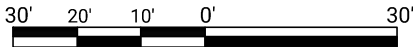


ADDRESS: 400 SHELBY MEADOW LANE

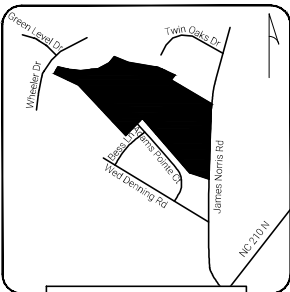
MAP BOOK 2023, PG'S 248-249

PIN#: 040672 0100 06

AREA: 25,072 S.F. ~ 0.576 ACRES



GRAPHIC SCALE: 1" = 30'



VICINITY MAP (NTS)

SITE DATA TABLE:

ZONING: RA-30
ZONING CONDITIONS: RESIDENTIAL
OVERLAY DISTRICT: SINGLE FAMILY
CURRENT USE: VACANT

BUILDING SETBACKS:

FRONT 35'
SIDE 10'
CORNER 20'
REAR 25'
MAX BLDG HGT 35'

IMPERVIOUS CALCULATIONS:

MAX IMP % 36 %
LOT AREA 25,072 SF
MAX IMP AREA 9,026 SF
PROPOSED AREAS:
SLAB (HOUSE/POR) 2,345 SF
DECK/PAT/AC 9 SF
DRIVE/WALK 1,865 SF
TOTAL IMP 4,219 SF

FRONT YARD COVERAGE:

YARD 12,971 SF
FLATWORK 1,865 SF
COVERAGE 14.4 %

BUILDER CALCULATIONS:

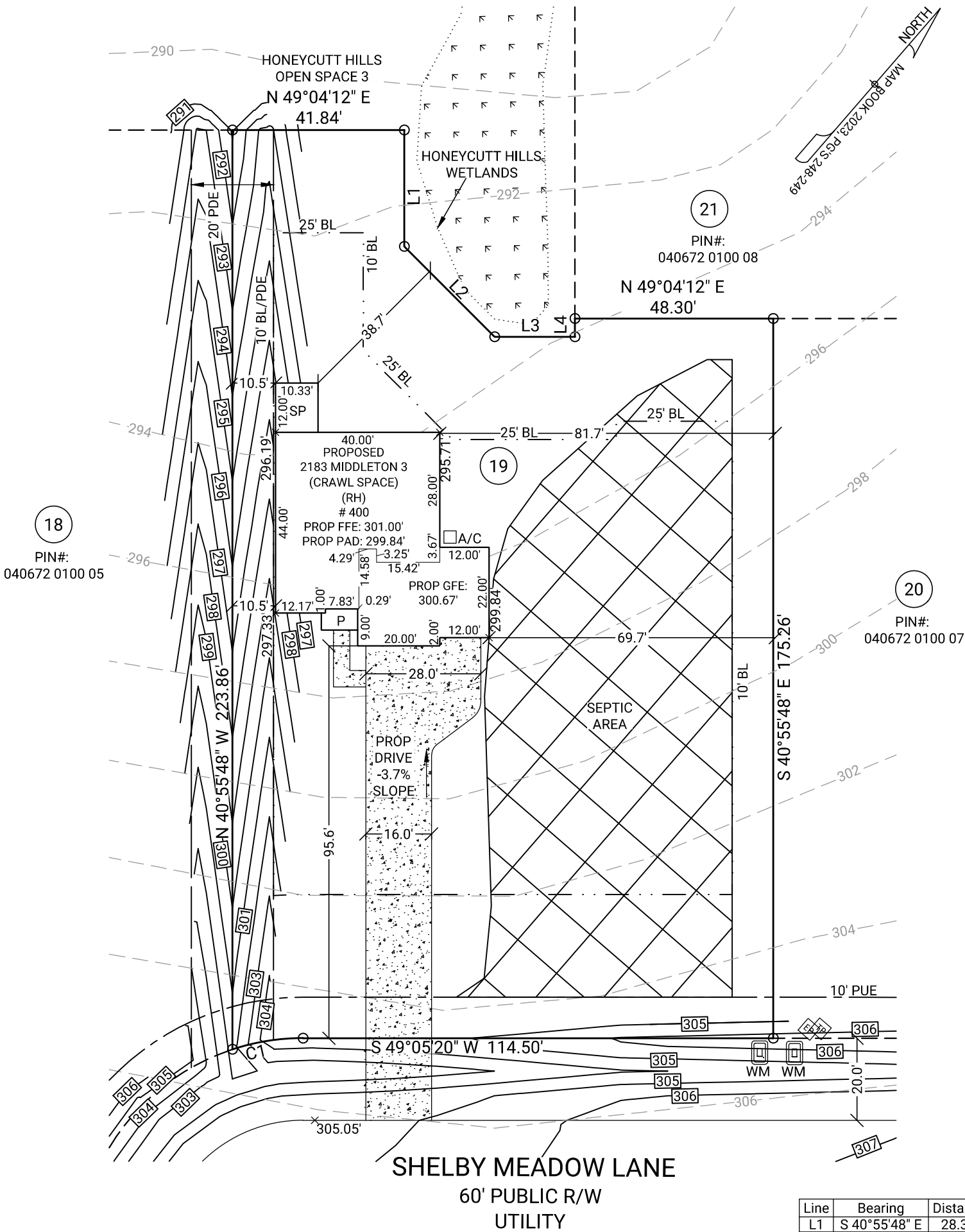
ON LOT FLATWORK 1,874 SF
R/W FLATWORK 320 SF
SOD ON LOT 15,480 SF
SEED/STRAW ON LOT 5,373 SF
SOD OFF LOT 2,323 SF

FLOOD NOTE: This property lies within flood zone "X" according to FEMA FIRM#: 3720066200J, effective on 10/03/2006.

DEVELOPER:

DRB GROUP

1101 Slater Rd. Suite 300
Durham, NC 27703
984- 204-1379



LEGEND

BL Building Line
PDE Private Drainage Easement
FFE Finished Floor Elevation
A/C Air Conditioning
CI Curb Inlet
R/W Right of Way
P Porch
EP Electric Pedestal
TP Telephone Pedestal
CO Clean Out
PD Proposed Drive

WM Water Meter
FH Fire Hydrant
PAT Patio
PUE Public Utility Easement
GBL Garage Building Line
SSMH Sanitary Sewer Manhole
SP Screened Porch
PROP Proposed
N/F Now or Formerly
TBOX Telephone Box
CATV Cable TV
GFE Garage Floor Elevation

DE Drainage Easement
MH Manhole
PIN Parcel Identification Number
HGT Height
AVG Average
FY Front Yard
IMP Impervious
NTS Not to Scale
P.999 Proposed Grade
999 Existing Grade
Front Grassed Area

Line	Bearing	Distance
L1	S 40°55'48" E	28.34'
L2	S 85°55'48" E	31.13'
L3	N 49°04'12" E	19.55'
L4	N 40°55'48" W	4.45'

Curve	Radius	Length	Chord	Chord Bearing
C1	55.00'	17.50'	17.42'	S 40°01'29" W

HOUSE PLAN INFO (FOR CLIENT USE)

PLAN NAME: _____
STORIES: _____ FOUNDATION: ☐SLAB ☐CRAWL ☐BSMT
FACADE: ☐VINYL ☐HARDY ☐BRICK ☐STONE ☐OTHER
PLAN OPTIONS: _____
SLAB SF: _____ TOTAL SF: _____ MEAN HEIGHT: _____

GENERAL NOTES: No field work has been performed. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

SUB: Honeycutt Hills
LOT: 19
Angier, Harnett County, North Carolina

SITE PLAN FOR:

DRB

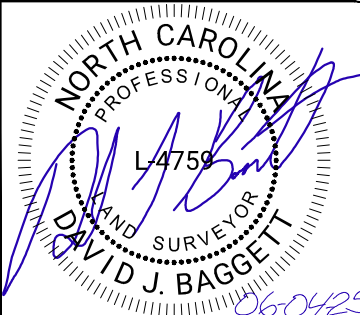
DRB GROUP OF NORTH CAROLINA, LLC.

PLAT DATE: 06/04/2025
20250601073 DRB_RAL FC: N/A



C+C BUILDING SOLUTIONS
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:
1735 North Brown Road, Suite 400
Lawrenceville, GA 30043
866.637.1048
FIRM LICENSE: F-1461



REVISION CHART

1	05/29/25	INITIAL SUBMITTAL
2	06/04/25	HOUSE MOVE