

ADDRESS: 120 ALDEN WAY

PLAT BOOK 2024, PG'S 506-510

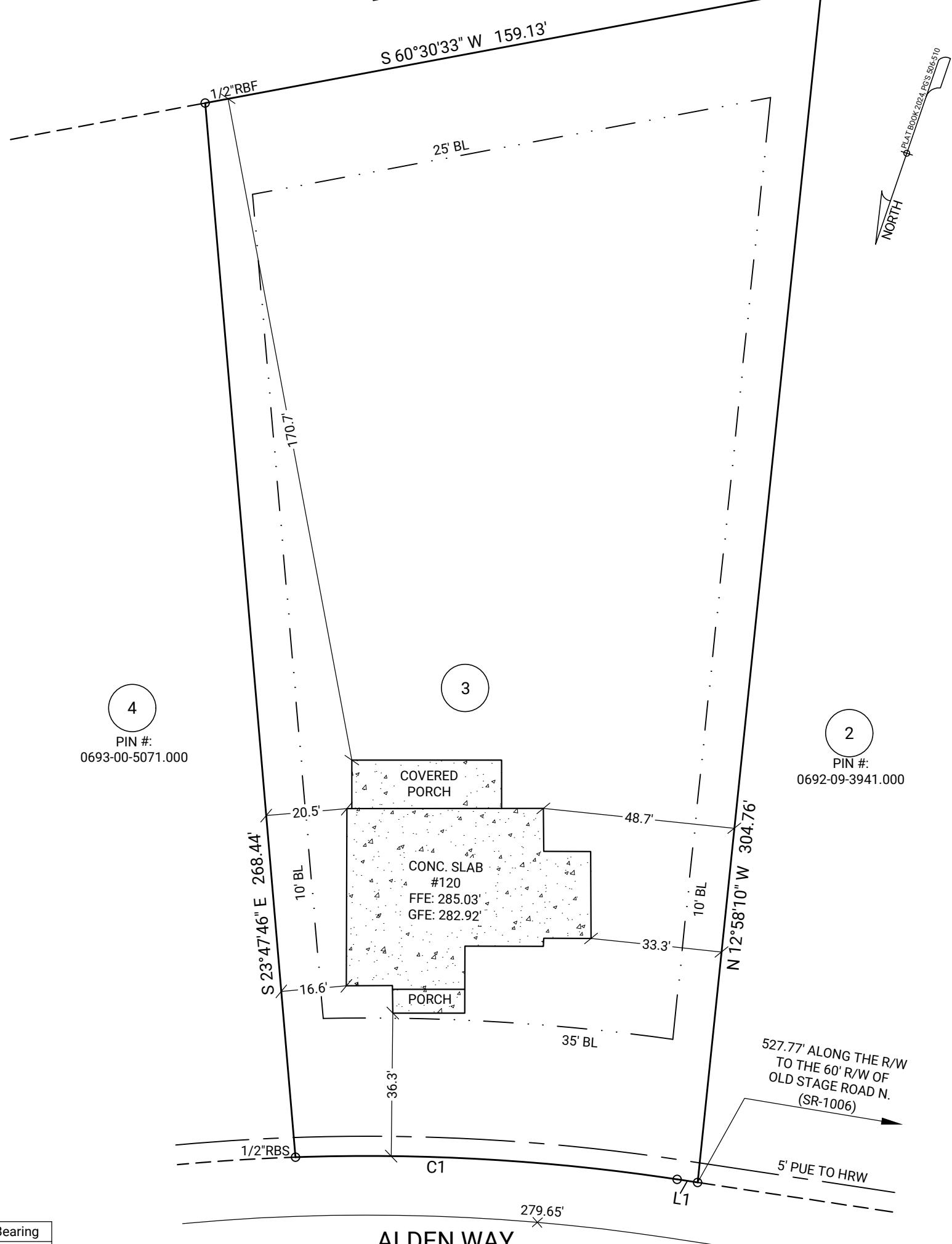
AREA: 36,649 S.F. ~ 0.841 ACRES

PIN#: 0692-09-4965.000

30' 20' 10' 0' 30'

GRAPHIC SCALE: 1" = 30'

N/F
DANNY P. WATKINS Jr. &
DEBORAH G. WATKINS
PIN#: 0692-19-1816
PID: 040692 0030
ZONING: RA-30



Line	Bearing	Distance
L1	N 79°43'46" E	5.25'

Curve	Radius	Length	Chord	Chord Bearing
C1	525.00'	97.13'	97.00'	N 74°25'45" E

LEGEND

BL	Building Line
GFE	Garage Floor Elevation
FFE	Finished Floor Elevation
PDE	Private Drainage Easement
CB	Catch Basin
R/W	Right of Way
P	Porch
CO	Clean Out
PD	Proposed Drive
WM	Water Meter
DK	Deck
PAT	Patio
GBL	Garage Building Line
BOC	Back of Curb
CP	Covered Patio
PROP	Proposed
N/F	Now or Formerly
TBOX	Telephone Box
CATV	Cable TV
DI	Drainage Inlet
PBX	Power Box

APL	Approximate Property Line
ABOC	Approximate Back of Curb
HGT	Height
AVG	Average
FY	Front Yard
IMP	Impervious
NTS	Not to Scale
P.999	Proposed Grade
999	Existing Grade
	Front Grassed Area

ALDEN WAY
50' PUBLIC R/W X
279.98' CL

I, David J. Baggett, PLS certify that this plat was drawn under my direction or supervision on the property shown and the boundaries and improvements, if any, are shown hereon. Boundaries not surveyed are shown as broken lines from information found in the referenced book(s) and page(s). this plat meets the standards of practice for land surveying in North Carolina, Title 21, Chapter 56, Rule 1600 and the error of closure does not exceed one foot per 10,000+ feet of the perimeter, nor 20 seconds times the square root of the number of angles turned. Witness my original signature, registration number and seal, this 22nd day of october, 2025 AD.

GENERAL NOTES: All matters of title are excepted. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet. The field data upon which this plat is based has a closure precision of one foot in 10,000+ feet and an angular error of 7 seconds per angle point and was adjusted using the compass rule. Equipment used: Leica TS13 Robotic Total Station.

SUB: Campbell Ridge

LOT: 3

Angier, Harnett County, North Carolina

FOUNDATION LOCATION FOR:



DRB GROUP OF NORTH CAROLINA, LLC.

PLAT DATE: 10/22/2025

FIELD WORK DATE: 10/21/2025

20251004534 DRB_RAL FC: JH



C+C BUILDING SOLUTIONS
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

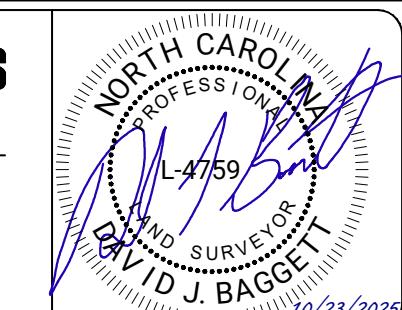
Corporate Headquarters:

1735 North Brown Road, Suite 400

Lawrenceville, GA 30043

866.637.1048

FIRM LICENSE: F-1461



REVISION CHART

1	05/28/25	SITE PLAN
2	06/02/25	ADDED SETBACK BOX
3	10/22/25	FOUNDATION
4	00/00/24	--
5	00/00/24	--
6	00/00/24	--
7	00/00/24	--
8	00/00/24	--
9	00/00/24	--