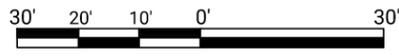


ADDRESS: 228 SHELBY MEADOW LANE

MAP BOOK 2023, PG'S 248-249

PIN#: 0663-61-8613

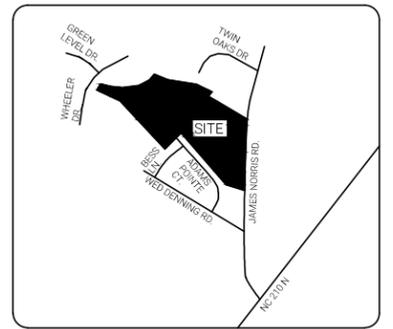
AREA: 25,005 S.F. ~ 0.574 ACRES



GRAPHIC SCALE: 1" = 30'

DEVELOPER:
DRB GROUP

1101 Slater Rd. Suite 300
Durham, NC 27703
984-204-1379



VICINITY MAP - NTS

SITE DATA TABLE:

ZONING:	RA-30
ZONING CONDITIONS:	RESIDENTIAL
OVERLAY DISTRICT:	SINGLE FAMILY
CURRENT USE:	VACANT

Line	Bearing	Distance
L1	S 46°35'08" E	17.12'

BUILDING SETBACKS:

FRONT	35'
SIDE	10'
CORNER	20'
REAR	25'
MAX BLDG HGT	35'

IMPERVIOUS CALCULATIONS:

MAX IMP %	36 %
LOT AREA	25,005 SF
MAX IMP AREA	9,001 SF
PROPOSED AREAS:	
SLAB (HOUSE/POR)	2,594 SF
DECK/PAT/AC	9 SF
DRIVE/WALK	1,134 SF
TOTAL IMP	3,737 SF

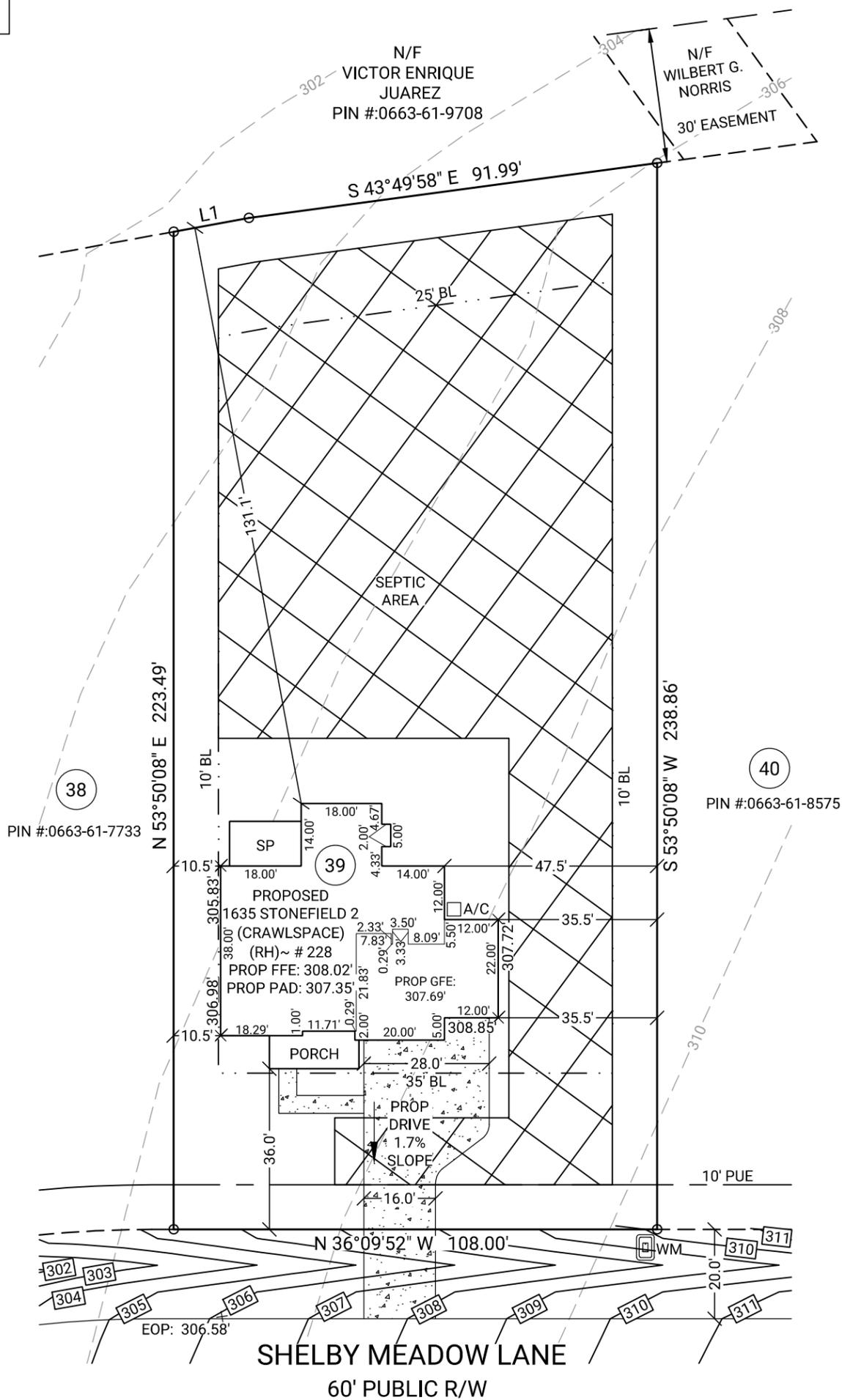
FRONT YARD COVERAGE:

YARD	6,872 SF
FLATWORK	1,454 SF
COVERAGE	21.1 %

BUILDER CALCULATIONS:

ON LOT FLATWORK	1,143 SF
R/W FLATWORK	320 SF
SOD ON LOT	21,268 SF
SEED/STRAW ON LOT	24,329 SF
SOD OFF LOT	1,840 SF

FLOOD NOTE: This property lies within flood zone "X" according to FEMA FIRM# 3720066200J, effective on 10/3/2006.



LEGEND

BL	Building Line	WM	Water Meter	GFE	Garage Floor Elevation
PDE	Private Drainage Easement	TBD	To Be Determined	DE	Drainage Easement
FFE	Finished Floor Elevation	FH	Fire Hydrant	PIN	Parcel Identification Number
A/C	Air Conditioning	PAT	Patio	HGT	Height
WV	Water Valve	PUE	Public Utility Easement	AVG	Average
R/W	Right of Way	GBL	Garage Building Line	FY	Front Yard
SP	Screened Porch	TP	Telephone Pedestal	IMP	Impervious
FPE	Finished Pad Elevation	CP	Covered Patio	NTS	Not to Scale
EP	Electric Pedestal	PROP	Proposed	[P.999]	Proposed Grade
TP	Telephone Pedestal	N/F	Now or Formerly	999	Existing Grade
PB	Power Box	TBOX	Telephone Box	[Hatched]	Front Grassed Area

WM	Water Meter	GFE	Garage Floor Elevation
TBD	To Be Determined	DE	Drainage Easement
FH	Fire Hydrant	PIN	Parcel Identification Number
PAT	Patio	HGT	Height
PUE	Public Utility Easement	AVG	Average
GBL	Garage Building Line	FY	Front Yard
TP	Telephone Pedestal	IMP	Impervious
CP	Covered Patio	NTS	Not to Scale
PROP	Proposed	[P.999]	Proposed Grade
N/F	Now or Formerly	999	Existing Grade
TBOX	Telephone Box	[Hatched]	Front Grassed Area
CATV	Cable TV		

HOUSE PLAN INFO (FOR CLIENT USE)

PLAN NAME: _____

STORIES: ____ FOUNDATION: SLAB CRAWL BSMT

FACADE: VINYL HARDY BRICK STONE OTHER

PLAN OPTIONS: _____

SLAB SF: ____ TOTAL SF: ____ MEAN HEIGHT: ____

GENERAL NOTES: No field work has been performed. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

SUB: Honeycutt Hills
LOT: 39
Angier, Harnett County, North Carolina

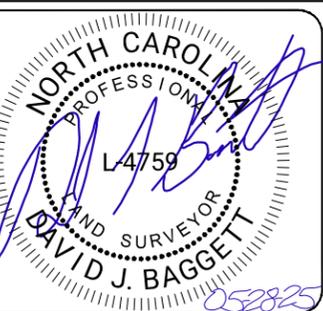
SITE PLAN FOR:

DRB
DRB GROUP OF NORTH CAROLINA, LLC.

PLAT DATE: 05/28/2025
20250510968 DRB_RAL FC: N/A

C+C BUILDING SOLUTIONS
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:
1735 North Brown Road, Suite 400
Lawrenceville, GA 30043
866.637.1048
FIRM LICENSE: F-1461



REVISION CHART

NO.	DATE	DESCRIPTION
1	05/22/25	SITE PLAN
2	05/28/25	HOUSE MOVE
3	00/00/25	--
4	00/00/25	--
5	00/00/25	--
6	00/00/25	--
7	00/00/25	--
8	00/00/25	--
9	00/00/25	--