

ADDRESS: 228 SHELBY MEADOW LANE

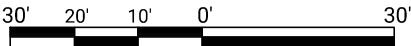
MAP BOOK 2023, PG'S 248-249

PIN#: 0663-61-8613

AREA: 25,005 S.F. ~ 0.574 ACRES

SITE DATA TABLE:	
ZONING:	RA-30
ZONING CONDITIONS:	RESIDENTIAL
OVERLAY DISTRICT:	SINGLE FAMILY
CURRENT USE:	VACANT

Line	Bearing	Distance
L1	S 46°35'08" E	17.12'



GRAPHIC SCALE: 1" = 30'

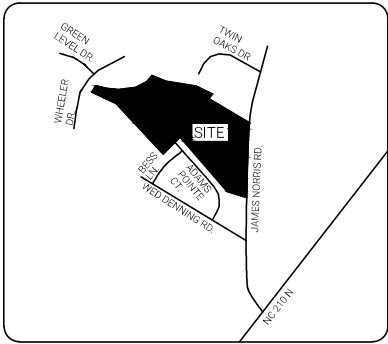
DEVELOPER:

DRB GROUP

1101 Slater Rd. Suite 300

Durham, NC 27703

984- 204-1379



VICINITY MAP - NTS

BUILDING SETBACKS:

FRONT	35'
SIDE	10'
CORNER	20'
REAR	25'

MAX BLDG HGT

35'

IMPERVIOUS CALCULATIONS:

MAX IMP %	36 %
LOT AREA	25,005 SF
MAX IMP AREA	9,001 SF
PROPOSED AREAS:	
SLAB (HOUSE/POR)	2,594 SF
DECK/PAT/AC	9 SF
DRIVE/WALK	1,134 SF
TOTAL IMP	3,737 SF

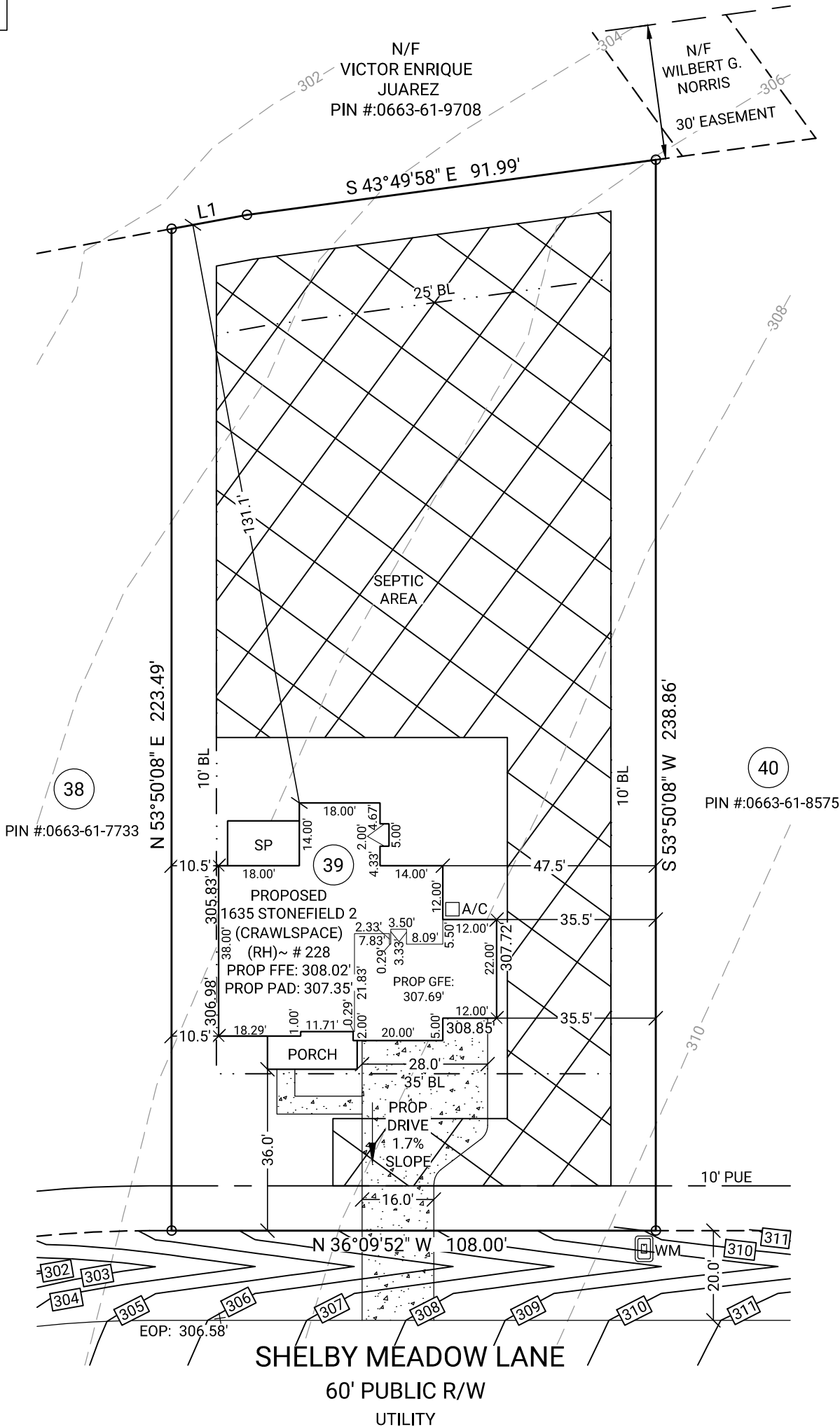
FRONT YARD COVERAGE:

YARD	6,872 SF
FLATWORK	1,454 SF
COVERAGE	21.1 %

BUILDER CALCULATIONS:

ON LOT FLATWORK	1,143 SF
R/W FLATWORK	320 SF
SOD ON LOT	21,268 SF
SEED/STRAW ON LOT	24,329 SF
SOD OFF LOT	1,840 SF

FLOOD NOTE: This property lies within flood zone "X" according to FEMA FIRM# 3720066200J, effective on 10/3/2006.



LEGEND	
BL	Building Line
PDE	Private Drainage Easement
FFE	Finished Floor Elevation
A/C	Air Conditioning
WV	Water Valve
R/W	Right of Way
SP	Screened Porch
FPE	Finished Pad Elevation
EP	Electric Pedestral
TP	Telephone Pedestal
PB	Power Box

WM	Water Meter
TBD	To Be Determined
FH	Fire Hydrant
PAT	Patio
PUE	Public Utility Easement
GBL	Garage Building Line
TP	Telephone Pedestal
CP	Covered Patio
PROP	Proposed
N/F	Now or Formerly
TBOX	Telephone Box
CATV	Cable TV

GFE	Garage Floor Elevation
DE	Drainage Easement
PIN	Parcel Identification Number
HGT	Height
AVG	Average
FY	Front Yard
IMP	Impervious
NTS	Not to Scale
P.999	Proposed Grade
999	Existing Grade
	Front Grassed Area

HOUSE PLAN INFO (FOR CLIENT USE)

PLAN NAME: _____
STORIES: ____ FOUNDATION: ☐SLAB ☐CRAWL ☐BSMT
FACADE: ☐VINYL ☐HARDY ☐BRICK ☐STONE ☐OTHER
PLAN OPTIONS: _____
SLAB SF: ____ TOTAL SF: ____ MEAN HEIGHT: ____

GENERAL NOTES: No field work has been performed. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

SUB: Honeycutt Hills
LOT: 39
Angier, Harnett County, North Carolina

SITE PLAN FOR:

DRB

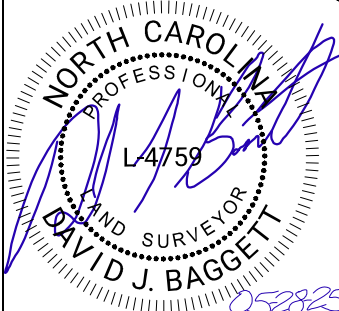
DRB GROUP OF NORTH CAROLINA, LLC.

PLAT DATE: 05/28/2025
20250510968 DRB_RAL FC: N/A



C+C BUILDING SOLUTIONS
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:
1735 North Brown Road, Suite 400
Lawrenceville, GA 30043
866.637.1048
FIRM LICENSE: F-1461



REVISION CHART

1	05/22/25	SITE PLAN
2	05/28/25	HOUSE MOVE
3	00/00/25	--
4	00/00/25	--
5	00/00/25	--
6	00/00/25	--
7	00/00/25	--
8	00/00/25	--
9	00/00/25	--