

CRAWFORD

HARRINGTON PLACE
LOT 0067



SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

PLAN ID 040121

110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLANS
A6.1	ROOF PLANS
A7.2	ELECTRICAL PLANS

AREA TABULATION	
FIRST FLOOR	1826
TOTAL	1826
GARAGE	395
FRONT PORCH (COVERED)	20
REAR PATIO (COVERED)	120
REAR PATIO EXT	80

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
9/22/23	BB	REMOVED SHOWER AND TUB SIZES ON ALL AFFECTED PAGES	A3.1, A5.1

GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

[illegible]

SEE SHEET D3 OF SDH TYPICAL
DETAILS FOR SOFFIT DETAILS PER
SOFFIT MATERIAL



ELEVATIONS
FRONT ELEVATION
CRAWFORD

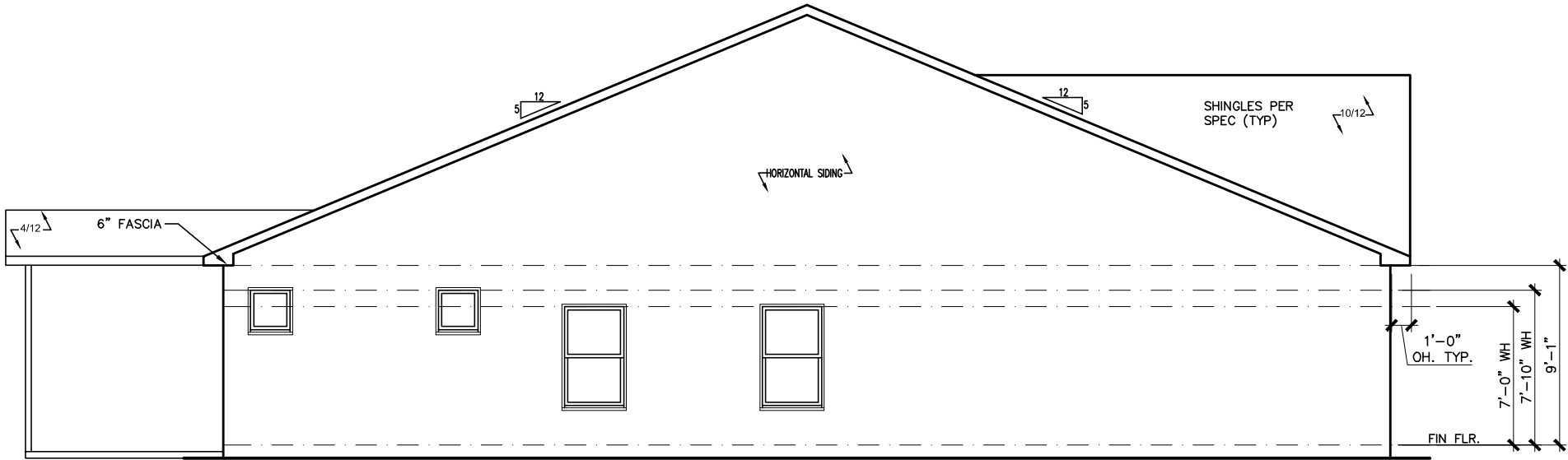
SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

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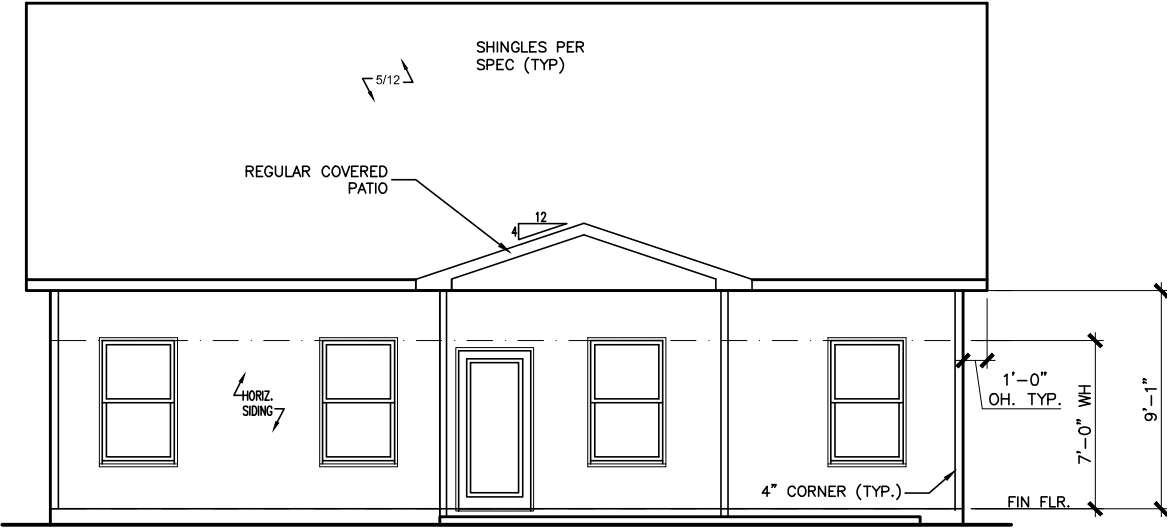
SCALE : 3/16" = 1'-0"

BY: BI	CH: AW
DATE: 5/27/25	
ACADE OPT: A	
PLAN ID:	
END: ALL	ELEV: A
AGE NO: A1.1	

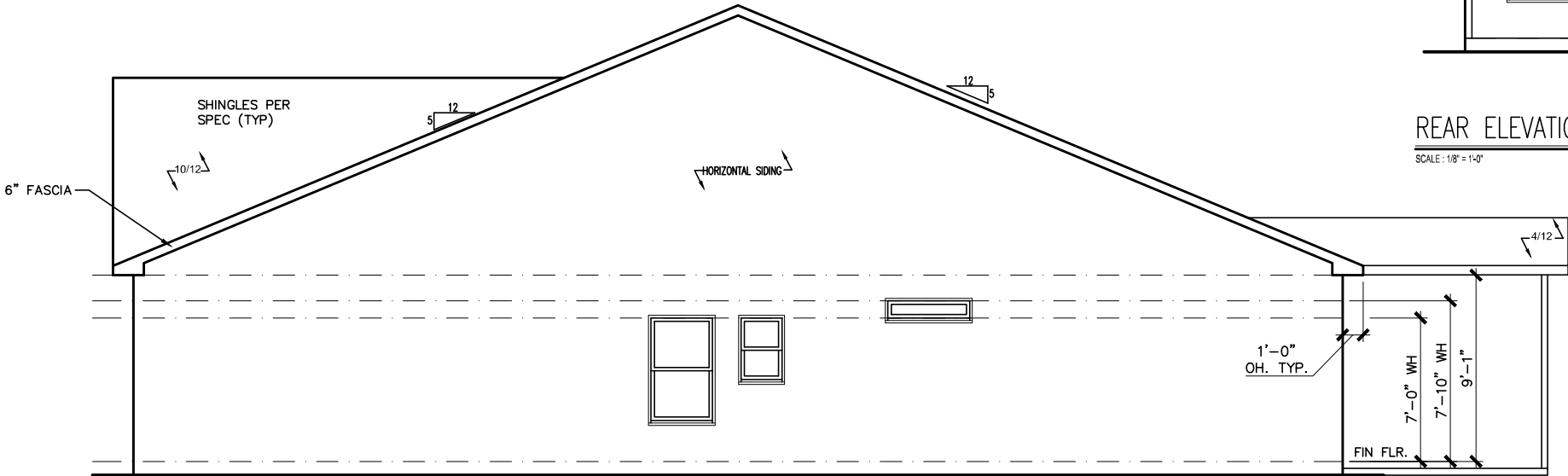
HARRINGTON PLACE
LOT 0067



LEFT ELEVATION "A"
SCALE: 1/8" = 1'-0"



REAR ELEVATION "A"
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "A"
SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
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#	#	#
#	#	#

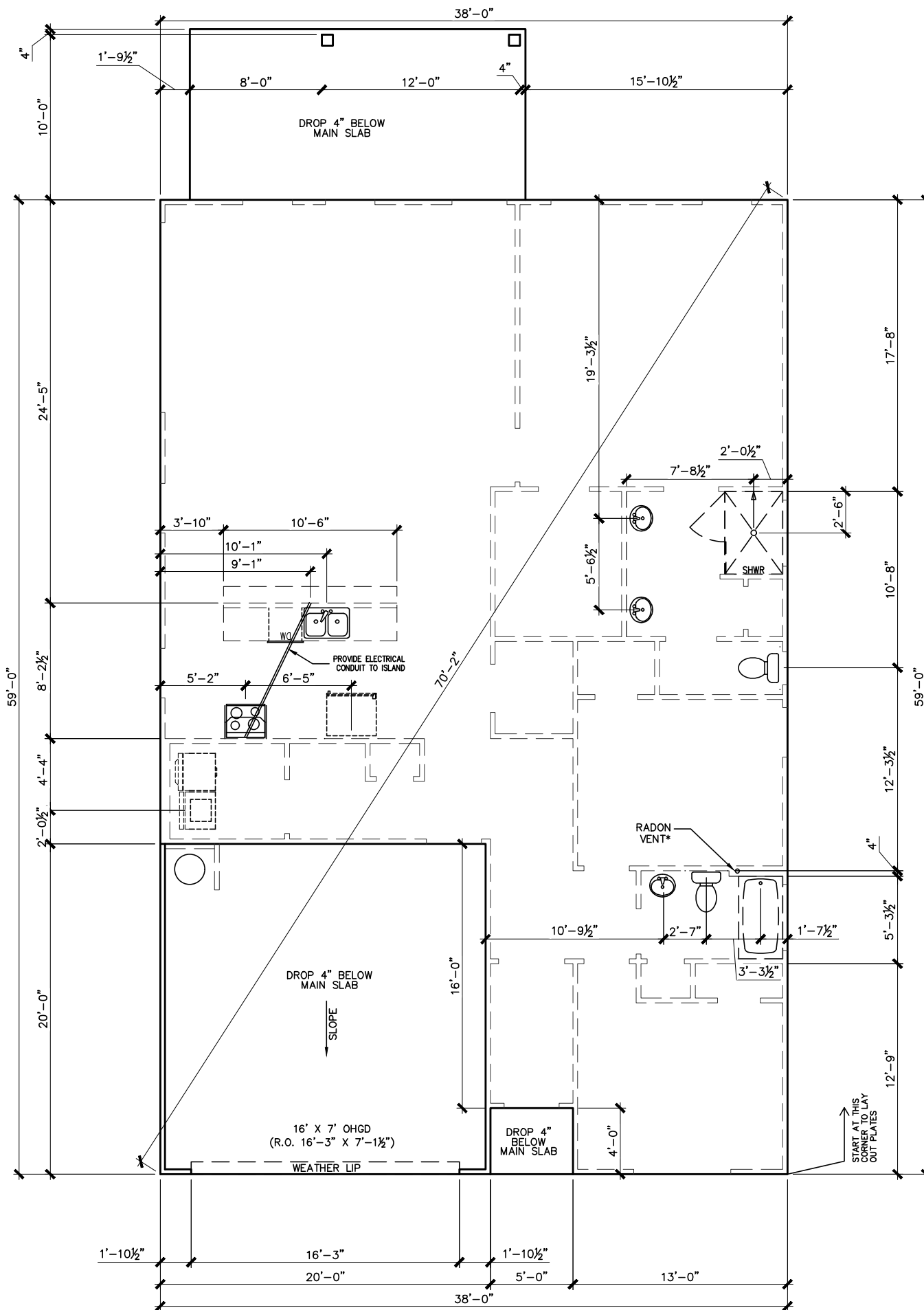
**SMITH DOUGLAS HOMES**
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ELEVATIONS
SIDES AND REAR
CRAWFORD

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FACADE OPT:	A		
PLAN ID:			
PND:	ALL	ELEV:	A
PAGE NO:	A2.1		



SLAB PLAN

SCALE: 1/8" = 1'-0"

HARRINGTON PLACE LOT 0067

*RADON VENT
PROVIDED PER
LOCAL CODE

REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN

DATE	BY	REVISION
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



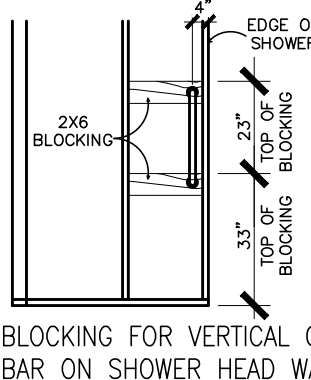
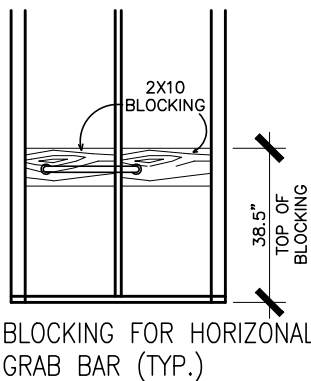
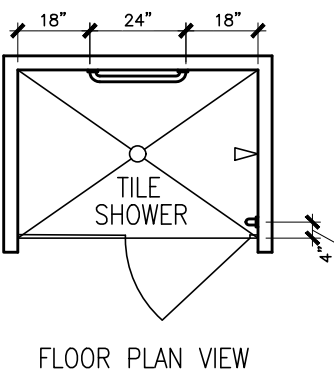
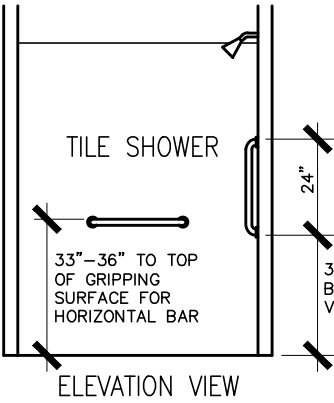
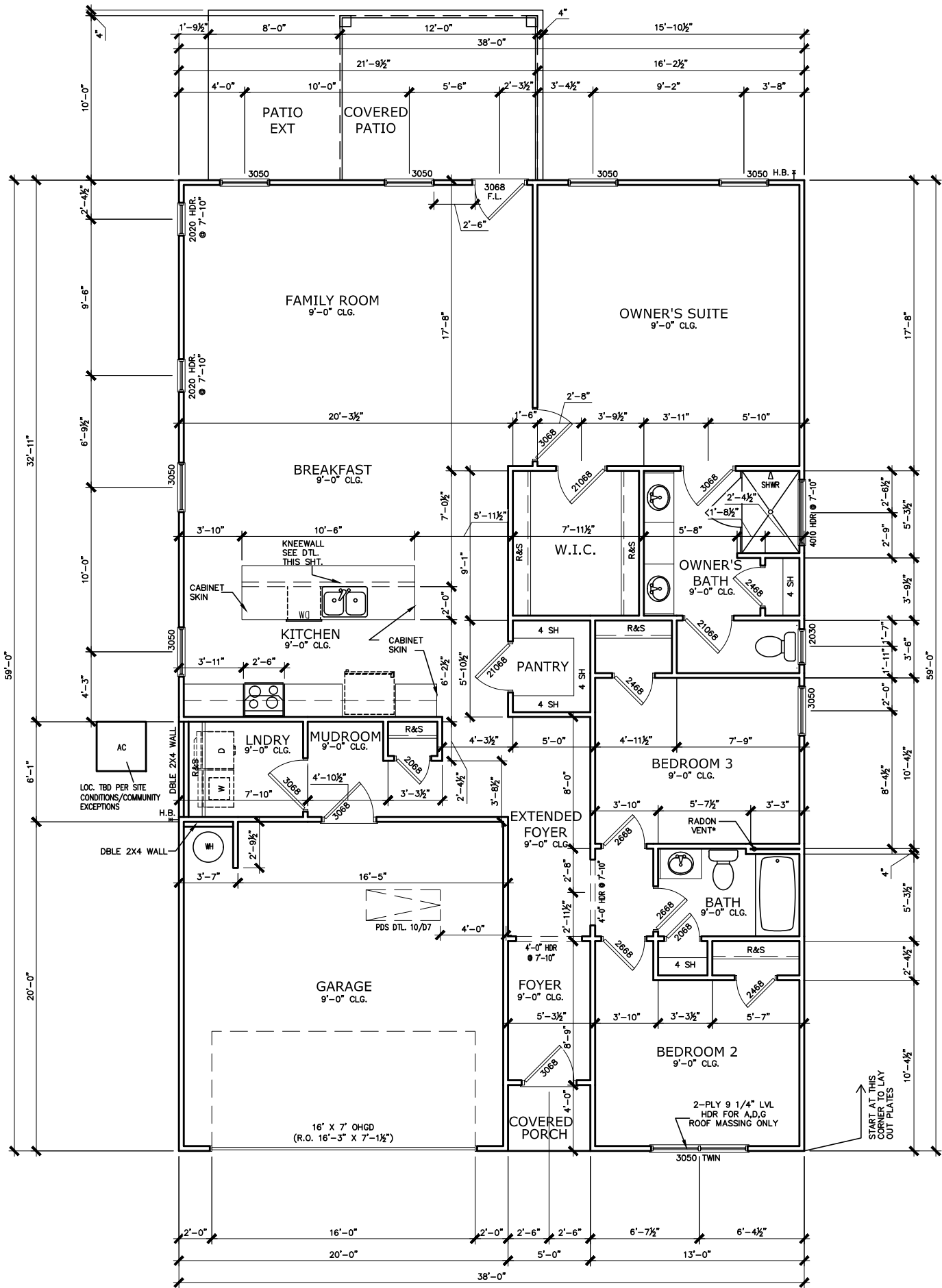
FOUNDATION PLAN
SLAB PLAN
CRAWFORD

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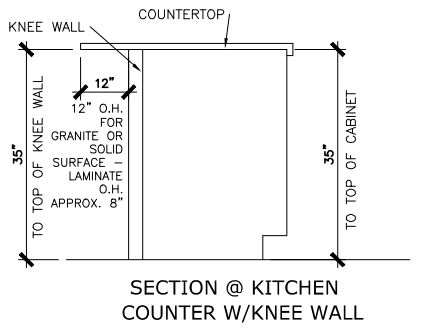
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PND:	ALL	RELEV:	A
PAGE NO:	A3.1		

HARRINGTON PLACE
LOT 0067



4 GRAB BAR DETAILS
D3.1 FOR TILE SHOWERS ONLY
N.T.S.



REFER TO MANUFACTURER'S SPECS.
FOR DRAIN LOCATIONS ON DETAIL
SHEETS D12, D12.1, D12.2 & D12.3

*RADON VENT PROVIDED
PER LOCAL CODE

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#

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FLOOR PLAN

FIRST FLOOR

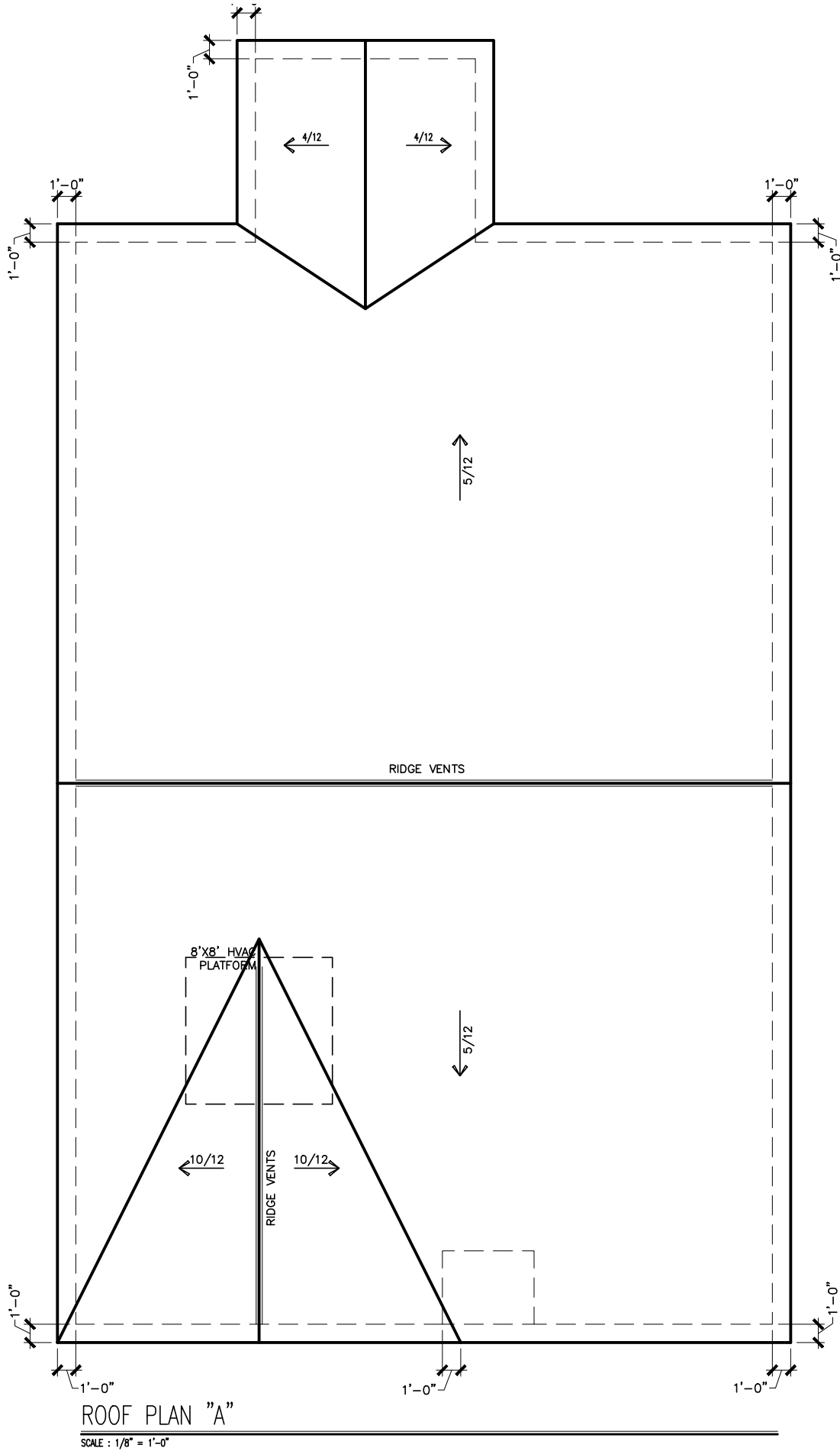
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PAGE NO:	A5.1		

HARRINGTON PLACE
LOT 0067



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ROOF PLAN

ROOF PLAN

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DATE: 5/27/25

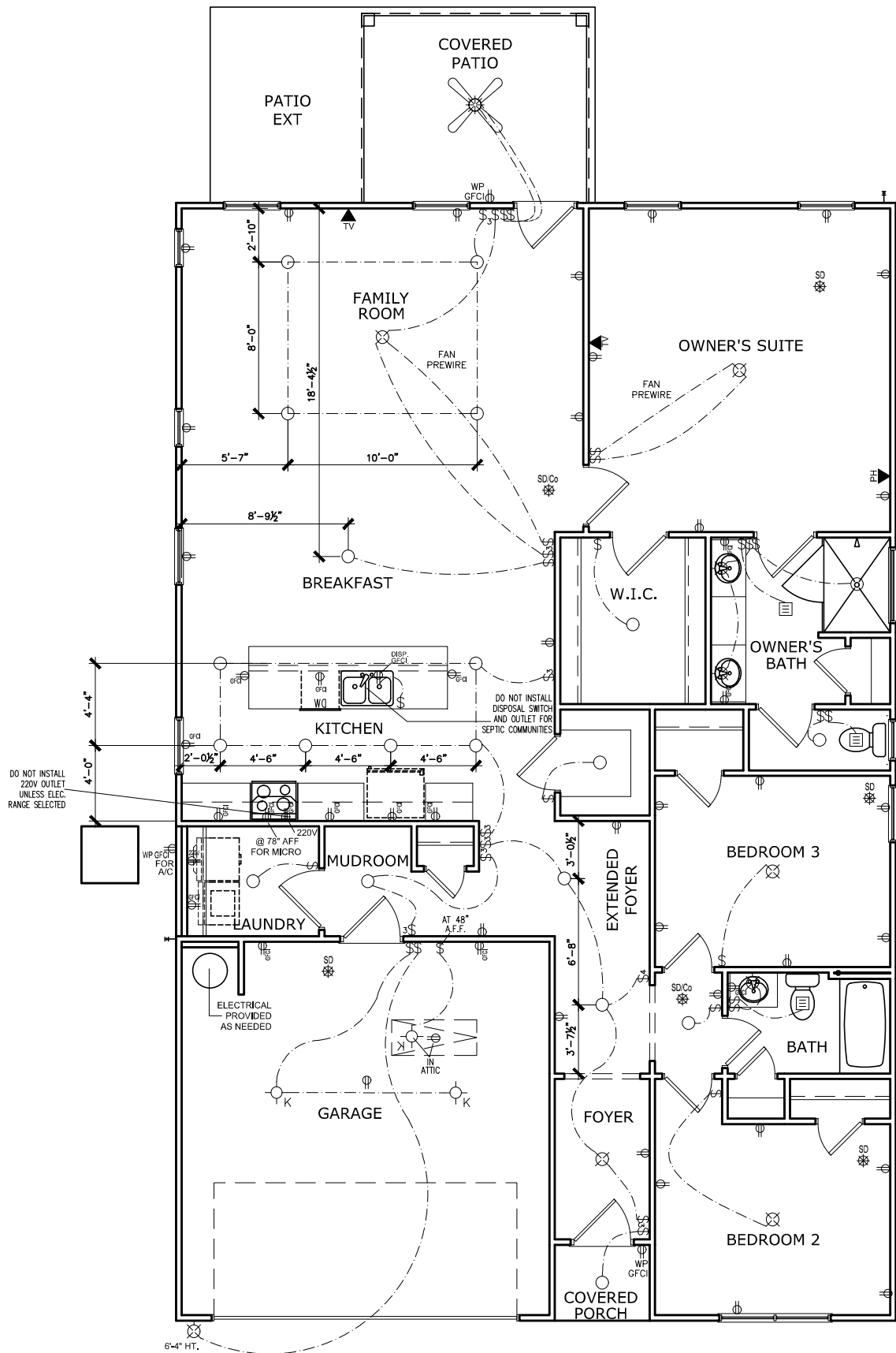
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PLAN ID:

PND: ALL

RELEV: A

PAGE NO: A6.1



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

HARRINGTON PLACE
LOT 0067

ELECTRICAL LEGEND

\$	SWITCH	▼	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕K	KEYLESS	⊕GFCI	GFCI OUTLET
⊕X	WALL MOUNT FIXTURE	⊕AFCI	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†GL	GAS LINE
●	FLEX CONDUIT	†WL	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
▼	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT	⊕	CEILING FIXTURE

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

BY:	#	#	#	#	#
REVISION					
DATE	#	#	#	#	#

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ELECTRICAL PLAN

FIRST FLOOR

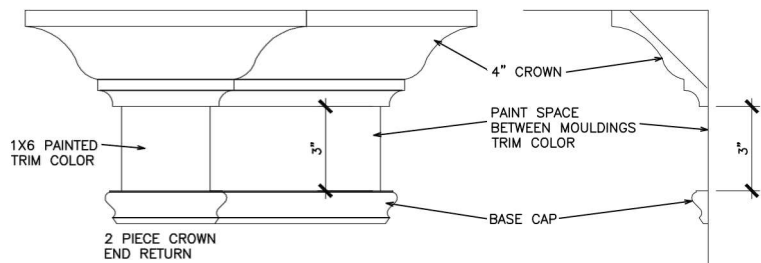
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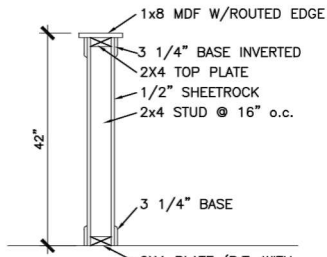
BY:	BI	CH:	AW
DATE:	5/27/25		
FACADE OPT:	A		
PLAN ID:			
PND:	ALL	RELEV:	A
PAGE NO:	A7.2		

REFER TO LOT SPECIFIC PLAN TO
DETERMINE WHICH DETAILS APPLY



TYPICAL TWO PIECE CROWN

N.T.S.



TYP. KNEEWALL SECTION

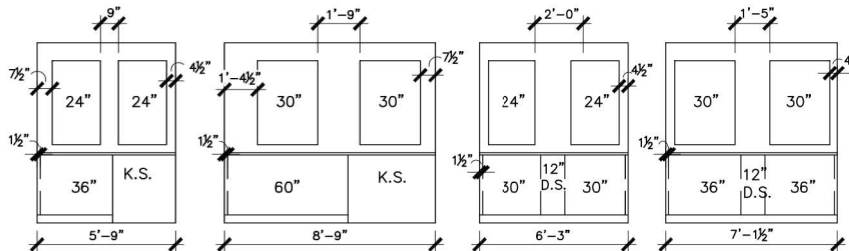
N.T.S.



TYP. 2ND FLOOR KNEE WALL STABILITY

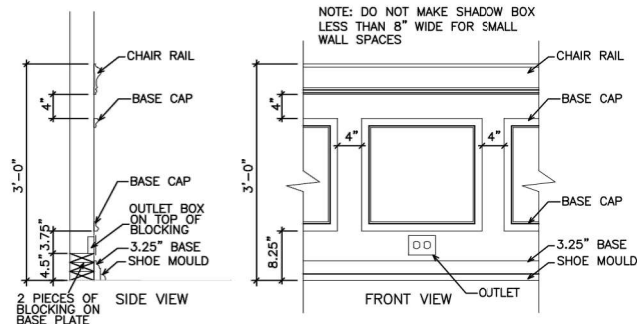
N.T.S.

1. MIRRORS ARE TO BE CENTERED ON THE CABINET OR KNEESPACE BELOW.
2. SPACE BETWEEN MIRROR AND WALL/CABINET END, MAY NOT MATCH ON EACH SIDE
3. MIRRORS ARE LIMITED TO 2 SIZES: 24" & 30"
 - a. VANITIES 30" & SMALLER RECEIVE THE 24" WIDE MIRROR.
 - b. VANITIES 33" & LARGER RECEIVE THE 30" WIDE MIRROR.
 - c. HEIGHTS DO NOT CHANGE.
 - d. SEE P.O. FOR EXACT WIDTH.
4. SEE THE BELOW EXAMPLE DRAWINGS. DIMENSIONS ARE APPROXIMATE.



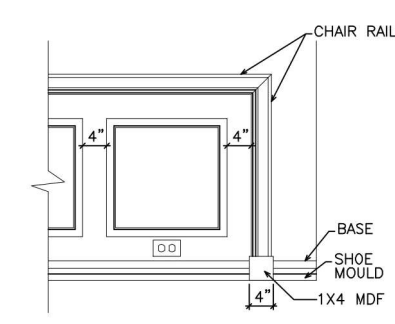
TYPICAL SPLIT MIRROR SCENARIOS

N.T.S.



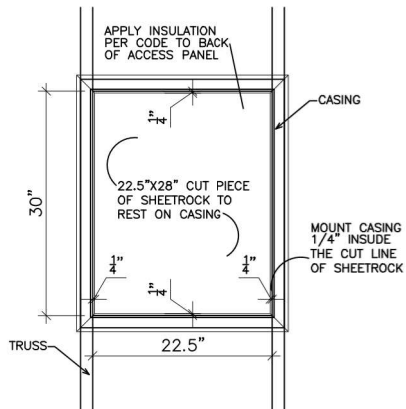
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



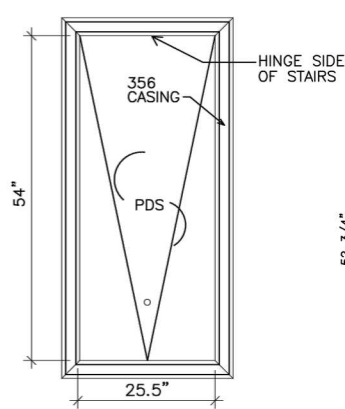
CHAIR RAIL END TRIM DETAIL

N.T.S.



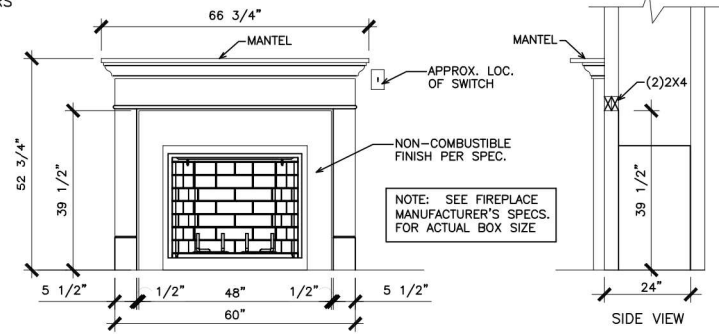
SCUTTLE HOLE DETAIL

N.T.S.



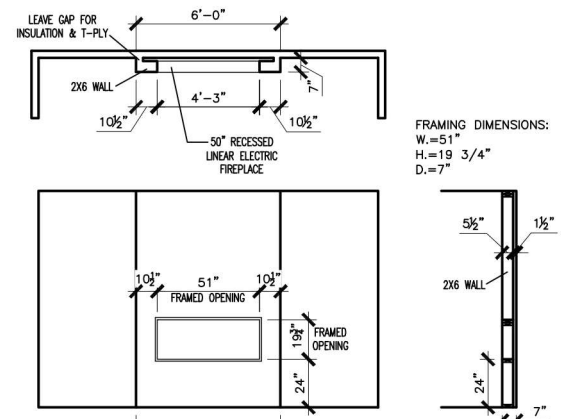
PDS TRIM DETAIL

N.T.S.



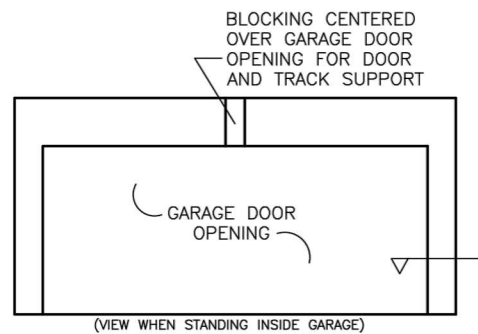
GAS/ELECTRIC FIREPLACE DETAIL
WITH WESCOTT WOOD MANTEL

N.T.S.



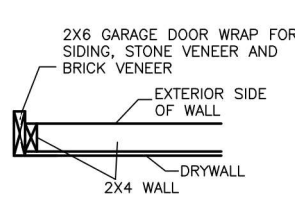
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.

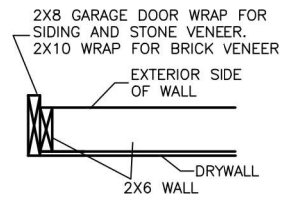


TYP. GARAGE WRAP & BLOCKING

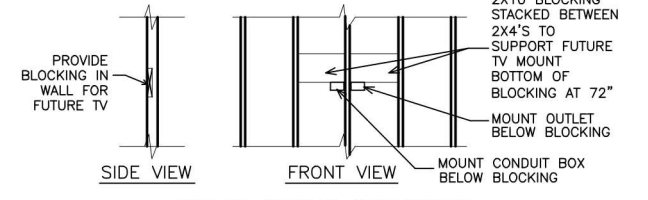
N.T.S.



SECTION VIEW
2X4 PORTAL WALL

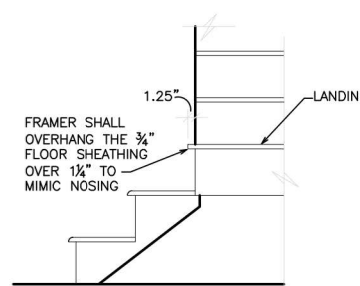


SECTION VIEWS
2X6 PORTAL WALL



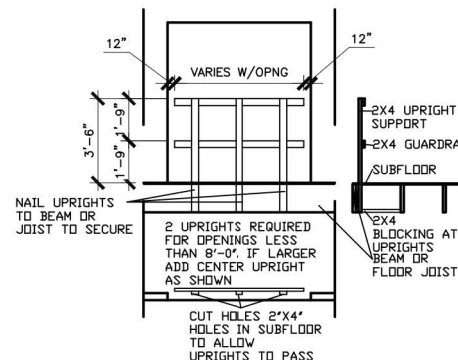
TYP. TV WALL PREP

N.T.S.



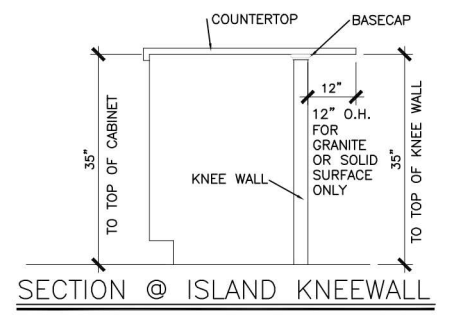
BOX STEP OVERHANG

N.T.S.



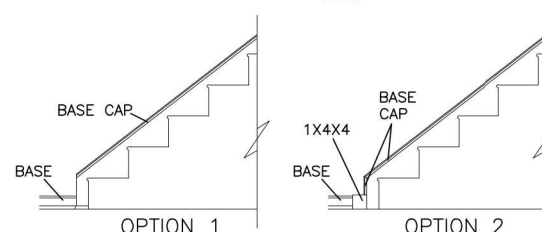
GUARD RAIL DTL. AS REQ'D

N.T.S.



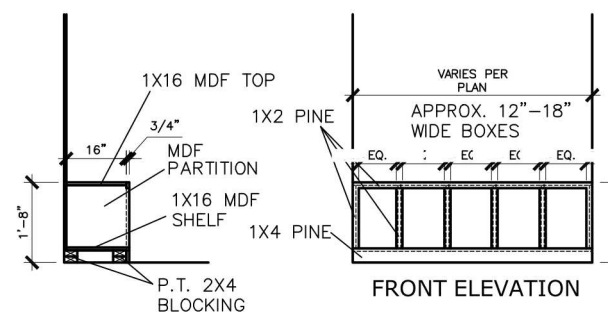
SECTION @ ISLAND KNEEWALL

N.T.S.



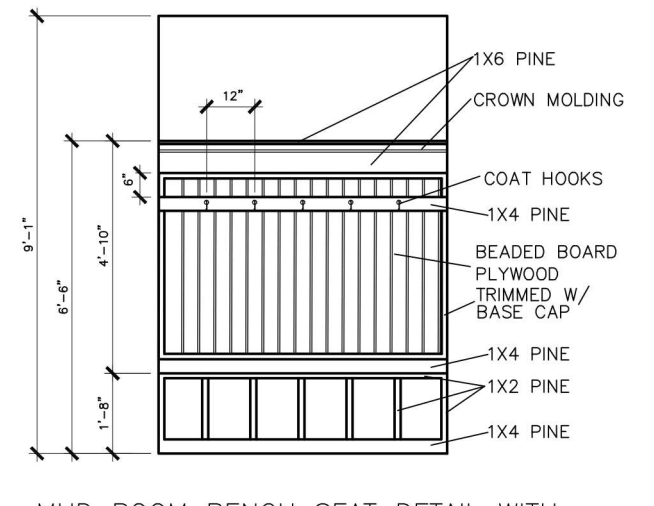
STAIR TRIM DETAILS

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL
WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT
BENCH CONTINUE TO FLOOR)

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BY					
REVISION					
DATE					

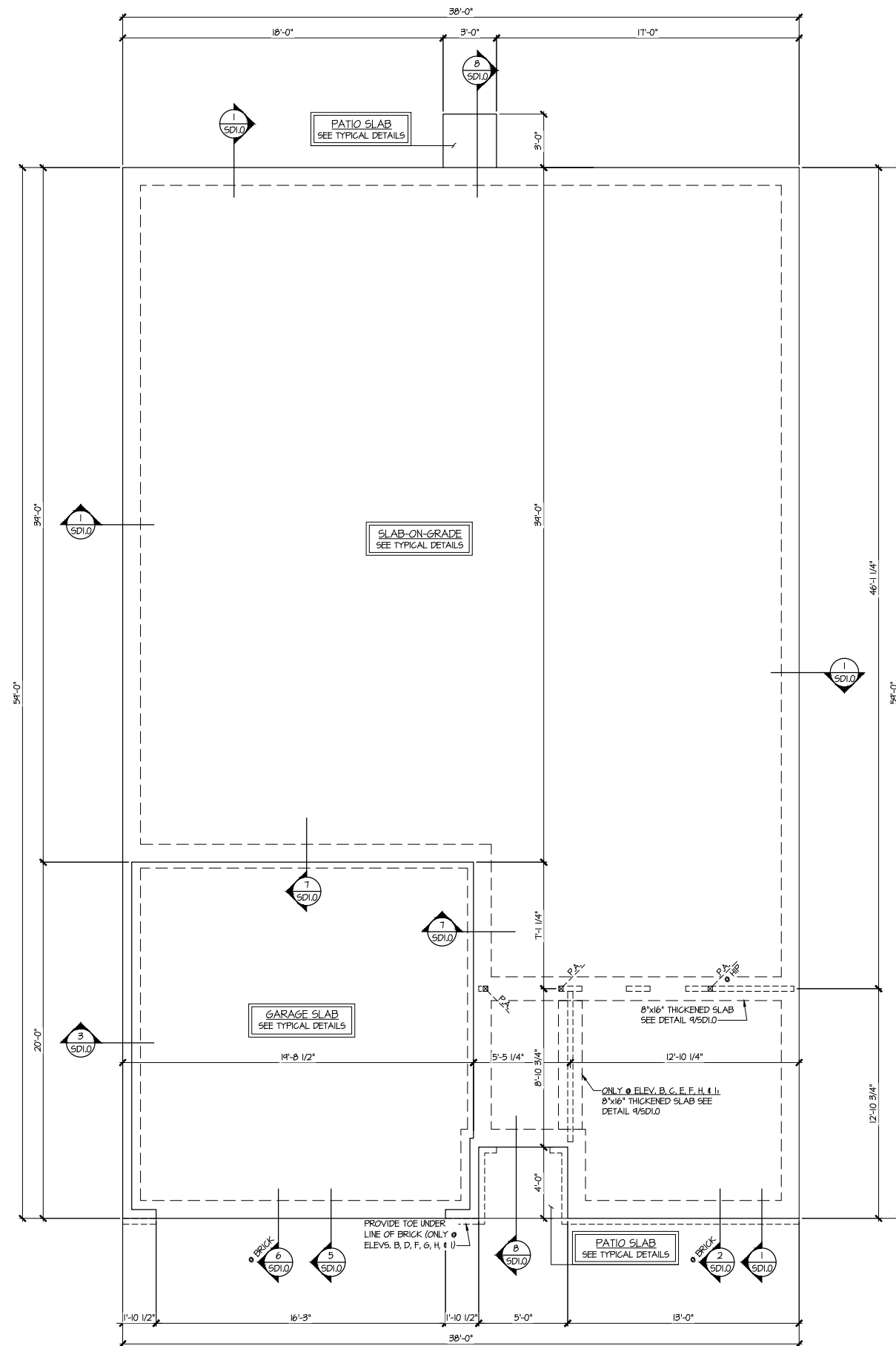
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INTERIOR TRIM
DETAILS

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BY:	CH:
DATE:	6/13/23
FACADE OPT:	
PLAN ID:	
FND:	ELEV:
PAGE NO:	D1.1



1 MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A SHOWN
(ALL ELEV. SIM)

**HARRINGTON
LOT 67**

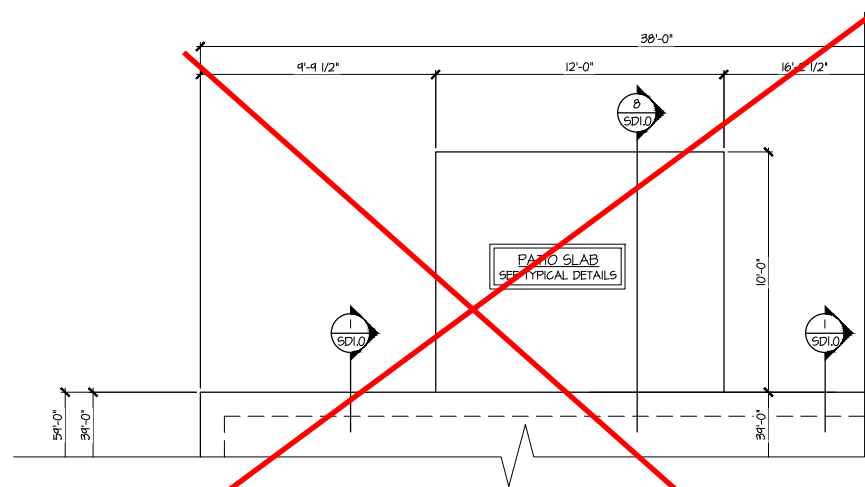
REFER TO S.O. FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

NOTE:
IF EXTERIOR WALLS ARE NOT CONTINUOUSLY
SHEATHED w/ OSB, REFER TO SHEET 54.0
FOR HOLDOWN REQUIREMENTS / LOCATIONS

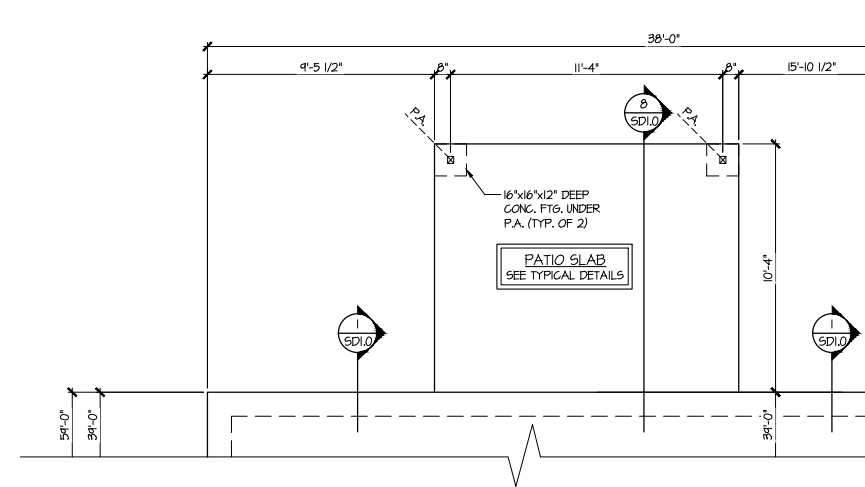
LEGEND	
• R.T. •	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
• O.F. •	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
• [Pattern] •	INTERIOR BEARING WALL
• [Pattern] •	BEARING WALL ABOVE (B.W.A.)
• [Pattern] •	BEAM/HEADER
• JL •	METAL HANGER
• * •	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

SMITH DOUGLAS
HOMES

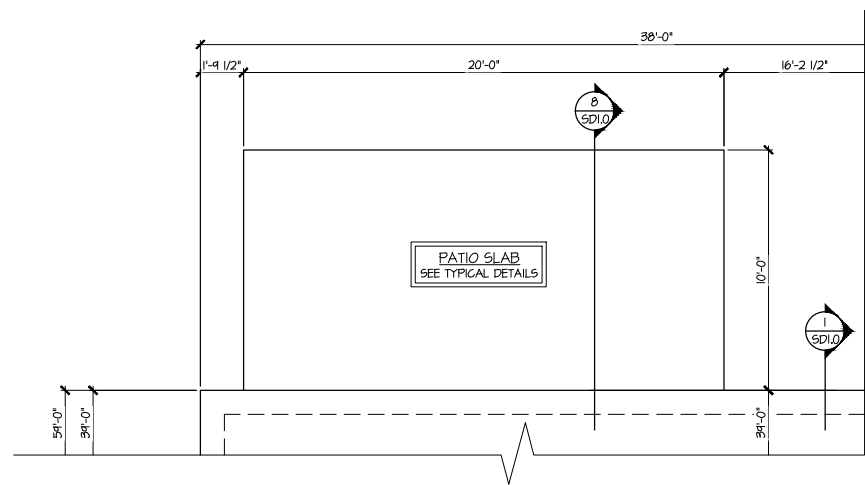
MONO-SLAB FOUNDATION
CRAWFORD MODEL
RALEIGH, NC



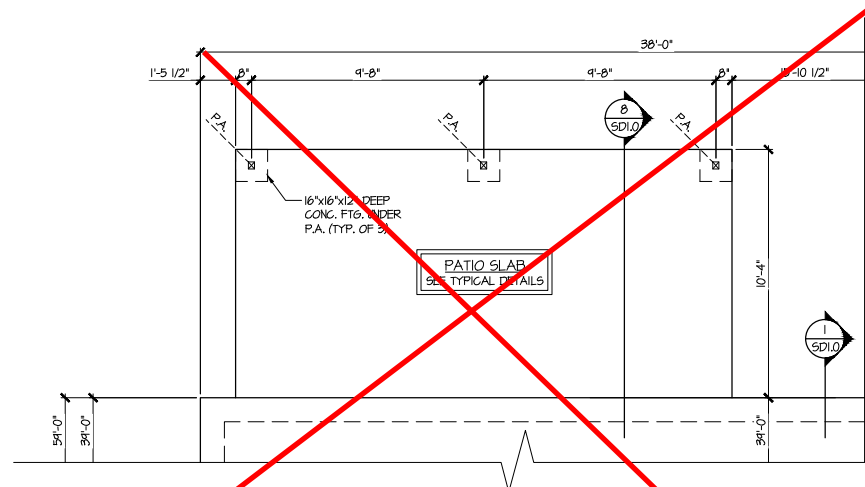
1 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. PATIO



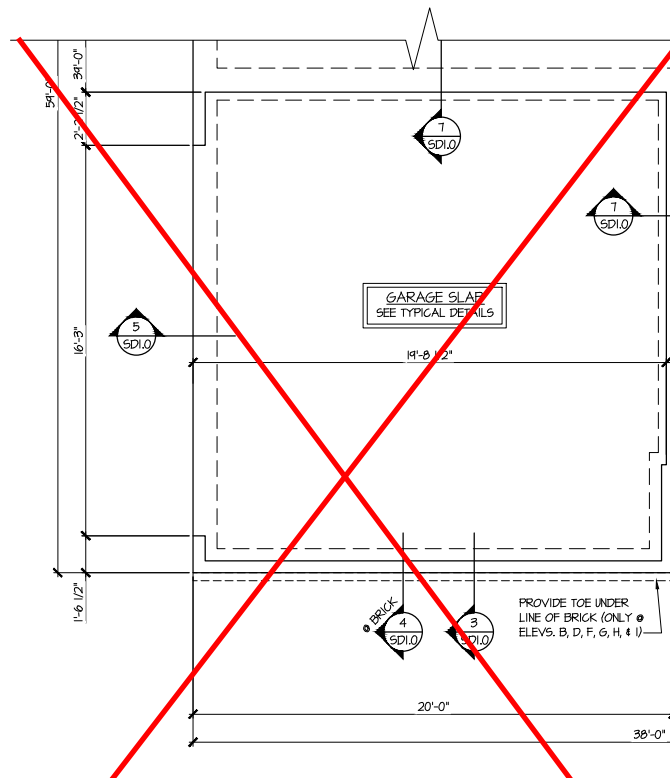
2 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. COVERED PORCH



3 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. EXT. PATIO



4 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. LARGE COVERED PORCH



5 PARTIAL MONO-SLAB FOUNDATION PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. SIDE ENTRY GARAGE ELEV. A SHOWN (ALL ELEV. SHOWN)

HARRINGTON LOT 67

REFER TO SD.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

NOTE:
IF EXTERIOR WALLS ARE NOT CONTINUOUSLY SHEATHED W/ OSB, REFER TO SHEET 54.0 FOR HOLDOWN REQUIREMENTS / LOCATIONS

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.N.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

12/8/21

Seal

MULHERN+KULP

REGISTERED PROFESSIONAL ENGINEER

SHAUN KREIDEL

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Mulhern+Kulp project number:

256-21005

project mgr:

SMK

drawn by:

MJF

issue date:

08-04-2021

REVISIONS:

date:

11/22/21

initial:

JPP

REVISIONS:

SMITH DOUGLAS HOMES

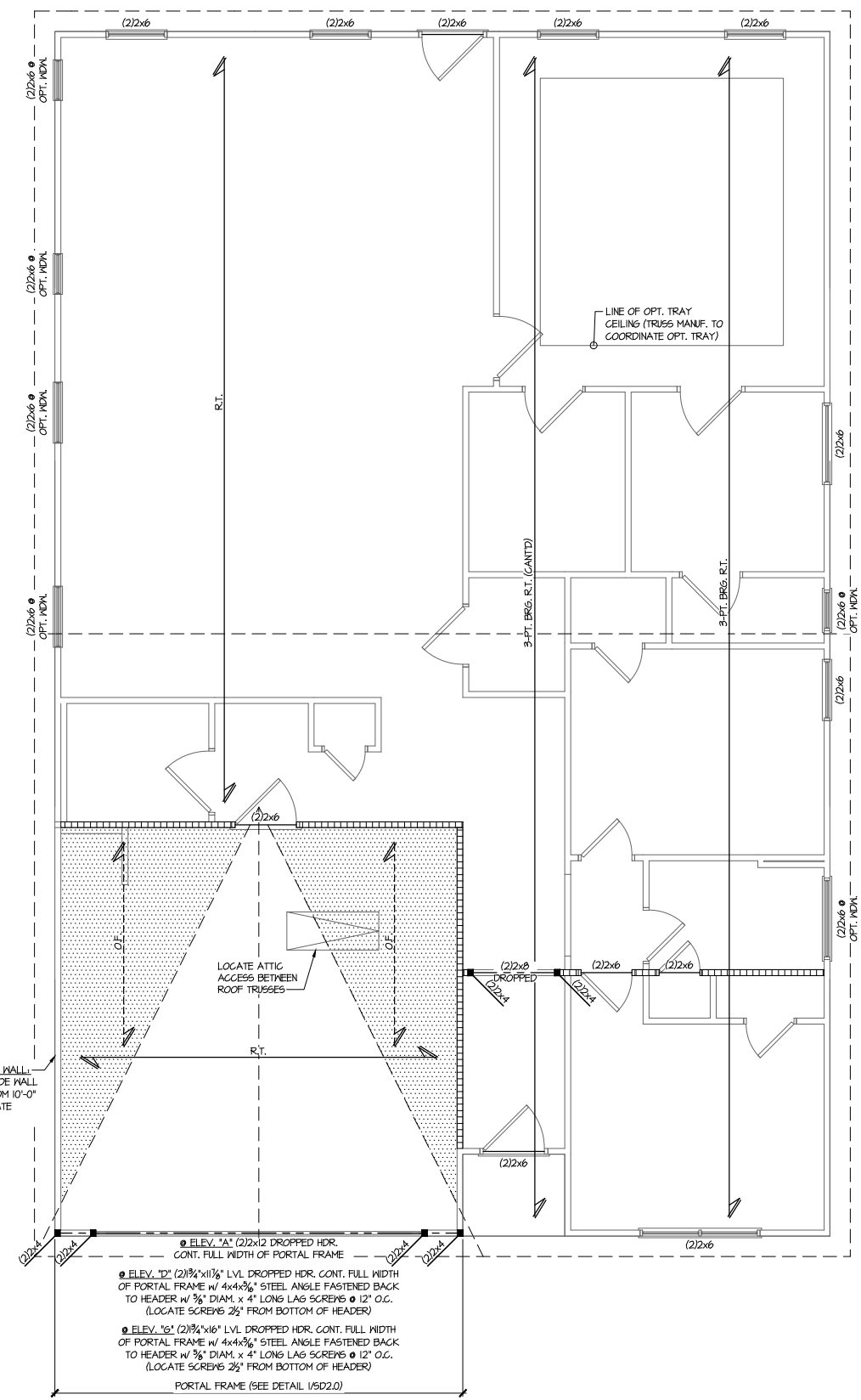
MONO-SLAB FOUNDATION

CRAWFORD MODEL

RALEIGH, NC

sheet:

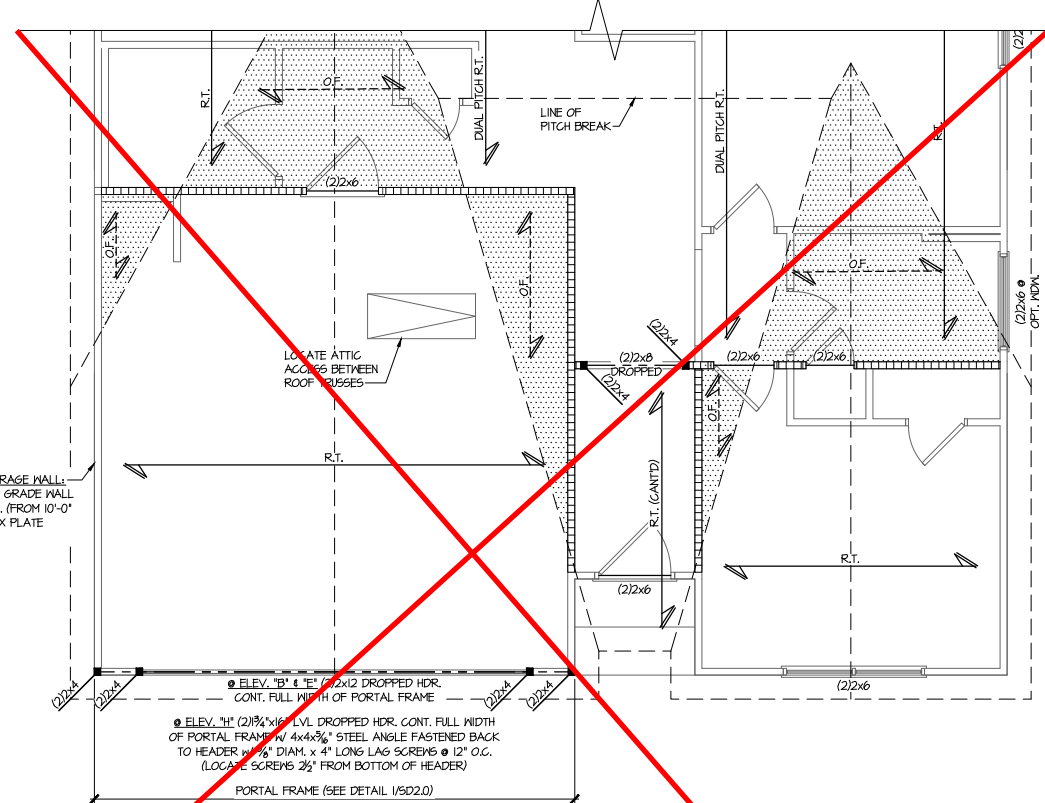
S1.1M



1 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

ELEV. A SHOWN
(ELEV. D & G SIM.)



2 PARTIAL ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17

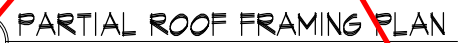
ELEV. B SHOWN (ELEV. E & H SIM.)
(SEE ELEV. A FOR ADD'L INFO)

HARRINGTON
LOT 67

THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

REFER TO S.O. FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

LEGEND	
• R.T. •	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
• O.F. •	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
• [Pattern] •	INTERIOR BEARING WALL
• [Pattern] •	BEARING WALL ABOVE (B.W.A.)
• [Pattern] •	BEAM/HEADER
• JL •	METAL HANGER
• * •	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



- # LEGEND
-
-
-  INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF MANUF. (TYP. U.N.O.)
 -  INDICATES TRUSSES OVER FRAMING @ 24" O.C. (TYP. U.N.O.)
 -  INTERIOR BEARING WALL
 -  BEARING WALL ABOVE (B.W.A.)
 -  BEAM/HEADER
 -  METAL HANGER
 -  INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

HARRINGTON
LOT 67

THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

REFER TO 50.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES

seal: 12/8/21



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3825 Rossmore Parkway, Suite 305 - Alpharetta, GA 30022
P 770-777-0814 - info@mulhernkulp.com
NC License # C-3825

Mulhern+Kulp project number:
256-21005

project mgr: SMK
drawn by: MJF
issue date: 08-04-2021

REVISIONS:	
date:	initial:
11/22/21	JPP
MIRRORED PLANS ADDED	

SMITH DOUGLAS
HOMES

ROOF FRAMING PLAN
CRAWFORD MODEL

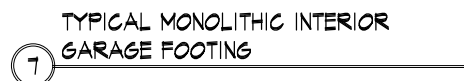
RALEIGH, NC

sheet:

S3.1M

seal:  1

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sheet:

SD 1.0

HARRINGTON
LOT 67

SD 1.0



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3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

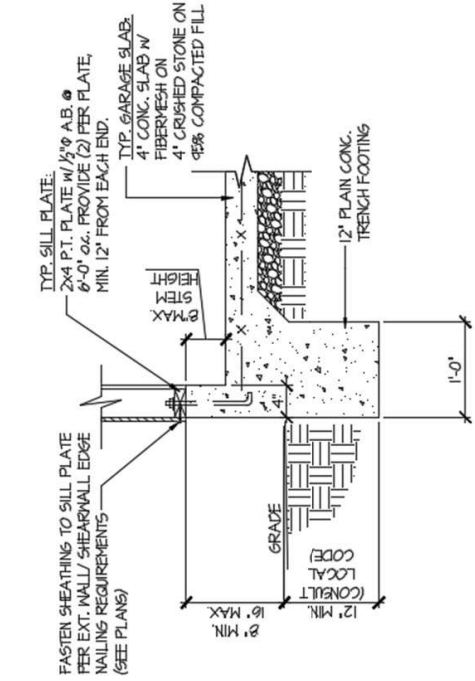
Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE CURB DETAIL
Smith Douglas Homes

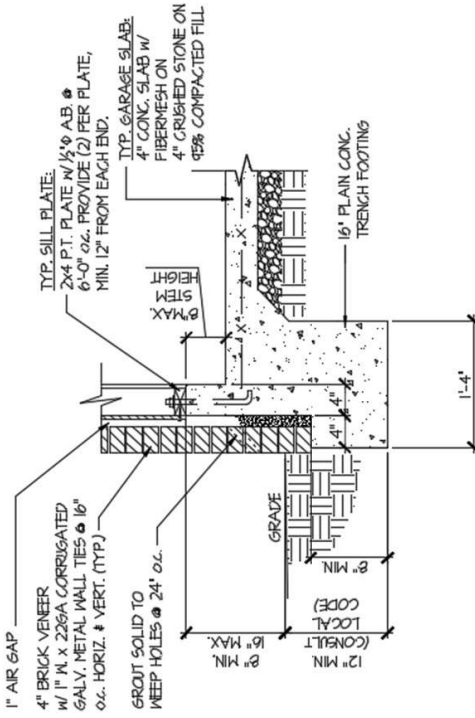
Reference
Current Structural Plans prepared by Mulhern & Kulp

Jody:

Pursuant to your request, we have prepared this letter to address the “*Alternate Garage Curb Details*”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



(A) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



(B) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

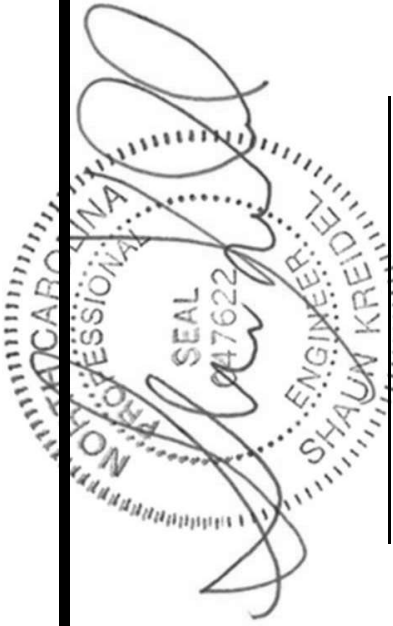
Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

3825 Shawlands Parkway, Suite 105 • Alpharetta, GA 30002

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NC License # C-3825

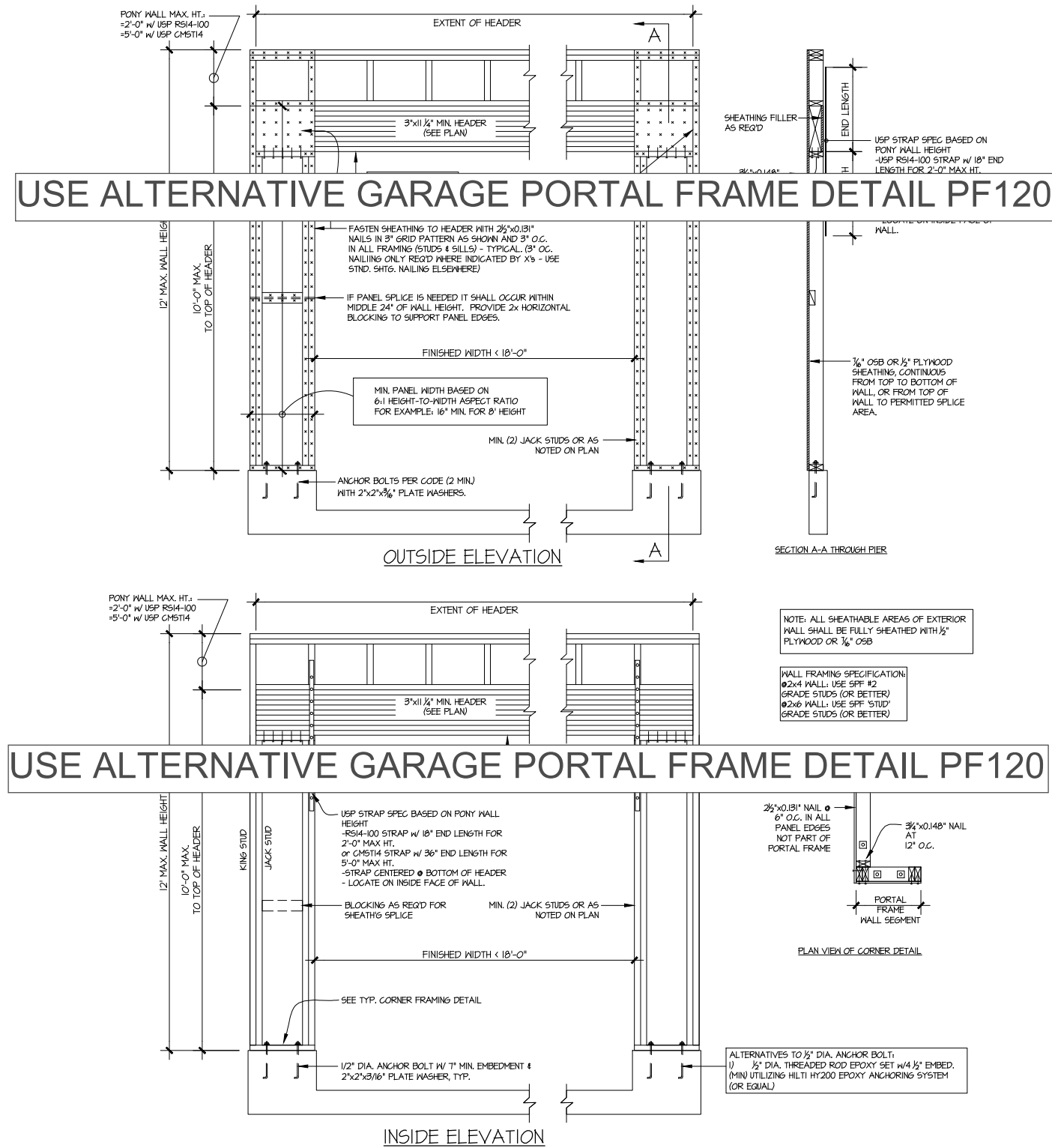
Mulhern+Kulp project number:	256-21005
project mgr:	SMK
drawn by:	MJF
issue date:	08-04-2021
REVISIONS:	
date:	initial:
11/22/21	JPP
REVISED PLANS ADDED	

SMITH DOUGLAS
HOMES

FRAMING DETAILS

CRAWFORD MODEL

RALEIGH, NC



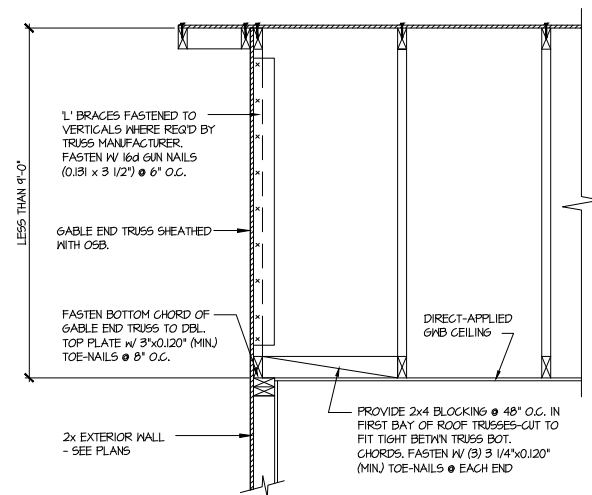
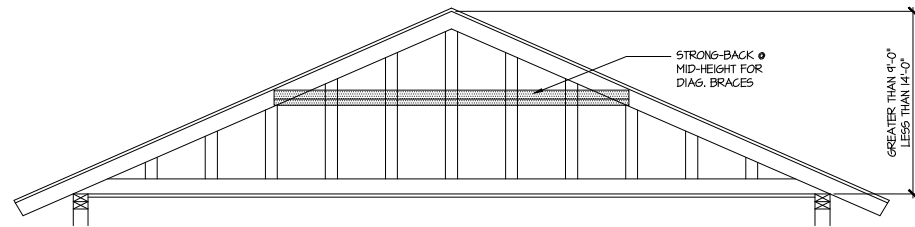
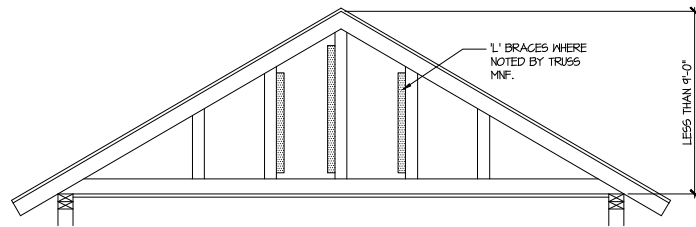
1

GARAGE PORTAL FRAME BRACING ELEVATION

SCALE: N.T.S.

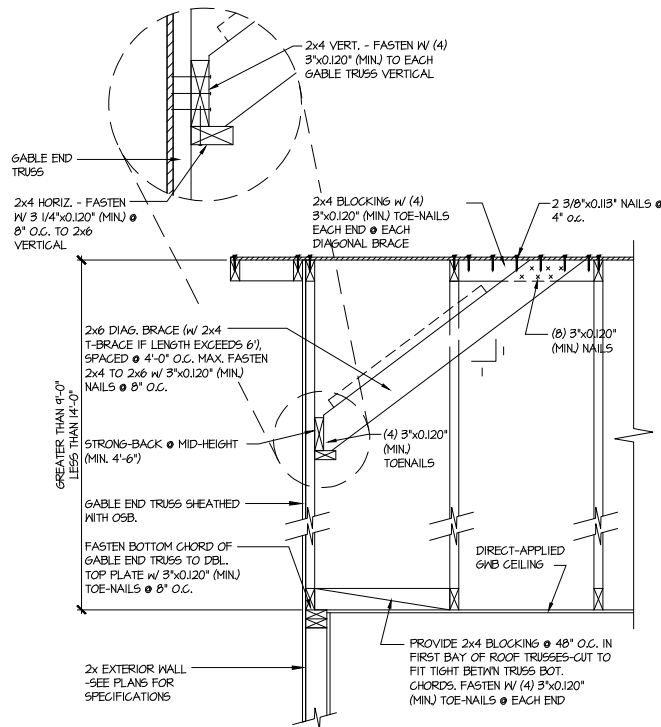
BOTH SIDES OF GARAGE DOOR
115 MPH WIND SPEED (ULT)

HARRINGTON
LOT 67



A TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D • GABLE END TRUSS
HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D • GABLE END TRUSS
HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

HARRINGTON
LOT 67

12/8/21
SEAL
SHAUN KREIDEL
ENGINEER
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Structural Engineering, Inc.

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3776-777-8874 • mulhern+kulp@gmail.com
NC License # C-3825

Mulhern+Kulp project number:
256-21005

project mgr: SMK
drawn by: MJF
issue date: 08-04-2021

REVISIONS:
date: 11/22/21 initial: JPP
REVISED PLANS ADDED

SMITH DOUGLAS
HOMES

FRAMING DETAILS
CRAWFORD MODEL

RALEIGH, NC

sheet:
SD2.1



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3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

July 28, 2023

Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE PORTAL FRAME DETAIL
Smith Douglas Homes

Reference

"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern & Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director

Signature + Seal 07/28/2023

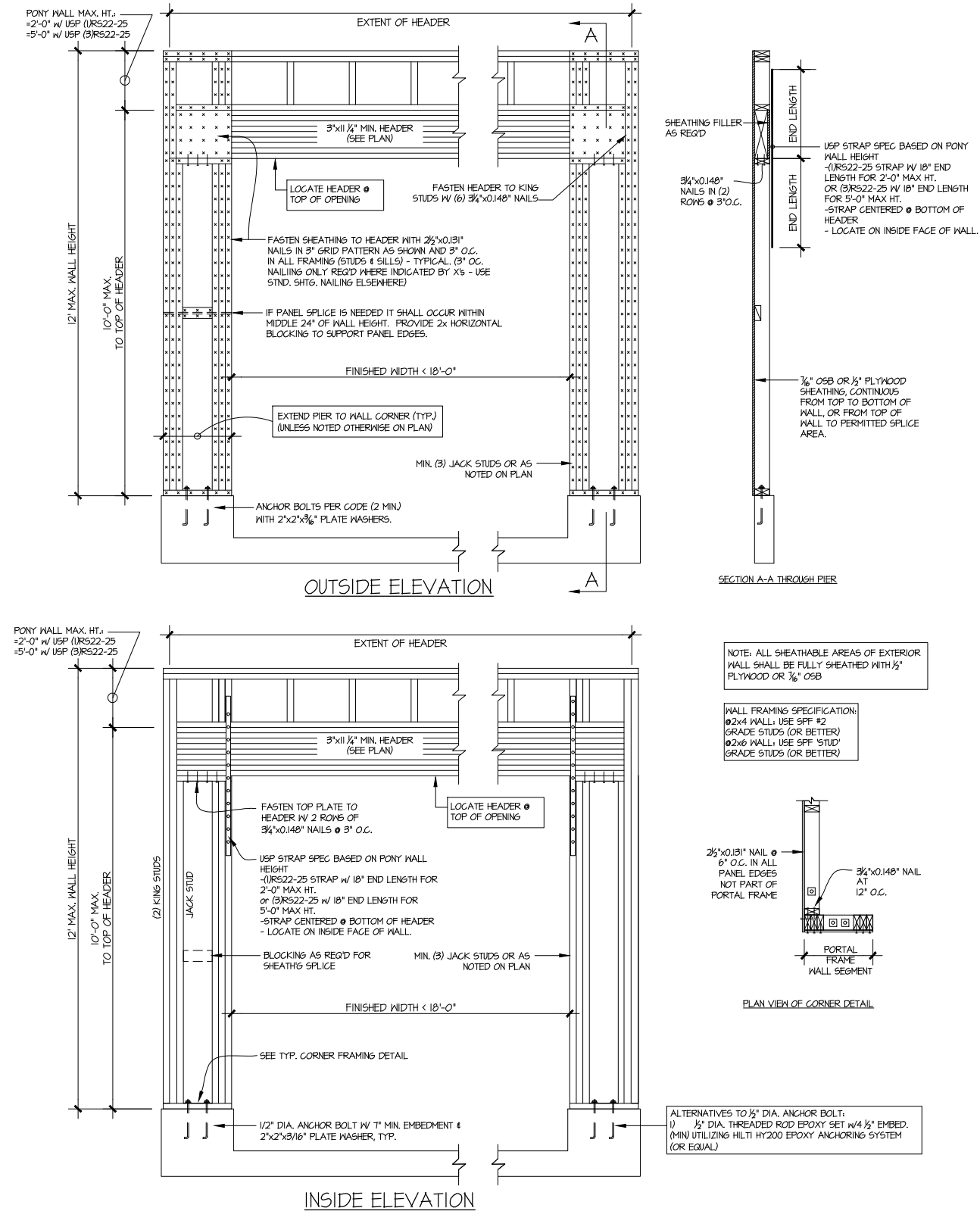
Project mgr: SMK
Drawn by: RAP
Issue date: 07.28.2023

SMITH DOUGLAS
HOMES

ALTERNATE PORTAL FRAME

PORTAL FRAME

PF-120



A ALTERNATE GARAGE PORTAL FRAME BRACING ELEVATION SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (U.L.T.)

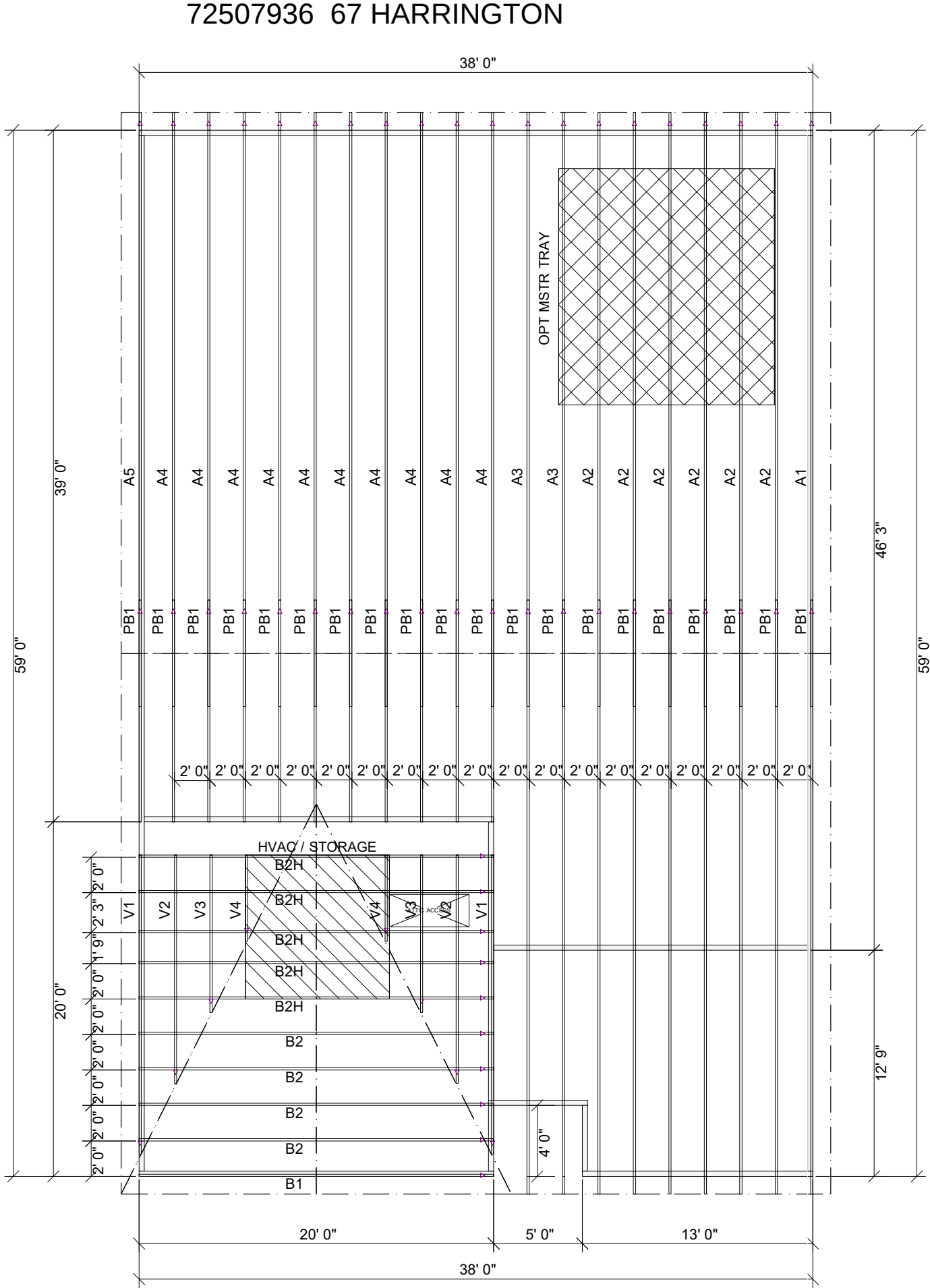
BOTH SIDES OF GARAGE DOOR
120 MPH WIND SPEED (ULT)

HARRINGTON
LOT 67

TRUSS TO WALL CONNECTIONS, IF SHOWN, ARE FOR UPLIFT ONLY AND DO NOT CONSIDER LATERAL LOADS. ALL CONNECTORS ON THIS PROJECT ARE TO BE INSTALLED PER THE CONNECTOR MANUFACTURER'S SPECIFICATIONS. ALL CONNECTORS SHOWN THAT ARE NOT "TRUSS TO TRUSS" ARE SUGGESTIONS ONLY AND ARE TO BE VERIFIED BY THE BUILDING DESIGNER OR ENGINEER OF RECORD FOR SUITABILITY TO THIS PARTICULAR PROJECT. UFP MID-ATLANTIC, LLC. ACCEPTS NO RESPONSIBILITY FOR THE SPECIFIC APPLICATION OR SUITABILITY OF ANY CONNECTOR THAT IS NOT "TRUSS TO TRUSS" AS THEY APPLY TO THIS SPECIFIC STRUCTURE.

CRAWFORD ADG

DO NOT INSTALL TRUSSES BACKWARDS



ROOF AREA: 2696.18 ft² RIDGE LINE: 62 ft VALLEY LINES: 52.5 HIP LINES:0 _ Indicates Left End of Truss

Customer
SMITH DOUGLAS

Job Name
CRAWFORD

Date: 6-21-21

Scale: NTS

Revision Date1: _____

Revision Date2: _____

Quality Products for Quality Builders

UFP MID-ATLANTIC, LLC

A UFP INDUSTRIES COMPANY

BURLINGTON, NC

PHONE (800) 476-9356

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PHONE (800) 476-3190

CLINTON, NC

PHONE (910) 590-3220

CONWAY, SC

PHONE (800) 397-9572

JEFFERSON, GA

PHONE (800) 648-4038

LOCUST, NC

PHONE (704) 888-0920

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PHONE (844) 497-0056

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1. TEMPORARY BRACING TO BE INSTALLED w/T.P.I. STANDARD BCSI-B1.

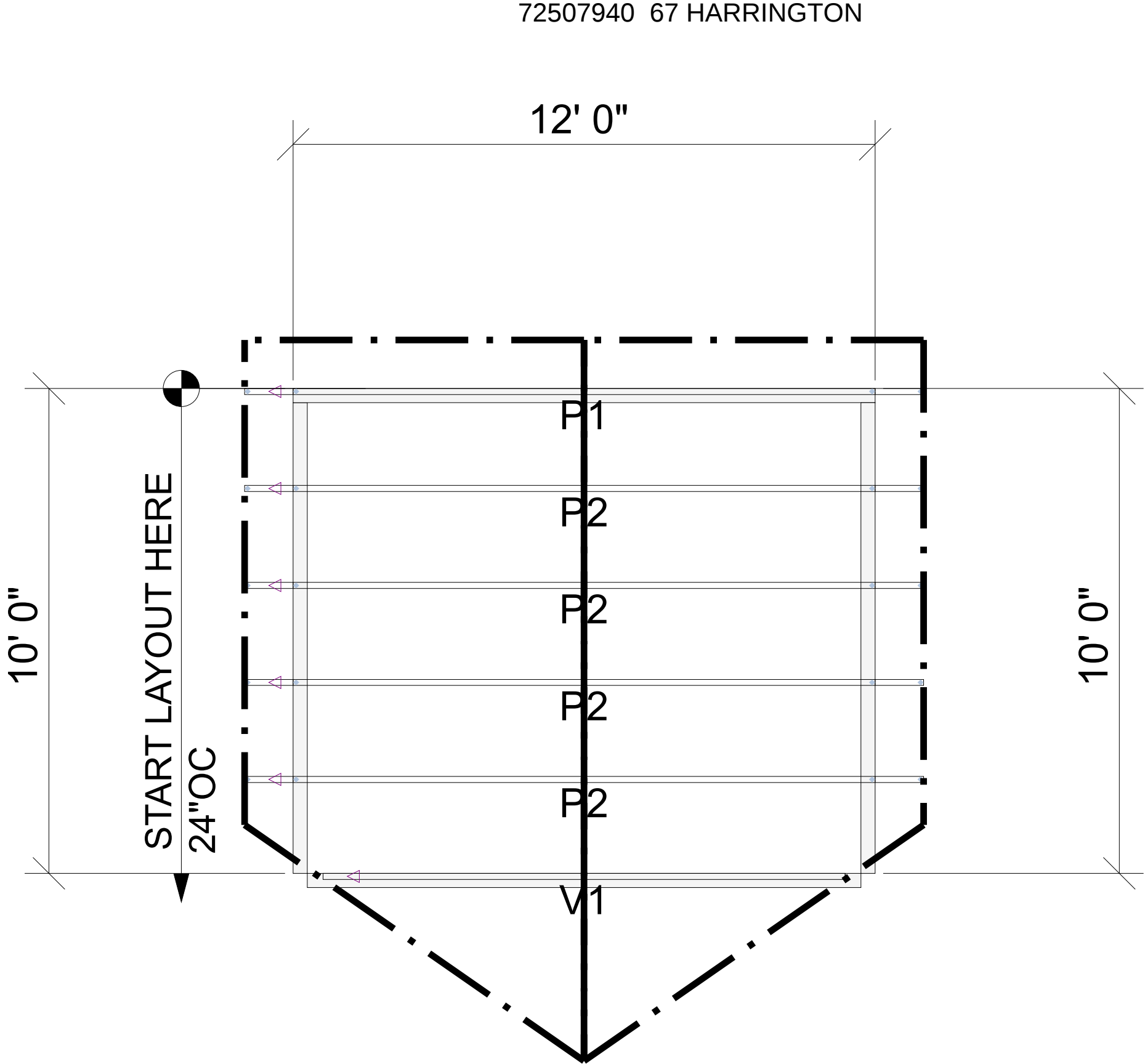
2. SEE ENGINEERED DRAWING FOR PERMANENT BRACING MINIMUM REQUIREMENTS.

3. FRAMER TO VERIFY ALL DIMENSIONS, DROP, & RISE LOCATIONS PRIOR TO TRUSS PLACEMENT.

4. BLDR/FRAMER RESPONSIBLE FOR ADJUSTMENT OF TRUSS SPACING TO MISS PLUMBING DROPS, UNLESS NOTED OTHERWISE.

5. THIS LAYOUT IS NOT AN ENGINEERED DRAWING. THIS DRAWING WAS CREATED TO ESTABLISH TRUSS PLACEMENT ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE ADEQUATE SUPPORT FOR ALL THE ELEMENTS SHOWN IN THIS DRAWING.

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72507940 67 HARRINGTON

ROOF AREA: Error Occurred_RIDGE LINE: 14.87 _ VALLEY LINES: 17.68 _ HIP LINES:8.84 _  Indicates Left End of Truss

Customer SD HOMES			UFP MID-ATLANTIC, LLC A UFP INDUSTRIES COMPANY	NOTES: THIS DRAWING IS THE PROPERTY OF UFP MID-ATLANTIC, LLC AND IS NOT TO BE USED FOR ANY PURPOSE DETRIMENTAL TO THE INTEREST OF UFP MID-ATLANTIC, LLC. THIS DRAWING MUST BE USED IN CONJUNCTION WITH ALL OTHER TECHNICAL DRAWINGS SUPPLIED BY UFP MID-ATLANTIC, LLC AND "BRACING WOOD TRUSSES" COMMENTARY AND RECOMMENDATIONS" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE FOR INDUSTRY STANDARDS IN ERECTING TRUSSES. (TPI) IS LOCATED AT 583 D'ONOFRIO DR. SUITE 200 MADISON, WI 53719 (608) 833-5900		
Job Name CRAWFORD PORCH 10x12				BURLINGTON, NC	PHONE (800) 476-9356	1. TEMPORARY BRACING TO BE INSTALLED w/T.P.I. STANDARD BCS-B1.
Date: 10/20/21				CHESAPEAKE, VA	PHONE (800) 476-3190	2. SEE ENGINEERED DRAWING FOR PERMANENT BRACING MINIMUM REQUIREMENTS.
Scale: NTS				CLINTON, NC	PHONE (910) 590-3220	3. FRAMER TO VERIFY ALL DIMENSIONS, DROP, & RISE LOCATIONS PRIOR TO TRUSS PLACEMENT.
Revision Date1: _____		CONWAY, SC	PHONE (800) 397-9572	4. BLDR/FRAMER RESPONSIBLE FOR ADJUSTMENT OF TRUSS SPACING TO MISS PLUMBING DROPS, UNLESS NOTED OTHERWISE.		
Revision Date2: _____		JEFFERSON, GA	PHONE (800) 648-4038	5. THIS LAYOUT IS NOT AN ENGINEERED DRAWING. THIS DRAWING WAS CREATED TO ESTABLISH TRUSS PLACEMENT ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE ADEQUATE SUPPORT FOR ALL THE ELEMENTS SHOWN IN THIS DRAWING.		
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		LIBERTY, NC	PHONE (800) 648-4038			
		OOLTEWAH, TN	PHONE (844) 497-0056			
		PEARISBURG, VA	PHONE (800) 397-9571			