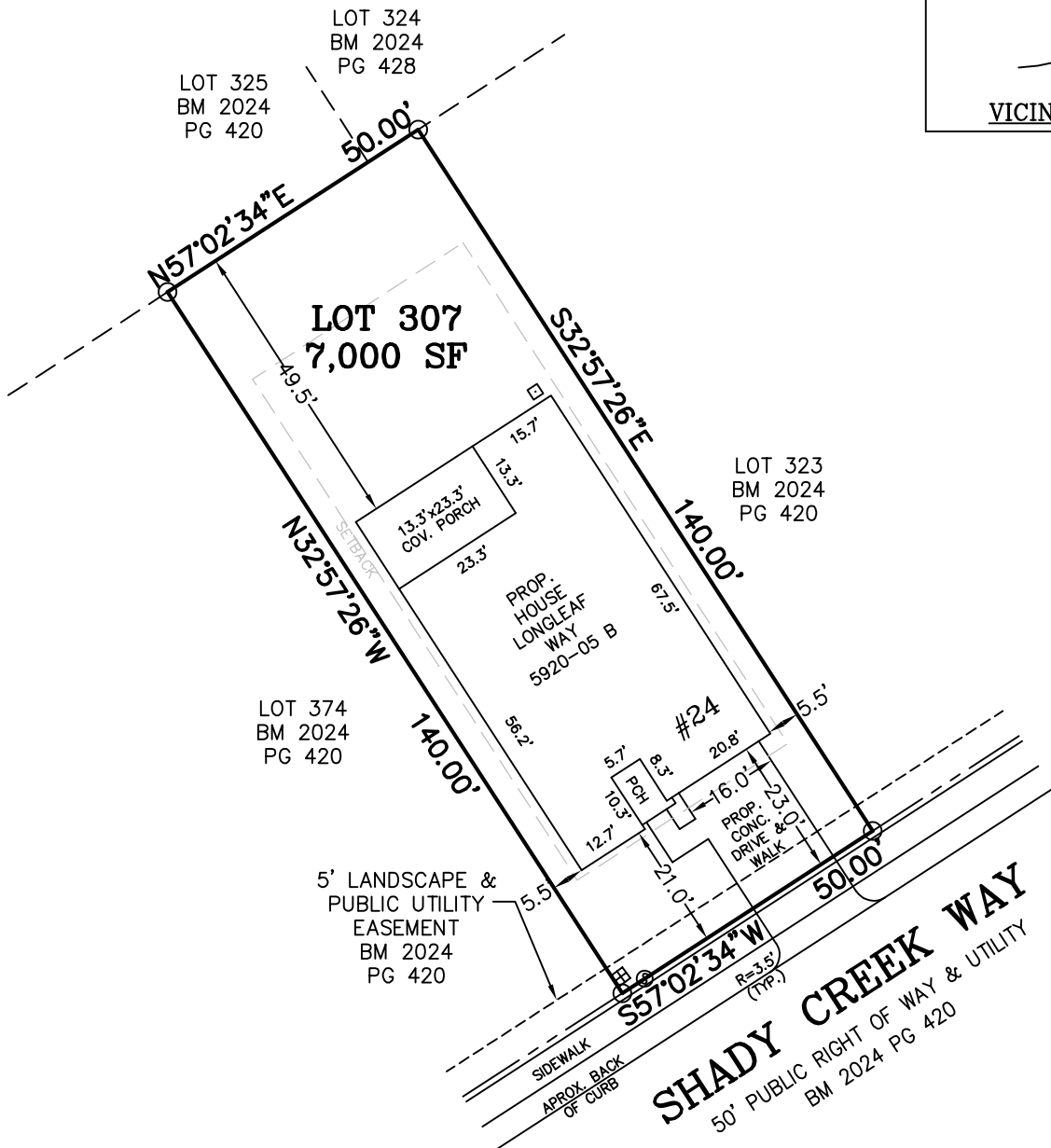
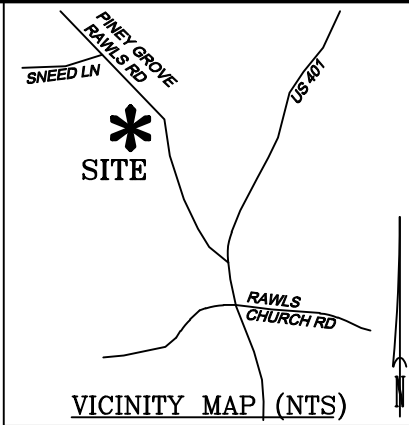
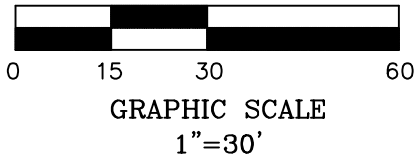


LEGEND

- MATHEMATICAL POINT
- CONTROL CORNER
- 田 WATER METER
- ⊙ SEWER CLEAN OUT
- ⛑ FIRE HYDRANT



NOTES:

- REFERENCE HARNETT CO. BM 2024, PG 425–432 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA–30, RA–40, & CONSERVATION.
- SETBACKS, PER BM 2024 PG 425:
 - >43' LOT WIDTH:
 - FRONT YARD–20', SIDE YARD–5', REAR YARD–20', CORNER YARD–12'.
 - <=43' LOT WIDTH:
 - FRONT YARD–20', SIDE YARD– 4' & 4' OR 0' & 8', REAR YARD–20', CORNER YARD 12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022) AND/OR 3720064500J (EFFECTIVE DATE: 10/3/2006), AND/OR 3720064400J (EFFECTIVE DATE: 10/3/2006).

MAXIMUM ALLOWABLE IMPERVIOUS–3,650 SF

TOTAL ESTIMATED IMPERVIOUS–3,086 SF	
SITE	SQ. FT.
HOUSE	2,354
DRIVEWAY	368
LEAD WALK	45
COV. PORCH	310
PAD	0
A/C PAD	9

PERMIT PLAN LOT: 307

SERENITY SUBDIVISION, PHASE 6B
HECTORS CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR
TRI POINTE HOMES HOLDINGS, INC.
5440 WADE PARK BLVD #400
RALEIGH, NC 27607



MSS LAND CONSULTANTS, PC
"Committed to Total Quality Service"
Firm License: C–2070
E S T. 1 9 9 8

6118 St. Giles St Phone (919) 510–4464
(Suite E) Fax (919) 510–9102
Raleigh, NC 27612 Email: hayesm@mssland.com

I HEREBY CERTIFY THAT THE BUILDING WILL LIE WHOLLY ON THE LOT. THIS PLAT IS OF AN EXISTING PARCEL OF LAND. THIS IS NOT A SURVEY AND NOT FOR RECORDATION PURPOSES.

PRELIMINARY PLAN

MATTHEW A. HAYES, PLS L–4516

DATE: 05/23/2025 SCALE: 1"=30' DRAWN:CKC CHECK: FILE: TPH–24–03

REV: 05/28/2025 ADDED ELEVATION LETTER