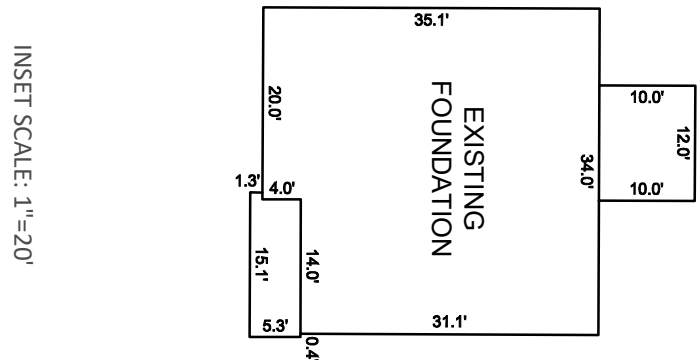


LOT INFORMATION:

PIN: 95586-65-0427.000
REFERENCE: DB, 4272, PG. 2219
TOTAL LOT AREA = 0.965 AC = 42,034 SF
FOUNDATION = 1,333 SF
EXISTING IMPERVIOUS = 1,333 SF
PERCENT IMPERVIOUS = 3.17%

BUILDING SETBACKS
FRONT - 35'
SIDE - 10'
REAR - 25'
STREET SIDE - 20'

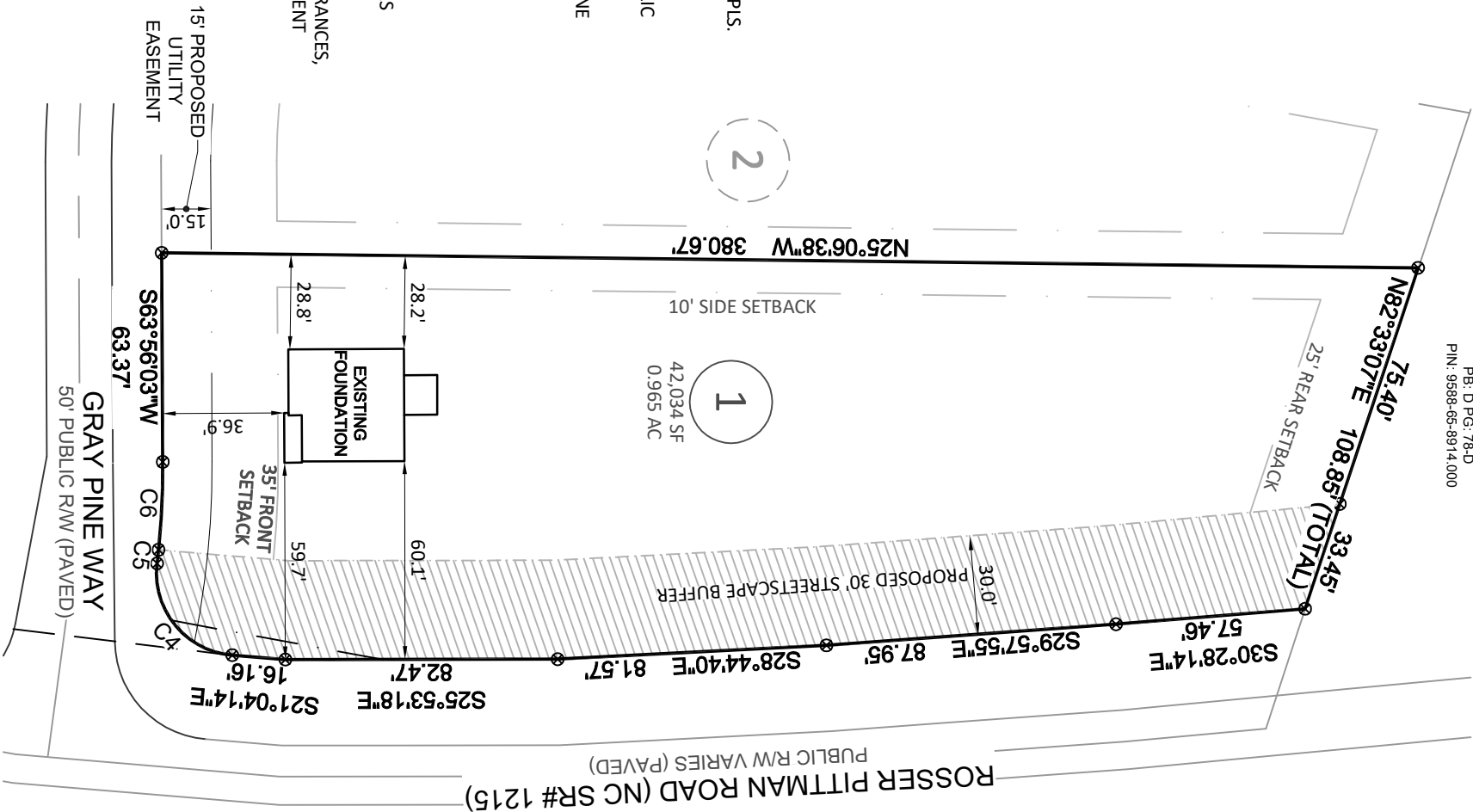


INSET SCALE: 1"=20'

NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF SONYA A. WARD, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCE RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ZONING: RA-20R
10. BUILDER/DEVELOPER: SMITH DOUGLAS HOMES
3412 APEX PEAKWAY
APEX, NC 27502

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHD BEARING
C4	25.00'	40.11'	S24°53.42"W 35.95'
C5	255.00'	4.16'	S70°23.96"W 4.16'
C6	255.00'	26.67'	S66°55.94"W 26.66'



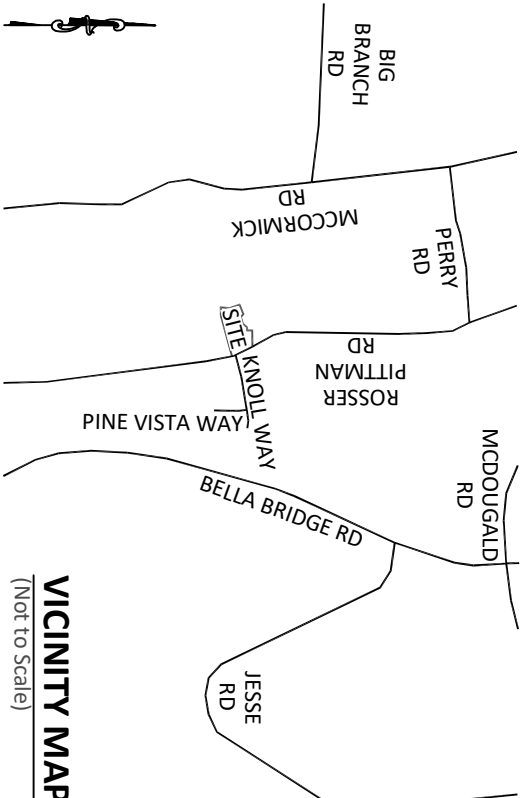
**NOW OR FORMERLY
BETTY STONE MASSEY
NOEL J. MASSEY
DB:875 PG:41
PB: D PG: 78-D
PIN: 9588-65-8914.000**



Bateman Civil Survey Company

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2524 Reliance Avenue, Apex, NC 27559 PH: 919.577.1080 Fax: 919.577.1081
www.batemancivilsurvey.com info@batemancivilsurvey.com
NCBELS Firm No. C-2378



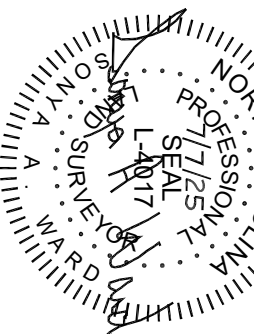
VICINITY MAP

(Not to Scale)

LEGEND

- PO = COVERED FRONT PORCH
- SP = STOOP
- CP = COVERED PORCH/PATIO
- WD = WOOD DECK
- SW = SIDEWALK
- DW = CONC DRIVEWAY
- P = CONC PATIO
- ⊗ = COMPUTED POINT
- ✕ = MAG NAIL FOUND
- = IRON PIPE FOUND (IPF)
- = IRON PIPE SET (IPS)

I, SONJA A. WARD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4017



This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

FOUNDATION SURVEY

FOR

SMITH DOUGLAS HOMES

BRIARWOOD PARK - LOT 1

20 GRAY PINE WAY, SANFORD, NC
BARBECUE TOWNSHIP, HARNETT COUNTY

DATE: 7/7/25 DRAWN BY: AHB CHECKED BY: SAW

REFERENCE: PB. 2025, PG. 20

BCS# 250487

SCALE: 1" = 50