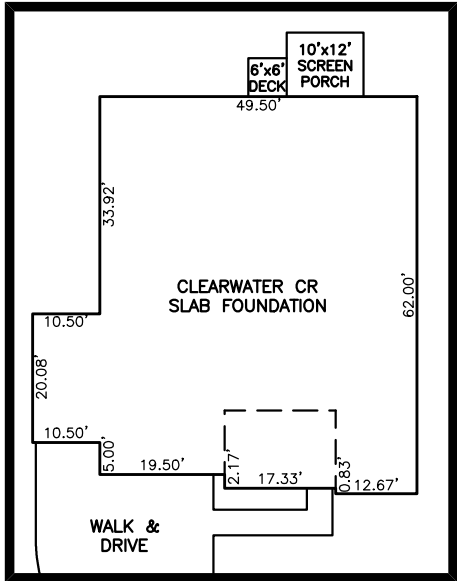
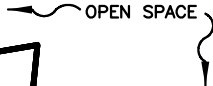
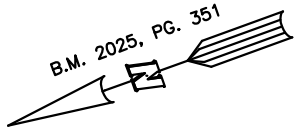


SITE PLAN FOR
MATTAMY HOMES, LLC.
167 MENDENHALL DRIVE
LOT 48, RIVERFALL SUBDIVISION PHASE TWO
BLACK RIVER TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA



INSET SCALE: 1"=30'

LEGEND

- AIR CONDITIONER
- BC BACK OF CURB
- BFP BACK FLOW PREVENTER
- CLEANOUT
- CURB INLET
- DHS DRILL HOLE SET
- ECM EXISTING CONCRETE MONUMENT
- EDH EXISTING DRILL HOLE
- EIS EXISTING IRON STAKE
- EIP EXISTING IRON PIPE
- EM ELECTRIC METER
- EPK EXISTING PK NAIL
- ES ELECTRIC STUB
- FLARED END SECTION
- FIRE HYDRANT
- FIBER OPTIC PEDESTAL
- GAS METER
- GM GUY
- INV. INVERT
- IPS IRON PIPE SET
- IRS IRON ROD SET
- LIGHT POLE
- MNS MAGNETIC NAIL SET
- MANHOLE SANITARY SEWER
- MANHOLE STORM SEWER
- OHW OVERHEAD WIRES
- PKS PK NAIL SET
- PNS POINT NOT SET
- RRS RAIL ROAD SPIKE
- TELEPHONE PEDESTAL
- TRANSFORMER
- CABLE TV PEDESTAL
- UTILITY POLE
- WATER METER
- WATER VALVE
- YARD INLET
- FIELD MEASUREMENT
- REVISION TRIANGLE

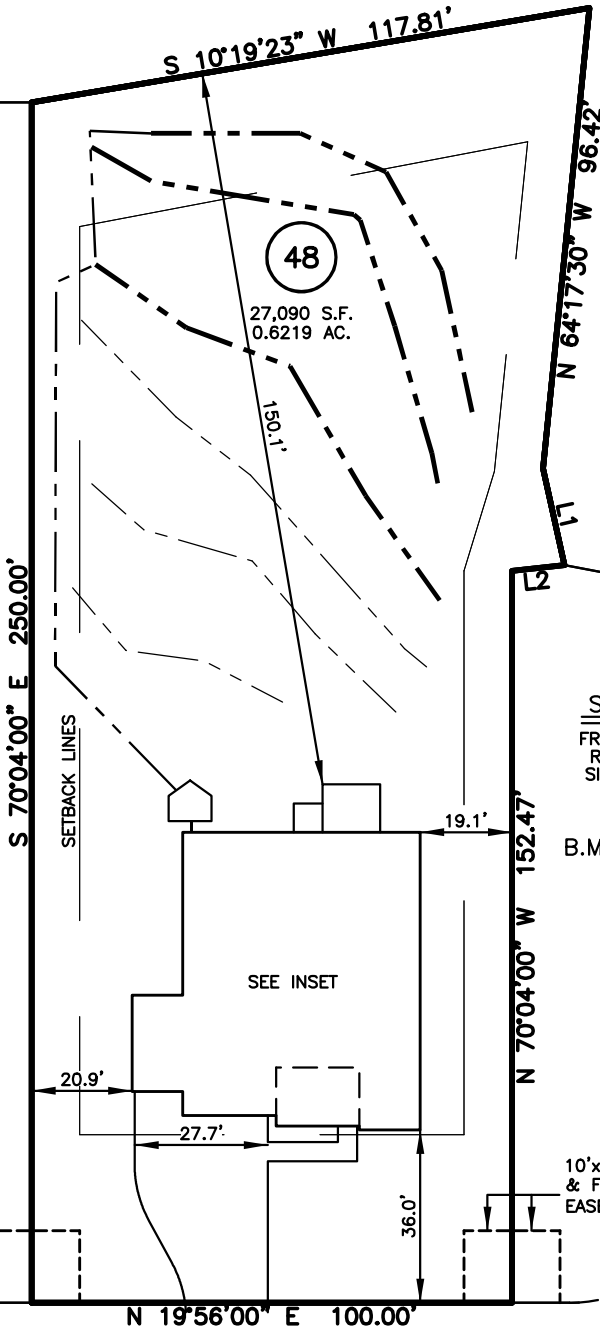
- REPAIR DRAINFIELD
- INITIAL DRAINFIELD
- TANK

LINE	BEARING	DISTANCE
L1	N 82°37'52" W	20.59'
L2	S 13°47'46" W	11.00'

IMPERVIOUS SURFACES	S.F.
HOUSE	3,210
WALK & DRIVE	1,090
PORCH	140
MISC	40
TOTAL	4,460
MAX. IMPERVIOUS	5,500

SITE PLAN
NOT FOR RECORDATION,
CONVEYANCE OR SALES

REV CODE: 1.FLIP, 2.PLAN, 3.ROTATE, 4.MOVE, 5.SS
6.SEVERAL OF ABOVE, 7.LAND FEATURE, 8. OTHER



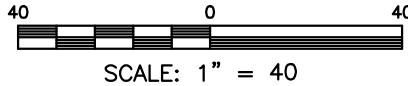
SETBACK INFO

FRONT: 35'
REAR: 25'
SIDES: 10'

REFERENCES:

B.M. 2025, PG. 351

MENDENHALL DRIVE
50' PUBLIC R/W



SCALE: 1" = 40

NOTES

- SEPTIC & INFRASTRUCTURE LOCATIONS SHOWN PER PLAN TITLED "SEPTIC SYSTEM LAYOUT, LOT 48 RIVERFALL SUBDIVISION PHASE 2," DATED JULY 10, 2024 PROVIDED BY HAL OWEN & ASSOCIATES INC.

THIS IS A SITE PLAN AS DEFINED BY G.S. 160D-102 AND IS NOT INTENDED TO BE ATTACHED TO ANY INSTRUMENT RECORDED IN THE REGISTER OF DEEDS OFFICE

DATE: JUN. 11, 2025

F.B. _____

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GARNER, NC 27529
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