

MIDDLETON-RALE

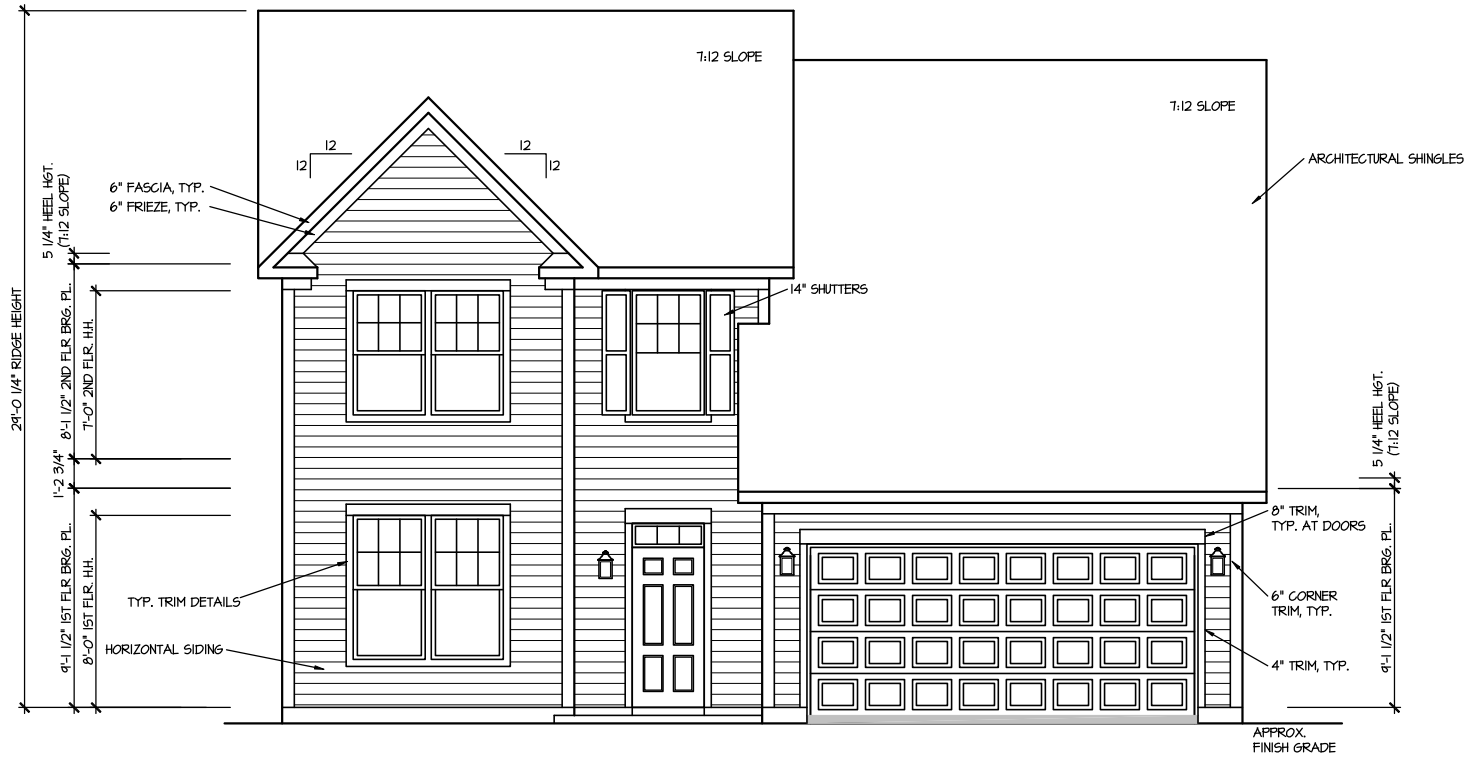
RALEIGH - LOT 00.0168 THE FARM AT NEILL'S CREEK

(MODEL# 2183)

ELEVATION 1- GR

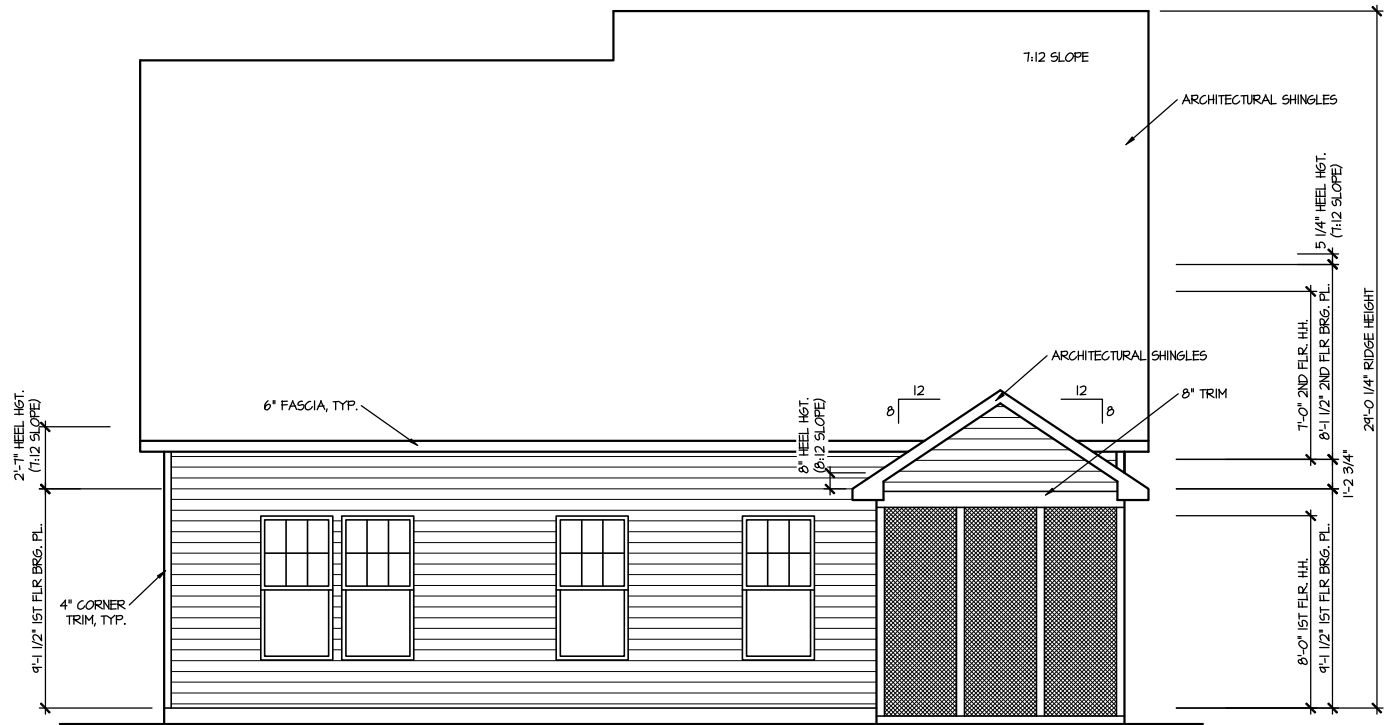
94 Little Branch Drive

[illegible][illegible][illegible]



FRONT ELEVATION I

SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

DRAWN BY:
ITS
DATE: 05/27/2025
PLAN NO.
2183

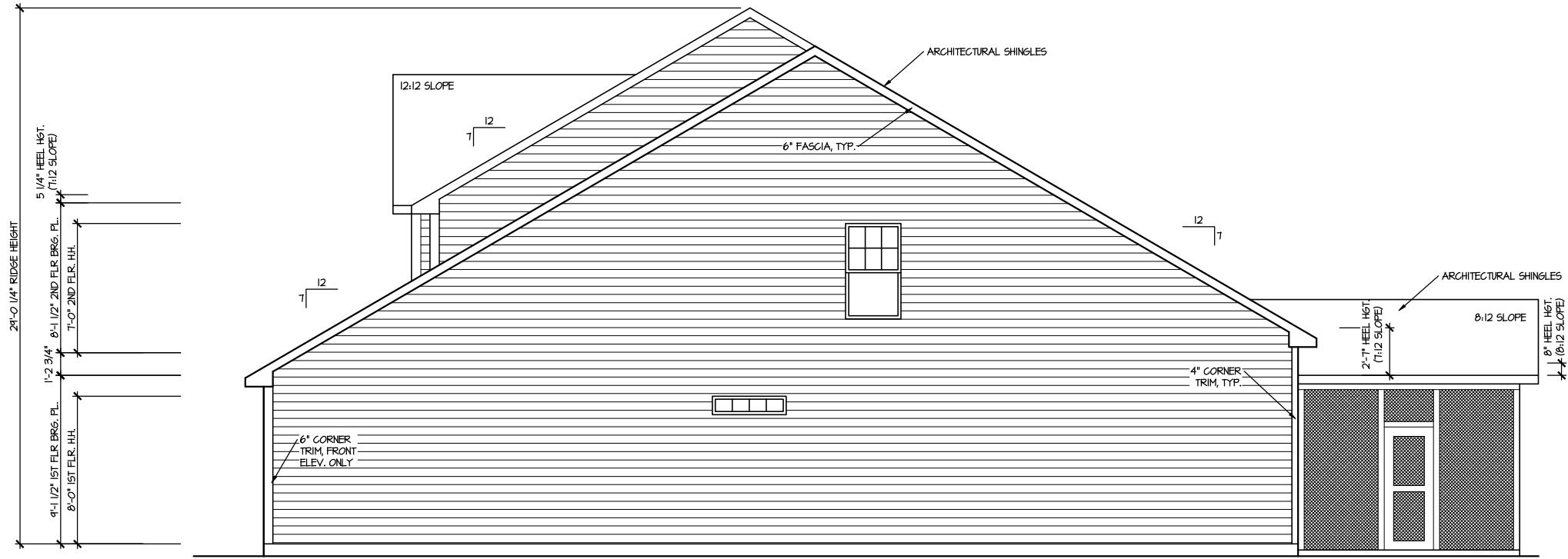
MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	03-20-2024

UPDATED DATE
09-23-2024

DRB
HOMES

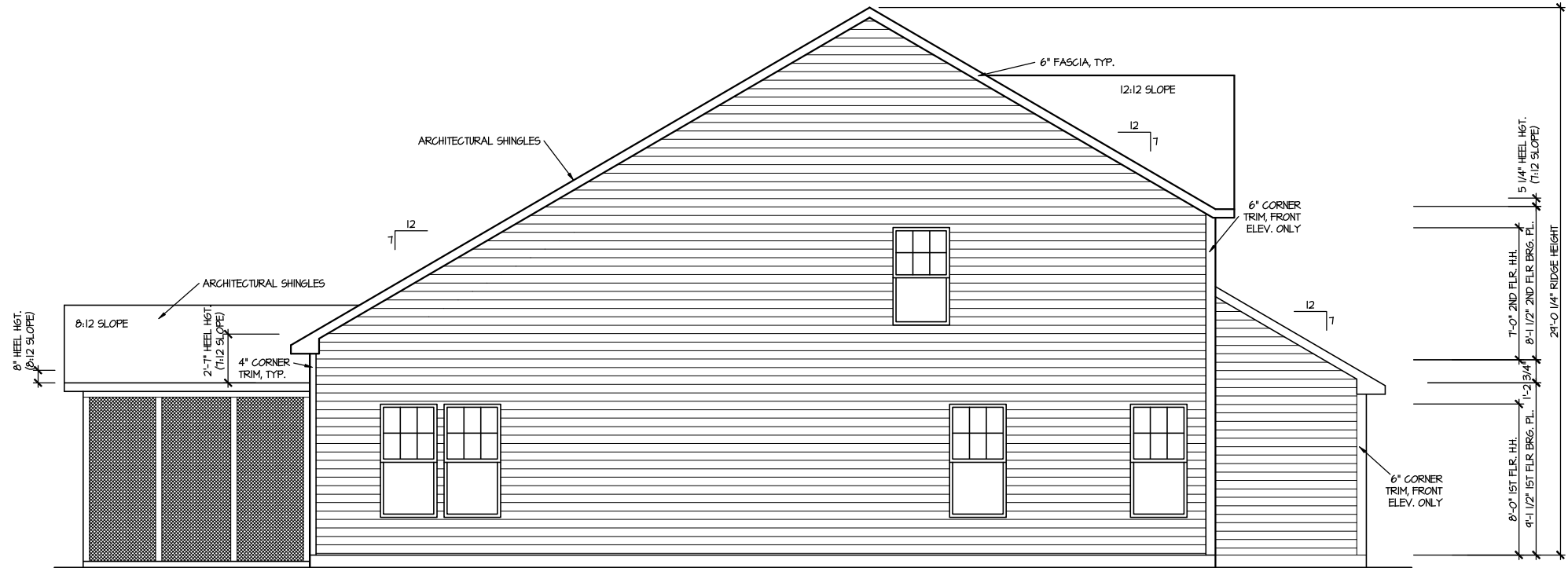
HOUSE NAME:
MIDDLETON
DRAWING TITLE
FRONT & REAR ELEVATIONS

SHEET No.
A.1



RIGHT ELEVATION I

SCALE: 1/8" = 1'-0"



LEFT ELEVATION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION
2-RALE

DATE
03-20-2024

UPDATED DATE

09-23-2024

DRAWN BY:
ITS

DATE:
05/27/2025

PLAN NO.
2183

DRB
HOMES

HOUSE NAME:
MIDDLETON

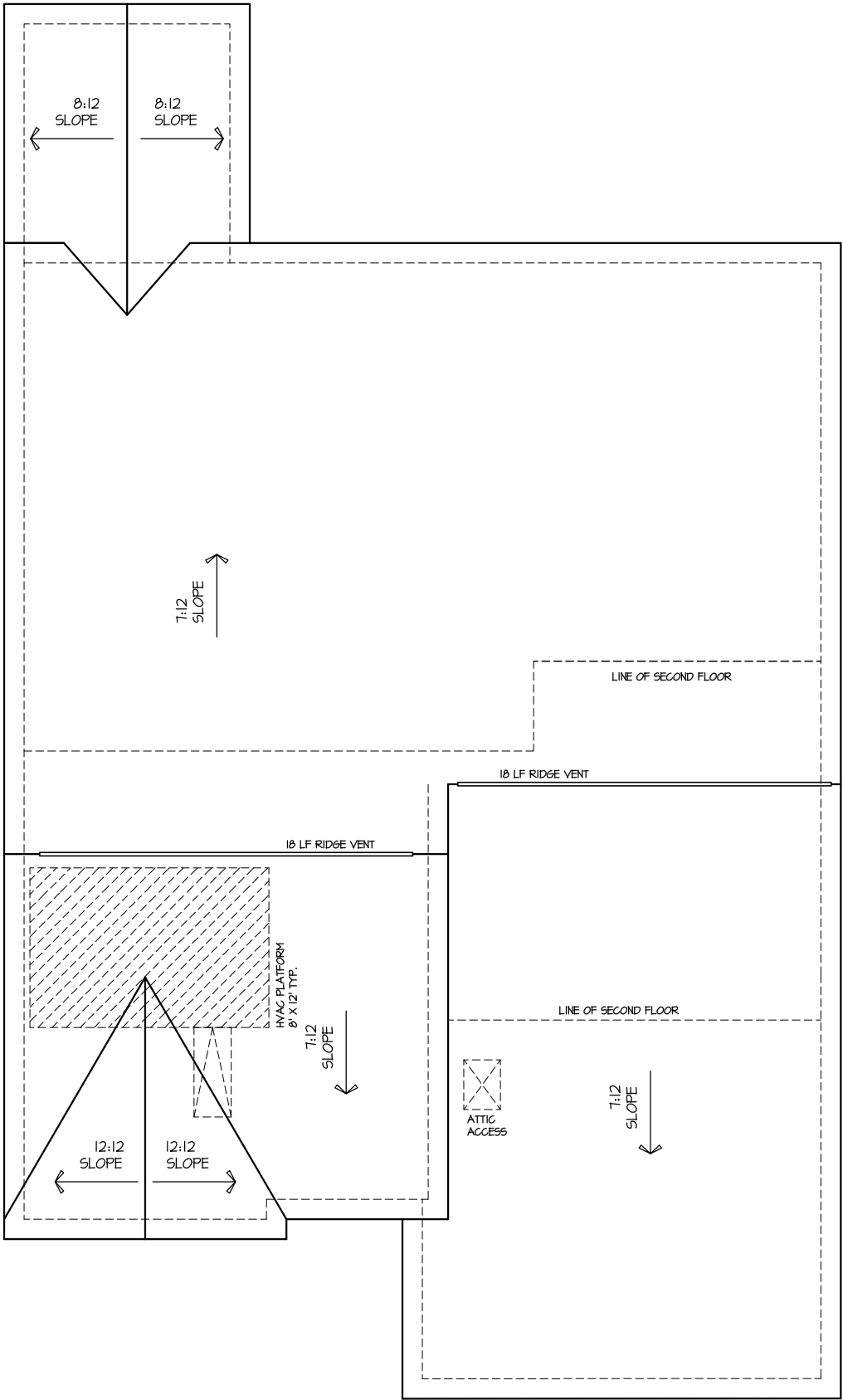
DRAWING TITLE

RIGHT & LEFT ELEVATIONS

SHEET No.

A1.2

ROOF VENTILATION CALCULATIONS:
ROOF AREA = 2422 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 50 = 14.01 SQ. FT.
1 TO 300 = 7.01 SQ. FT.
50-80% IN TOP THIRD = 350 - 561 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 RDS)
14 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 248 SQ. FT.
UPPER VENTING (TOP 1/3 RDS)
36 LINEAR FEET OF RIDGE X 18 SQ. IN. = 45 SQ. FT.
4.00 SQ. FT. BETWEEN 50% - 80%
(1 TO 300 ALLOWED)
TOTAL ROOF VENTILATION: 149 SQ. FT. > 7.01 SQ. FT. (REQ'D)



ROOF PLAN ELEV. 1

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
2-RAL	03-20-2024		09-23-2024

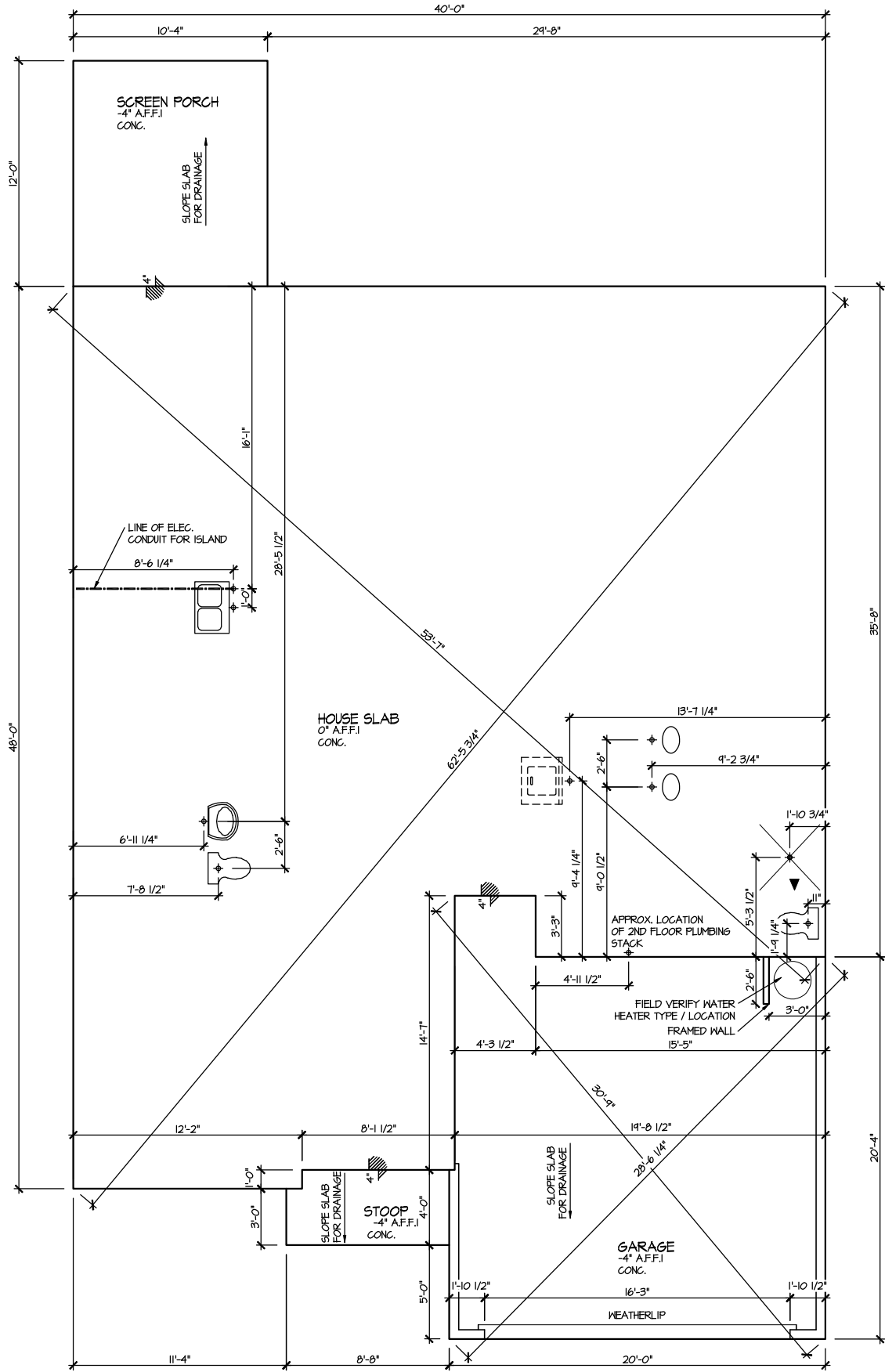
DRAWN BY:	ITS
DATE:	05/27/2025
PLAN NO.	2183



HOUSE NAME:
MIDDLETON
DRAWING TITLE
ROOF PLAN

SHEET No.

A.3



ELEVATION I
SLAB PLAN
SCALE: 1/8" = 1'-0"

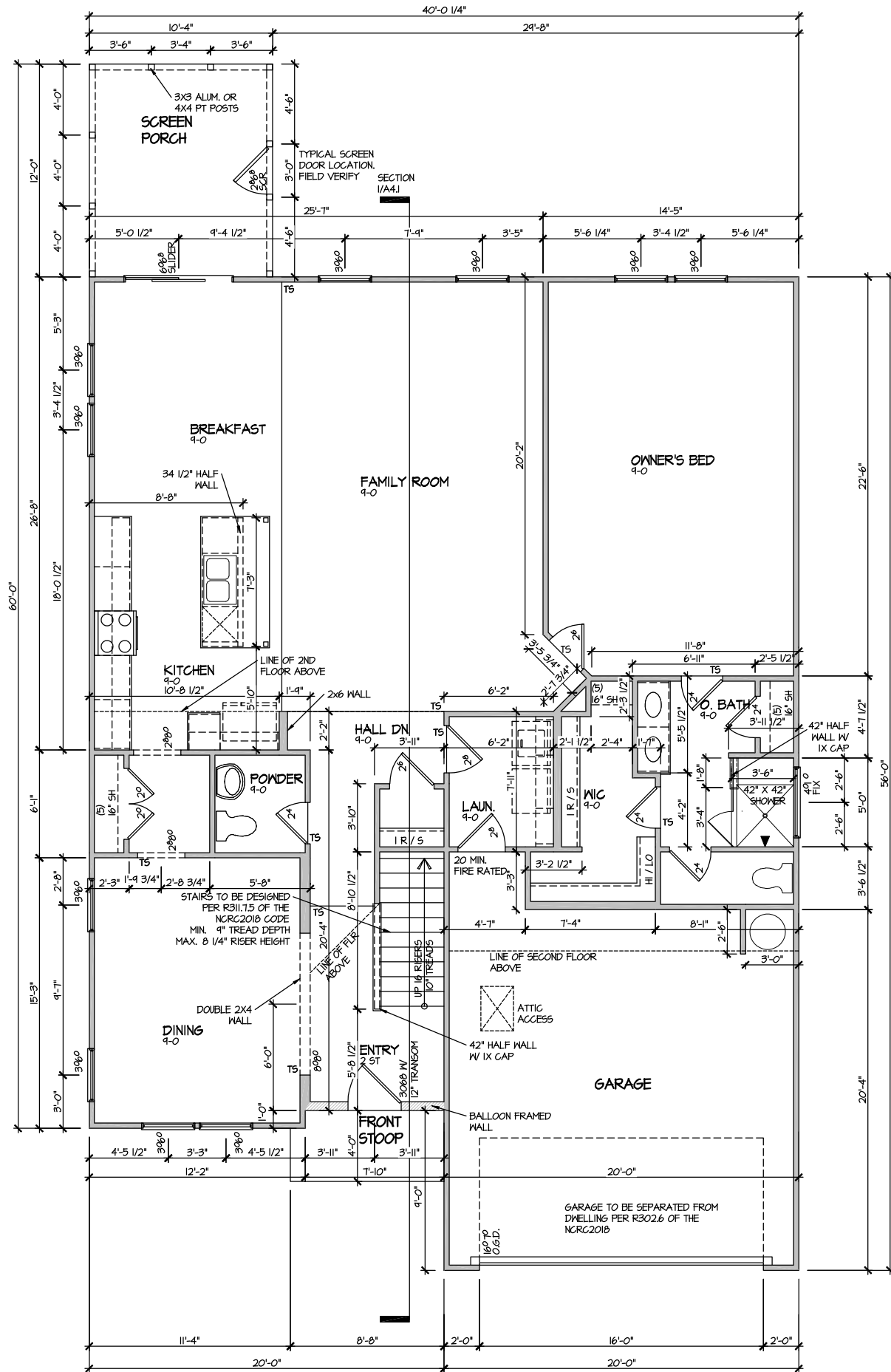
MASTER PLAN INFORMATION			
REVISION	DATE	DATE	UPDATED DATE
2-RAL	03-20-2024		09-23-2024

DRAWN BY:	ITS
DATE:	05/27/2025
PLAN NO.	2183

DRB
HOMES

HOUSE NAME:
MIDDLETON
DRAWING TITLE
SLAB PLAN

SHEET No.
A2.1



ELEVATION I
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
2-RALE	03-20-2024	09-23-2024

DRAWN BY:
ITS

DATE:
05/27/2025

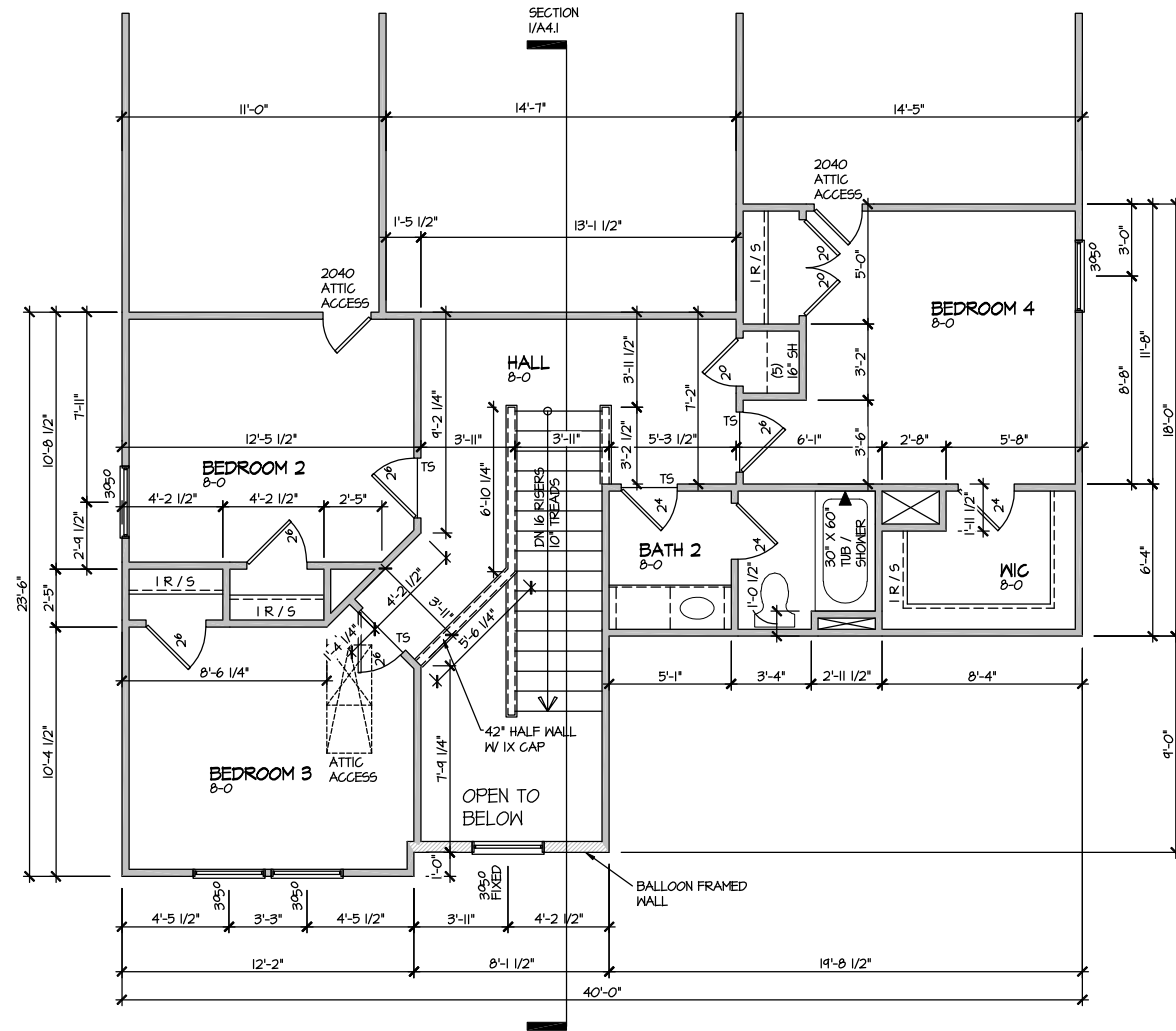
PLAN NO.
2183

DRB
HOMES

HOUSE NAME:
MIDDLETON
DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.

A3.1



ELEVATION I
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

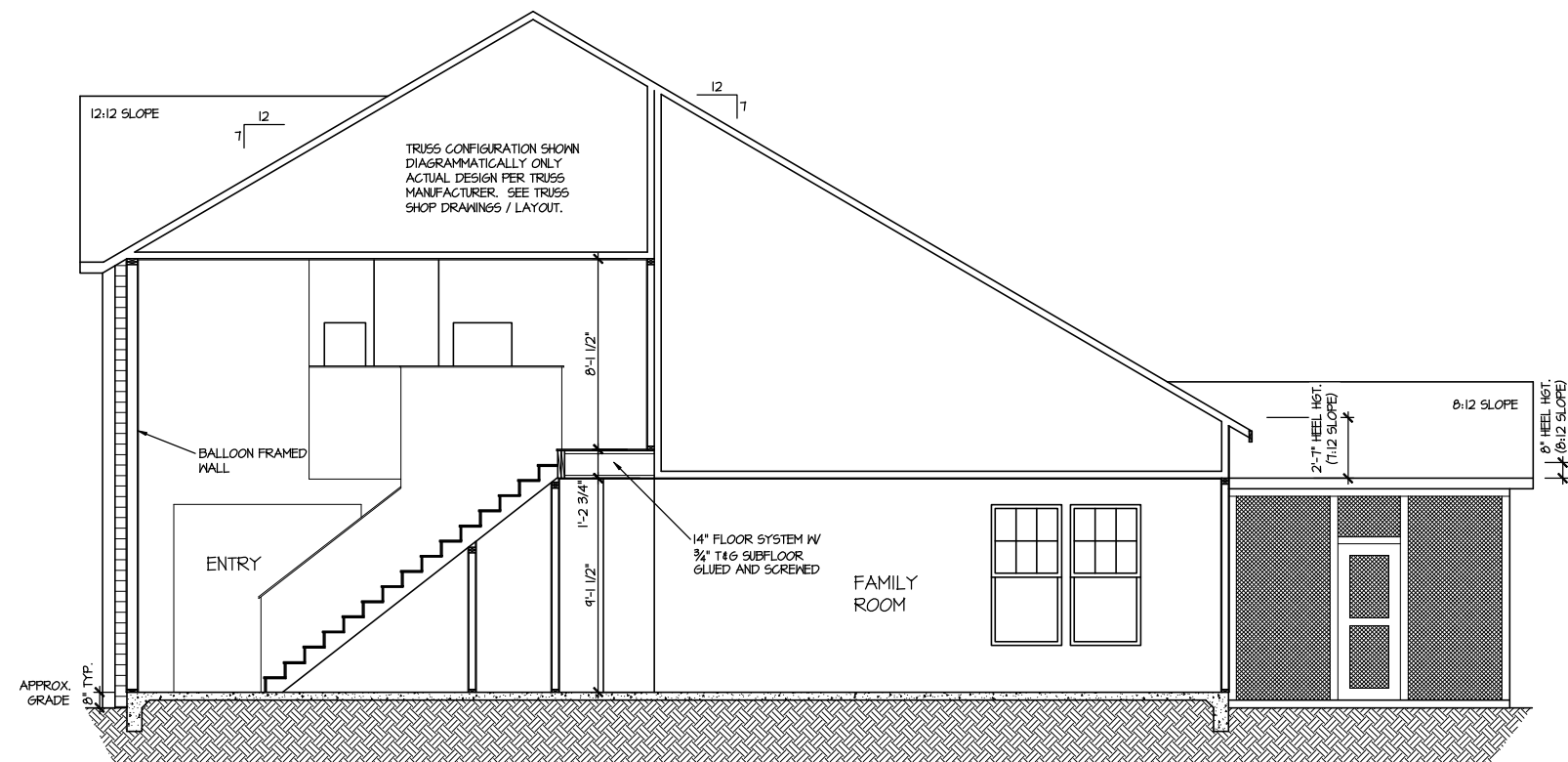
MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
2-RALE	03-20-2024		09-23-2024

DRAWN BY:	ITS
DATE:	05/27/2025
PLAN NO.	2183



HOUSE NAME:	MIDDLETON
DRAWING TITLE	SECOND FLOOR PLAN

SHEET No.	A3.2
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SECTION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
2-RALE	03-20-2024	09-23-2024

DRAWN BY: ITS
DATE: 05/27/2025
PLAN NO. 2183



HOUSE NAME:
MIDDLETON

DRAWING TITLE
BUILDING SECTION

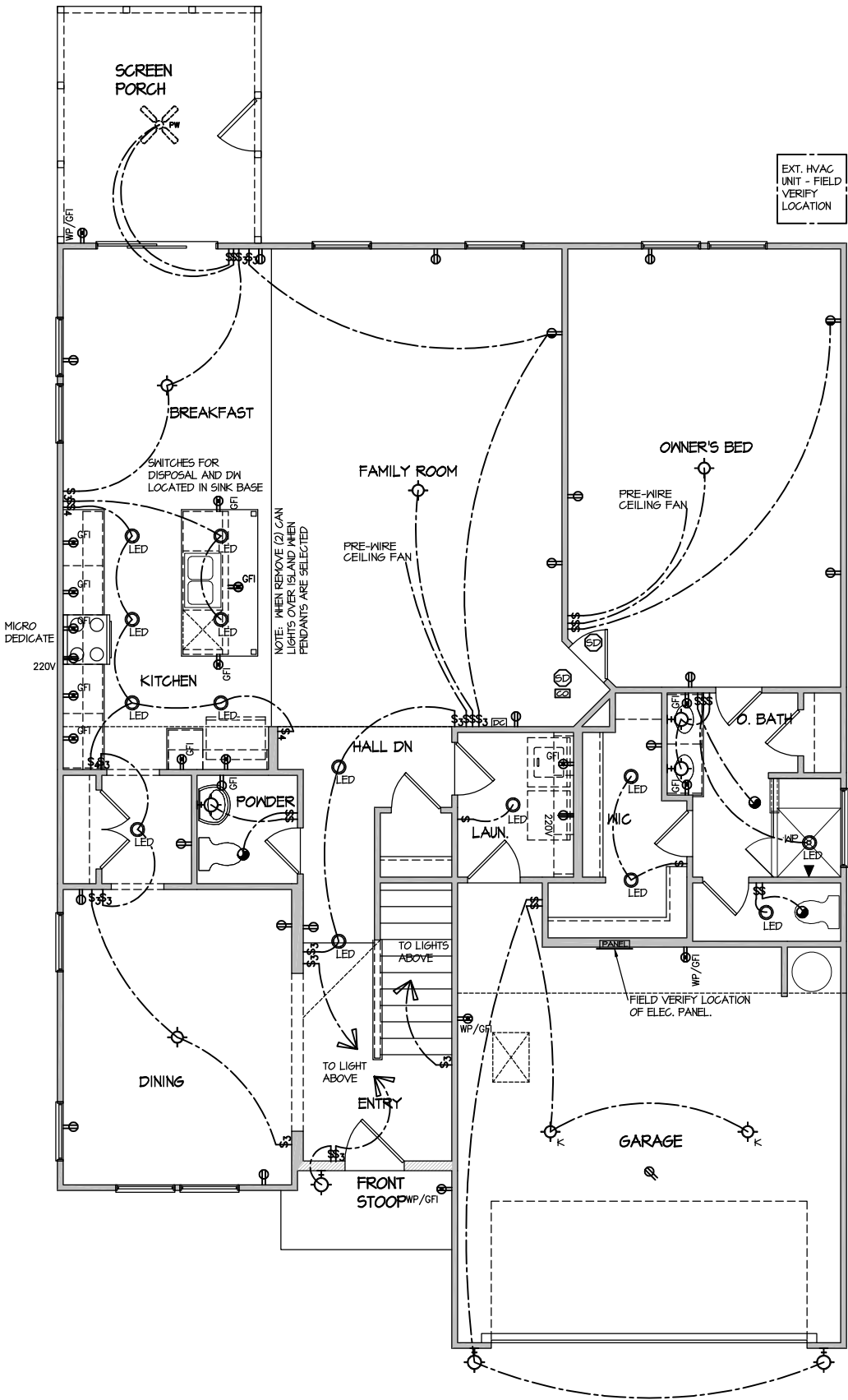
SHEET No.

A4. |

ELECTRICAL LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DUPLEX AFCI RECEPTACLE
- DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- RECEPTACLE - 220V
- DUPLEX AFCI RECEPTACLE - GFI
- DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- SMOKE DETECTOR - WIRED IN SERIES
- EXHAUST FAN MOTOR
- CO DETECTOR
- DOOR CHIME
- LIGHT FIXTURE - WALL MOUNTED
- LIGHT FIXTURE - CEILING MOUNTED
- LIGHT FIXTURE - LED SURFACE MOUNTED
- PULLCHAIN LAMPHOLDER
- KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

DRAWN BY: ITS
DATE: 05/27/2025
PLAN NO. 2183



HOUSE NAME: MIDDLETON
DRAWING TITLE: FIRST FLOOR ELECTRICAL

SHEET No. 1

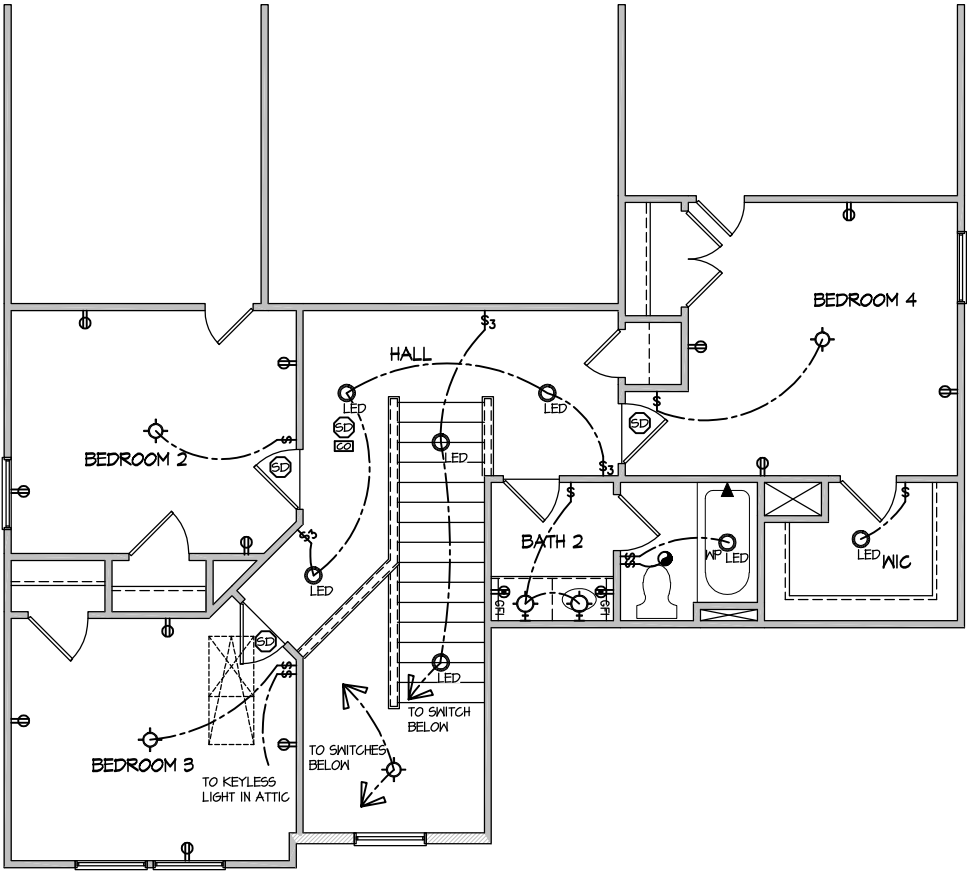
MASTER PLAN INFORMATION

REVISION DATE
2-RALE 03-20-2024

UPDATED DATE
09-23-2024

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DUPLEX AFCI RECEPTACLE
	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
	RECEPTACLE - 220V
	DUPLEX AFCI RECEPTACLE - 6FI
	DUPLEX AFCI RECEPTACLE - WATERPROOF 6FI
	SMOKE DETECTOR - WIRED IN SERIES
	EXHAUST FAN MOTOR
	CO DETECTOR
	DOOR CHIME
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - LED SURFACE MOUNTED
	PULLCHAIN LAMPHOLDER
	KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR - ELEV. 1
SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		UPDATED DATE
REVISION	DATE	
2-RALE	03-20-2024	09-23-2024

DRAWN BY:	ITS
DATE:	05/27/2025
PLAN NO.	2183




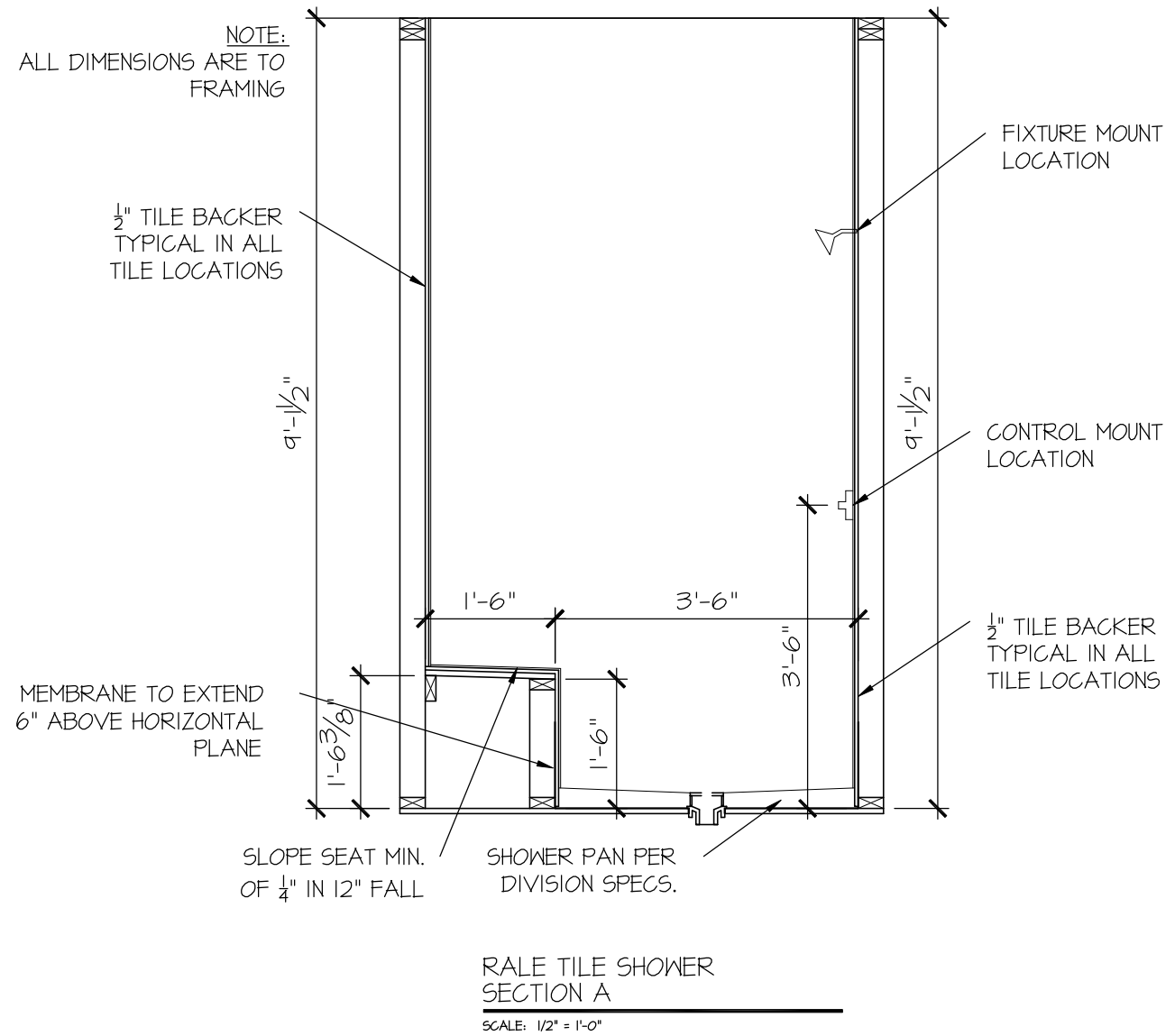
HOUSE NAME:	MIDDLETON
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.	1.2
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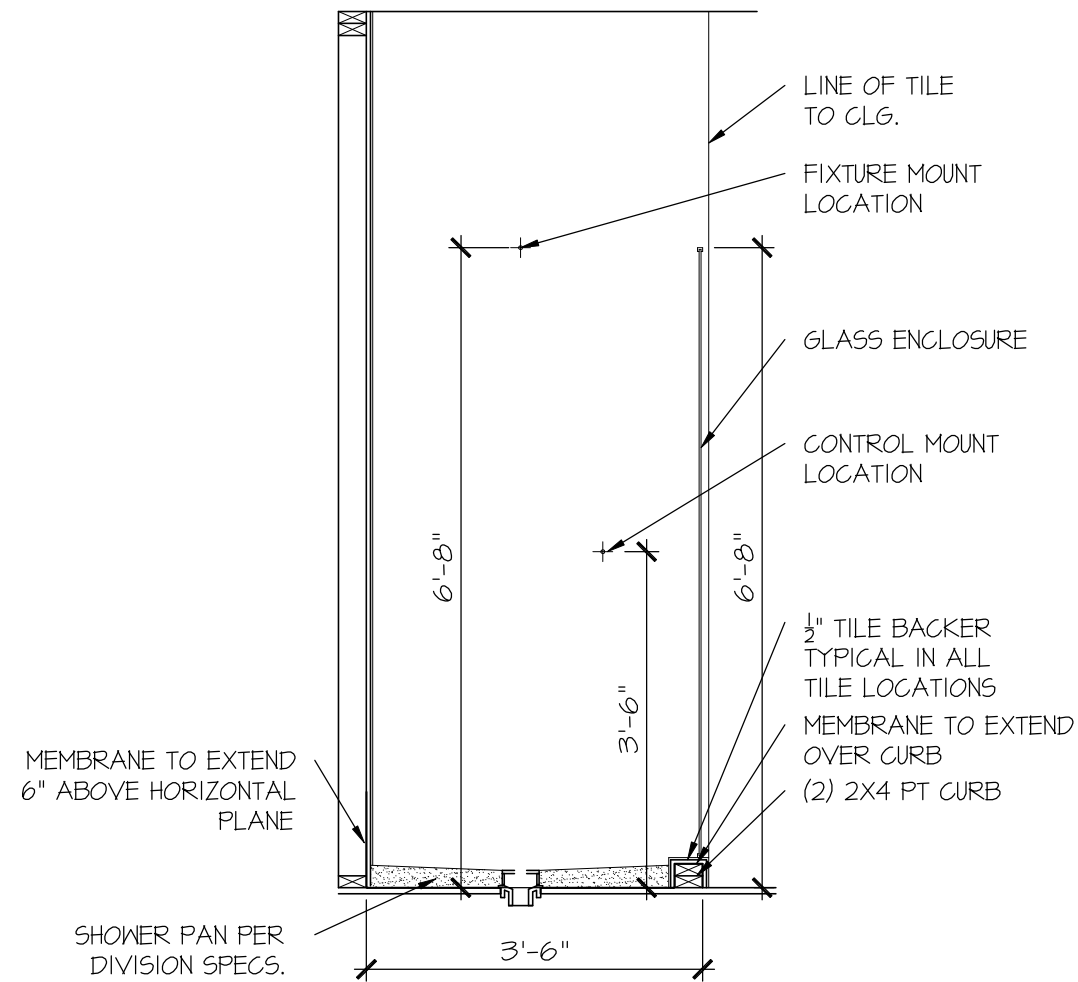


SHEET No.



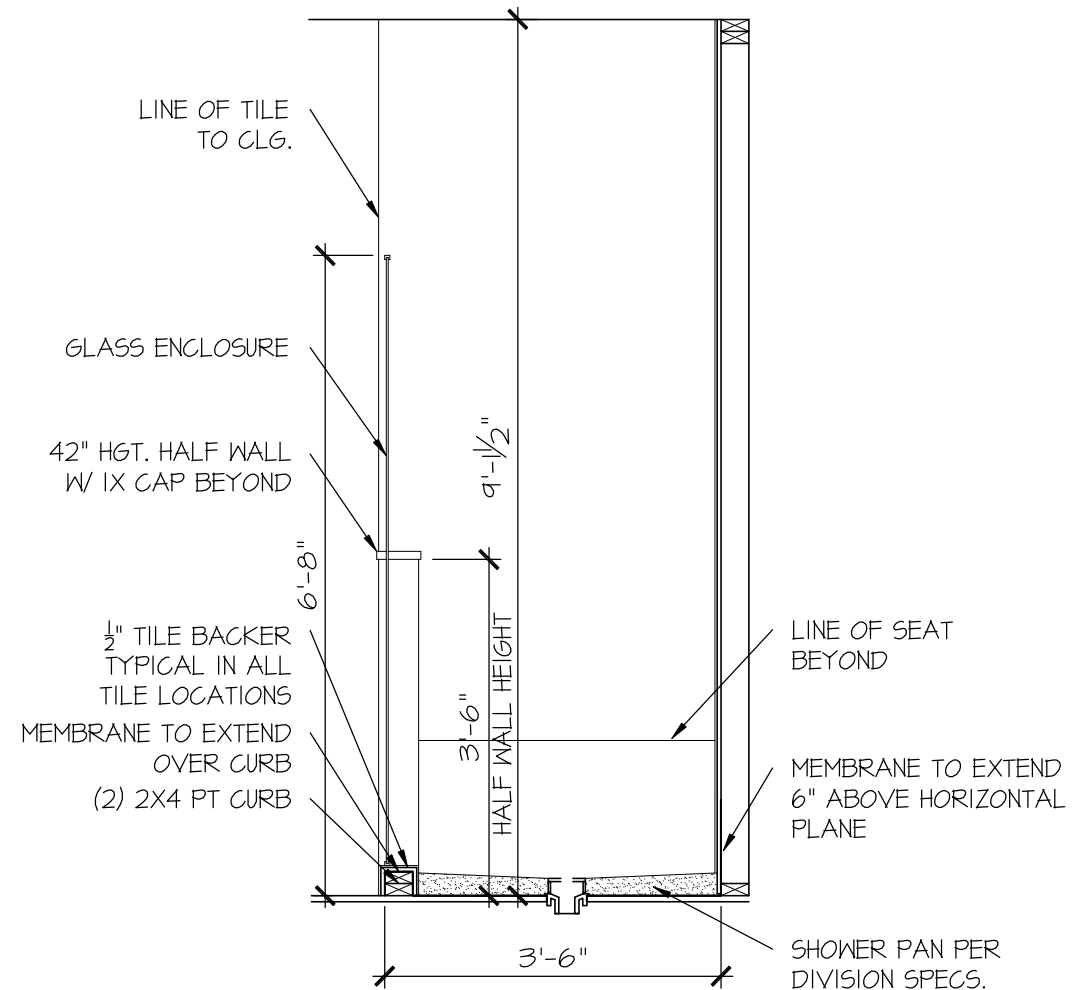


FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



RALE TILE SHOWER
SECTION B

SCALE: 1/2" = 1'-0"



RALE TILE SHOWER
SECTION C

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL

SHEET No.

01.12



126-22076

Project mgr: JTR
Drawn by: GTK
Issue date: 06-05-25

Initial: _____








FOUNDATION PLANS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

Sheet:

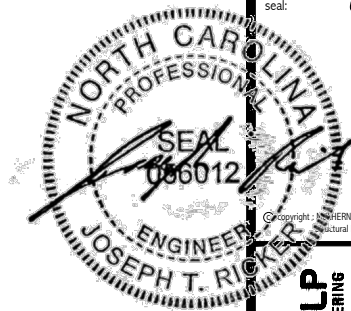
\$1.0



LEGEND

-  INTERIOR BEARING WALL
 -  BEARING WALL ABOVE
 -  BEAM / HEADER
 -  INDICATES SHEAR WALL & EXTENT
 -  EXTENT OF OVERFRAMING
- ⌋ L METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



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NC LICENSE #C-3825

M&K project number:
126-22076

project mgr: JTR
drawn by: GTK
issue date: 06-05-25

REVISIONS:
date: initial:

ALTERNATE F.J. MANUFACTURERS

• FLOOR JOISTS BY MANUFACTURER'S OTHER THAN THOSE SHOWN ON PLAN SHALL CONFORM TO THE APA PERFORMANCE RELATED I-JOISTS DESIGN AND CONSTRUCTION GUIDE. MINIMUM JOIST PROPERTIES INCLUDING, BUT NOT LIMITED TO, ALLOWABLE SHEAR, ALLOWABLE MOMENT, STRENGTH, AND STIFFNESS, SHALL MEET OR EXCEED THOSE LISTED FOR THE PRI-60 SERIES I-JOISTS. ALL ALLOWABLE HOLES, BEARING STIFFENERS, AND JOIST TO JOIST CONNECTIONS ARE PER THE JOIST MANUFACTURER.

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL. OPTION	PSL. OPTION	LSL. OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x11 1/8" - H	3/2"x11 1/8" - H	(2)3/4"x11 1/8" - H	(2)2x12 + (1) 1/2"x11 1/8" STEEL FLITCH PLATE - H	N/A
001A	(2)3/4"x11 1/8" - H	3/2"x11 1/8" - H	(2)3/4"x11 1/8" - H	(2)2x12 + (1) 1/2"x11 1/8" STEEL FLITCH PLATE - H	N/A
002	(2)3/4"x10" - FT	5/4"x10" - FT	N/A	(3)2x12 + (2) 1/2"x10" STEEL FLITCH PLATES - FB	W12x14 - F
003	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/2"x14" STEEL FLITCH PLATE - FB	W12x14 - F
004	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/2"x14" STEEL FLITCH PLATE - FB	W12x14 - F
005	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/2"x14" STEEL FLITCH PLATE - FB	W12x14 - F
006	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/2"x14" STEEL FLITCH PLATE - FB	W12x14 - F
007	(2)3/4"x11 1/8" - F	3/2"x11 1/8" - F	(2)3/4"x11 1/8" - F	(2)2x12 + (1) 1/2"x11 1/8" STEEL FLITCH PLATE - F	W10x12 - F
008	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/2"x14" STEEL FLITCH PLATE - FB	W12x14 - F
009	(3)3/4"x10" - FT	5/4"x10" - FT	N/A	(4)2x12 + (3) 1/2"x10" STEEL FLITCH PLATES - FB	W12x26 - F
010	(3)3/4"x20" - FT	5/4"x20" - FT	N/A	(4)2x12 + (3) 1/2"x20" STEEL FLITCH PLATES - FB	W12x35 - F
011	(2)3/4"x11 1/8" - FB	3/2"x11 1/8" - FB	(2)3/4"x14" - FB	(2)2x12 + (1) 1/2"x11 1/8" STEEL FLITCH PLATE - FB	W10x12 - FB

- BEAM NOTATION:
- "F" INDICATES FLUSH BEAM
- "FT" INDICATES FLUSH TOP BEAM
- "FB" INDICATES FLUSH BOTTOM BEAM
- "D" INDICATES DROPPED BEAM
- "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
• REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
• FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
• FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

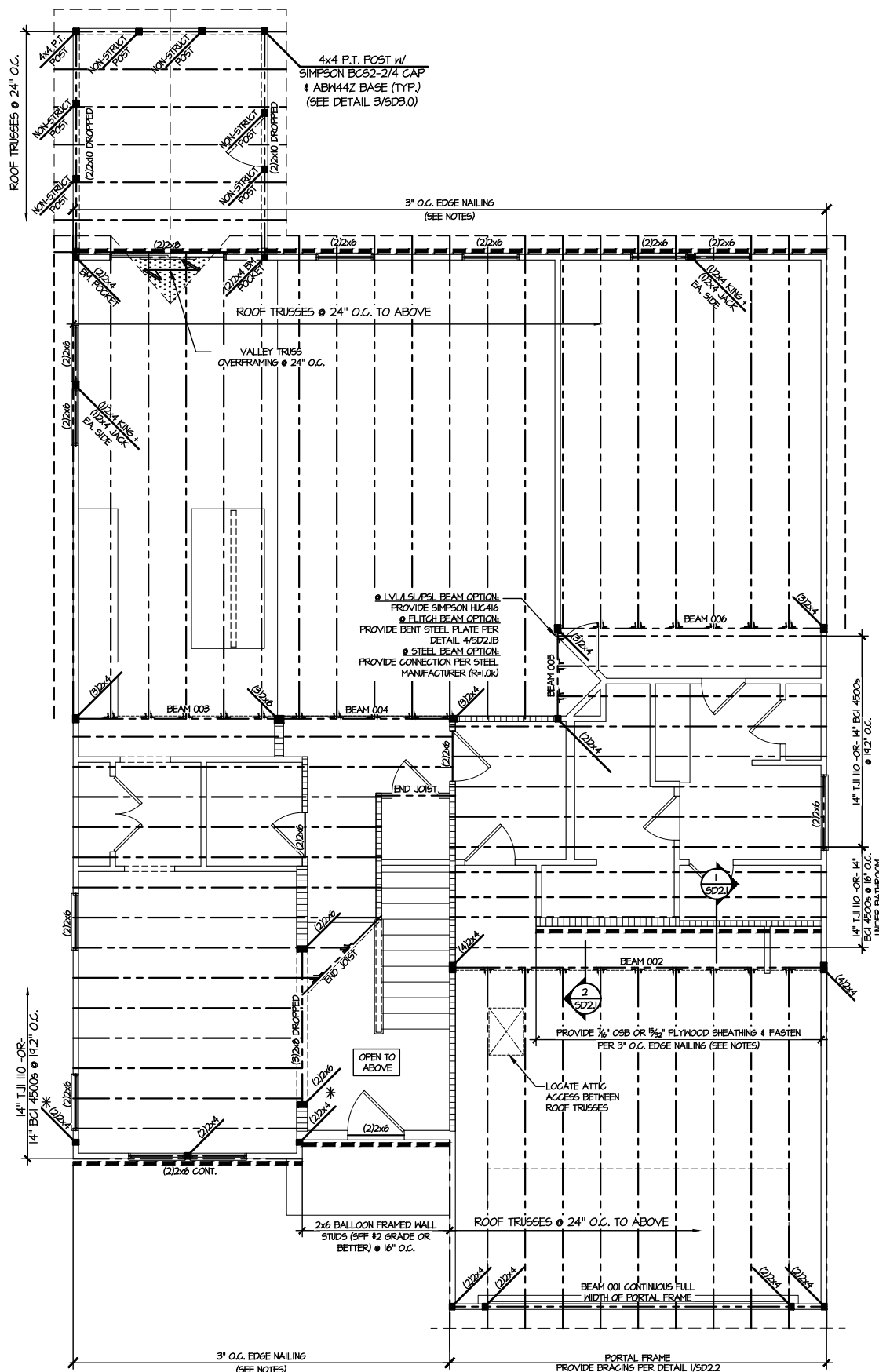
2ND FLOOR FRAMING PLAN

SCALE: 1/8"=1'-0"

LEGEND

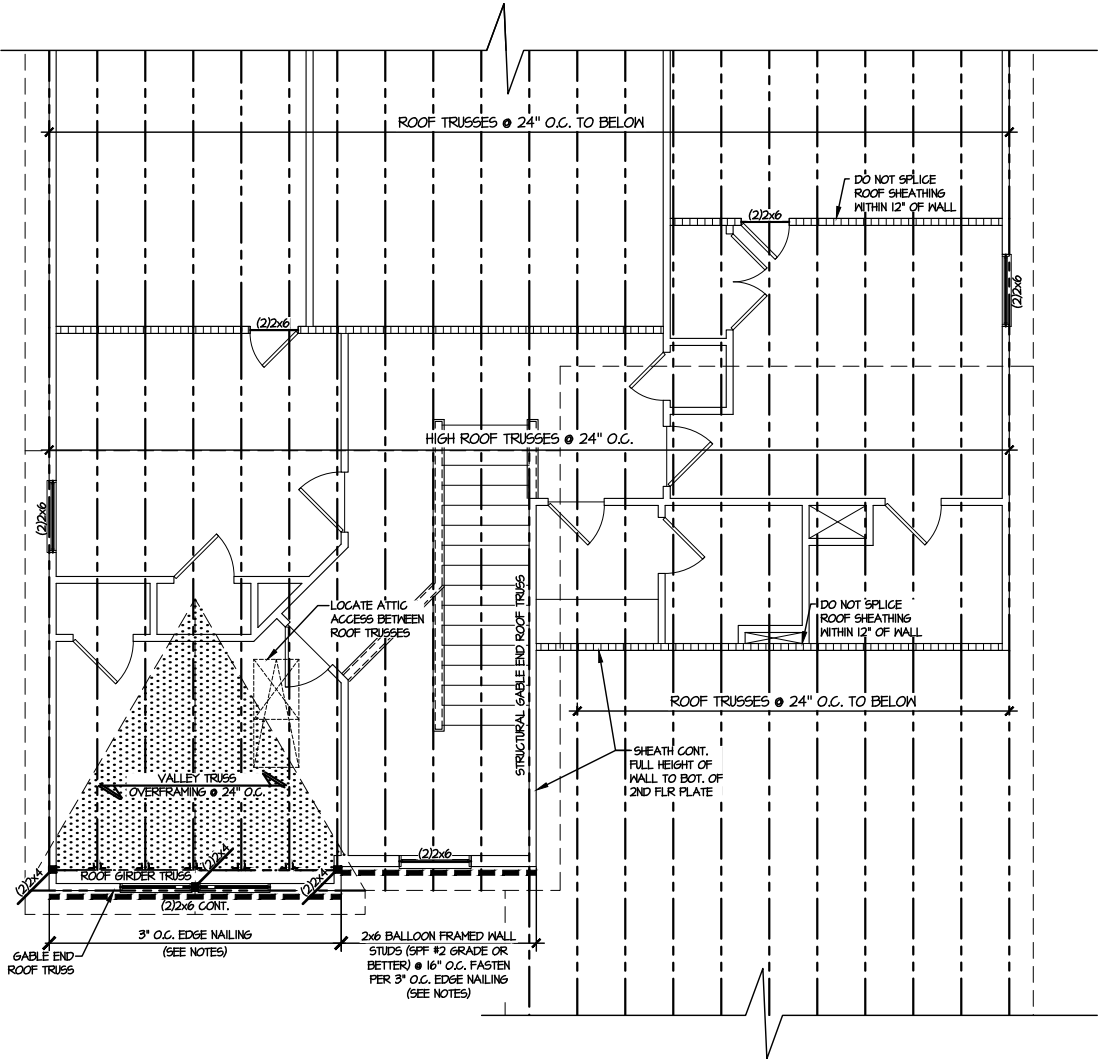
- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- 1L METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

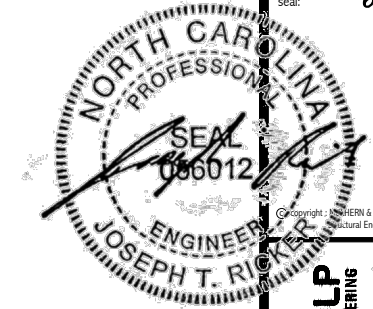


FLOOR FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

sheet:
S2.0



1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"



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M&K project number:
126-22076
project mgr: JTR
drawn by: GTK
issue date: 06-05-25

REVISIONS:
date: initial:

DRB
HOMES

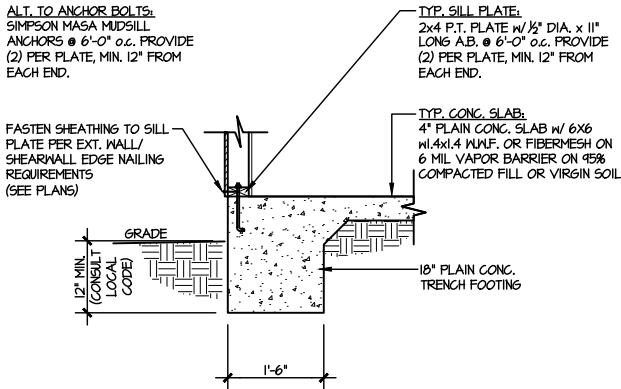
ROOF FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

sheet:
S3.0

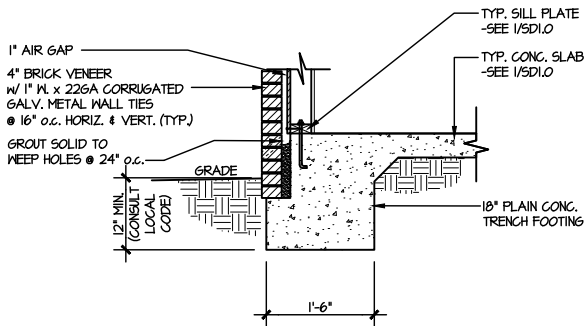
LEGEND

- [Pattern] INTERIOR BEARING WALL
- [Pattern] BEARING WALL ABOVE
- [Pattern] BEAM / HEADER
- [Pattern] INDICATES SHEAR WALL & EXTENT
- [Pattern] EXTENT OF OVERFRAMING
- [Symbol] J.L. METAL HANGER
- [Symbol] * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- [Symbol] INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

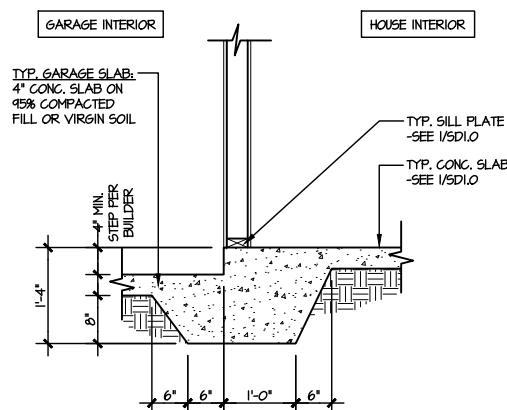
REFER TO S0.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



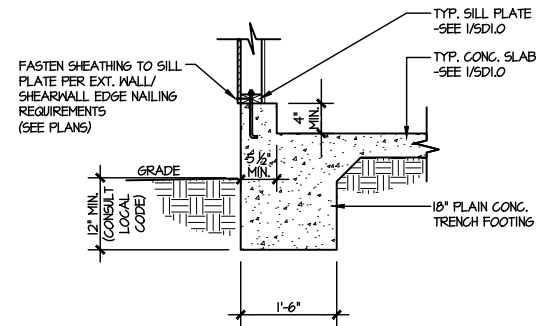
1 TYPICAL SLAB ON GRADE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



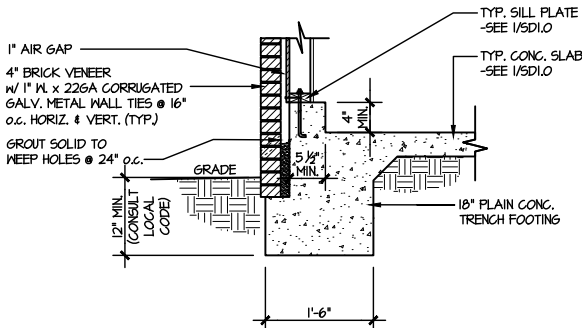
2 TYPICAL SLAB ON GRADE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



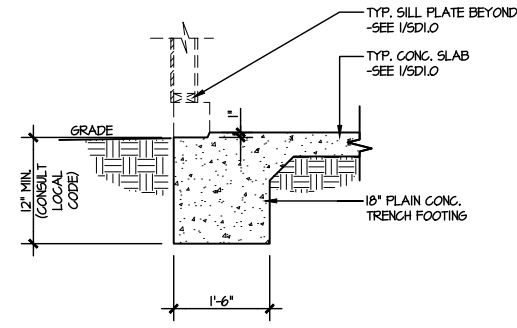
3 TYPICAL MONOLITHIC INTERIOR
GARAGE FOOTING
SCALE: 3/8"=1'-0"



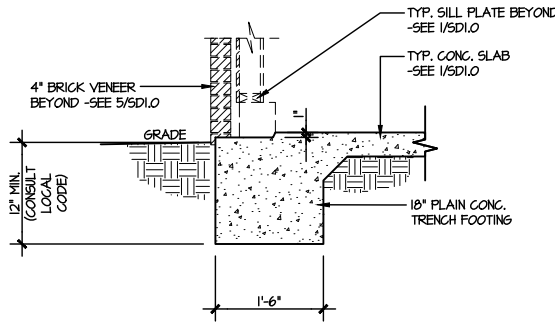
4 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



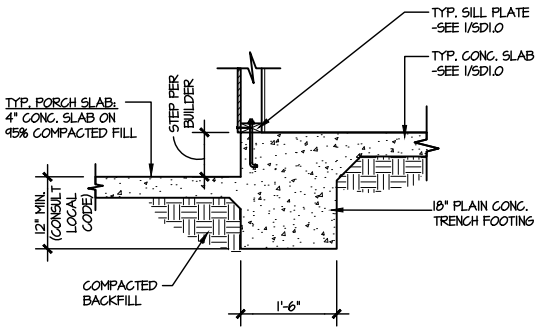
5 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



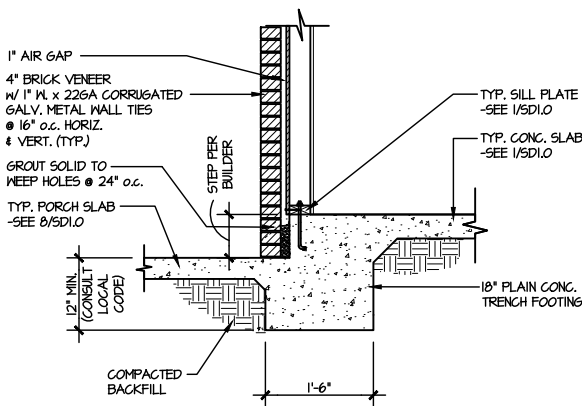
6 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



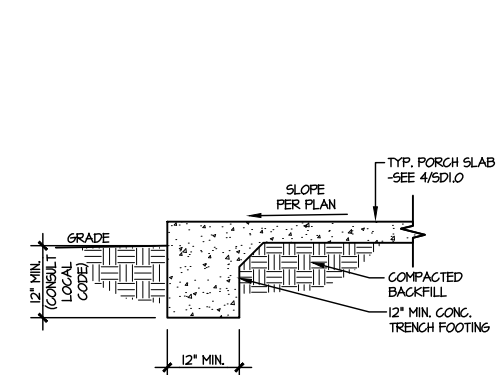
7 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



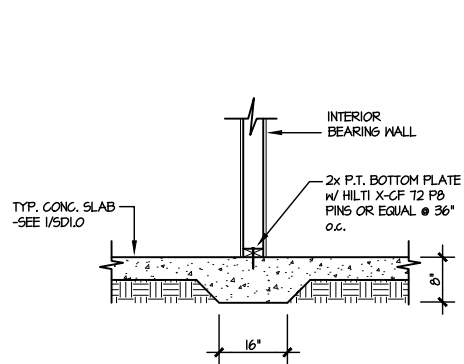
8 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO
SCALE: 3/8"=1'-0"



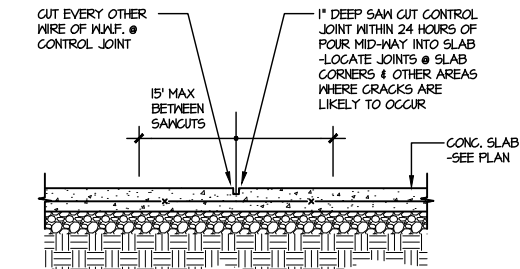
9 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO
SCALE: 3/8"=1'-0"



10 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



11 TYPICAL THICKENED SLAB @
INTERIOR BEARING WALL
SCALE: 3/8"=1'-0"

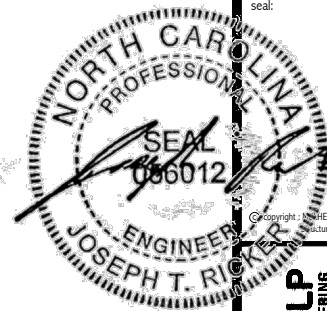


A TYPICAL CONTROL JOINT
SCALE: 3/8"=1'-0"

LOCATE @ 15'-0" o.c. MAX.
OR CORNERS WHERE CRACKS
LIKELY TO DEVELOP

LETTERED DETAILS ARE TYPICAL FOR
THIS HOME & SHALL BE IMPLEMENTED IN
ALL APPLICABLE AREAS. THESE
DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN
SPECIFIC AND ARE ONLY REQUIRED
WHERE SPECIFICALLY INDICATED
("CUT") ON THE PLANS.



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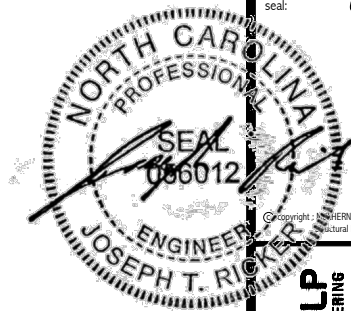
M&K project number:
126-22076
project mgr: JTR
drawn by: GTK
issue date: 06-05-25

REVISIONS:
date: initial:

DRB
HOMES

FOUNDATION DETAILS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

sheet:
SD1.0



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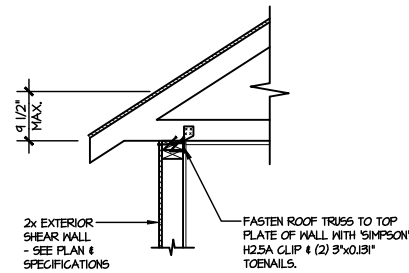
M&K project number:
126-22076
project mgr: JTR
drawn by: GTK
issue date: 06-05-25

REVISIONS:
date: initial:

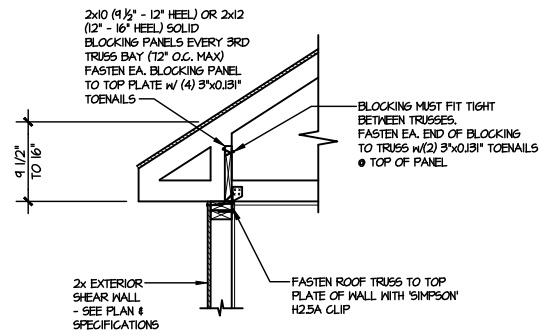
DRB
HOMES

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

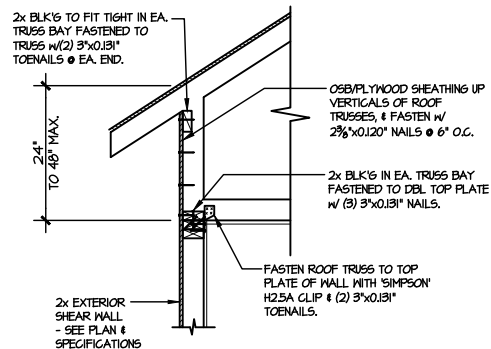
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SD2.0



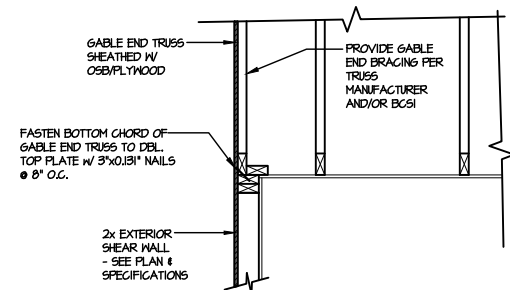
AI **TYPICAL SHEAR
TRANSFER DETAIL @ ROOF**
SCALE: 3/8"=1'-0" HEEL HEIGHT LESS THAN 9 1/2"
NO BLOCKING REQ'D



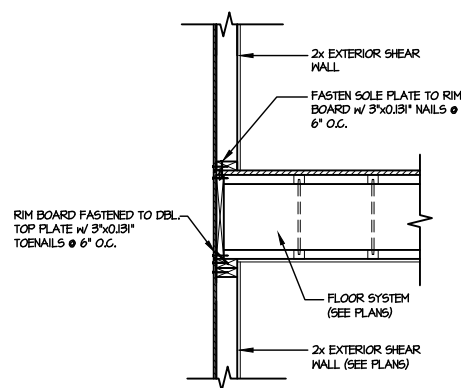
A2 **TYPICAL SHEAR
TRANSFER DETAIL @ ROOF**
SCALE: 3/8"=1'-0" HEEL HEIGHT BETWEEN 9 1/2" - 16"
BLOCKING REQ'D



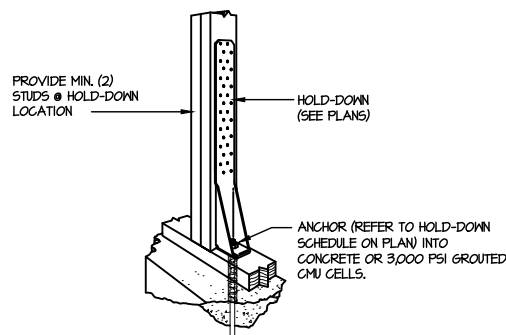
A3 **TYPICAL SHEAR TRANSFER
DETAIL @ RAISED HEEL TRUSS**
SCALE: 3/8"=1'-0" HEEL HEIGHT UP TO 48" MAX.



B **TYPICAL GABLE END DETAIL**
SCALE: 3/8"=1'-0"



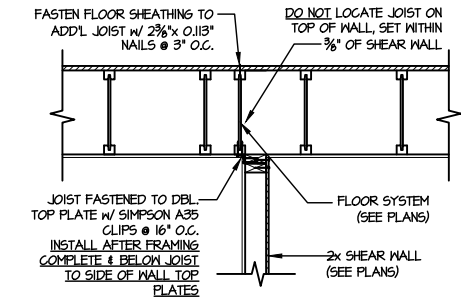
C **TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL**
SCALE: 3/8"=1'-0"



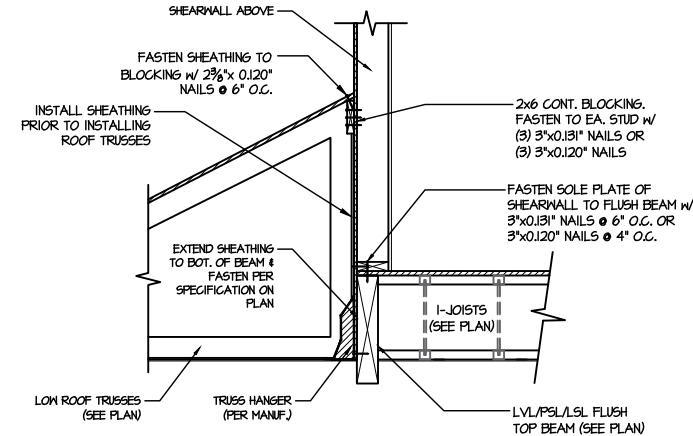
FI **TYPICAL HOLD DOWN INSTALLATION**
SCALE: N.T.S.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

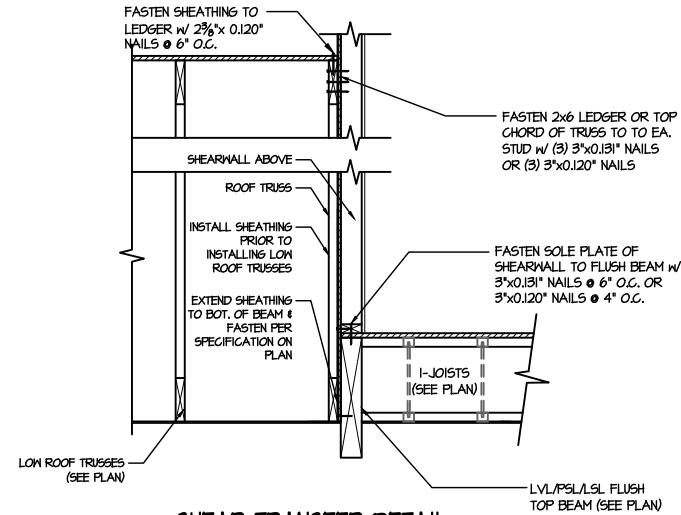
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



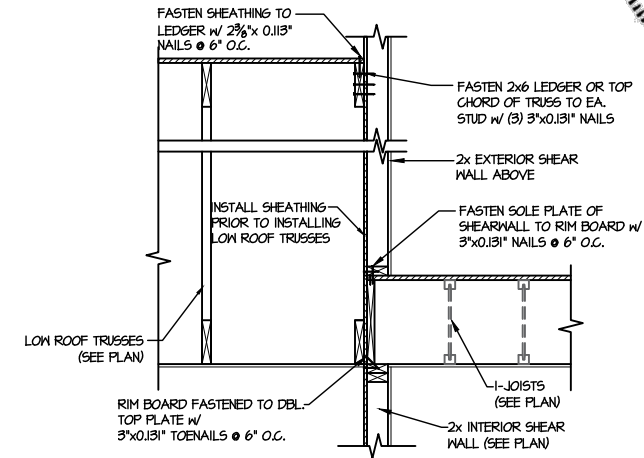
1 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0" PARALLEL TO FRAMING
ONLY READ WHERE NOTED ON PLAN



2 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"

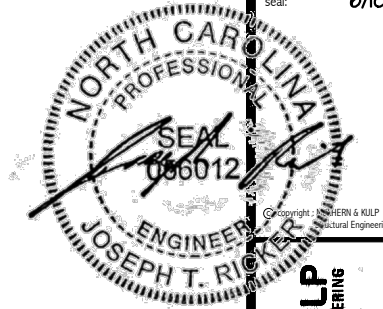


3 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



4 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

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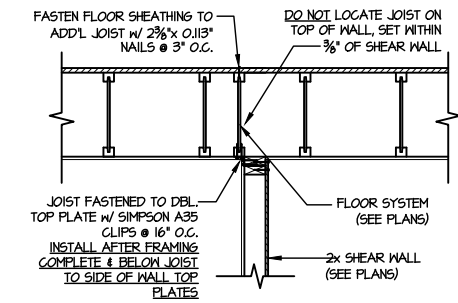
M&K project number:
126-22076
project mgr: JTR
drawn by: GTK
issue date: 06-05-25

REVISIONS:	
date:	initial:

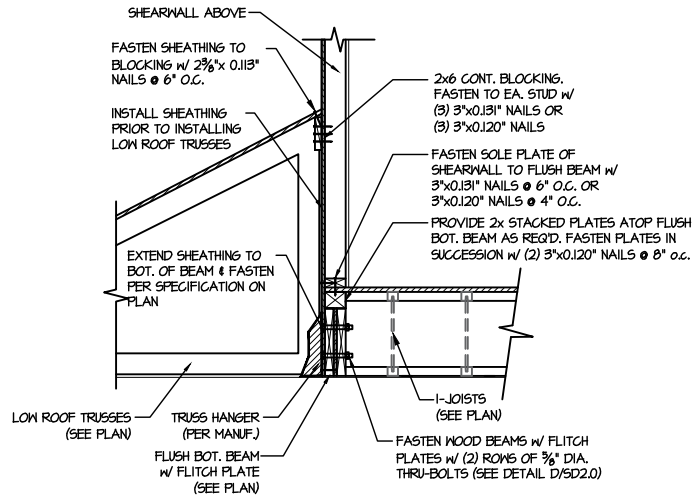


FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

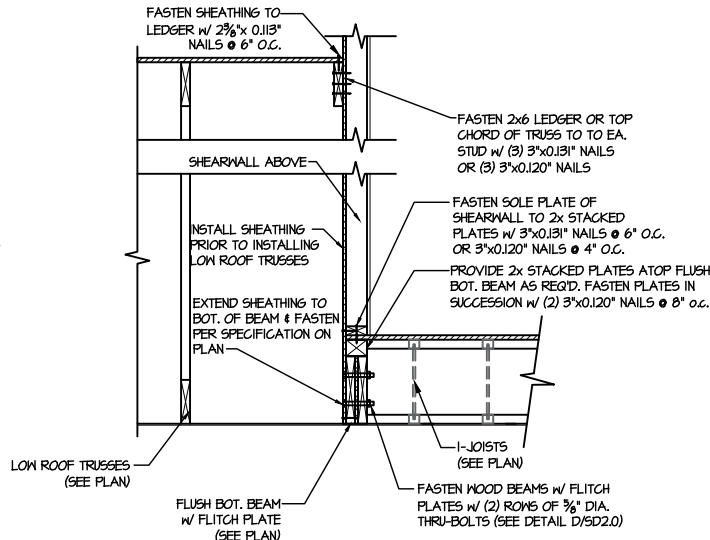
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SD2.1A



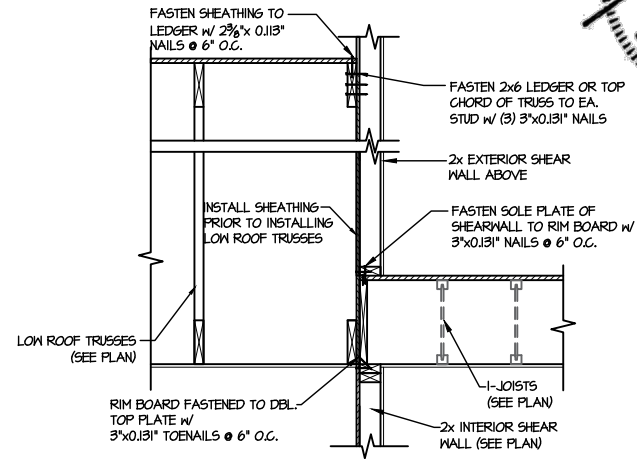
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"
PARALLEL TO FRAMING
ONLY REQ'D WHERE NOTED ON PLAN



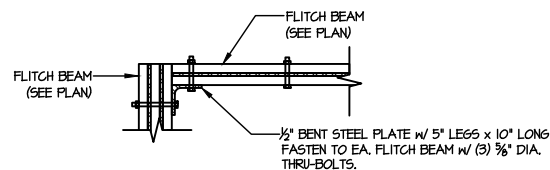
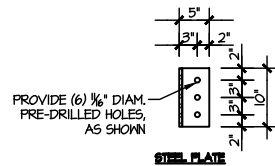
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



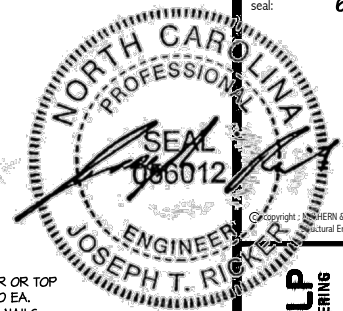
3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



4 TYPICAL FLITCH BEAM TO FLITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



6/10/25

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
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NC LICENSE #C-3825

MGX project number:
126-22076
project mgr: JTR
drawn by: GTK
issue date: 06-05-25

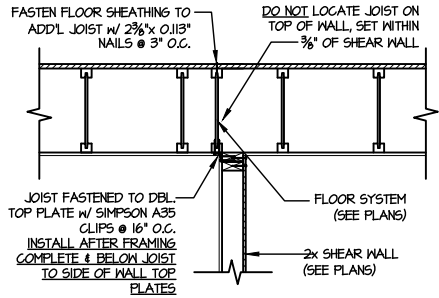
REVISIONS:
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DRB
HOMES

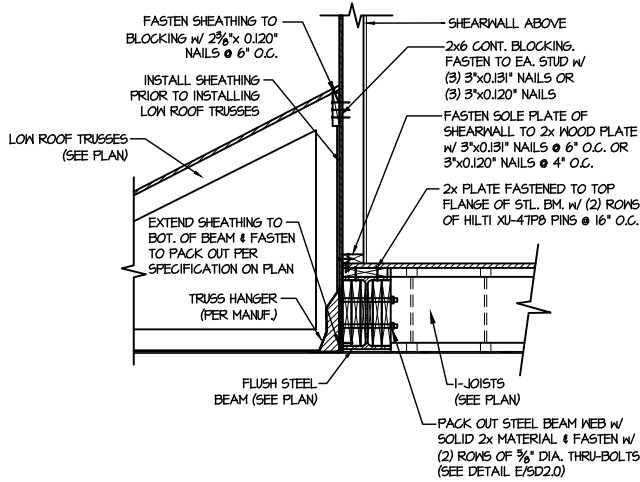
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FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

sheet:

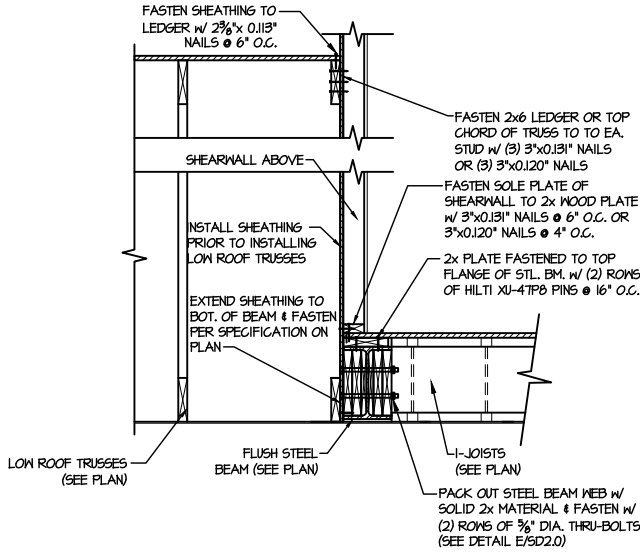
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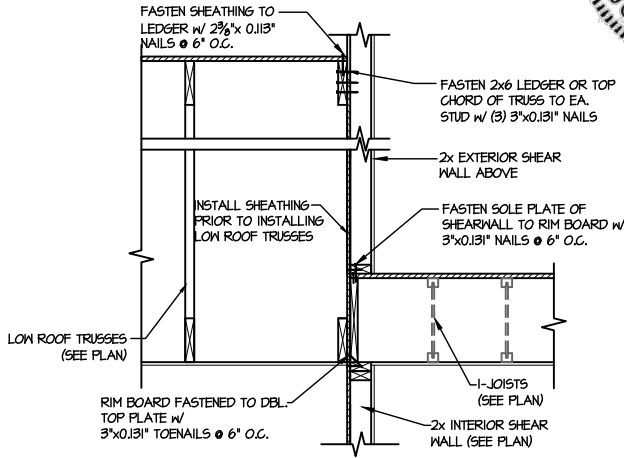
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"
PARALLEL TO FRAMING
ONLY REQ'D WHERE NOTED ON PLAN



2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



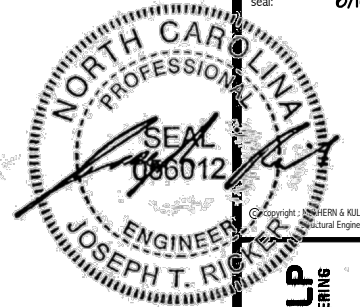
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

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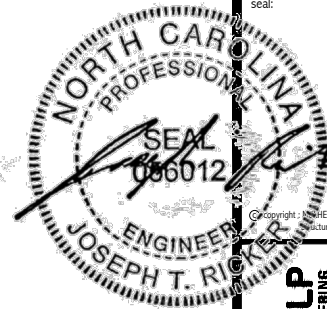
M&K project number: 126-22076
project mgr: JTR
drawn by: GTK
issue date: 06-05-25

REVISIONS:	
date:	initial:



FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

sheet: SD2.1C



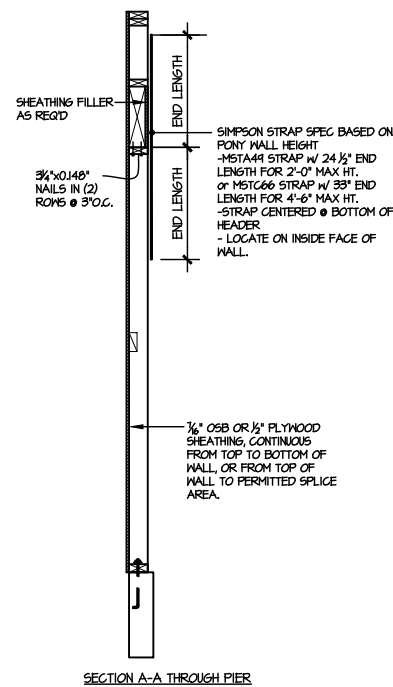
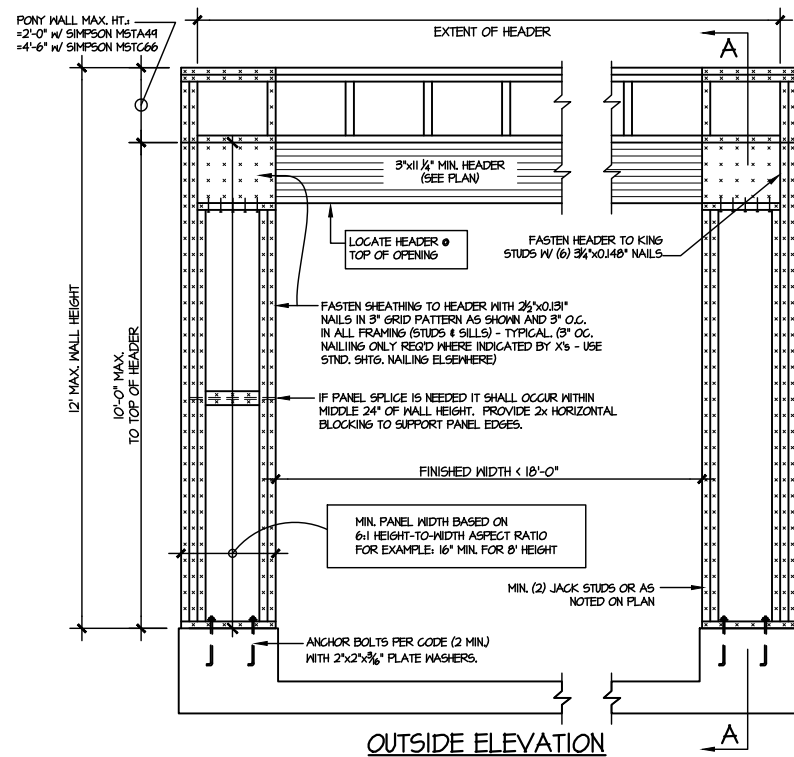
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126-22076
project mgr: JTR
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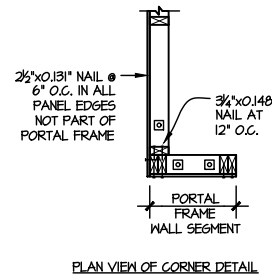


FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

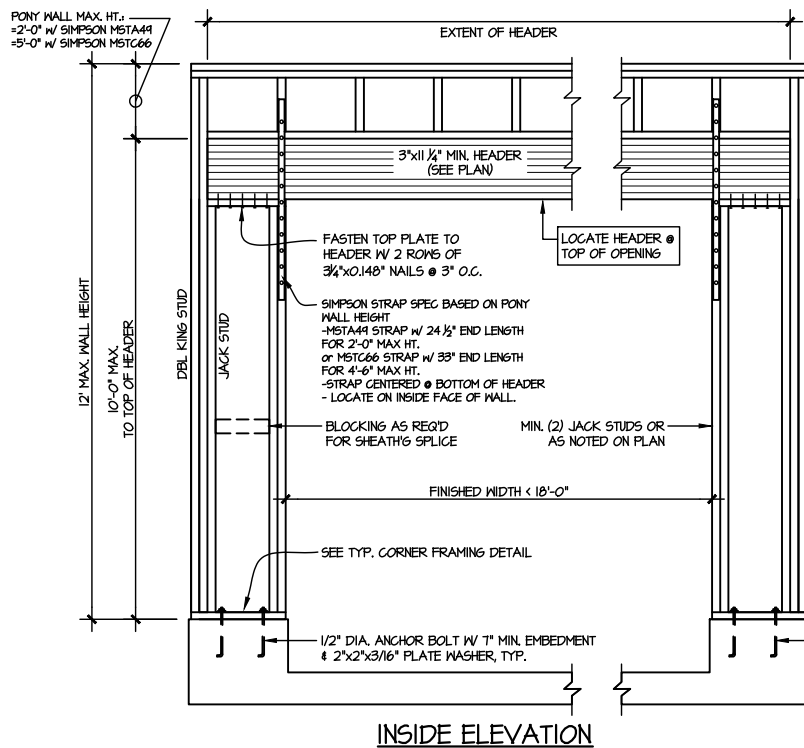
sheet:
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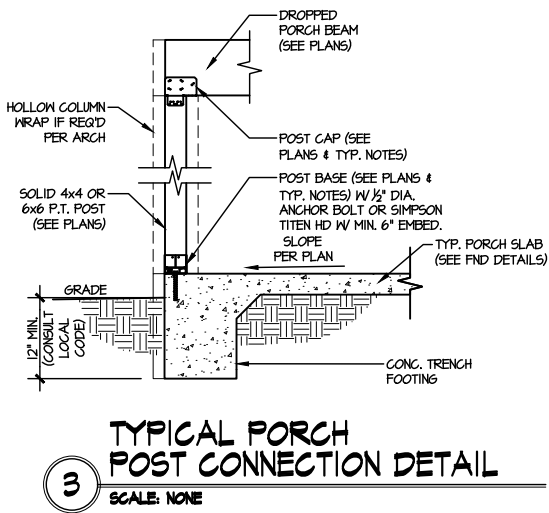
NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/2" OSB



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET
w/ 1/4" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)



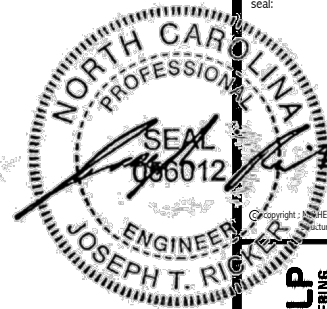
TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CONCRETE STEM
SCALE: N.T.S.



3 **TYPICAL PORCH POST CONNECTION DETAIL**
SCALE: NONE

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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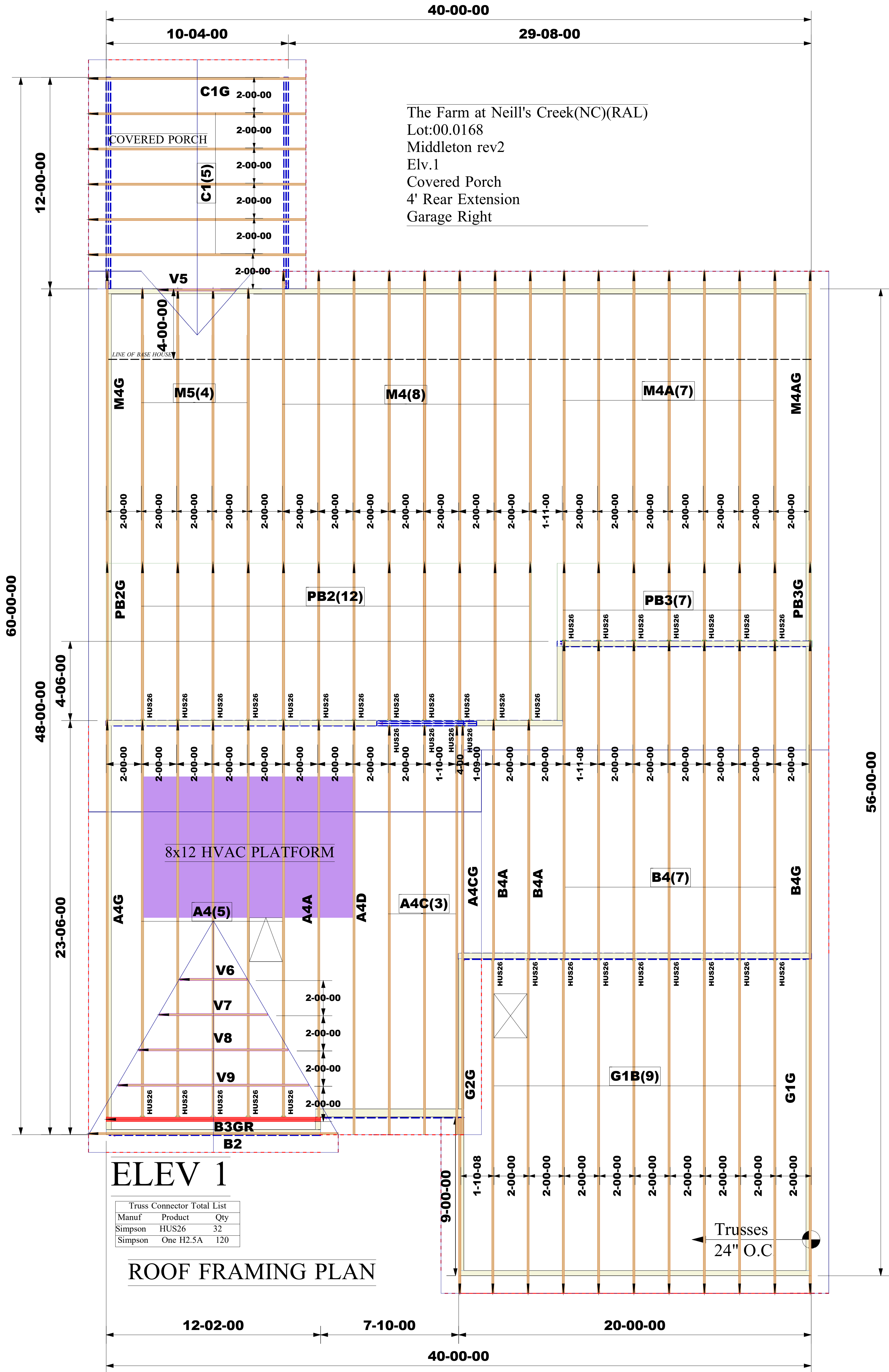
REVISIONS:
date: initial:



FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 168 - MIDDLETON 1
RALEIGH, NC

sheet:
SD3.0





Job #:

2505-7828

Designer:

Rajkumar yadav

Sales Rep:

Robbie Zarobinski

WARNING:

CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINION DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION.

TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

NOTE:

IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.

THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.

Customer: DRB Raleigh

Job Name: The Farm at Neill's Creek Lot 00.0168 ROOF

Lot #: 00.0168

Model Name: MIDDLETON



Structural, LLC
201 Poplar Avenue
Thurmont, MD 21788
Phone: 301-271-7591

