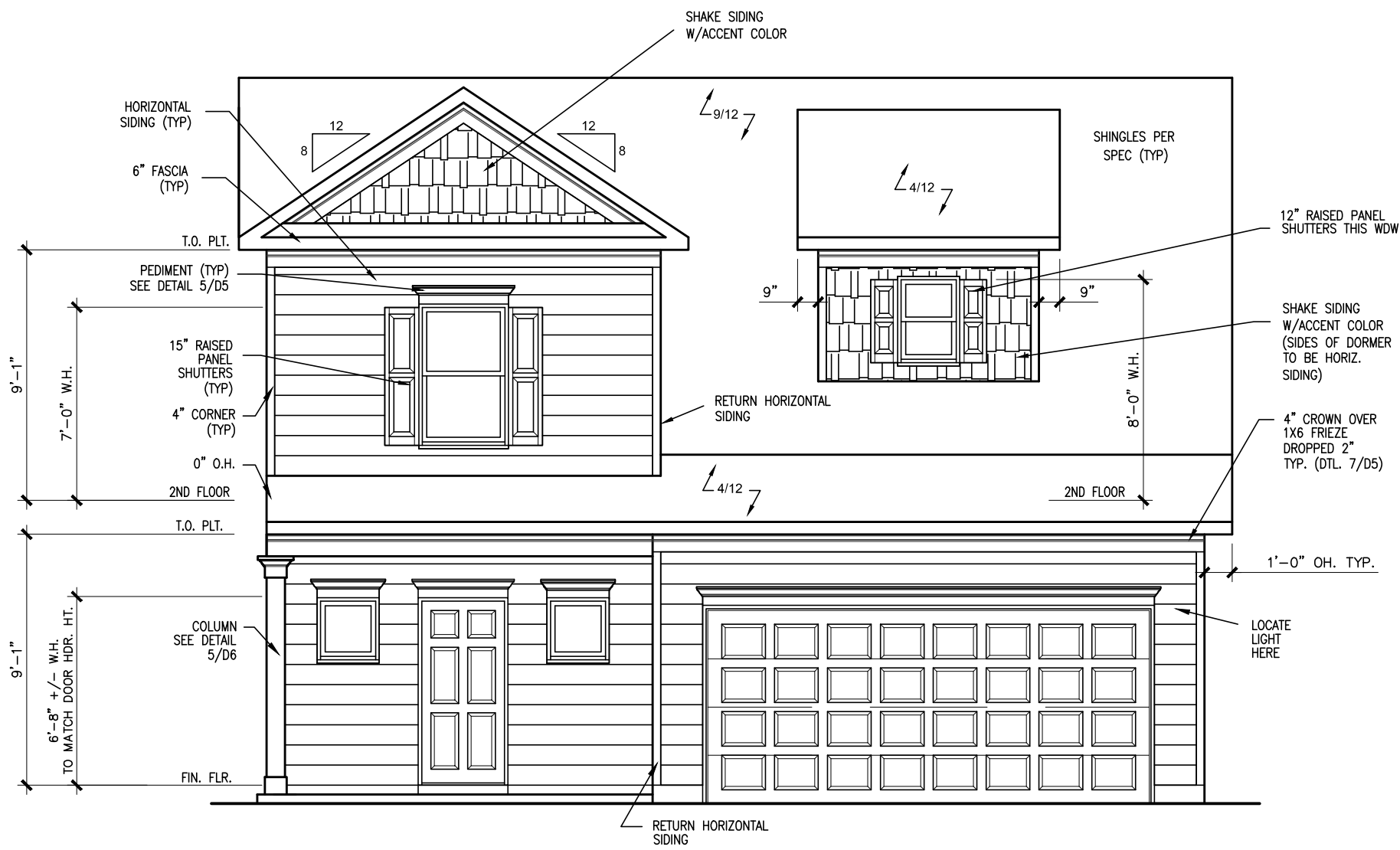
GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO
BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL
DETAILS FOR SOFFIT DETAILS PER
SOFFIT MATERIAL

BRIARWOOD BLUFF
LOT 0020



FRONT ELEVATION "A"
SCALE: 3/16"=1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#

SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

ELEVATIONS

FRONT ELEVATION

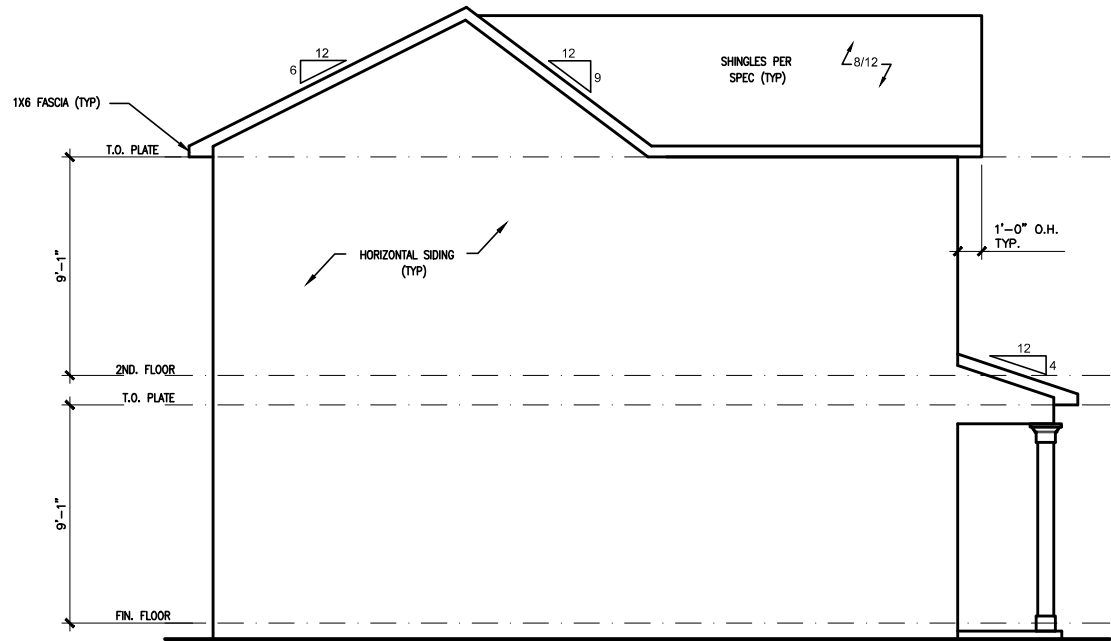
GRAYSON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 118
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

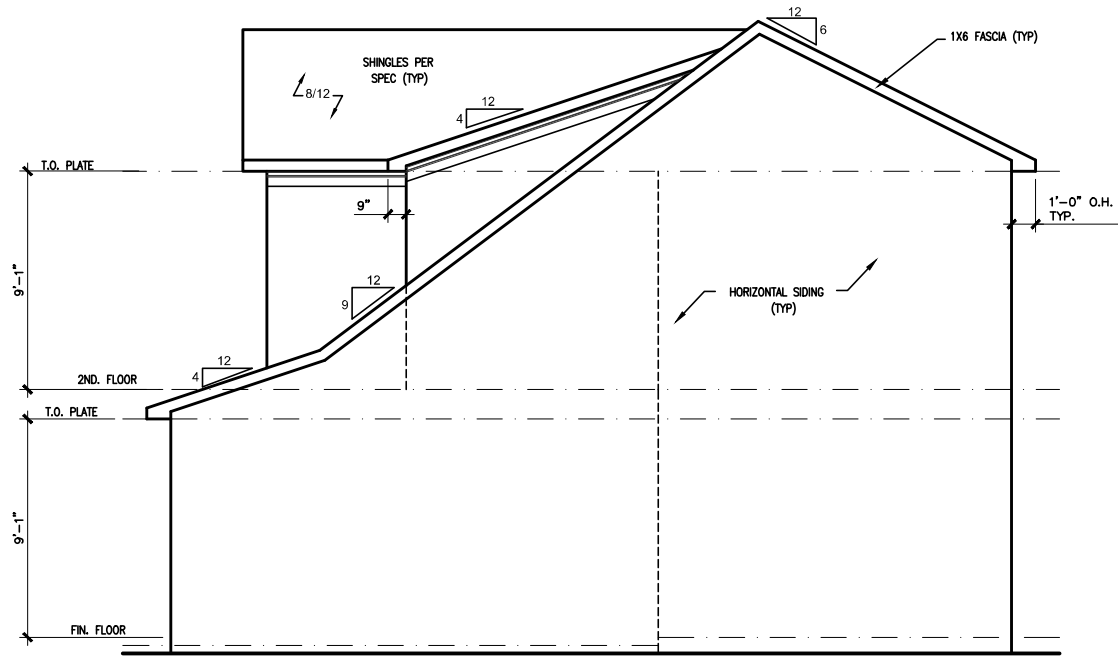
BY:	AJ	CH:	AW
DATE:	6/03/2025		
FACADE OPT:	A		
PLAN ID:			
PND:	ALL	RELEV:	A
PAGE NO:	A1.1		

BRIARWOOD BLUFF
LOT 0020



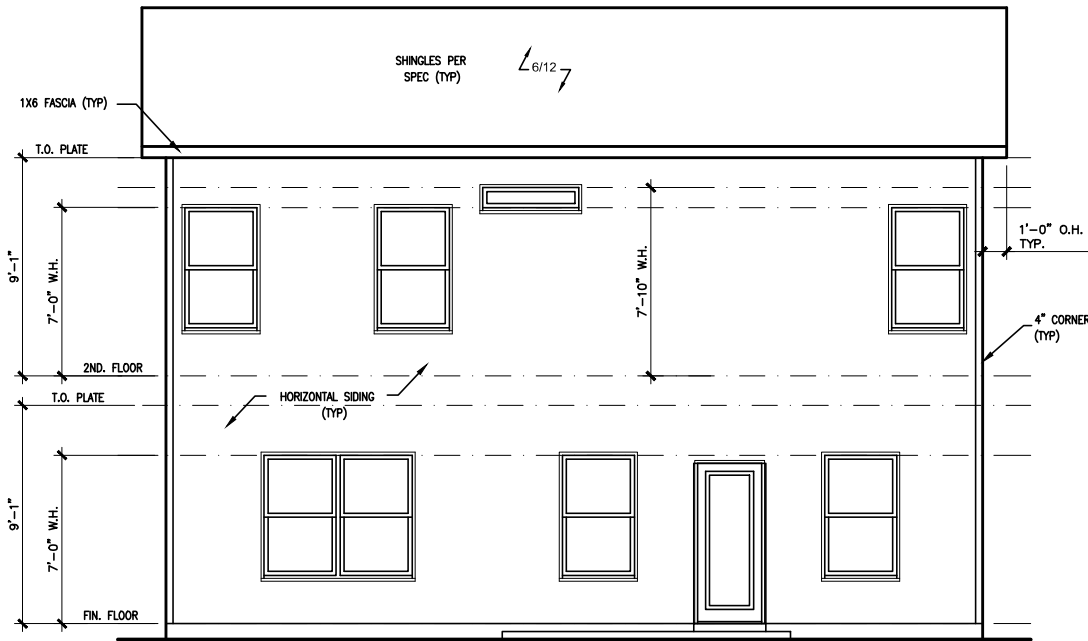
LEFT ELEVATION "A"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "A"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "A"

SCALE: 1/8" = 1'-0"

BY	#	REVISION	DATE	#

**SMITH DOUGLAS HOMES**
QUALITY | INTEGRITY | VALUE

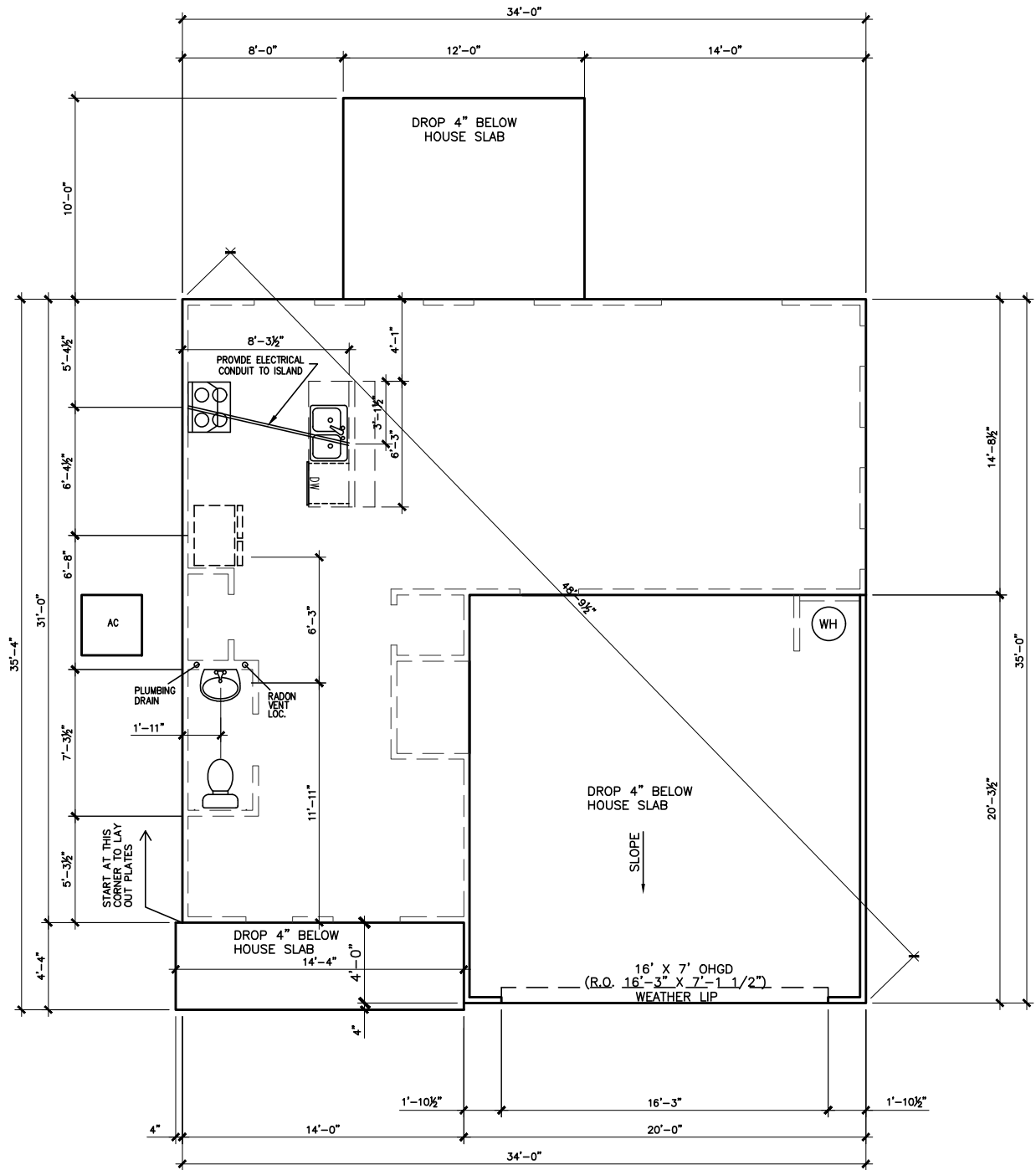
ELEVATIONS	GRAYSON
SIDES AND REAR	

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

BY:	AJ	CH:	AW
DATE:	6/03/2025		
FACADE OPT:	A		
PLAN ID:			
PND:	ALL	ELEV:	A
PAGE NO:	A2.1		

BRIARWOOD BLUFF
LOT 0020



SLAB PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN

DATE	BY	REVISION
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#

SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

FOUNDATION PLAN
SLAB PLAN
GRAYSON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

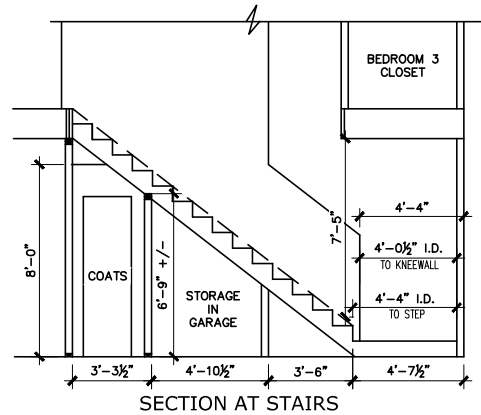
BY: AJ	CH: AW
DATE: 6/03/2025	
FACADE OPT: A	
PLAN ID:	
PND: ALL	RELEV: A
PAGE NO: A3.1	

[illegible]

FLOOR PLAN
FIRST FLOOR
GRAYSON

SMITH DOUGLAS HOMES
expressly reserves it's
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

BY: AJ	CH: AW
DATE: 6/03/2025	
FACADE OPT: A	
PLAN ID:	
END: ALL	ELEV: A
PAGE NO: A5.1	



[illegible]

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

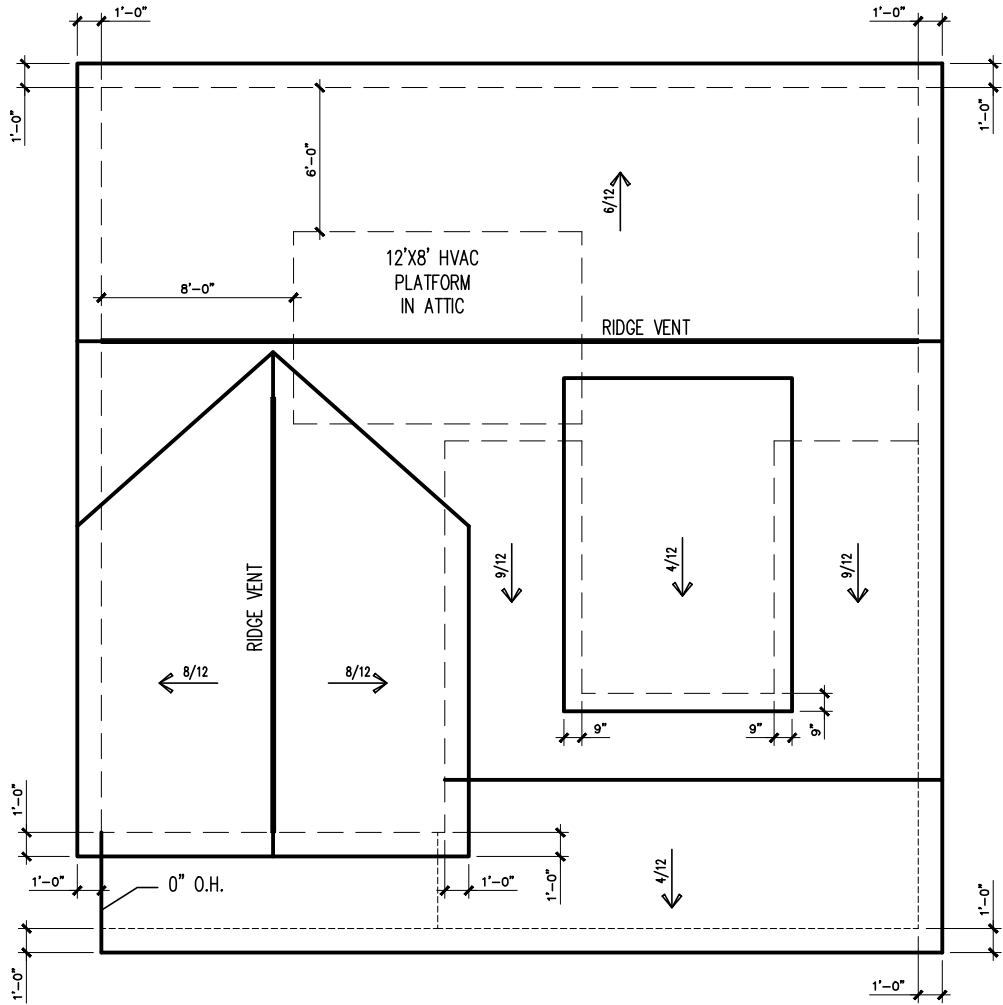
SMITH DOUGLAS HOMES
expressly reserves it's
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

SCALE: 1/8" = 1'-0"

REFER TO MANUFACTURER'S SPECS.
FOR DRAIN LOCATIONS ON DETAIL
SHEETS D12, D12.1, & D12.2

BY: AJ	CH: AW
DATE: 6/03/2025	
FACADE OPT: A	
PLAN ID:	
END: ALL	ELEV: A
PAGE NO: A5.2	

BRIARWOOD BLUFF
LOT 0020



ROOF PLAN "A"
SCALE : 1/8" = 1'-0"

DATE	BY	REVISION
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#

**SMITH DOUGLAS HOMES**
QUALITY | INTEGRITY | VALUE

ROOF PLAN

ROOF PLAN

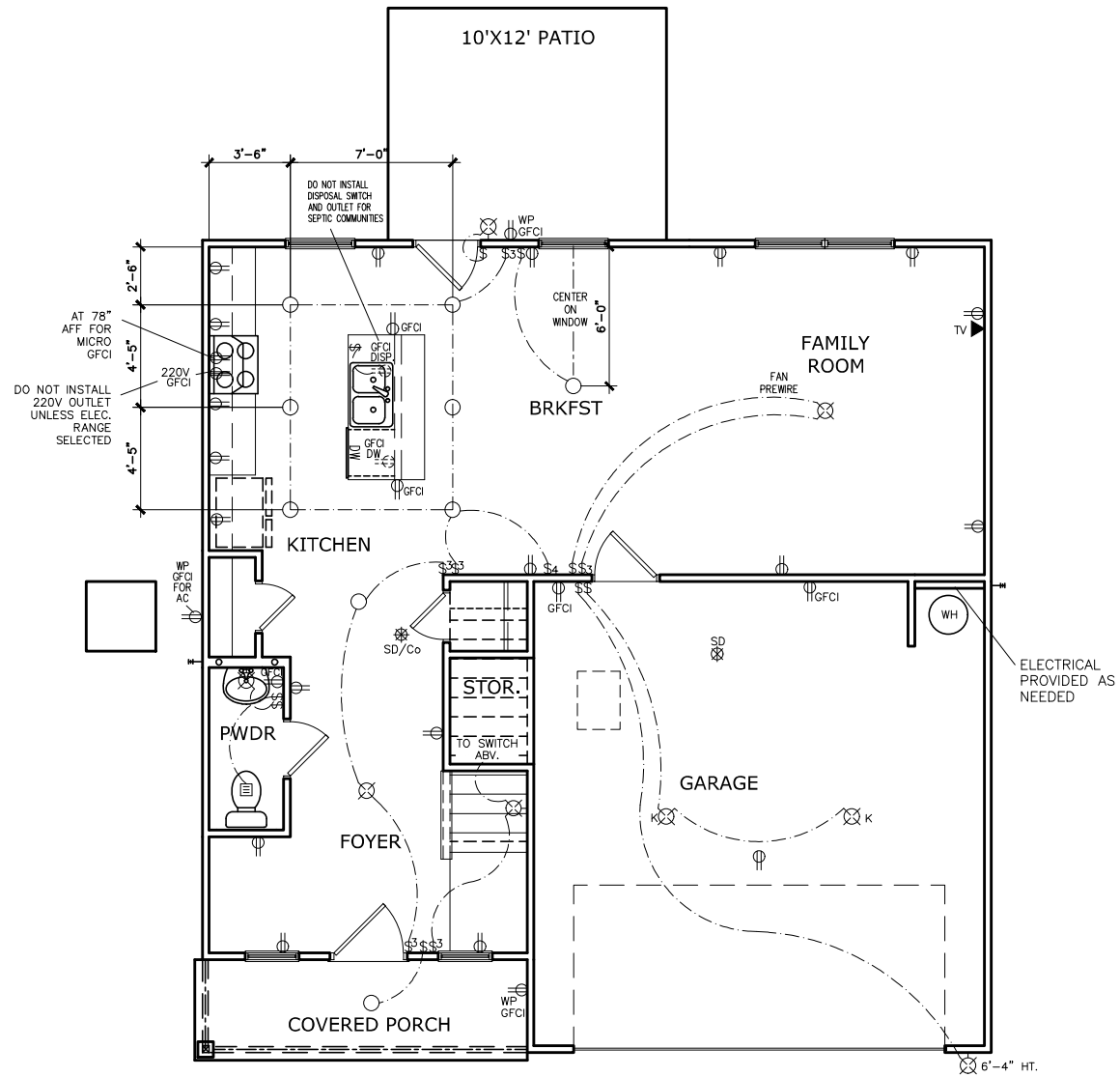
GRAYSON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves its property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

BY:	AJ	CH:	AW
DATE:	6/03/2025		
FACADE OPT:	A		
PLAN ID:			
PND:	ALL	RELEV:	A
PAGE NO:	A6.1		

BRIARWOOD BLUFF
LOT 0020



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	120V	120V RECEPTACLE
\$4	4 WAY SWITCH	120V	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	220V	220V RECEPTACLE
⊕	KEYLESS	GFCI	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	ARCH	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	GL	GAS LINE
●	FLEX CONDUIT	WL	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	1x4	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER		ELECTRICAL WIRING
⊞	EXHAUST FAN	⊕	CEILING FIXTURE
⊞	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF
PHONE/CABLE T.B.D. ON SITE
BY THE BUILDER

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#

SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

ELECTRICAL PLAN

FIRST FLOOR

GRAYSON

SMITH DOUGLAS HOMES

110 VILLAGE TRAIL

SUITE 115

WOODSTOCK, GA 30188

www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves its property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

BY: AJ CH: AW

DATE: 6/03/2025

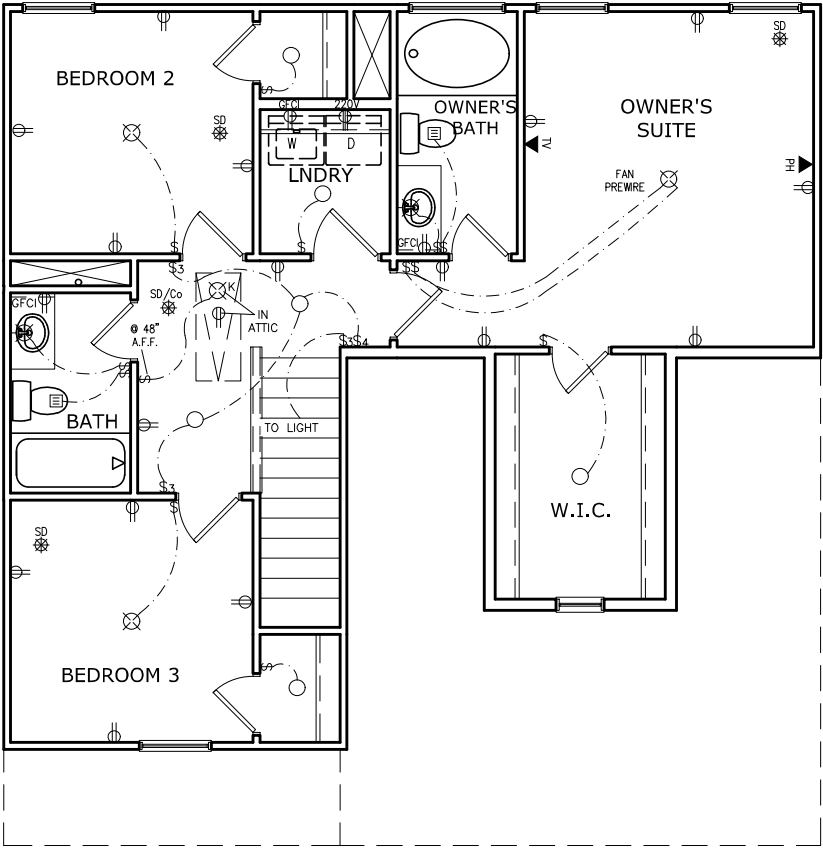
FACADE OPT: A

PLAN ID:

PND: ALL RLEV: A

PAGE NO: A7.2

BRIARWOOD BLUFF
LOT 0020



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	120V	120V RECEPTACLE
\$4	4 WAY SWITCH	120V	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	220V	220V RECEPTACLE
⊕K	KEYLESS	GFCI	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	AFCI	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	GL	GAS LINE
●	FLEX CONDUIT	WL	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	1x4	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER		
≡	EXHAUST FAN	—	ELECTRICAL WIRING
≡	FAN/LIGHT	⊕	CEILING FIXTURE
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF
PHONE/CABLE T.B.D. ON SITE
BY THE BUILDER

BY		REVISION		DATE	
#	#	#	#	#	#
#	#	#	#	#	#
#	#	#	#	#	#
#	#	#	#	#	#
#	#	#	#	#	#

SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

ELECTRICAL PLAN

SECOND FLOOR

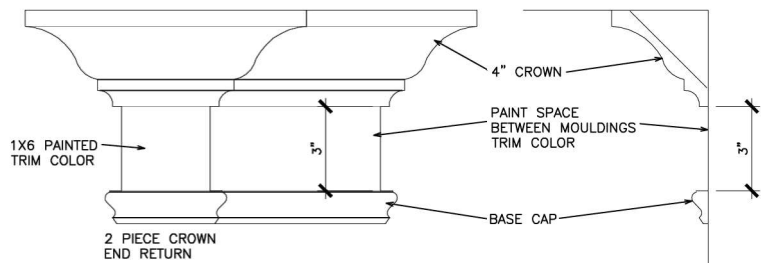
GRAYSON

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves it's
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

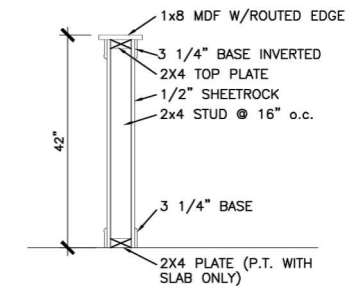
BY:	AJ	CH:	AW
DATE:	6/03/2025		
FACADE OPT:	A		
PLAN ID:			
PND:	ALL	RELEV:	A
PAGE NO:	A7.3		

REFER TO LOT SPECIFIC PLAN TO
DETERMINE WHICH DETAILS APPLY



TYPICAL TWO PIECE CROWN

N.T.S.



TYP. KNEEWALL SECTION

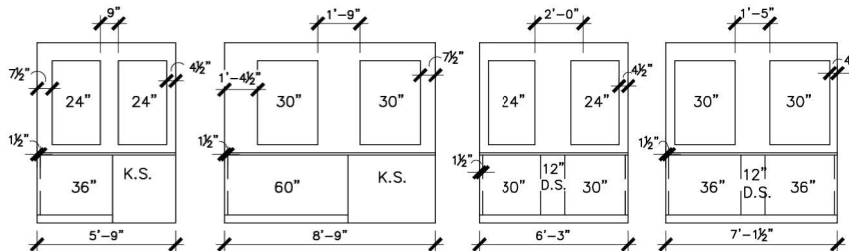
N.T.S.



TYP. 2ND FLOOR KNEE WALL STABILITY

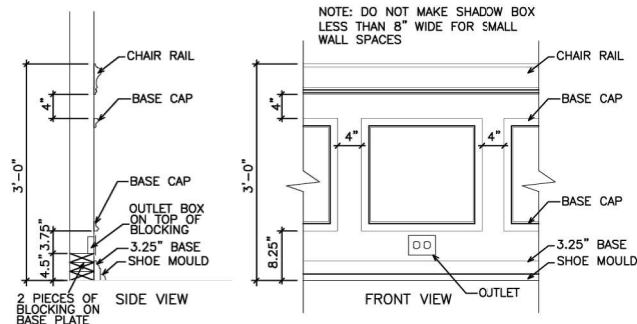
N.T.S.

1. MIRRORS ARE TO BE CENTERED ON THE CABINET OR KNEESPACE BELOW.
2. SPACE BETWEEN MIRROR AND WALL/CABINET END, MAY NOT MATCH ON EACH SIDE
3. MIRRORS ARE LIMITED TO 2 SIZES: 24" & 30"
 - a. VANITIES 30" & SMALLER RECEIVE THE 24" WIDE MIRROR.
 - b. VANITIES 33" & LARGER RECEIVE THE 30" WIDE MIRROR.
 - c. HEIGHTS DO NOT CHANGE.
 - d. SEE P.O. FOR EXACT WIDTH.
4. SEE THE BELOW EXAMPLE DRAWINGS. DIMENSIONS ARE APPROXIMATE.



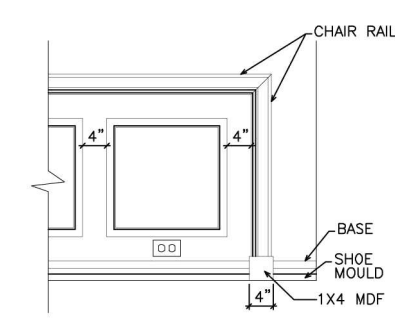
TYPICAL SPLIT MIRROR SCENARIOS

N.T.S.



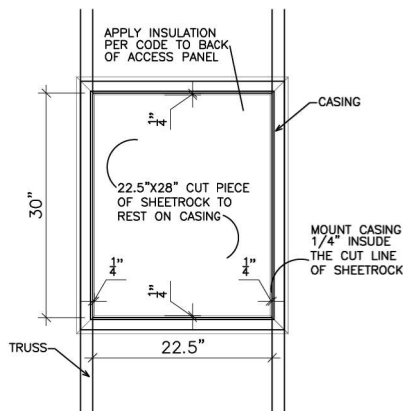
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



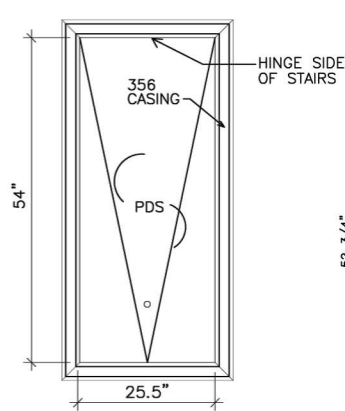
CHAIR RAIL END TRIM DETAIL

N.T.S.



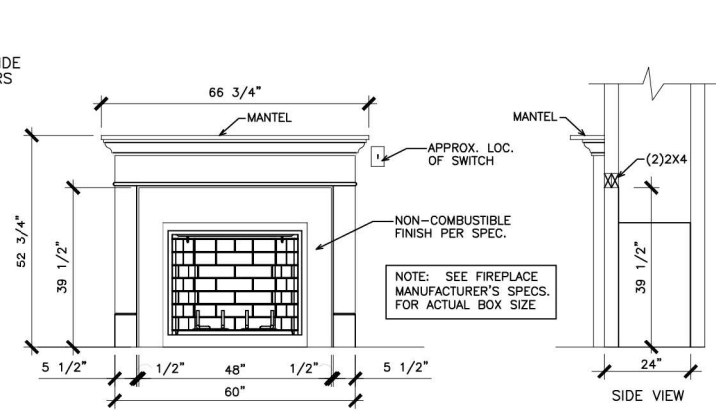
SCUTTLE HOLE DETAIL

N.T.S.



PDS TRIM DETAIL

N.T.S.



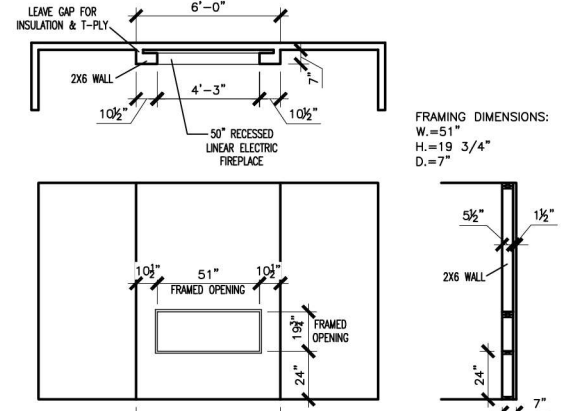
GAS/ELECTRIC FIREPLACE DETAIL
WITH WESCOTT WOOD MANTEL

N.T.S.

NOTE: SEE FIREPLACE
MANUFACTURER'S SPECS.
FOR ACTUAL BOX SIZE

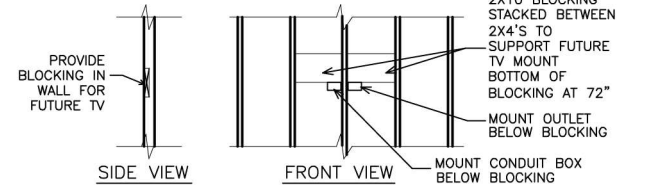
ELECTRIC FRAMING
DIMENSIONS:
W.=37"
D.=24"
H.=31 1/4"

GAS FRAMING
DIMENSIONS:
W.=37"
D.=24"
H.=34 3/4"



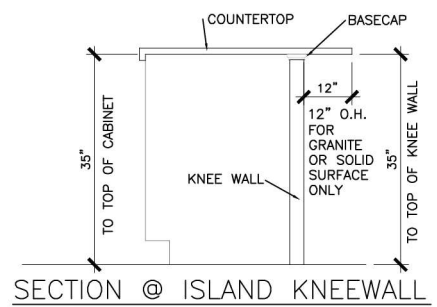
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



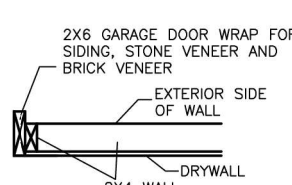
TYP. TV WALL PREP

N.T.S.



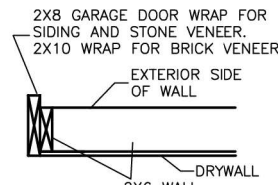
SECTION @ ISLAND KNEEWALL

N.T.S.



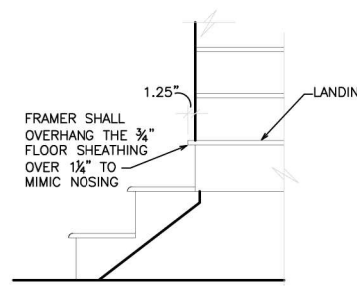
SECTION VIEW
2X4 PORTAL WALL

N.T.S.



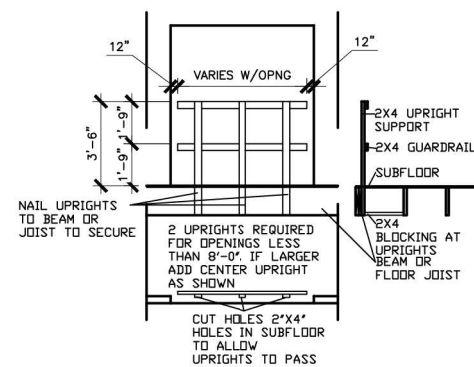
SECTION VIEWS
2X6 PORTAL WALL

N.T.S.



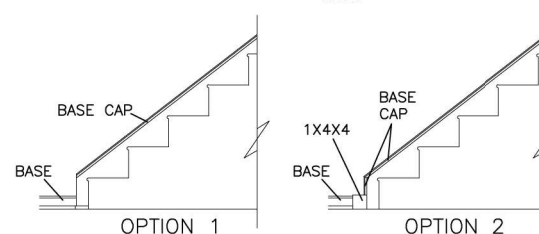
BOX STEP OVERHANG

N.T.S.



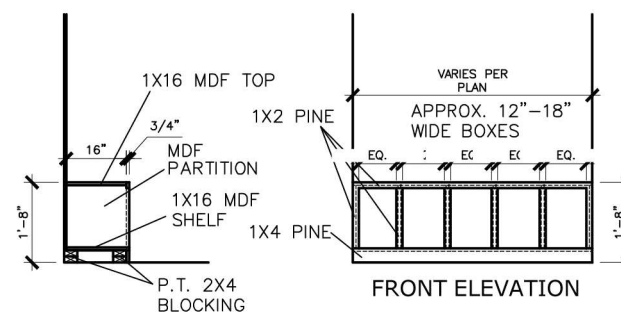
GUARD RAIL DTL. AS REQ'D

N.T.S.



STAIR TRIM DETAILS

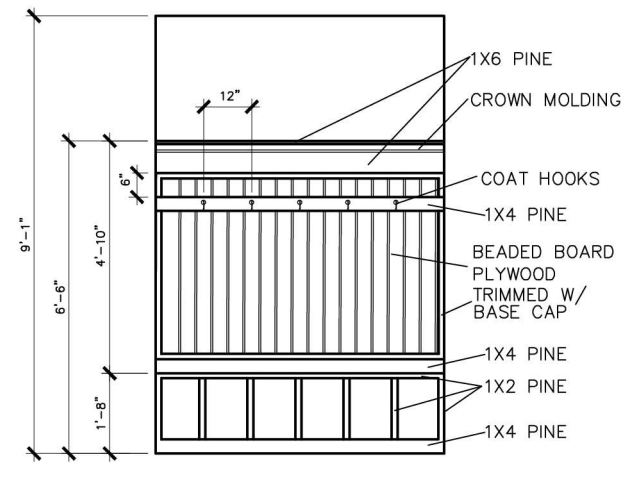
N.T.S.



SIDE ELEVATION

MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL
WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT
BENCH CONTINUE TO FLOOR)

© SMITH DOUGLAS HOMES 2023

BY					
REVISION					
DATE					

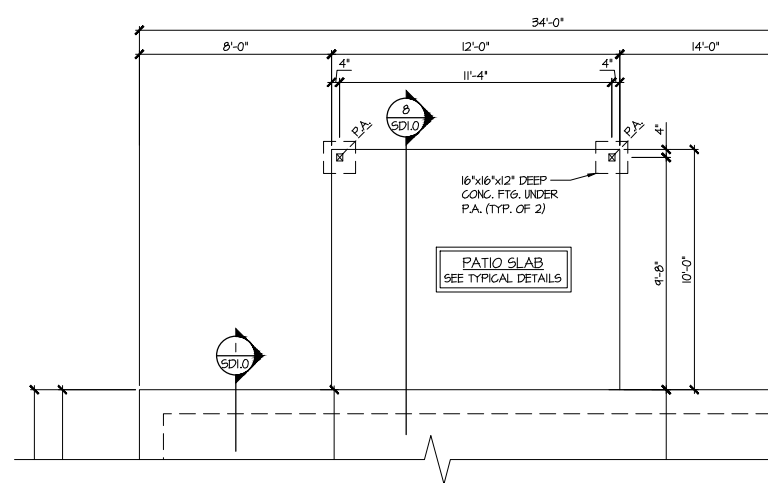
SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

INTERIOR TRIM
DETAILS

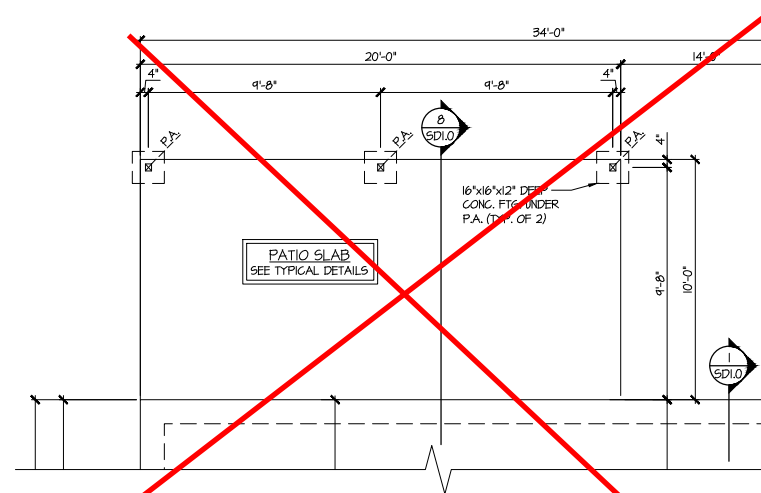
SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these plans
and drawings. These plans
and related drawings are not
to be reproduced without
written consent from SMITH
DOUGLAS HOMES.

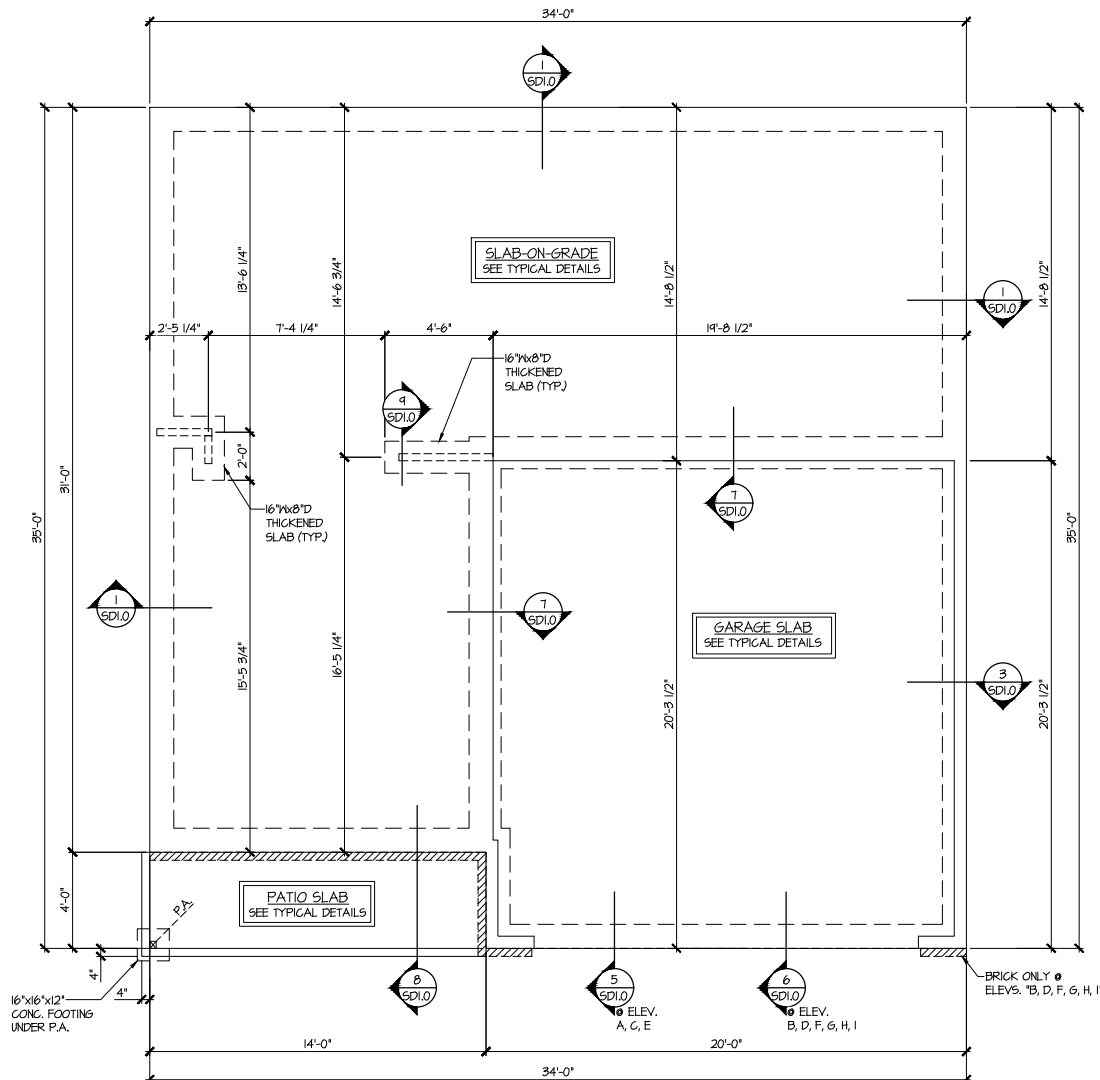
BY:	CH:
DATE:	6/13/23
FACADE OPT:	
PLAN ID:	
FND:	ELEV:
PAGE NO:	D1.1



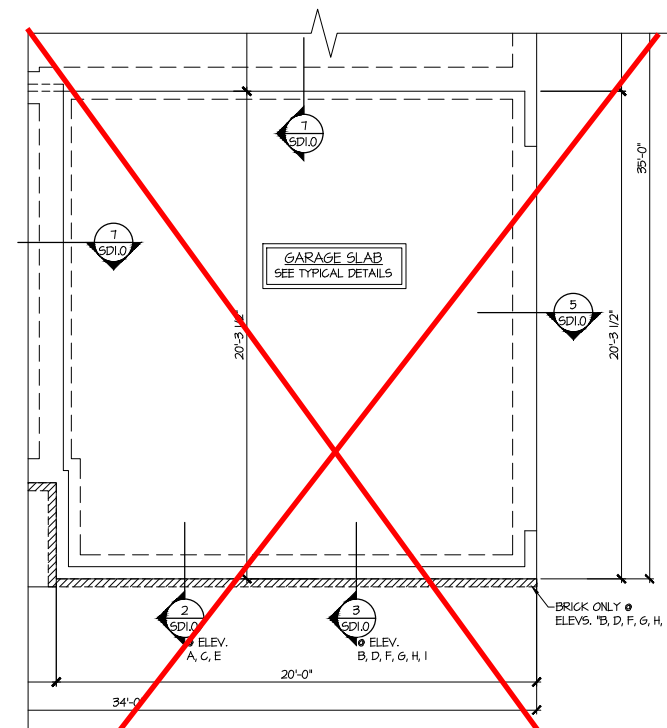
2 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. COVERED PATIO
ALL ELEVS. SIM.
SEE BASE ELEV. FOR ADD'L INFO.



3 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. LARGE COVERED PATIO
ALL ELEVS. SIM.
SEE BASE ELEV. FOR ADD'L INFO.



1 MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ALL ELEVS. SIM.



4 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. SIDE ENTRY GARAGE
ALL ELEVS. SIM.
SEE BASE ELEV. FOR ADD'L INFO.

**BRIARWOOD
LOT 20**

REFER TO S0.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C. MAX. JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM.
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
3825 Shawnee Parkway, Suite 105 • Alpharetta, GA 30022
970-777-8874 • mulhern+kulp.com
NC License # C-3825



Mulhern+Kulp project number:
256-22018

project mgr: **SMK**
drawn by: **RAP**
issue date: **01.05.2023**

REVISIONS:
date: initial:

SMITH DOUGLAS
HOMES

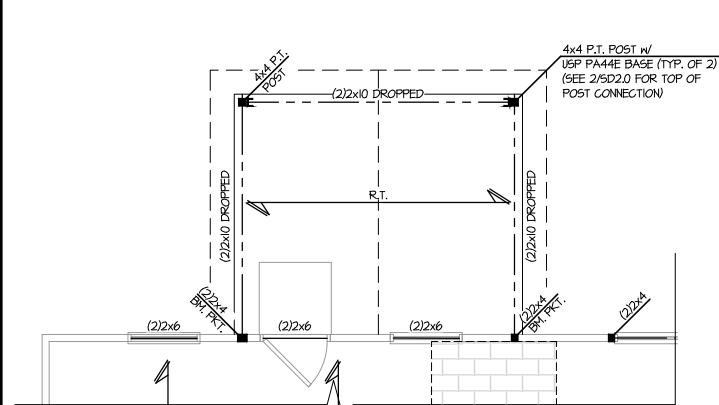
MONO-SLAB FOUNDATION

GRAYSON MODEL

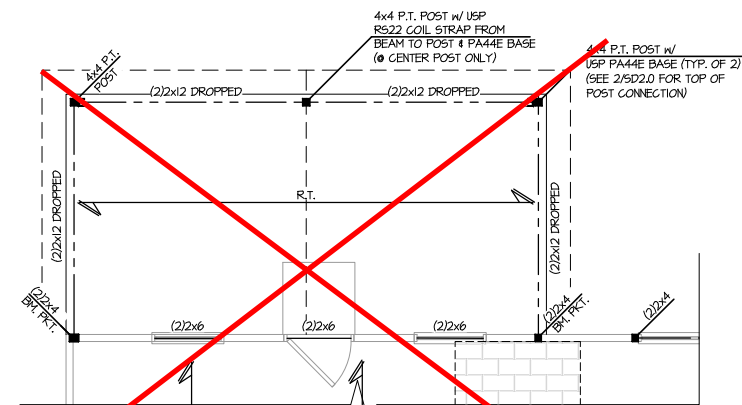
120 MPH WIND ZONE
NORTH CAROLINA

sheet:

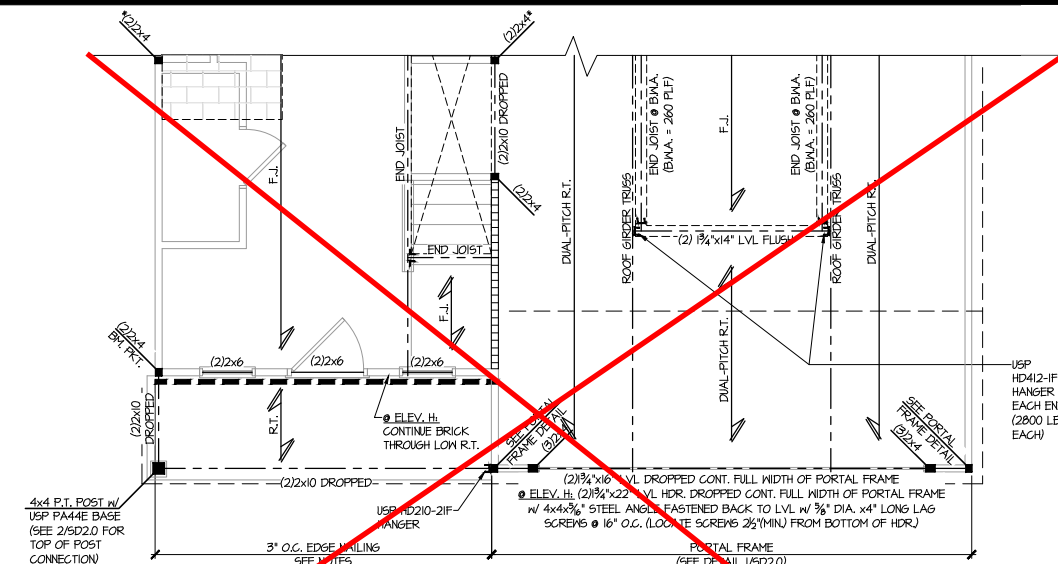
S1.0



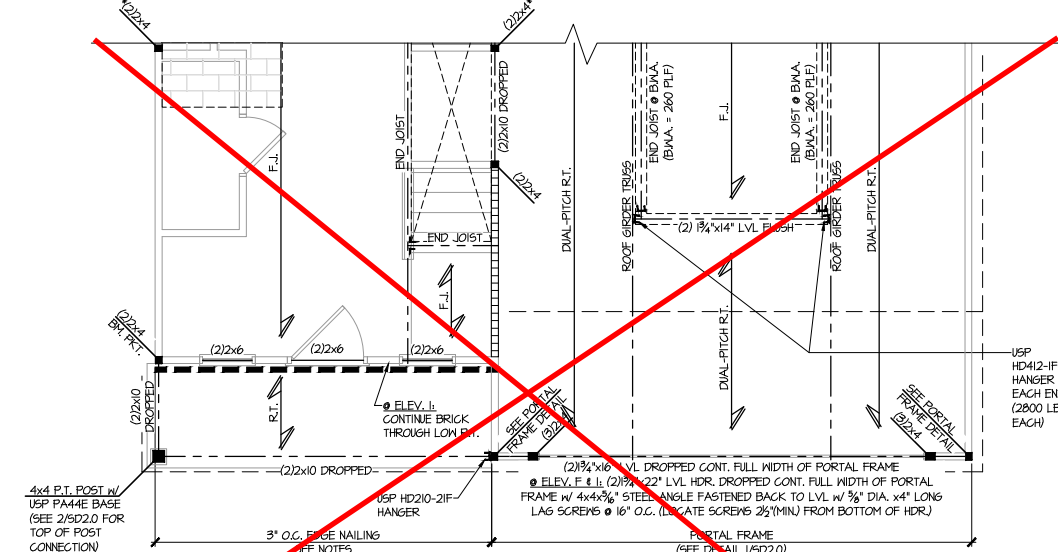
4 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PATIO
 ALL ELEV. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.



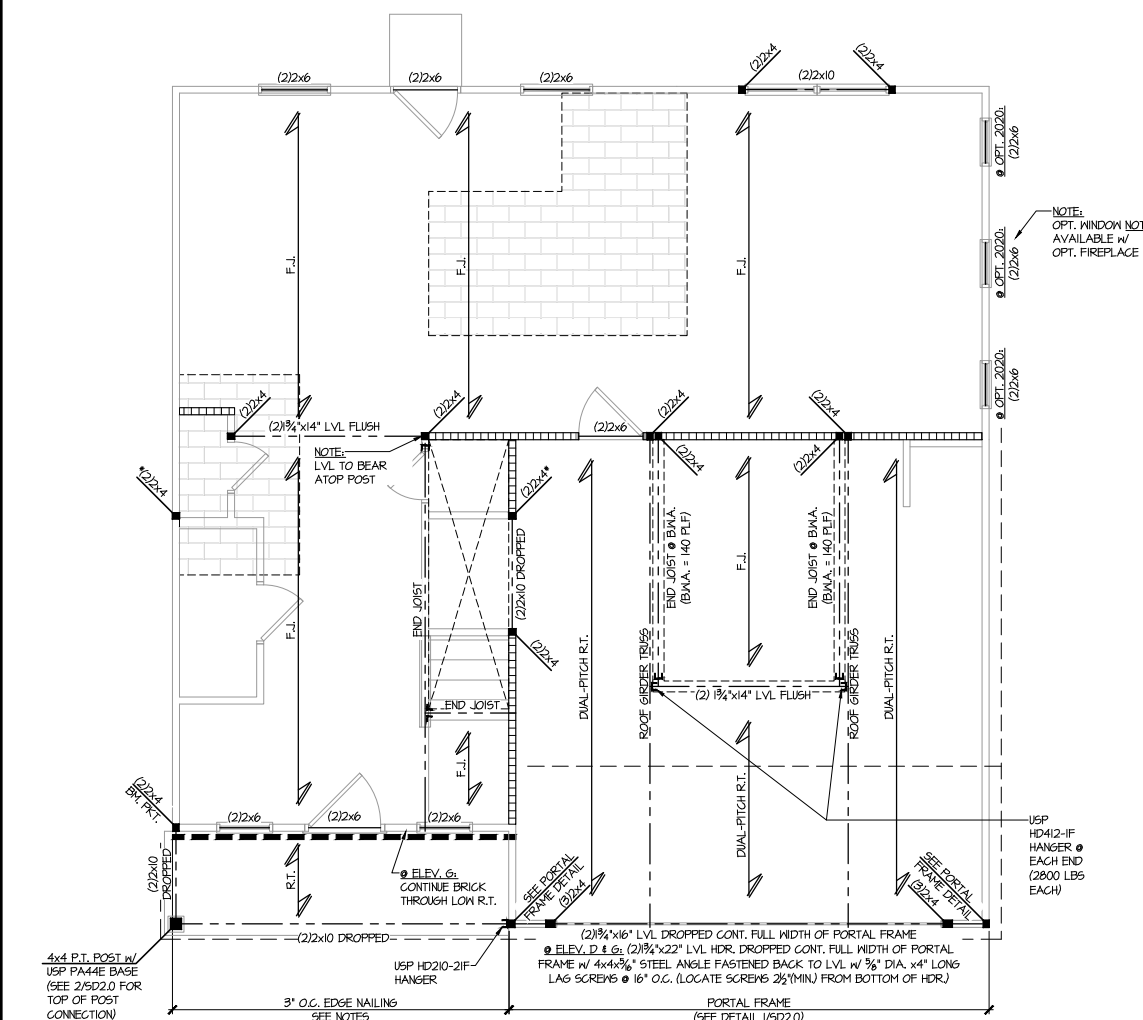
5 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE COVERED PATIO
 ALL ELEV. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.



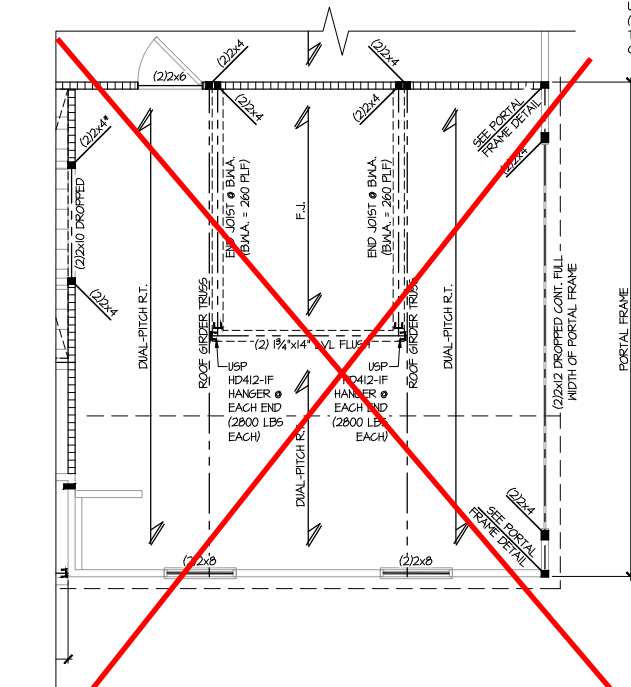
2 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B
 SEE ELEV. A FOR ADD'L INFO.



3 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. C
 SEE ELEV. A FOR ADD'L INFO.



1 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A
 ELEV. D & G SIM.



6 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. SIDE ENTRY GARAGE
 ALL ELEV. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.

**BRIARWOOD
 LOT 20**

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C. MAX. JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM.
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.M.A.)
	BEAM HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S.O.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3625 Shawhatchee Parkway, Suite 105 • Alpharetta, GA 30022
 770-777-8074 • mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
256-22018

project mgr: **SMK**
 drawn by: **RAP**
 issue date: **01.05.2023**

REVISIONS:

date:	initial:

**SMITH DOUGLAS
 HOMES**

2ND FLOOR FRAMING PLAN

GRAYSON MODEL

120 MPH WIND ZONE
 NORTH CAROLINA

sheet:

S2.0



Mulhern+Kulp project number:
256-22018

project mgr: SMK
drawn by: RAP
issue date: 01.05.2023

REVISIONS:	
date:	initial:

SMITH DOUGLAS
HOMES

BRIARWOOD
LOT 20

THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

REFER TO S.O.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

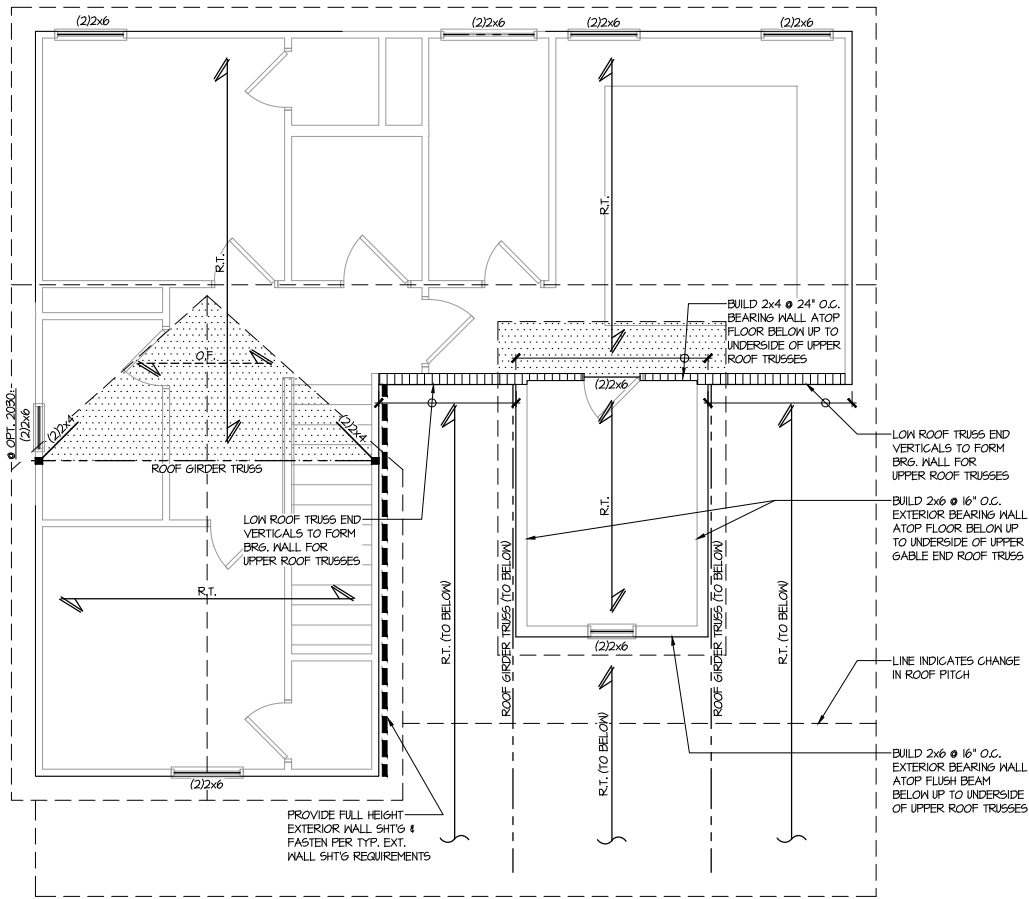
ROOF FRAMING PLAN

GRAYSON MODEL

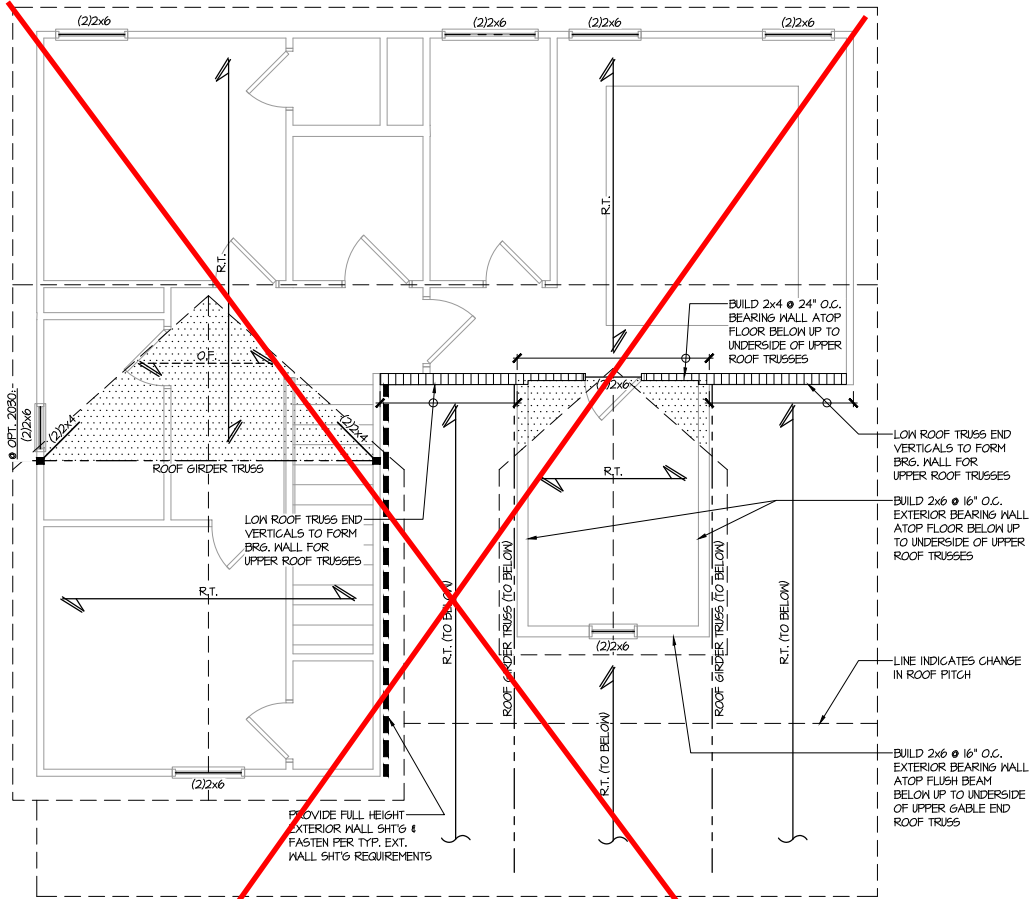
120 MPH WIND ZONE
NORTH CAROLINA

sheet:

S3.0



1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A
ELEVS. D & G SIM.

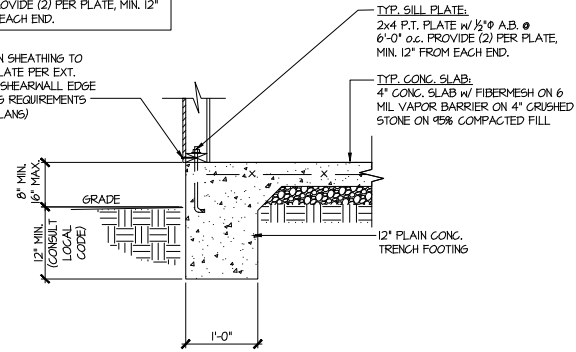


2 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. B
ELEVS. E & H SIM.

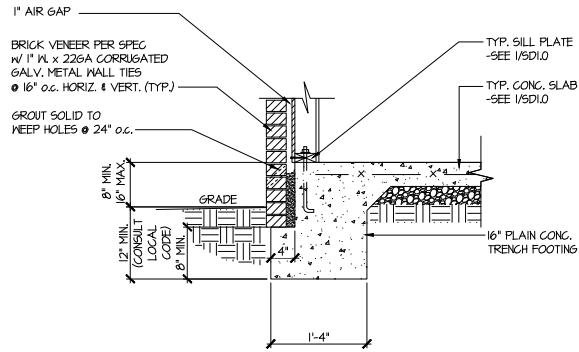
LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C. MAX. JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM.
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

ALT. TO ANCHOR BOLTS:
USE FA4 MUDSILL ANCHORS @ 6'-0"
o.c. PROVIDE (2) PER PLATE, MIN. 12"
FROM EACH END.

FASTEN SHEATHING TO
SILL PLATE PER EXT.
WALL/ SHEARWALL EDGE
NAILING REQUIREMENTS
(SEE PLANS)

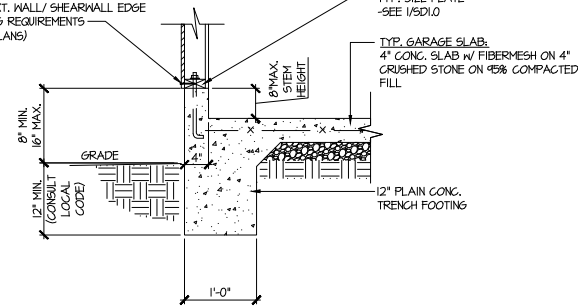


1 TYPICAL SLAB ON GRADE
PERIMETER FOOTING

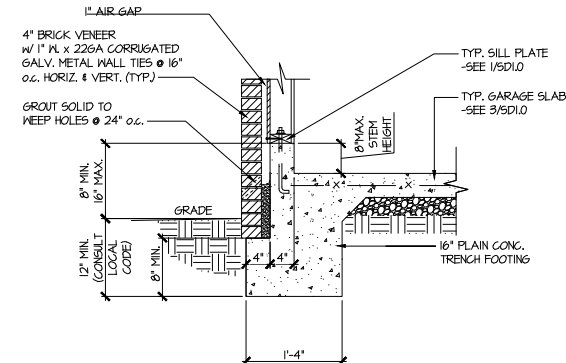


2 TYPICAL SLAB ON GRADE
PERIMETER FOOTING

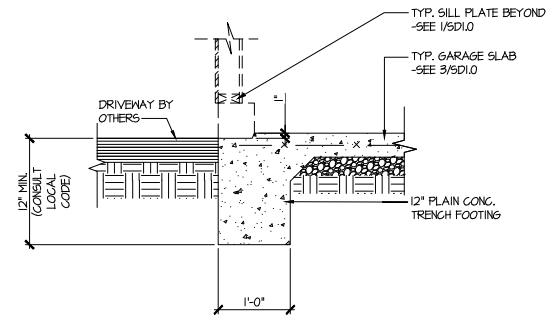
FASTEN SHEATHING TO SILL PLATE
PER EXT. WALL/ SHEARWALL EDGE
NAILING REQUIREMENTS
(SEE PLANS)



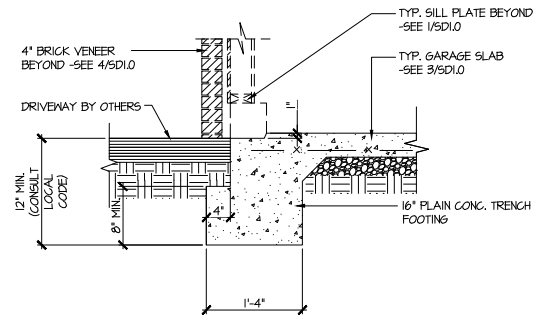
3 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING



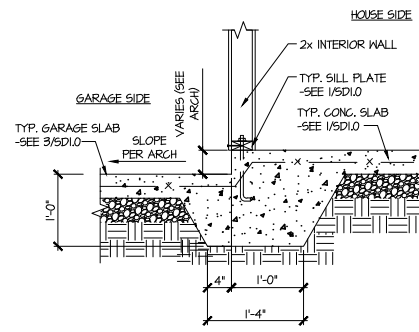
4 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING



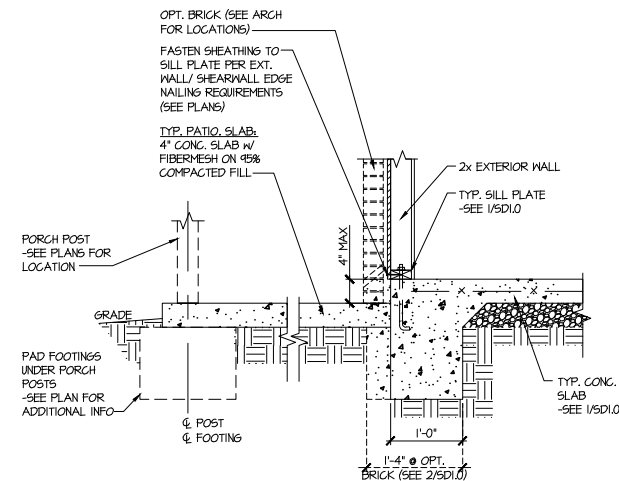
5 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING



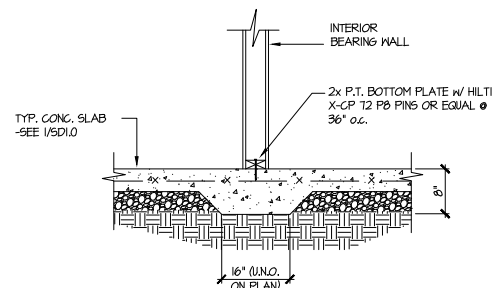
6 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING



7 TYPICAL MONOLITHIC INTERIOR
GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @
INTERIOR BEARING WALL

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

3825 Shawlands Parkway, Suite 105 • Alpharetta, GA 30022

9776-777-8874 • smk@mulhernkulp.com

NC License # C-3825

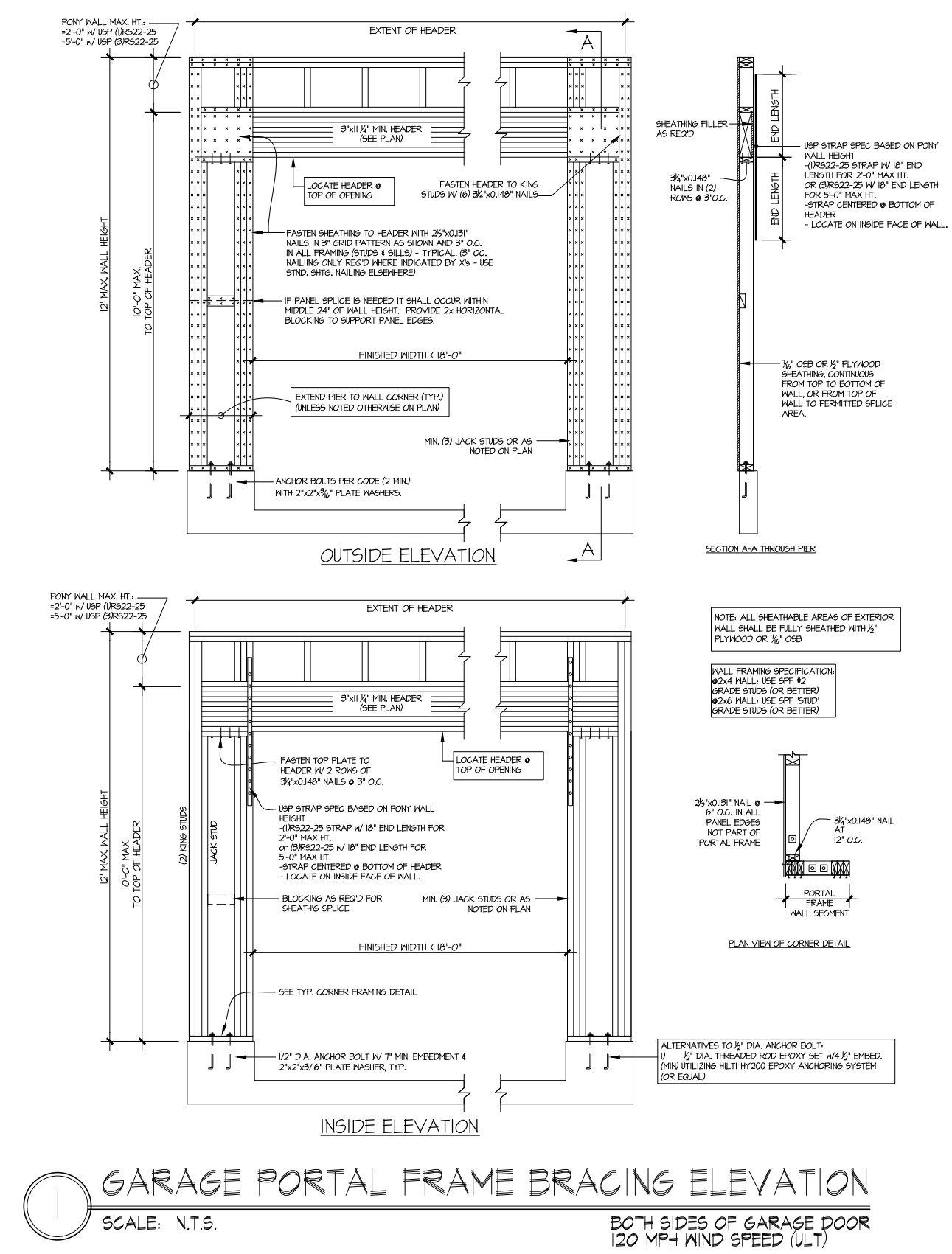
Mulhern+Kulp project number:	256-22018
project mgr:	SMK
drawn by:	RAP
issue date:	01.05.2023
REVISIONS:	
date:	initial:

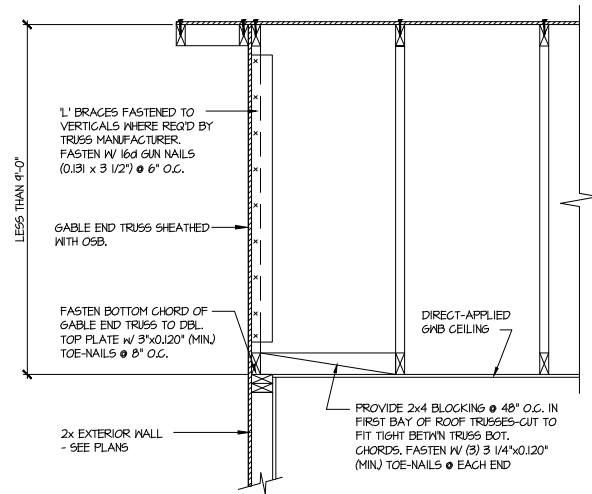
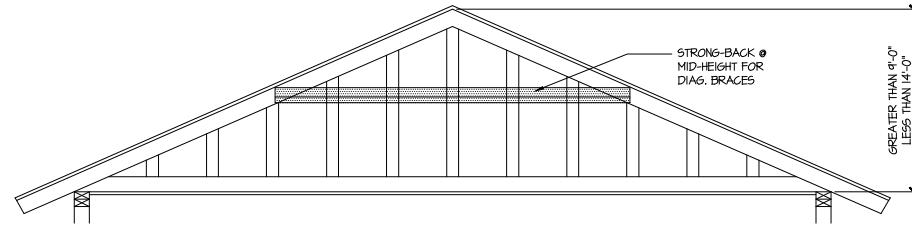
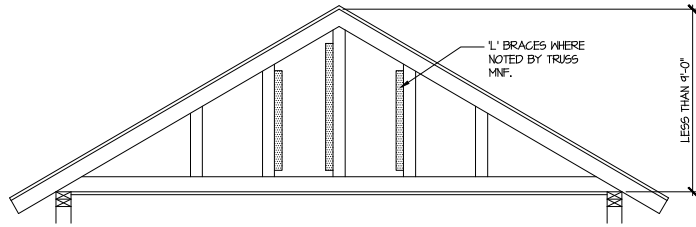
SMITH DOUGLAS
HOMES

FRAMING DETAILS

GRAYSON MODEL

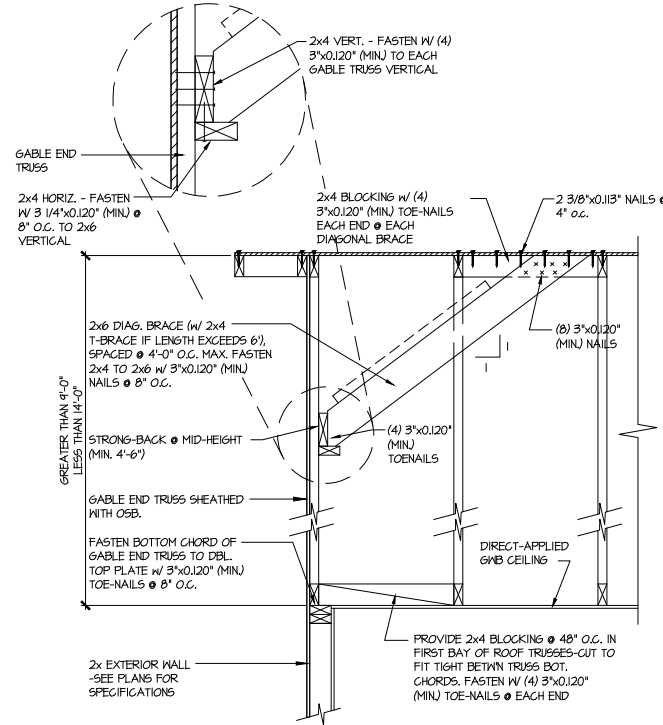
120 MPH WIND ZONE
NORTH CAROLINA





A TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



Mulhern+Kulp project number:
256-22018

project mgr: SMK
drawn by: RAP
issue date: 01.05.2023

REVISIONS:
date: initial:

SMITH DOUGLAS
HOMES

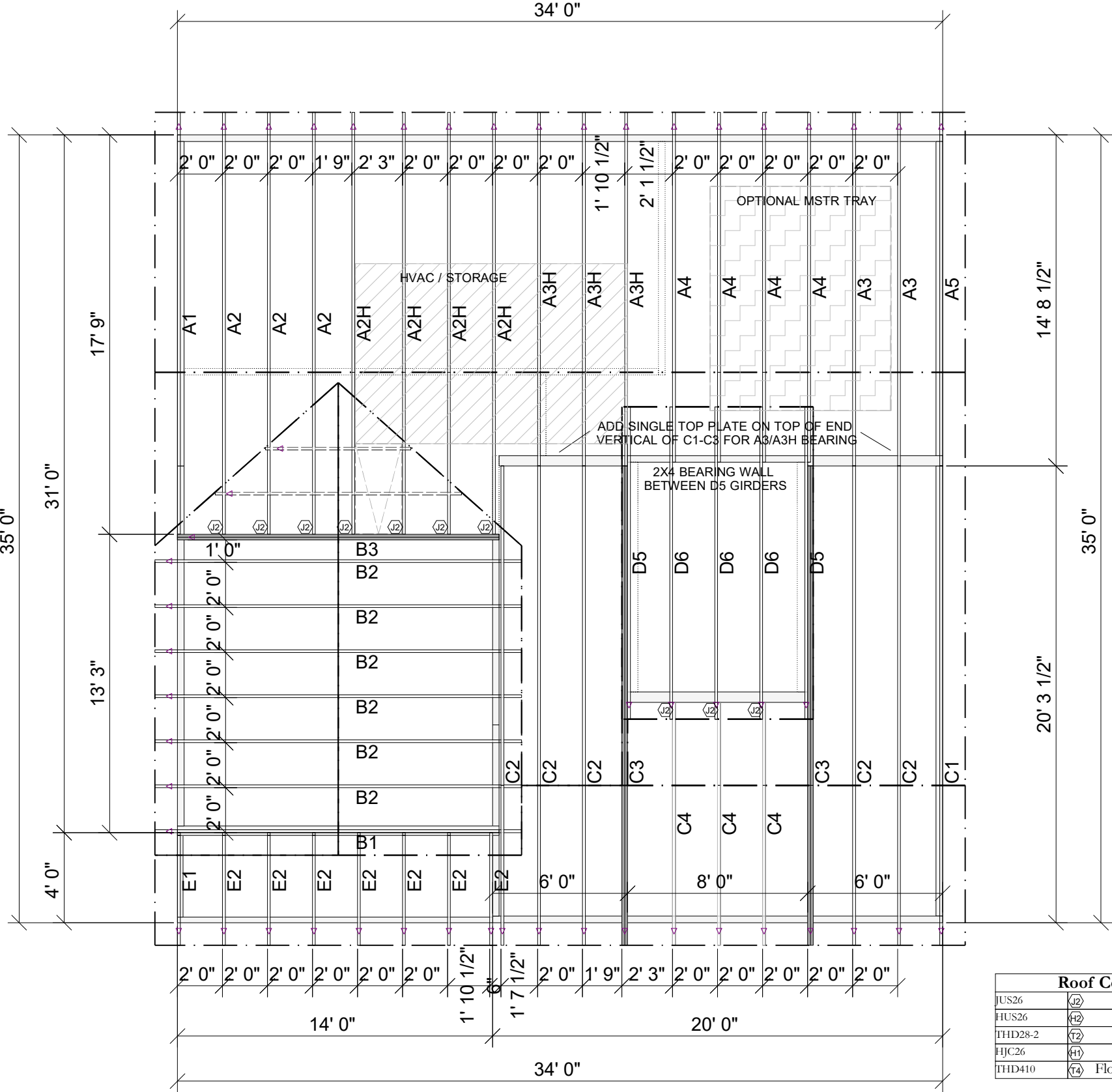
FRAMING DETAILS

GRAYSON MODEL

120 MPH WIND ZONE
NORTH CAROLINA

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and requirements for the permanent restraint/bracing of truss systems may be met by following the methods outlined in ANSI-TPI 1-2014 - 2.3.3. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcacomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

ROOF PLACEMENT PLAN



Roof Connector List			
JUS26		Roof Truss	10
HUS26		Roof Truss	0
THD28-2		Roof Truss	0
HJC26		Roof Truss	0
THD410		Floor Truss/Beam	0

△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

ROOF AREA: 1532.3 sqft

RIDGE LINE: 56.99 ft

VALLEY LINES: 24.35 ft

HIP LINES: 0 ft

THESE VALUES ARE APPROXIMATE ONLY

GRAYSON ADG RF

SMITH DOUGLAS

DESIGNER AG

LAYOUT DATE 4-4-25

ARCH DATE -

STRUC DATE -

JOB #: MASTER

TRUSS TRAX

UFP CONSTRUCTION

TrussTraxUFP.com

This drawing is property of UFP Site Built, LLC. Any unauthorized use of this document without written permission is prohibited. UFP relinquishes ownership of delivered product upon delivery. Owner of product must obtain UFP's authorization prior to any alteration or modification of product. UFP will not be held responsible for any unauthorized modifications done or costs incurred without prior written authorization from UFP.

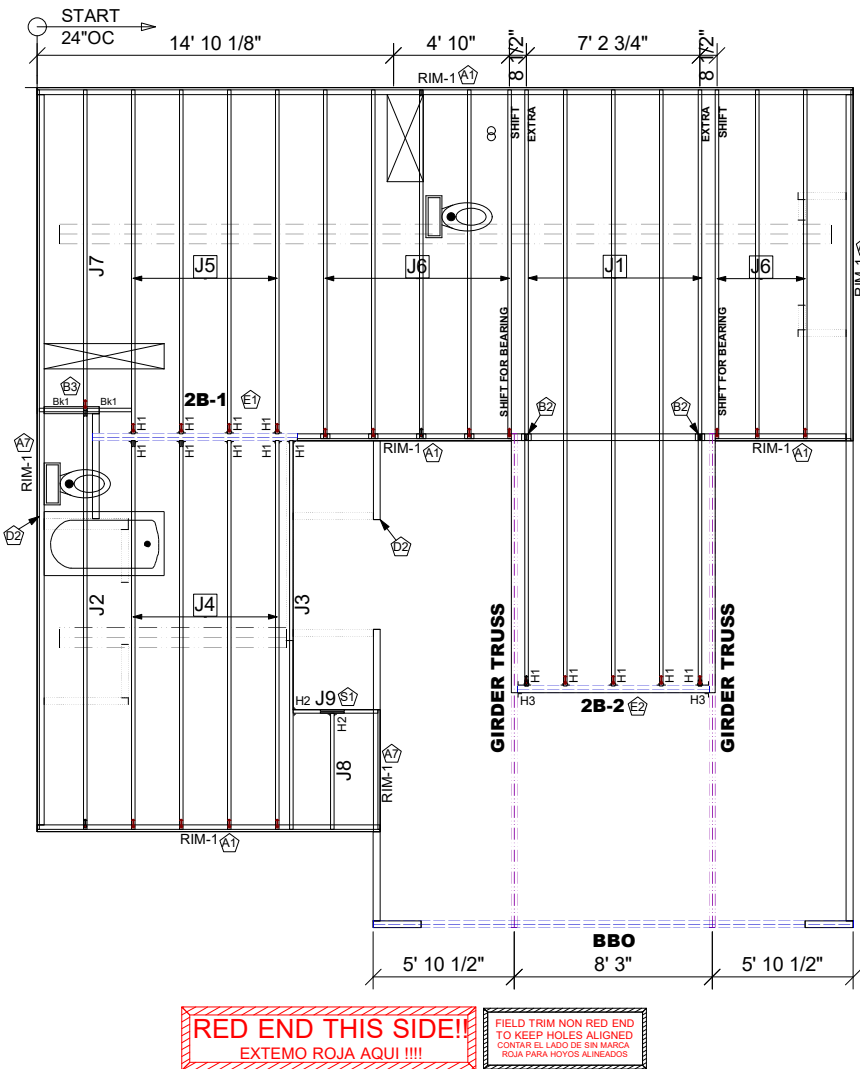
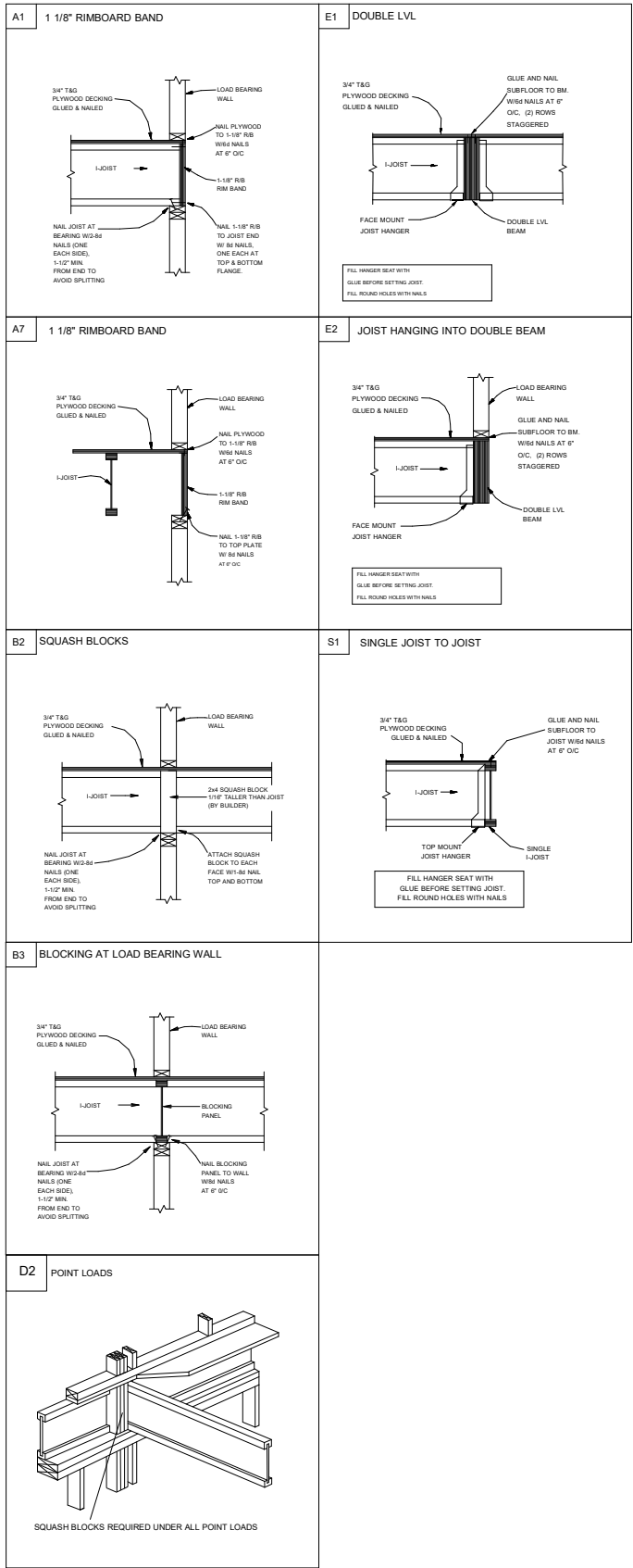
UFP SITE BUILT
A UFP INDUSTRIES COMPANY

Burlington, NC Locust, NC
Chesapeake, VA Liberty, NC
Clinton, NC Ooltewah, TN
Conway, SC Pearisburg, VA
Jefferson, GA Stanfield, NC

Customer Service (800) 476-9356

THIS IS AN ENGINEERED WOOD PRODUCT (EWP) MEMBER PLACEMENT DIAGRAM ONLY. NOT AN ENGINEERED DOCUMENT. EWP members are designed as individual building components to be incorporated into the building design at the specification of the building designer. The Contractor is responsible for the temporary bracing of the floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE REPAIR EWP MEMBERS IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framers is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. All connections on this project are to be installed per the connector manufacturer's specifications. All connections shown that are not joist to joist are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability for this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not joist to joist as they apply to this specific structure.

2ND FLOOR PLACEMENT PLAN



Products				Plies	Net Qty	Fab Type
PlotID	Length	Product				
J1	25' 0"	14" TJI® 110		1	5	MFD
J2	18' 0"	14" TJI® 110		1	1	MFD
J3	17' 0"	14" TJI® 110		1	1	MFD
J4	17' 0"	14" TJI® 110		1	4	MFD
J5	15' 0"	14" TJI® 110		1	4	MFD
J6	15' 0"	14" TJI® 110		1	8	MFD
J7	14' 0"	14" TJI® 110		1	1	MFD
J8	5' 0"	14" TJI® 110		1	1	MFD
J9	4' 0"	14" TJI® 110		1	1	MFD
2B-1	9' 0"	1 3/4" x 14" 2.0E Microllam® LVL		2	2	MFD
2B-2	8' 0"	1 3/4" x 14" 2.0E Microllam® LVL		2	2	MFD
RIM-1	16' 0"	1 1/8" x 14" TJI® Rim Board		1	8	MFD
Bk1	2' 0"	14" TJI® 110		1	2	MFD

Connector Summary			
PlotID	Qty	Manuf	Product
H1	14	MiTek	IHFL1714
H2	2	MiTek	TFL1714
H3	2	MiTek	HD4121F

GENERAL NOTES:

- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
- 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.
- 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
- 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
- 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
- 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
- 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
- 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

FRAMER NOTE

— — — — — DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

- **Avoid Plumbing Drops**

FRAMER NOTE

1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.
2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

CRITICAL !!

**INSTALL 2X4 SQUASH BLOCKS
IN FLOOR TRUSS SPACE
BELOW ALL EXTERIOR DOOR
HEADER JACKS. CUT 1/16"
TALLER THAN TRUSS.**

PLAN LEGEND

1B-, 2B-

H-, 1H-, GDH-

*BEAMS MAY PROTRUDE ABOVE OR BELOW
DECKING OR TOP PLATE RESPECTIVELY, REFER
TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN
FLOOR SYSTEM

 SINGLE PLY BEAM
(ADD LINE FOR
EACH ADDITIONAL
PLY)

FIELD TRIM NON RED END
TO KEEP HOLES ALIGNED
CONTAR EL LADO DE SIN MARCA
ROJA PARA HOYOS ALINEADOS

**FIELD LOCATE
PLUMBING DROPS/CAN
LIGHTS, ETC... PRIOR
TO JOIST
SECUREMENT TO
AVOID INTERFERENCE.**

LAYOUT FOR 19.2" O/C

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3=57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

**FIELD VERIFY DIMENSIONS TO
JOISTS LOCATED UNDER WALLS!!**

2ND FLOOR LAYOUT

SCALE: 1/8" = 1'

This drawing is property of UFP Site Built, LLC. Any unauthorized use of this document without written permission is prohibited. UFP relinquishes ownership of delivered product upon delivery. Owner of product must obtain UFP's authorization prior to any alteration or modification of product; UFP will not be held responsible for any unauthorized modifications done or costs incurred without prior written authorization from UFP.

Smith Douglas Homes

Lot 20 Briarwood Bluff

Grayson A 2nd Floor

Sanford, NC 27332

[illegible]

DESIGNER PB2
LAYOUT DATE 5/28/2025
ARCH DATE 12/14/2022
STRUC DATE 2/15/2023

JOB #: 25052180F2

UFP SITE BUILT
A UFP INDUSTRIES COMPANY



service (800) 476-9356