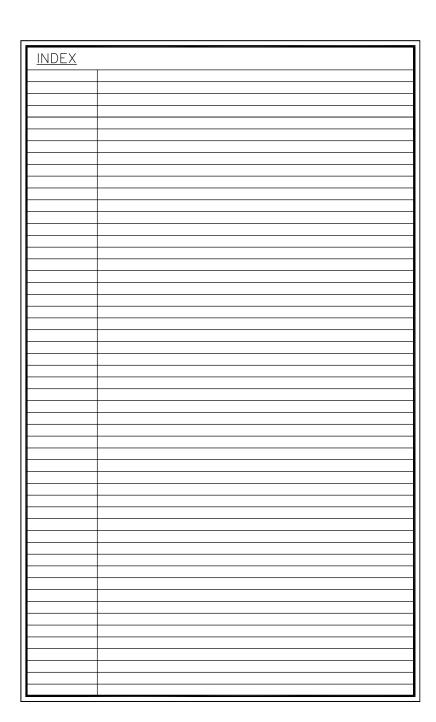
MIDDLETON-RALE

RALEIGH - LOT 00.0168 THE FARM AT NEILL'S CREEK

(MODEL# 2183)

ELEVATION 1- GR

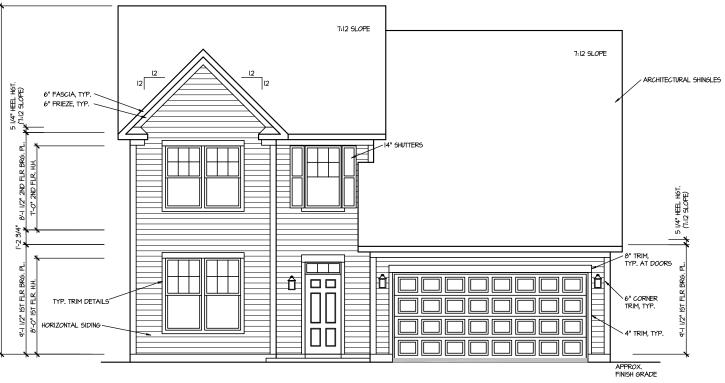




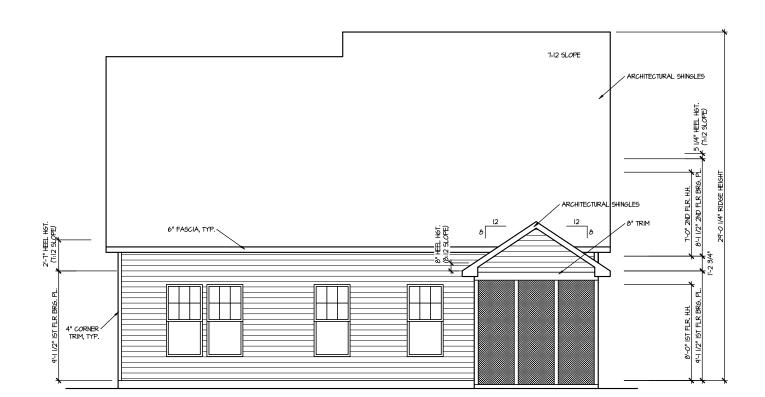
AREA CALCULATIONS			COVERED /	
ELEVATION 1		HEATED	UNHEATED	UNCOVERED
FIRST FLOOR		1495 SF		
GARAGE			417 SF	
FRONT STOOP - ELEV. 1			34 SF *	
SECOND FLOOR		692 SF	0 1 01	
SECOND FECON		002 01		
OPTIONS				
4' REAR EXTENSION		+160 SF		
SCREEN PORCH		1100 31	124 SF	
SCREEN FORCH			124 31	
TO	OTA1	2347 SF	E7E 0E	
	JIAL	2347 SF	575 SF	

94 Little Branch Drive

LOT	CDECIEIO	
LUI	SPECIFIC	
1	LOT 00.0168	
<u>'</u>	LOT 00.0108	THE FARM AT NEILL'S CREEK
		MIDDLETON REV. RALE 2 ELEVATION 1
2	ADDRESS	94 LITTLE BRANCH DR LILLINGTON, NC 27546
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FRONT ELEVATION I SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

UPDATED DATE 09-23-2024 DRAWN BY: DATE: 05/27/2025

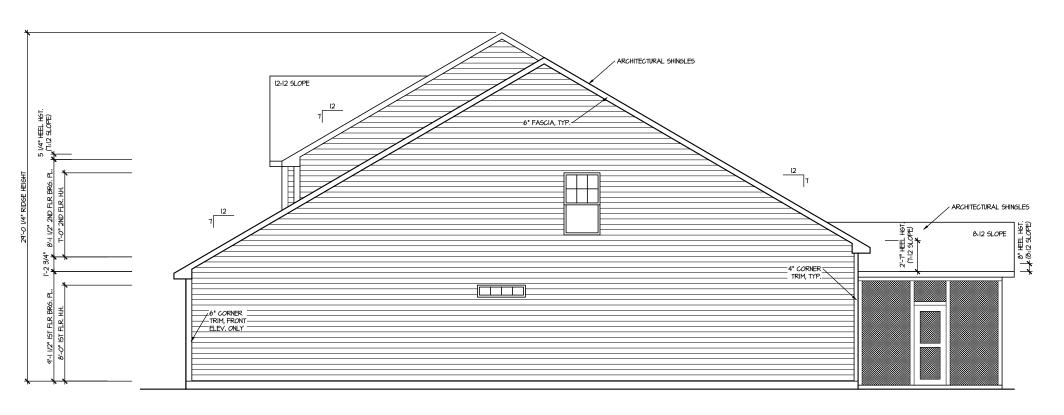
PLAN NO. 2183



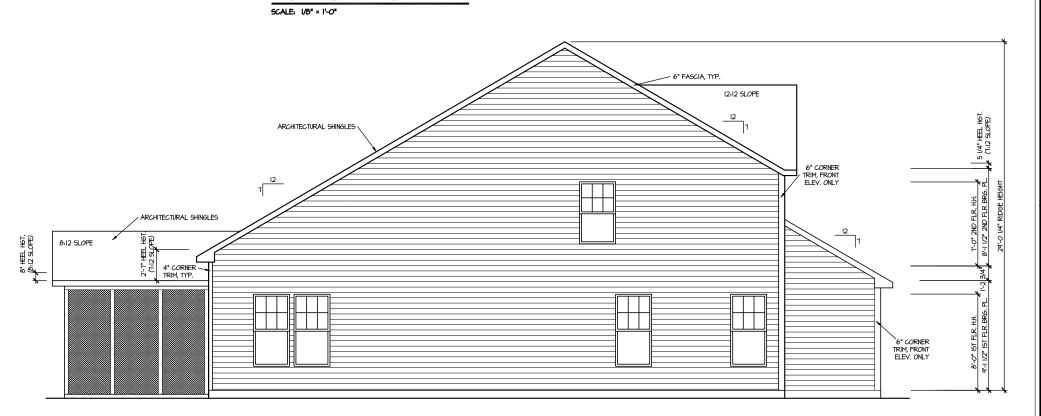
HOUSE NAME:
MIDDLETON
DRAWING TITLE
FRONT & REAR

SHEET No.

A



RIGHT ELEVATION I



LEFT ELEVATION I SCALE 1/0"

LE: Lot 00.0168.dwg DATE: 5/27/2025 2:55 PM

HOUSE NAME:
MIDDLETON
DRAWING TITLE
RIGHT & LEFT ELEVATIONS

SHEET No.

UPDATED DATE 09-23-2024

DRAWN BY: ITS

DATE:
05/27/2025

PLAN NO.
2183 ROOF VENTIL ATION CALCUL ATIONS:
ROOF AREA = 202 SG. FT.
CORENAL SEGMENT VENTIATION.
OFFICE STATE OF S

LOYER VENTINS. (BOTTOM 2/3 RDS)

14 LINEAR FET OF SOFFIT X S. 1 SQ. IN. = 2:49 SQ. FT.
UPER VENTINS. (TOP / JR S) D SQ. IN. = 45 SQ. FT.
4/00 SQ. FT. (FEITHEN SOS. - DOS)
(10 3CO ALLONED)

TOTAL ROOF VENTIALTION. 143 SQ. FT. > 10! SQ. FT. (ROD)

8:12 SLOPE 8:12 SLOPE LINE OF SECOND FLOOR 18 LF RIDGE VENT 18 LF RIDGE VENT LINE OF SECOND FLOOR ATTIC ACCESS I2:I2 SLOPE 12:12 SL*O*PE

ROOF PLAN ELEV. I SCALE: 1/8" = 1'-0"

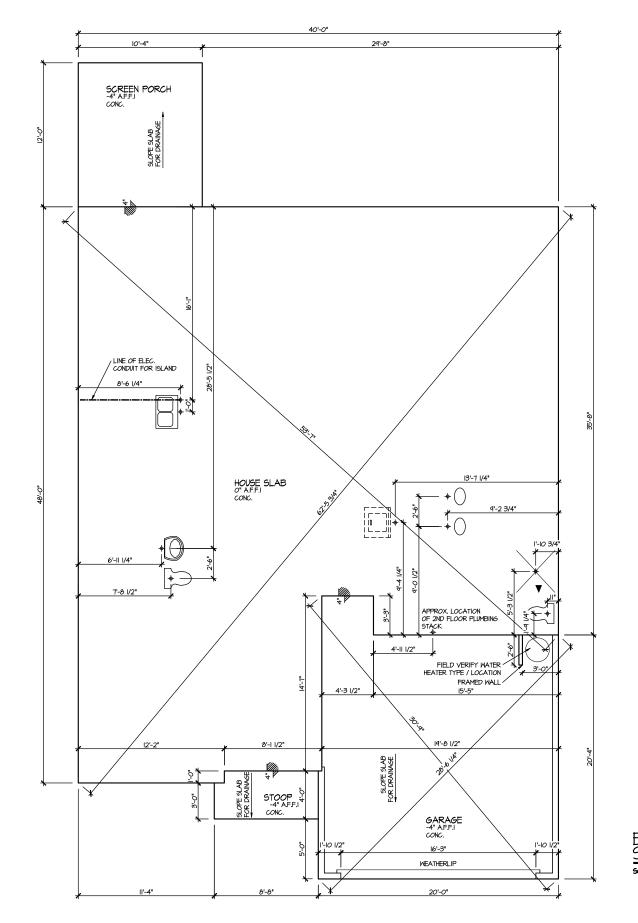
DRAWN BY: ITS DATE: 05/27/2025 PLAN NO. 2183



HOUSE NAME:
MIDDLETON
DRAWING TITLE
ROOF PLAN

SHEET No.

A1.3





| MASTER PLAN INFORMATION | PENTED DATE | STATE | STAT

DRAWN BY:
ITS

DATE:
05/27/2025

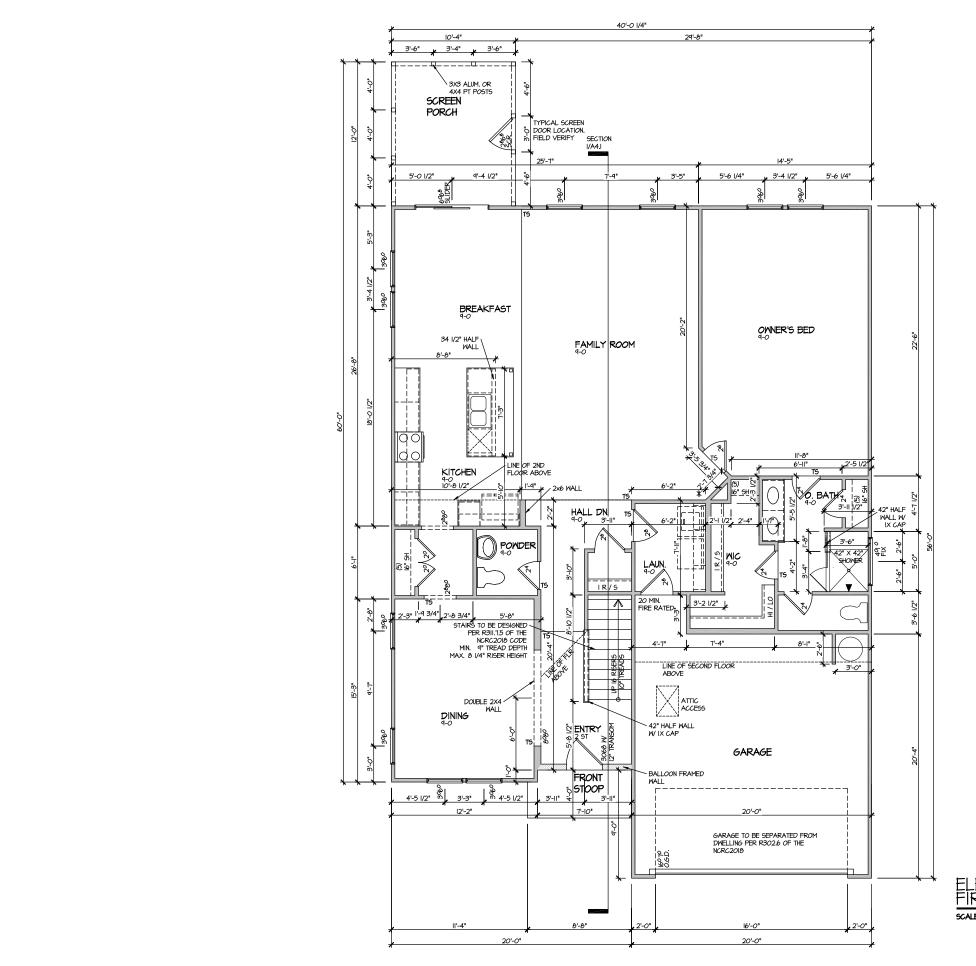
PLAN NO.
2183



HOUSE NAME:
MIDDLETON
DRAWING TITLE
SLAB PLAN

SHEET No.

A2.

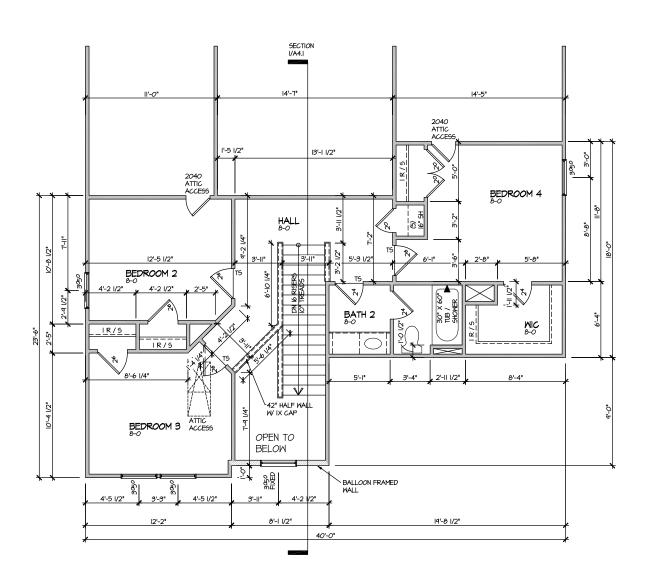


ELEVATION I FIRST FLOOR PLAN SCALE: 1/0° = 1'-0° DRAWN BY: ITS DATE: 05/27/2025 PLAN NO. 2183



HOUSE NAME:
MIDDLETON
DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.



DRAWN BY:

PLAN NO. 2183

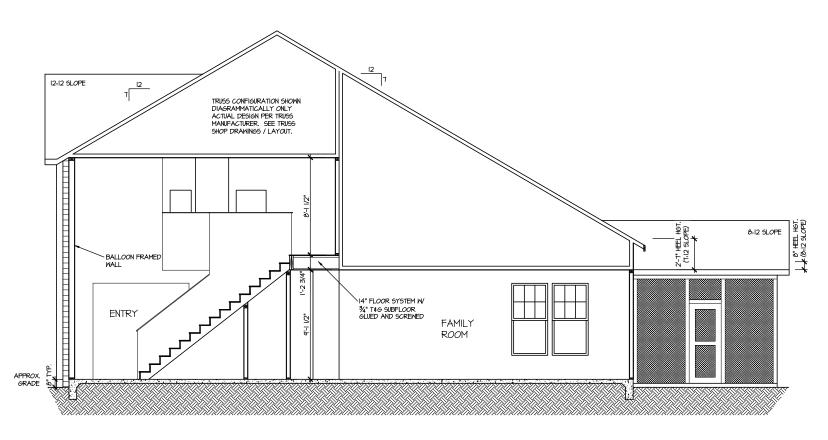
DATE: 05/27/2025

T 00 N HOUSE NAME:
MIDDLETON
DRAWING TITLE
SECOND FLOOR

SHEET No.

A3.2

ELEVATION I SECOND FLOOR PLAN SCALE 1/6" = 1"-0"



SECTION 1 SCALE: 1/8" = 1'-0"

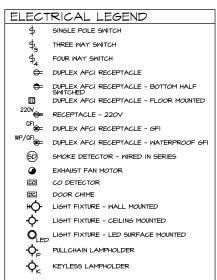
DRAWN BY: DATE: 05/27/2025



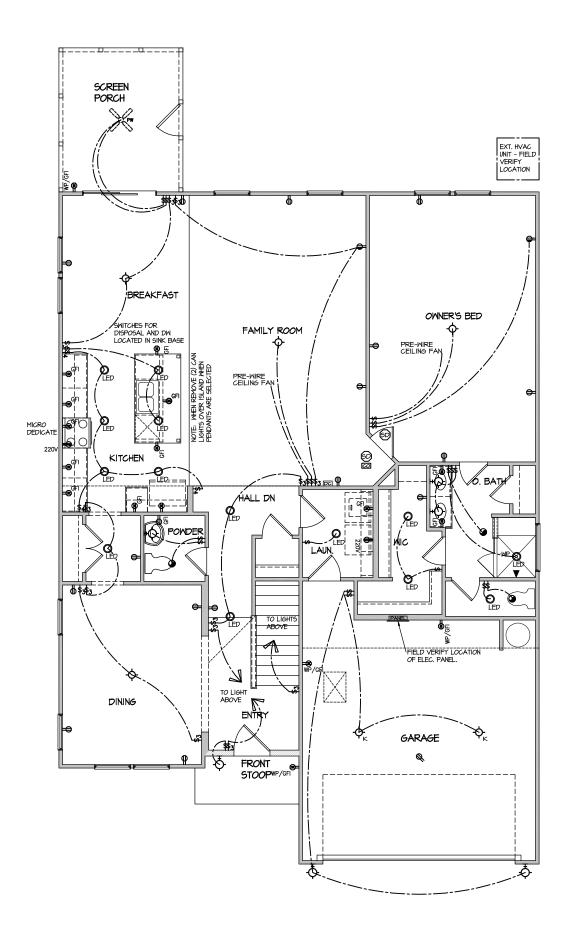


SECTION HOUSE NAME:
MIDDLETON
DRAWING TITLE
BUILDING SECTION

SHEET No. A4.1



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADDPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



DRAWN BY: DATE: 05/27/2025

PLAN NO. 2183



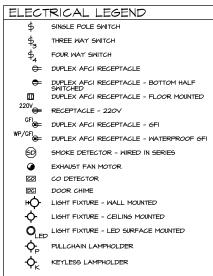
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HOUSE NAME:
MIDDLETON
DRAWING TITLE
FIRST FLOOR

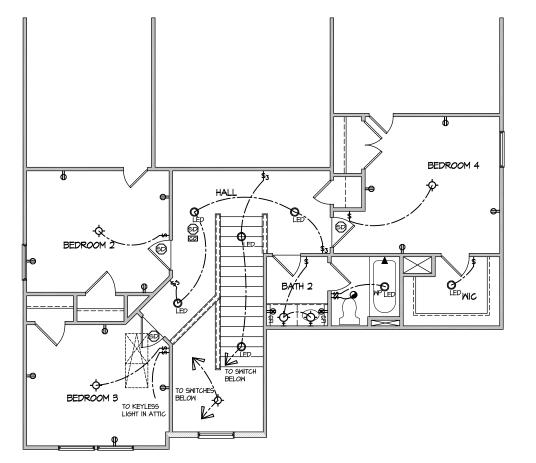
SHEET No.

ELECTRICAL PLAN FIRST FLOOR - ELEV. I

SCALE: 1/8" = 1'-0"



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL PONER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN SECOND FLOOR - ELEV. I

SCALE: 1/8" = 1'-0"

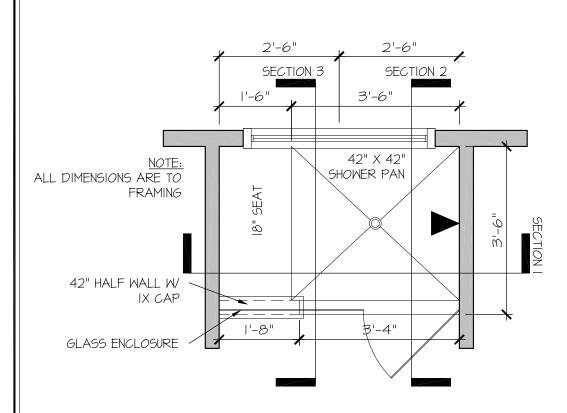
HOUSE NAME:
MIDDLETON
DRAWING TITLE
SECOND FLOOR

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DRAWN BY: DATE: 05/27/2025

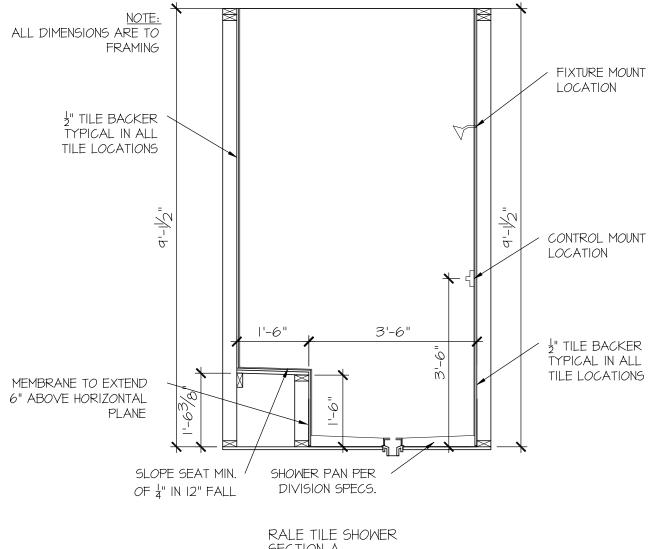
PLAN NO. 2183

SHEET No.



RALE TILE SHOWER 42" X 42" W 18" SEAT

SCALE: 1/2" = 1'-0"



SECTION A

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

DRAWN BY: L. BEAVERS DATE: 9/1/22 PLAN NO.

11 X 17 SCALE

24 X 36 SCALE



DETAIL SHOWER RALE

SHEET No.



SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22

PLAN NO.

24 X 36 SCALE

~ "

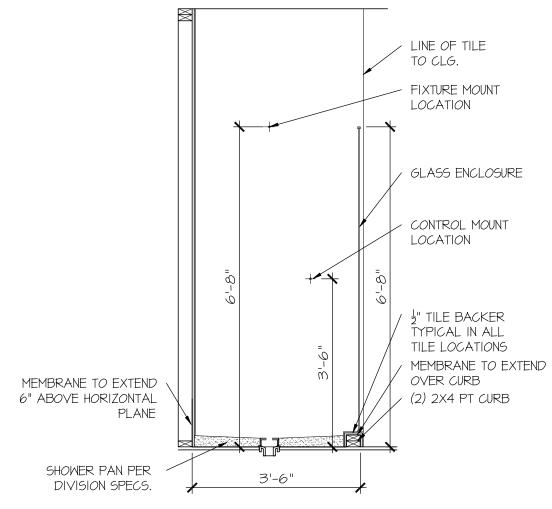


E ILE SHOWER DETAIL

OUSE NAME:

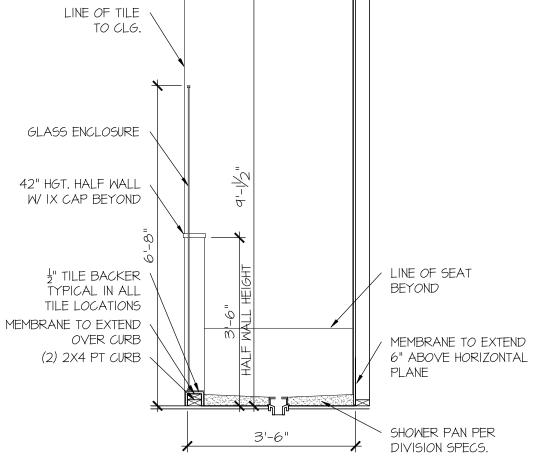
SHEET No.

P||.2



SCALE: 1/2" = 1'-0"





SCALE: 1/2" = 1'-0"

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE 12" MAX FROM PLATE ENDS - LITH 17ING-
- (CONC.) 15" MIN EMBEDMENT (CMU)
- SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)
- (REFER TO DETAILS FOR IO' TALL WALL ANCHOR REQUIREMENTS) ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE
- OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2. BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF
- HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SPF OR SYP, "STUD" GRADE OR BETTER.
- CONCRETE DESIGN BASED ON ACL 318 CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: 4,000 psi: FOUNDATION WALLS
 - 2,500 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,000 psi: GARAGE & EXTERIOR SLABS ON GRADE
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
- . 9' OR IO' HEIGHT (AS NOTED ON PLANS)
- TALLER WALLS MUST BE ENGINEERED. • NOMINAL WIDTH (9 ½" FOR 10" THICK WALL).
- BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE
- CLASSIFICATIONS (SC, ML-CL, OR CL).
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORGEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS
- FOR OPENINGS UP TO 36", PROVIDE MINIMUM IO" CONCRETE DEPTH OVER OPENING OR (3)2x10 w/ (2)2x6 JACK STUDS, U.N.O
- LARGER OPENINGS SHALL BE PER PLAN.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-O" OC (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I.I RATIO) WITH A MAXIMIM OF I.I.S PATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.
- CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.
- PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.
- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.
- BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY

ADDITIONAL NOTES FOR TRUSS \$ -JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:

- I/4" DEAD LOAD
- FLOOR TRUSSES, ATTIC TRUSSES, \$ 1-JOISTS I/8" DEAD LOAD
- FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEA LOAD. (NOT DIFFERENTIAL DEFLECTION)

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS

DEAD = 7 PSF T.C., IO PSF B.C. LOAD DURATION FACTOR = 1.25

LIVE = 40 PSE (30 PSE @ SLEEPING AREAS) DEAD = 10 PSF (1-JOISTS & SOLID SAWN) IO PSF T.C., 5 PSF B.C. (TRUSSES)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

(ADD'L IO PSF @ TILE)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS ALL NAILS SPECIFIED ARE MIN NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL
- EXT & INT BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS 16" O.C. SPF OR SYP "STUD" GRADE LUMBER, OR BETTER, UN.O.
 WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRICE-PINE-FIR #2 (SPE) OR SOUTHERN PINE #2 (SYP) LUMBER, OR BETTER (KILN-DRIED). ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY, CODE TABLES HAVE NOT BEEN USED.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED. WITH 2x 'STUD' GRADE MEMBERS SPACED @ 16" O.C. (MAX., U.N.O.)
 - . HEADERS IN NON-LOAD BEARING WALLS SHALL BE (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING 'LSL' - Fb=2325 psi; Fv=3I0 psi; E=I.55xI0^6 psi
- 'LVL' Fb=2600 psi; Fv=285 psi; E=2.0xl0^6 ps
- 'PSL' FB=2900 PSI; FV=290 PSI; E=2.0XI0^6 PSI
- M+K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M+K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OR
- FOR 2 & 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x31/5" SIMPSON SDS SCREWS (OR 3½" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8
- FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREW 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"X0.I3I" NAILS @ 24" O.C. (MIN.), EACH PLY.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s ('HILTI' X-CF PINS OR EQUAL) @ 16" O.C. STAGGERED, OR I/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABM44Z BASE, U.N.O.

FLOOR FRAMING

- -JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED 1 /480 LIVE LOAD DEELECTION CRITERIA (EXCLUDES MARBLE FLOORS - CONTACT M&K FOR MARBLE FLOOR DESIGNS)
- AT I-JOIST FLOORS, PROVIDE I I/8" MIN, OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 1" x 0 131" NAIL S @ 6"04 @ PANEL EDGES & @ 12"04 FIELD
- 2 3" × 0 120" NAILS @ 4" OC @ PANEL EDGES & @ 8" OC FIELD
- 2 3" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD. #6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD

ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W SIMPSON H2.5T CLIP (OR APPROVED EQUAL.) © ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W 2x4 LEDGER FASTENED TO:
 - RIM BOARD w/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS) TRUSS VERTICALS w/ (3) 3"x0.131" NAILS @ 19.2" O.C. MAX.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/2 !" V O ISI" NAII S @ 6"OC @ PANEL EDGES & @ 12" OC FIELD
- w/ 2 🐉 x 0.120" NAILS 🙍 4"o.c. 🙍 PANEL EDGES 🕻 🗖 8" O.C. FIELD
- W/ 2 🖁 X O.II3" NAILS @ 3"O.C. @ PANEL EDGES \$ @ 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
► HD-I	SIMPSON HTT4 HOLD-DOWN * (5%" DIA. ANCHOR)
HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UN.O.) -OR- MSTC66B3 ALTERNATE
► HD-3	SIMPSON STHIDI4/STHIDI4R.I

* UTILIZE THE SSTB24 ANCHOR BOLT & ALL MONOSI AB & INTERIOR RAISED FOOTING THICKNESS REQUIRED.

EPOXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB CONDITIONS ONLY: UTILIZE SIMPSON 'SET' EPOXY SYSTEM TO FASTE HREADED ROD INTO CONCRETE FOUNDATION, PROVIDE IO" (FOR 5/8" DIA.) OR 15" (FOR 1/8" DIA.) MIN. EMBEDMENT INTO CONCRETE.

MEANS & METHODS NOTES

DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF CONCRETE.

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENT IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEY LEVELNESS AND MAKE AD LISTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY,

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

) MPH WIND IN 2018 NCSBC:R(

(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B. RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10. AS PERMITTED BY R301.13 OF THE 2018 NCSBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC. IF THE PARAMETERS OF SECTION R60212 COMPLY ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED) ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 % "XO.II3" NAILS ● 6" O.C. AT EDGES & ● 12" O.C. IN THE PANEL FIELD. TYP, U.N.C
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 11/2" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 %" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 %" 16 GA STAPLES (%" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL FDGES & FDGE FASTENING

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX, STUD SPACING, U.N.O. ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)



INDICATES EXTENT OF INT. OSB SHEARWAL OR 3" O.C. OSB SHEARWALL INDICATES HOLDOWN BELOW

LEGEND

- IIIIIIIII INTERIOR BEARING WAI I
- □===□ BEARING WALL ABOVE
- ■ ■ BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL	
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT	
UP TO 6'-0"	(2)2x4	(3)2×4	
UP TO 8'-0"	(2)2x6	(3)2×6	
UP TO 12'-0"	(2)2×8	(3)2×8	

NOTES:

ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

VENEER LINTEL SCHEDULE

L3"x3"x/4" 20 FT, MAX 3 FT MAX 13"\3"\%" I2 FT, MAX L4"x3"x1/4" 20 FT, MAX L5"x3%"x%." L4"x4"x¼" * 3 FT. MAX I2 FT, MAX L5"x3%"x%" I6 FT. MAX L6"x3½"x%" 9'-6" I2 FT. MAX L6"x3½"x¾"

ALL LINTELS:

HALL SUPPORT 2 %" - 3 ½" VENEER w/ 40 psf MAXIMUM WEIGHT. 6' SHALL HAVE 4" MIN. BEARING

1 7"x4"x6" **

L8"x4"x½" **

2 FT MAX

3 FT. MAX

6' SHALL HAVE 8" MIN. BEARING 6' SHALL NOT BE FASTENED BACK TO HEADER. 6' SHALL BE FASTENED BACK TO WOOD HEADER IN WALL **0**48°0.c

n/ ½" DIA. x 3 ½" LONG LAG SCREMS IN 2" LONG VERTICALLY SLOTTED HOLES.

AX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE

OPENING.
ALL LINTELS SHALL BE LONG LEG VERTICAL.
WHEN SUPPORTING VENEER < 5" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE $3\frac{1}{4}$ " WIDE OVER THE BEARING LENGTH ONLY, THIS IS TO ALLOW FOR MORTAR JOIN

FINISHING.
SEE STRICTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS, FOR ANY LINTEL PRISTED BY SHAPPING PARAMETERS, FOR ANY LINTEL PRISTED BY SHAPPING PARTICLES FOR PRISTED BY SHAPPING PARTICLES FROM BOTTOM OF BEAM, FOR QUEEN EVEREN BY LONG PARTICLES FLAN FOR VENEER SUPPORT IF VENEER SHIP THICK.

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)134"x1136" - H	3½"xII%" - H	(2)134"xII%" - H	(2)2xi2 + (i) 片"xil片" STEEL FLITCH PLATE - H	N/A
00IA	(2)13/4"x113/6" - H	3½"xII%" - H	(2)194"xII%" - H	(2)2xi2 + (i) 片"xi片" STEEL FLITCH PLATE - H	N/A
002	(2)134"x18" - FT	51/4"x18" - FT	N/A	(3)2xi2 + (2)½"xii以" Steel Flitch Plates - FB	WI2xI9 - F
003	(2)13/4"×14" - F	3½"×14" - F	(2)13/4"×14" - F	(2)2xi2 + (i) ¼"xil¼" STEEL FLITCH PLATE - FB	WI2xI4 - F
004	(2)134"×14" - F	3½"x 4" - F	(2)13/4"×14" - F	(2)2xi2 + (i) ¼"xil¼" STEEL FLITCH PLATE - FB	WI2xI4 - F
005	(2)134"×14" - F	3½"x 4" - F	(2)134"×14" - F	(2)2xi2 + (i) ¼"xil¼" STEEL FLITCH PLATE - FB	WI2xI4 - F
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001	(2)134"x1136" - F	3½"xli⅓" - F	(2)134"x1136" - F	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATE - F	WI0x12 - F
008	(2)13/4"×14" - F	3½"x 4" - F	(2)13/4"×14" - F	(2)2xi2 + (i) ¼"xil¼" STEEL FLITCH PLATE - FB	WI2xI4 - F
004	(3)194"x18" - FT	5¼"xl8" - FT	N/A	(4)2xl2 + (3) ½"xll¼" STEEL FLITCH PLATES - FB	WI2x26 - F
010	(3)194"x20" - FT	5¼"x20" - FT	N/A	(4)2xl2 + (3) %"xll以" STEEL FLITCH PLATES - FB	WI2x35 - F
OII	(2)13/4"x113/6" - FB	3½"×II%" - FB	(2)13/4"x14" - FB	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATE - FB	MIOxI2 - FB

- BEAM NOTATION:
 "F" INDICATES FLUSH BEAM
- "FT" INDICATES FLUSH TOP BEAM "FB" INDICATES FLUSH BOTTOM BEAM
- "D" INDICATES DROPPED BEAM - "H" INDICATES DROPPED OPENING HEADER REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"X0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN

PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8" O.C.

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

	DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
	JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
\neg	SOLE PLATE TO JOIST/BLK'G.	(3) NAILS @ 4" O.C.	(3) NAILS @ 4" O.C.
- 1	STUD TO SOLE PLATE	(2) TOENAILS	(3) TOENAILS*
┙	TOP OR SOLE PLATE TO STUD	(2) NAILS	(3) NAILS
	RIM TO TOP PLATE	TOENAILS @ 8" o.c.	TOENAILS @ 6" O.C.*
- 1	BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS	(3) TOENAILS*
-	DOUBLE STUD	NAILS @ 24" o.c.	NAILS @ 16" o.c.
- 1	DOUBLE TOP PLATE	NAILS @ 24" o.c.	NAILS @ 16" o.c.
- 1	DOUBLE TOP PLATE LAP SPLICE	(9) NAILS IN LAPPED AREA	(II) NAILS IN LAPPED AREA
- 1	TOP PLATE LAP @ CORNERS &	(2) NAILS	(2) NAILS
- 1	INTERSECTING WALLS		

2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

• FLOOR LOISTS BY MANUFACTURER'S OTHER THAN THOSE SHOWN ON PLAN SHALL CONFORM TO THE APA PERFORMANCE RELATED I-JOISTS DESIGN AND CONSTRUCTION GUIDE, MINIMUM JOIST ALLOWABLE MOMENT, STRENGTH, AND STIFFNESS, SHALL MEET OR EXCEED THOSE LISTED FOR THE PRI-60 SERIES I-JOISTS. ALL ALLOWABLE HOLES, BEARING STIFFENERS, AND JOIST TO JOIST CONNECTIONS ARE PER THE JOIST MANUFACTURER.

ALTERNATE F.J MANUFACTURERS

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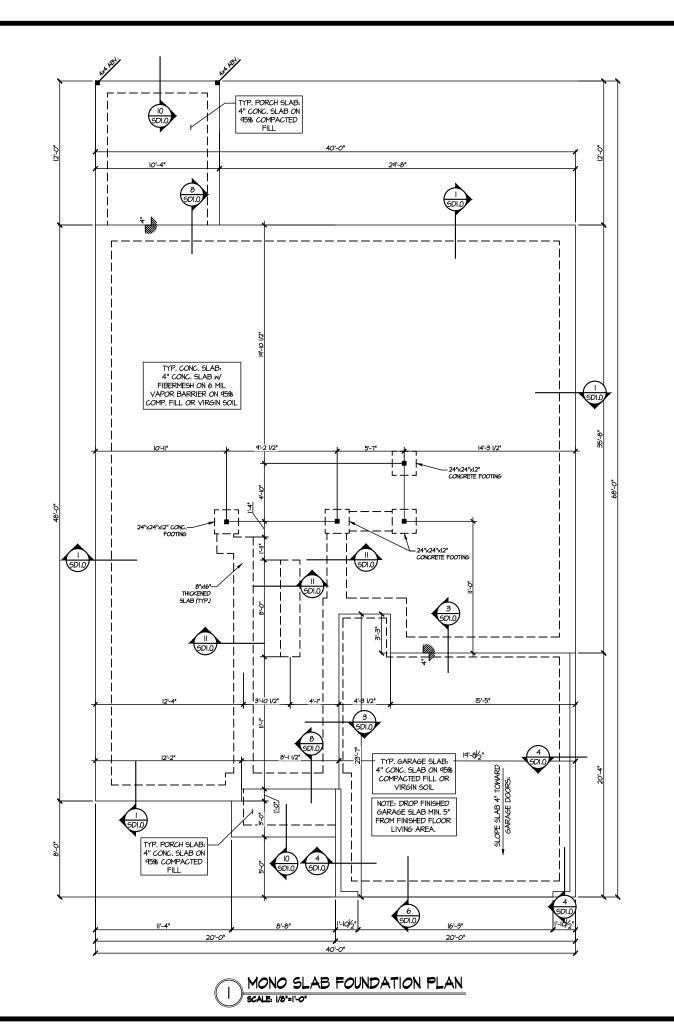
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6/10/25 H CAR SEPH T. R

MUCHERN+KULP

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M&K project number:

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JTR drawn by: issue date: 06-05-25

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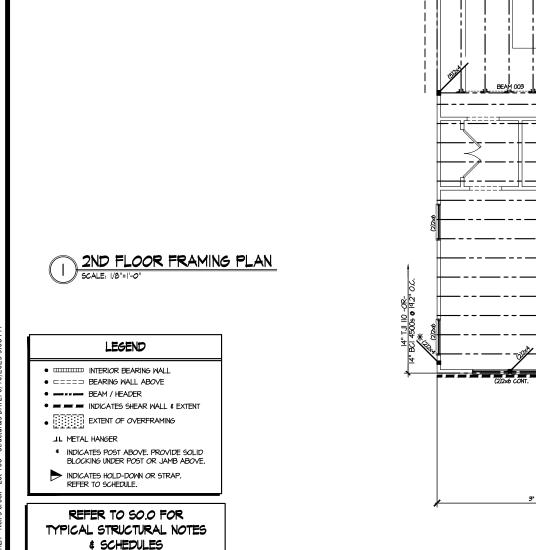
LEGEND

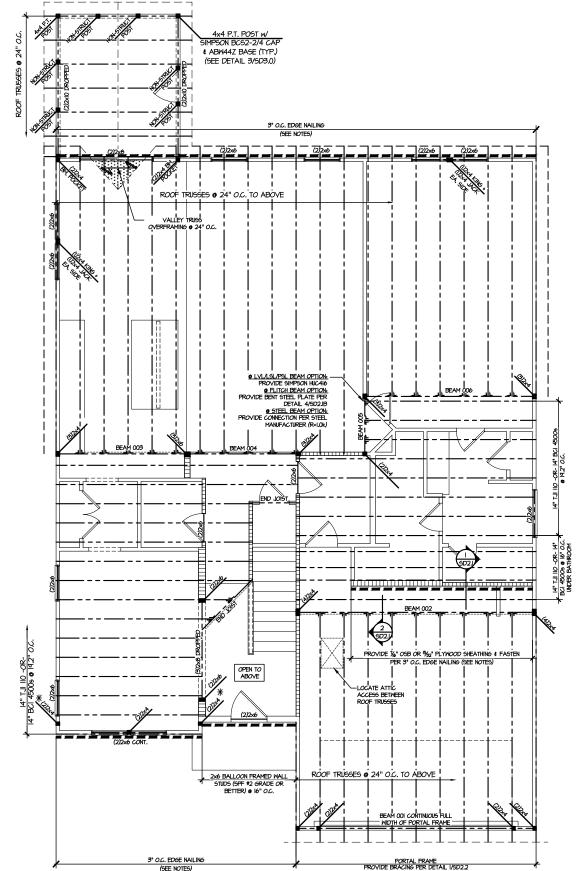
- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- ---- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE,
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

FARM AT NEIL'S LOT 168 - MIDDLETON 1
RALEIGH, NC **S1.0**

OUNDATION P





6/10/2 H CAR

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING Y

M&K project number 126-22076

JTR drawn by: GTK issue date: 06-05-2

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I AT NEIL'S (MIDDLETON 1) FARM LOT 168 - M RALEIGH, N OOR

ALTERNATE F.J MANUFACTURERS

FLOOR JOISTS BY MANUFACTURER'S OTHER THAN THOSE SHOWN ON PLAN SHALL CONFORM TO THE APA PERFORMANCE RELATED I-JOISTS DESIGN AND CONSTRUCTION GUIDE. MINIMUM JOIST PROPERTIES INCLUDING, BUT NOT LIMITED TO, ALLOWABLE SHEAR. ALLOWABLE MOMENT, STRENGTH, AND STIFFNESS, SHALL MEET OR EXCEED THOSE LISTED FOR THE PRI-60 SERIES I-JOISTS. ALL ALLOWABLE HOLES, BEARING STIFFENERS, AND JOIST TO JOIST CONNECTIONS ARE PER THE JOIST MANUFACTURER.

ENGINEERED BEAM MATERIAL SCHEDULE						
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION	
001	(2)134"x1136" - H	3½"×II%" - H	(2)134"×1136" - H	(2)2xl2 + (l) ½"xll¼" STEEL FLITCH PLATE - H	N/A	
00IA	(2)134"x1136" - H	3½"×II%" - H	(2)134"×1176" - H	(2)2xl2 + (l) ½"xll¼" STEEL FLITCH PLATE - H	N/A	
002	(2)194"x18" - FT	5¼"xl8" - FT	N/A	(3)2xi2 + (2) 片"xilk;" STEEL FLITCH PLATES - FB	WI2xI9 - F	
003	(2)13/4"×14" - F	3½"xl4" - F	(2)13/4"×14" - F	(2)2xi2 + (l) ¼"xil¼" STEEL FLITCH PLATE - FB	WI2xI4 - F	
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001	(2)134"x1136" - F	3½"×II%" - F	(2)1¾"x11%" - F	(2)2xl2 + (l) ¼"xll¼" STEEL FLITCH PLATE - F	MIOxI2 - F	
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OII	(2)13/4"x117/6" - FB	3½"xII%" - FB	(2)13/4"×14" - FB	(2)2xl2 + (I) ¼"xll¼" STEEL	WIOxl2 - FB	

- BEAM NOTATION:

 "F" INDICATES FLUSH BEAM

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 "D" INDICATES DROPPED BEAM
- "D" INDICATES DROPPED BEAM

 "H" INDICATES DROPPED OPENING HEADER

 REFER TO DETAIL D/502.0 FOR TYPICAL FILITCH BEAM CONNECTIONS

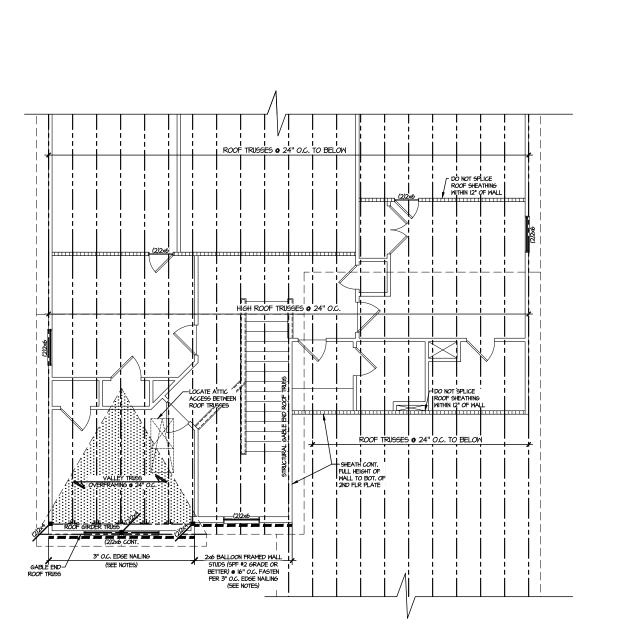
 REFER TO DETAIL E/502.0 FOR TYPICAL STEEL BEAM CONNECTIONS

 FOR FILISH TOP BEAM'S PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D, FASTEN

 PLATES IN SUCCESSION W (2) 3"X01.20" NAILS @ 8" O.C.

 FOR FILISH BOTTOM BEAM'S PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D, FASTEN

 PLATES IN SUCCESSION W (2) 3"X01.00" NAILS @ 8" O.C.
- PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.





6/10/25 "H CAR SEPH T. RI MUCHERN+KULP

RESIDENTIAL STRUCTURAL ENSINEERING

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M&K project number: 126-22076

project mgr: JTR drawn by: GTK issue date: 06-05-25

REVISIONS:

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FRAMING

LEGEND

• = = INDICATES SHEAR WALL & EXTENT EXTENT OF OVERFRAMING

* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

\$ SCHEDULES

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

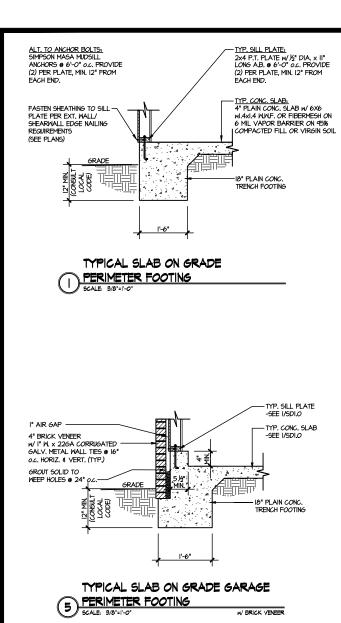
• IIIIII INTERIOR BEARING WALL ● □===□ BEARING WALL ABOVE • ---- BEAM / HEADER

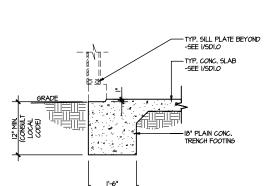
JL METAL HANGER

FARM AT NEIL'S (LOT 168 - MIDDLETON 1 ROOF

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES **S3.0**

ROOF FRAMING PLAN



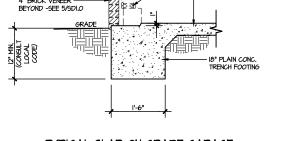


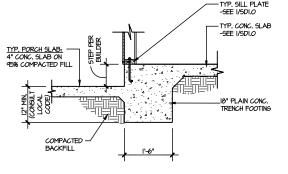
TYP, SILL PLATE -SEE I/SDI.O

- TYP. CONC. SLAB

-18" PLAIN CONC.

-SEE I/SDI.O







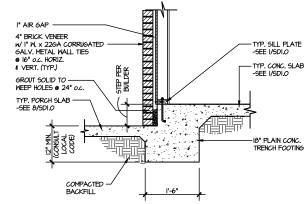


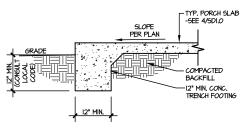
I" DEEP SAW CUT CONTROL JOINT WITHIN 24 HOURS OF POUR MID-WAY INTO SLAB

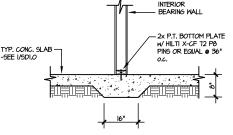
-LOCATE JOINTS @ SLAB CORNERS & OTHER AREAS

-CONC. SLAB -SEE PLAN

WHERE CRACKS ARE









TYPICAL FOOTING @ PORCH SLAB

TYPICAL THICKENED SLAB @ NITERIOR BEARING WALL

> ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

GARAGE INTERIOR HOUSE INTERIOR TYP. GARAGE SLAB: -4" CONC. SLAB ON 95% COMPACTED FILL OR VIRGIN SOIL - TYP. SILL PLATE -SEE I/SDI.O FASTEN SHEATHING TO SILL PLATE PER EXT. WALL/ SHEARWALL EDGE NAILING REQUIREMENTS -TYP, CONC, SLAB -SEE I/SDI.O (SEE PLANS) TYPICAL MONOLITHIC INTERIOR

3 SCALE 2/4

TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

SCALE: 3/8"=1"-0"

-SEE I/SDI.O

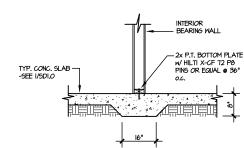
-SEE I/SDI.O

- TYP. CONC. SLAB

-18" PLAIN CONC. TRENCH FOOTING

-TYP. SILL PLATE BEYOND -SEE I/SDI.O - TYP. CONC. SLAB -SEE I/SDI.O

TYPICAL SLAB ON GRADE PERIMETER



NEIL N O AT

ARM LOT

6/10/2

ERN+KU

M&K project number: 126-22076

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OFESSIO

TYPICAL SLAB ON GRADE PERIMETER

FOOTING @ PORCH/PATIO

I" AIR GAP

GROUT SOLID TO WEEP HOLES @ 24

4" BRICK VENEER w/ I" W. x 22GA CORRUGATED GALV. METAL WALL TIES

@ 16" o.c. HORIZ. & VERT. (TYP.)

GRADE

TYPICAL SLAB ON GRADE

PERIMETER FOOTING

SCALE: 3/8"=1"-0"

TYPICAL SLAB ON GRADE GARAGE 6 ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1"-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN

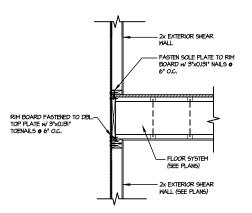
CUT EVERY OTHER WIRE OF W.W.F. @ CONTROL JOINT

BETWEEN

SAWJITS

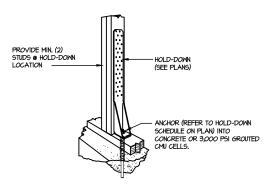
TYPICAL SHEAR TRANSFER DETAIL @ ROOF SCALE: 3/8"=1"-0" HEEL HEIGHT LESS THAT

HEEL HEIGHT LESS THAN 9 ½" NO BLOCKING REQ'D

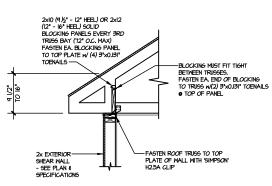


TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL

SCALE: 3/8/11-0*



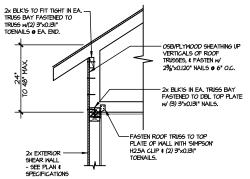
TYPICAL HOLD DOWN INSTALLATION
SCALE: N.T.S.



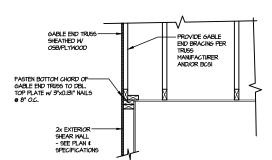
TYPICAL SHEAR TRANSFER DETAIL @ ROOF

SCALE: 3/8'=1-0' HELL HEIGHT BETWEEN 4 /9

HELL CHIEF BETWEEN 4 /9 HEEL HEIGHT BETWEEN 9 ½" - 16" BLOCKING REQ'D



TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8'=1-0' HEEL HEIGHT UP TO 48' MAX



TYPICAL GABLE END DETAIL

SCALE: 3/8°=1-0°

MULHERNHKULP RESIDENTIAL STRUCTURAL ENGINEERING 300 December Ave. PAY 19802 Y

6/10/25

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SEPH T. RI

M&K project number 126-22076

JTR drawn by: GTK issue date: 06-05-2

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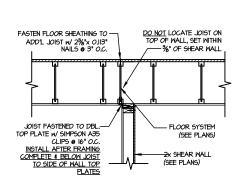
CREEK DETAILS FARM AT NEIL'S (LOT 168 - MIDDLETON 1 RALEIGH, NC RAMING

SD2.0

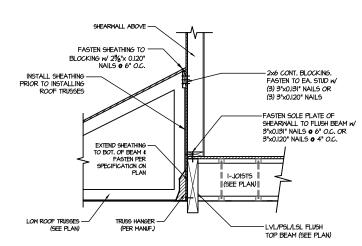
NUMBERED DETAILS ARE PLAN ("CUT") ON THE PLANS.

SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED

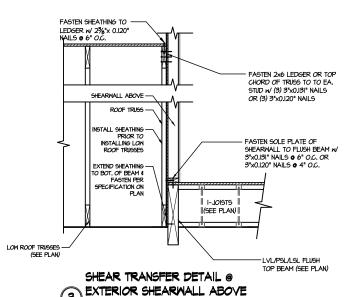
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS, THESE DETAILS ARE NOT "CUT" ON THE PLANS.

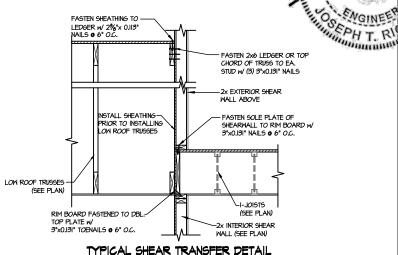


SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW



SHEAR TRANSFER DETAIL @ 2 EXTERIOR SHEARWALL ABOVE





TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE SATSICO

6/10/25

MUCHERN+KULP

RESIDENTIAL STRUCTURAL ENGINERING

SUBSIDENTIAL STRUCTURAL ENGINERING

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M&K project number:

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GTK issue date: 06-05-2

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CREEK FARM AT NEIL'S (LOT 168 - MIDDLETON 1 RALEIGH, NC RAMING

SD2.1A

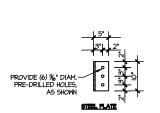
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

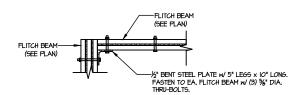
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

SHEAR TRANSFER DETAIL @

PARALLEL TO FRAMING ONLY REQD WHERE NOTED ON PLAN

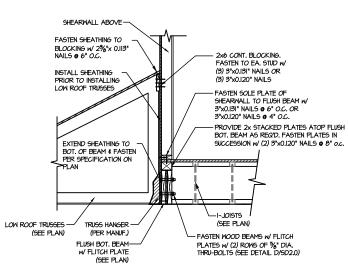
INTERIOR SHEARWALL BELOW
SCALE: 8/4"=1"40" PARA



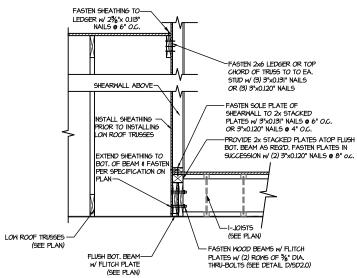


TYPICAL FLITCH BEAM TO FLITCH BEAM CONNECTION DETAIL

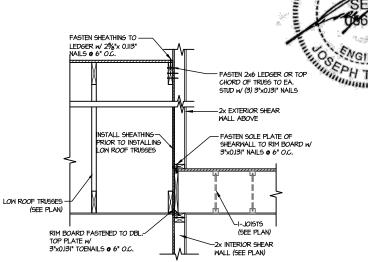
SCALE 9/4"=1"-0"



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE SCALE. S/0°-1'-0"



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



TYPICAL SHEAR TRANSFER DETAIL 3 BETWEEN FLOORS @ INTERIOR WALL

M&K project number: 126-22076 **JTR**

Y

MULHERN+KU

MESIDENTIAL STRUCTURAL ENGINE

6/10/2

H CAR

frawn by: GTK ssue date: 06-05-2

REVISIONS

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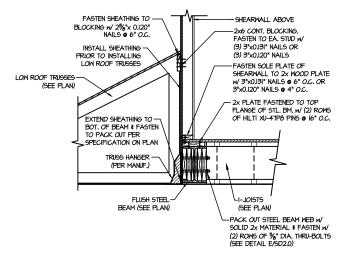
I AT NEIL'S (MIDDLETON 1) NC Ü FARM A LOT 168 - M RALEIGH, N

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

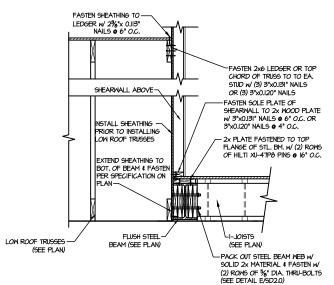
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

SD2.1B

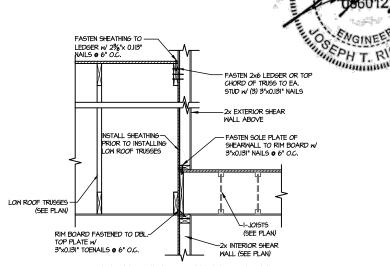
SHEAR TRANSFER DETAIL @ INTERIOR SHEARMALL BELOW
SCALE S/4'=1'-0' PARA PARALLEL TO FRAMING ONLY REGID WHERE NOTED ON PLAN



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



SHEAR TRANSFER DETAIL @ 2 EXTERIOR SHEARMALL ABOVE SCALE SIGNIFICATION



TYPICAL SHEAR TRANSFER DETAIL 3 BETWEEN FLOORS @ INTERIOR WALL

6/10/25

MULHERN+KUL
RESIDENTIAL STRUCTURAL ENSINEER
SUDEMAKER AN BEREN 1- ANDER, PA 1900E
P 255-88-8001 - Instrument com

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M&K project number:

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GTK ssue date: 06-05-2

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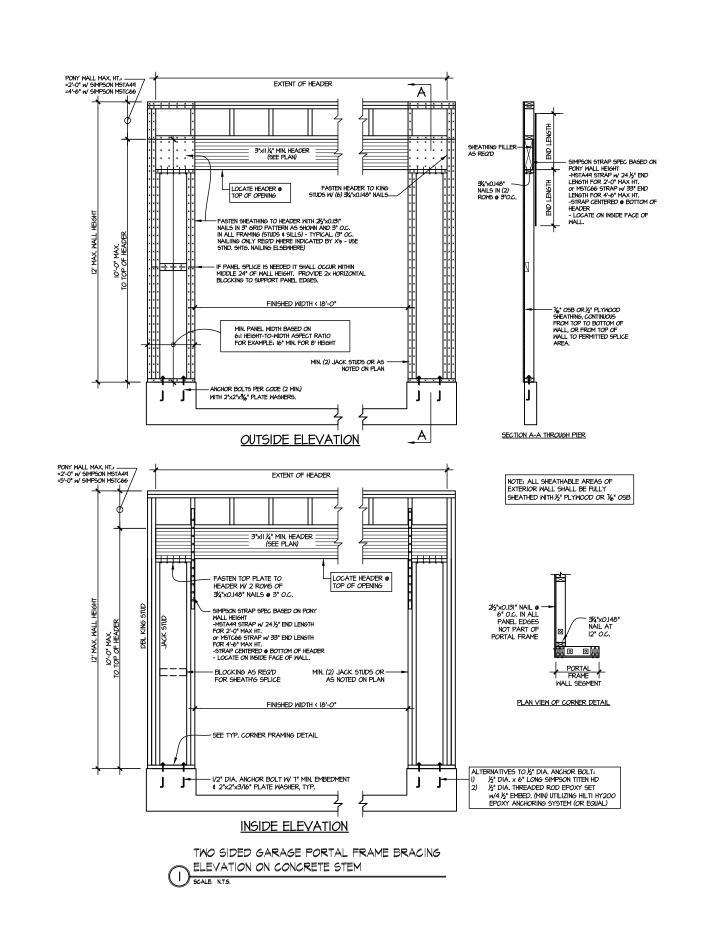
"H CAR

REE \Box FARM AT NEIL'S (LOT 168 - MIDDLETON 1 Ŋ

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

SD2.1C



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MUCHERNA+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
SUDDANISTA A BAIRGA 4 ANDRIAN PARRE
\$755-68-6001 - mathematican

M&K project number: 126-22076

project mgr: JTR drawn by: GTK issue date: 06-05-25

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OMES OMES

DETAILS

NEIL'S CREEK

FRAMING DETAILS
FARM AT NEIL'S (
LOT 168 - MIDDLETON 1
RALEIGH, NC

SD2.2

6/10/25

MUCHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING Y

M&K project number:

126-22076

JTR drawn by: GTK issue date: 06-05-25

FARM AT NEIL'S CREEK LOT 168 - MIDDLETON 1 RALEIGH, NC FRAMING DETAILS

SD3.0

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

-- POST CAP (SEE PLANS & TYP. NOTES)

TYPICAL PORCH
POST CONNECTION DETAIL
SCALE: NONE

SOLID 4x4 OR -6x6 P.T. POST (SEE PLANS)

POST BASE (SEE PLANS &
TYP. NOTES) W ½" DIA.
ANCHOR BOLT OR SIMPSON
TITEN HD W MIN. 6" EMBED.
SLOPE
TYPER PLAN
(SE

TYP. PORCH SLAB (SEE FND DETAILS)

-CONC. TRENCH FOOTING

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

