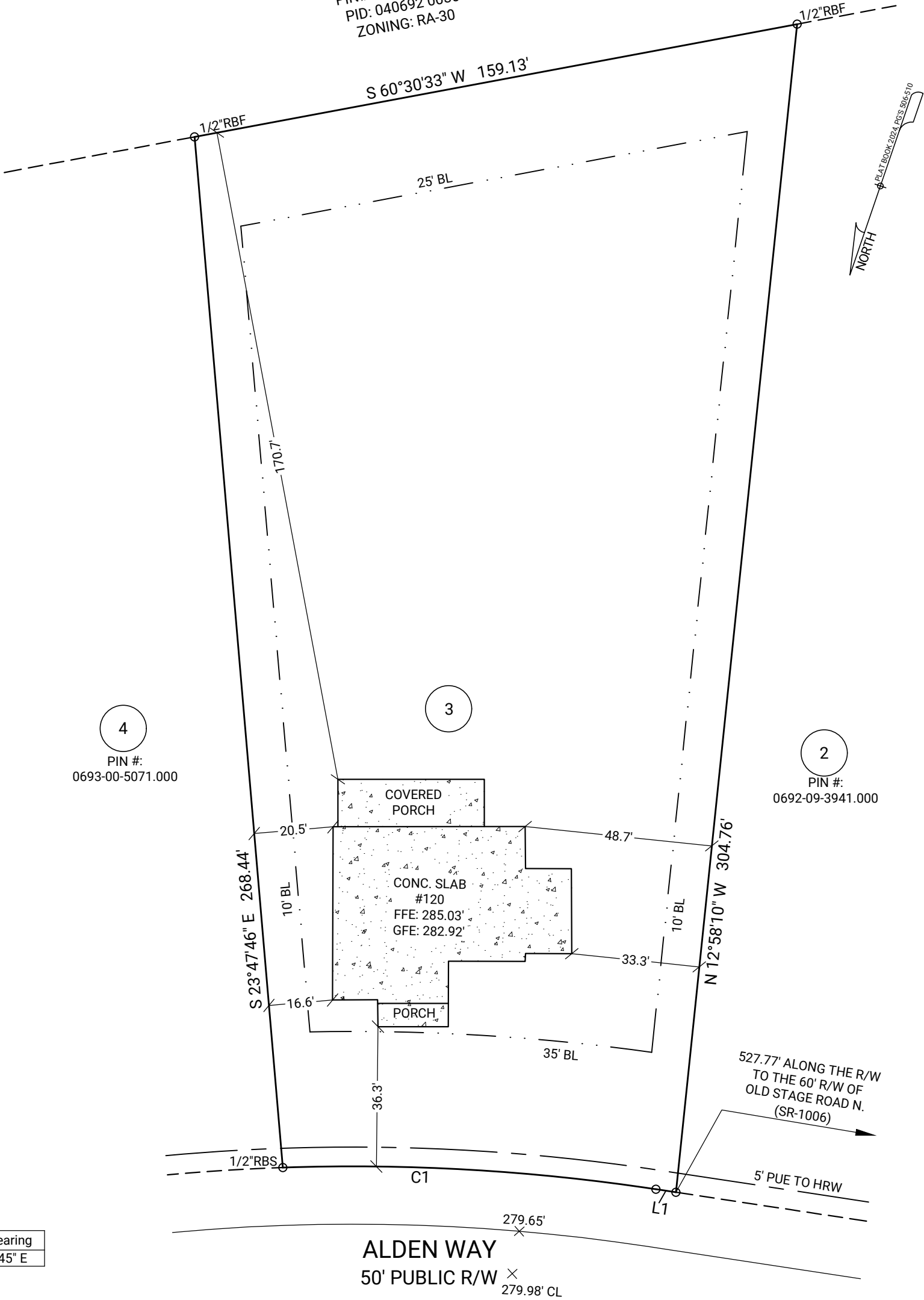


ADDRESS: 120 ALDEN WAY  
PLAT BOOK 2024, PG'S 506-510  
AREA: 36,649 S.F. ~ 0.841 ACRES  
PIN#: 0692-09-4965.000



N/F  
DANNY P. WATKINS Jr. &  
DEBORAH G. WATKINS  
PIN#: 0692-19-1816  
PID: 040692 0030  
ZONING: RA-30



Line	Bearing	Distance
L1	N 79°43'46" E	5.25'

Curve	Radius	Length	Chord	Chord Bearing
C1	525.00'	97.13'	97.00'	N 74°25'45" E

LEGEND

BL	Building Line	PAT	Patio	APL	Approximate Property Line
GFE	Garage Floor Elevation	GBL	Garage Building Line	ABOC	Approximate Back of Curb
FFE	Finished Floor Elevation	BOC	Back of Curb	HGT	Height
PDE	Private Drainage Easement	CP	Covered Patio	AVG	Average
CB	Catch Basin	PROP	Proposed	FY	Front Yard
R/W	Right of Way	N/F	Now or Formerly	IMP	Impervious
P	Porch	TBOX	Telephone Box	NTS	Not to Scale
CO	Clean Out	CATV	Cable TV	P.999	Proposed Grade
PD	Proposed Drive	DI	Drainage Inlet	999	Existing Grade
WM	Water Meter	PBX	Power Box		Front Grassed Area
DK	Deck				

BUILDING SETBACKS:	
Front:	35'
Rear:	25'
Side:	10'
Corner:	20'

I, David J. Baggett, PLS certify that this plat was drawn under my direction or supervision on the property shown and the boundaries and improvements, if any, are shown hereon. Boundaries not surveyed are shown as broken lines from information found in the referenced book(s) and page(s). this plat meets the standards of practice for land surveying in North Carolina, Title 21, Chapter 56, Rule 1600 and the error of closure does not exceed one foot per 10,000+ feet of the perimeter, nor 20 seconds times the square root of the number of angles turned. Witness my original signature, registration number and seal, this 22nd day of october, 2025 AD.

**GENERAL NOTES:** All matters of title are excepted. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet. The field data upon which this plat is based has a closure precision of one foot in 10,000+ feet and an angular error of 7 seconds per angle point and was adjusted using the compass rule. Equipment used: Leica TS13 Robotic Total Station.

SUB: Campbell Ridge  
LOT: 3  
Angier, Harnett County, North Carolina

FOUNDATION LOCATION FOR:



DRB GROUP OF NORTH CAROLINA, LLC.  
PLAT DATE: 10/22/2025  
FIELD WORK DATE: 10/21/2025  
20251004534 DRB\_RAL FC: JH



**C+C BUILDING SOLUTIONS**  
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:  
1735 North Brown Road, Suite 400  
Lawrenceville, GA 30043  
866.637.1048  
FIRM LICENSE: F-1461



REVISION CHART

1	05/28/25	SITE PLAN
2	06/02/25	ADDED SETBACK BOX
3	10/22/25	FOUNDATION
4	00/00/24	---
5	00/00/24	---
6	00/00/24	---
7	00/00/24	---
8	00/00/24	---
9	00/00/24	---