

LOT 36 WATSON RIDGE
INVENTORY MARKED

EMBARK
DREAM FINDERS HOMES

PLAN REVISIONS

02-04-20	ADJUSTED THE PATIO/PAD TO MEASURE 10' X 8' AND ADJUSTED DIMENSIONS OF CONCRETE PAD/PATIO. VERIFIED HDR. HGT. WAS AT LEAST 1'-0" ON ALL EXTERIOR WINDOWS. CHANGED ROOM SIZES AND DIMENSIONS. CHANGED WASHER DRYER AND REFRIGERATOR TO OPTIONAL COMPONENTS. VERIFIED MASTERS WAS CHANGED TO OWNER'S THROUGHOUT PLAN. CHANGED FRONT DOOR ON ELEVATION C TO 1-PANEL. INSTEAD OF 3-PANEL DOOR. ADDED ROOF VENT CALCULATIONS OF ALL ELEVATION. CHANGED 2X4 WALL AT REAR OF THE GARAGE TO 2X6 WALL. UPDATED SLAB INTERFACE PLAN AND OPTIONS. ADDED OPT. DEL. OVEN TO PLANS IN KITCHEN. ADDED INSULATION DETAIL TO PLAN SHEETS. ADDED 3'-0" 5'-0" WINDOW AT OWNER'S BEDROOM FOR VENTILATION PURPOSES. CHANGE ALL CEILING FANG TO OPTIONAL. REVISED CUTSHEETS.
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06-01-20	REMOVED HANSEN BOX AND DRYER VENT. GATHERING WAS CHANGED TO FAMILY, CAFE WAS CHANGED TO CASUAL DINING, AND FLEX ROOM WAS CHANGED TO STUDY. CREATED NEW SHEET FOR FLOOR PLAN OPTIONS. UPDATED CUTSHEETS. CHANGED 2X4 WALL AT LEFT BACK AND FRONT GARAGE WALLS TO 2X6. REMOVED OUTLETS, PHONES AND TV'S FROM ELECTRICAL PLANS. ADDED CARBON MONOXIDE DETECTOR AT BEDROOMS'. CREATED ELEVATION ARTS AND CRAFTS 'D'. CHANGED CORNER BOARDS ON ELEVATIONS TO BE 1X4 TRIM BOARD. SHOULD COACH LIGHTS ON ELEVATIONS. ADDED DIAGONAL DIMENSIONS ON SLAB INTERFACE PLAN. REVISED ROOM DIMENSIONS FOR THE FOLLOWING ROOMS: GARAGE WAS 11'-4"x20'-8", NOW 11'-2"x20'-6" FAMILY ROOM WAS 18'-6"x14'-8", NOW 18'-6"x14'-1" REVISED SF. AS FOLLOWS: LIVING WAS 1124 SF, NOW 1125 SF. GARAGE WAS 749 SF, NOW IS 748 SF. FRONT PORCH AT ELEVATION B WAS 63 SF, NOW IS 13 SF. REMOVED ELEVATION C ON 07-09-2020 REMOVED ROUNDING AT 50 FT. BLOCK PORCH A WAS 63 SF, NOW IS 65 SF. PORCH B WAS 13 SF, NOW IS 12 SF. CHANGED SHUTTERS TO BE 14" WIDE. REMOVED OPT. FREEZE BOARD AT REAR AND SIDE ELEVATIONS. CREATED LEFT HAND GARAGE VERSION
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06-08-20	ADDED WINDOW SCHEDULE CHANGED OWNER'S BATH DOOR TO 7/6" CHANGED GARAGE WALL FROM 2X6 TO 2X4 ADDED DETAIL FOR DECORATIVE BRACKET ON ELEVATION A, ELEVATION B, & ELEVATION D CHANGED COLUMNS TO MATCH STANDARD COLUMNS ACROSS ALL PIERL PLANS REMOVED COLUMN BASE FROM ELEVATION D AND CREATED FULL HEIGHT 8' SQUARE COLUMN REMOVED GARAGE SHAKE FROM ELEVATION D CHANGED LINEN HALL DOOR FROM 2 1/6" BIFOLD TO 2 1/6 STD. CHANGED LINEN DOOR FROM 1 1/0 BIFOLD TO 2 1/0 STD. CHANGED OWNER'S BATH LINEN DOOR FROM 2 1/6 BIFOLD TO 2 1/6 STD. CHANGED COATS DOOR FROM 2 1/6 BIFOLD TO 2 1/6 STD. CHANGED BED 2 CLOSET DOOR FROM 2 1/6 BIFOLD TO 2 1/6 STD. CHANGED BED 3 CLOSET DOOR FROM 2 1/6 BIFOLD TO 2 1/6 STD. CHANGED OWNER'S BEDROOM DOOR FROM 2 1/8 STD. TO 2 1/6 STD. REMOVED OPTIONAL DOUBLE OVEN REMOVED VENT FROM GABLE ON ELEVATION A (01-18-24)
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12-01-22	ADDED ELEVATION D2 SHOWING BRICK COLUMN AND D3 SHOWING STONE COLUMN. ADDED SQUARE FOOTAGE BLOCK FOR D2 AND D3 ELEVATIONS. VERIFIED AND UPDATED OPTIONAL OWNER'S BATH 2 & 3 LAYOUTS. CHANGING OF FIRST FLOOR CEILING HEIGHT FROM 9'-0" TO 8'-0" CEILING HEIGHT SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION 'D' CHANGED TO 126 SQ. FT. SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION 'D2' CHANGED TO 136 SQ. FT. SQUARE FOOTAGE OF FRONT PORCH ON ELEVATION 'D3' CHANGED TO 136 SQ. FT.
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12-07-22	CHANGED GARDEN TUB OF OPTIONAL OWNER'S BATH 2 FROM 66" TO 60" CHANGED GARDEN TUB OF OPTIONAL OWNER'S BATH 3 FROM 66" TO 60" ADDED (6) OPTIONAL LED CAN LIGHTS IN KITCHEN (06-15-23)
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08-15-24	CEILING HEIGHT CHANGED FROM 8'-0" TO 9'-0" OPTIONAL COVERED PATIO CREATED
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9' CEILING

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'A'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	65 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'B'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	72 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D2'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	136 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

SQUARE FOOTAGE	
HEATED AREAS	ELEV 'D3'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	136 SQ. FT.
UNCOVERED AREAS	
PAD	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

EMBARK (GARAGE RIGHT)
DREAM FINDERS HOMES

1724

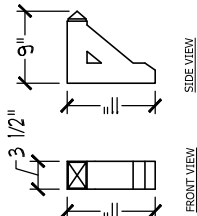
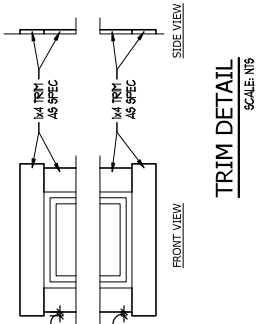
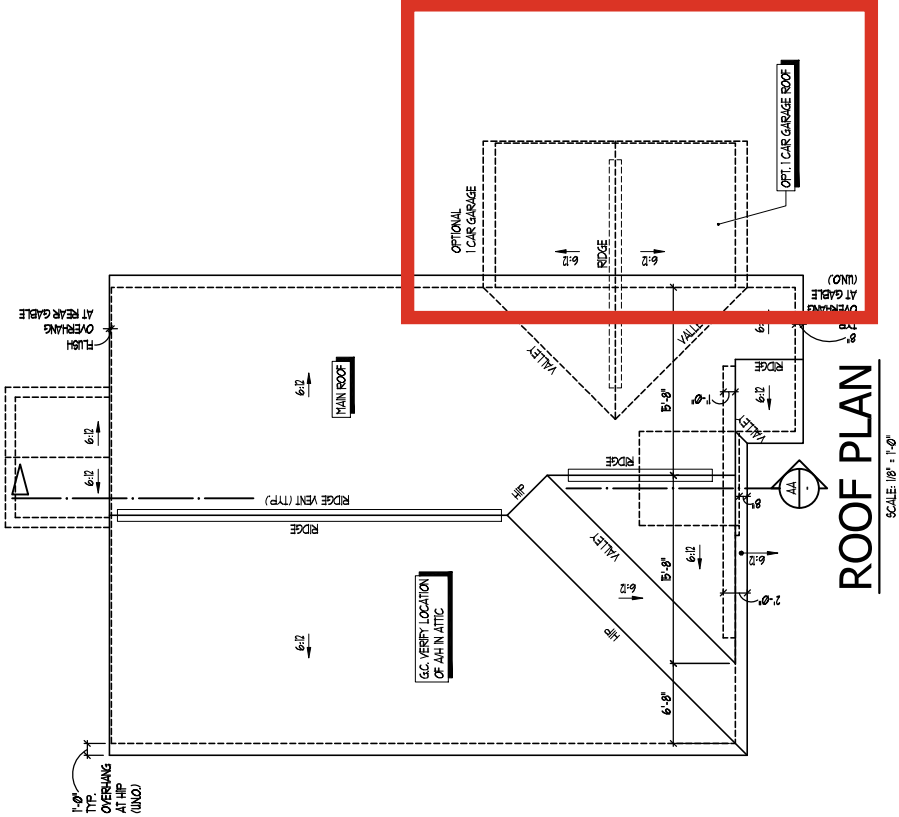
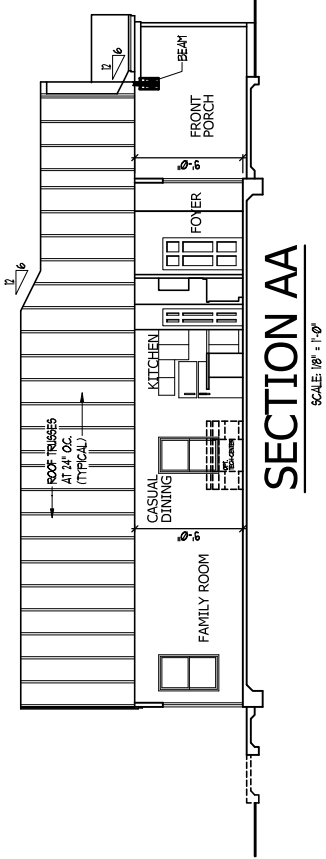
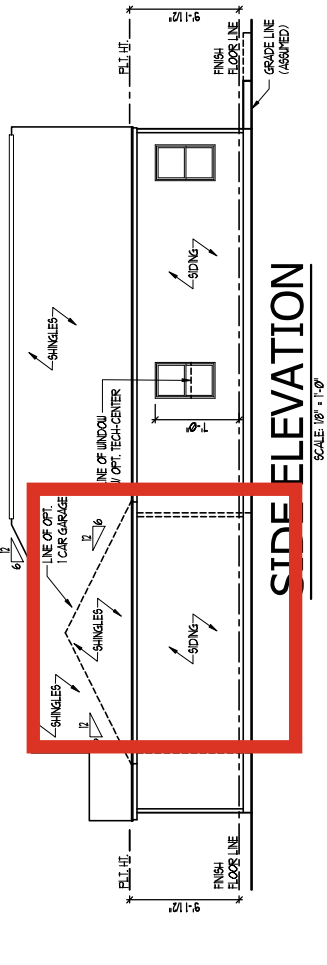
TITLE
REVISION LOG

SHEET
CS

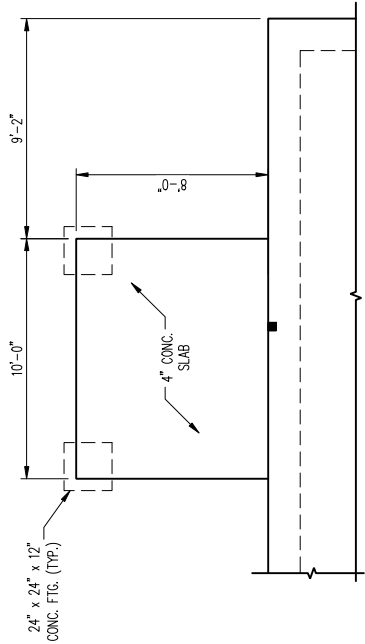
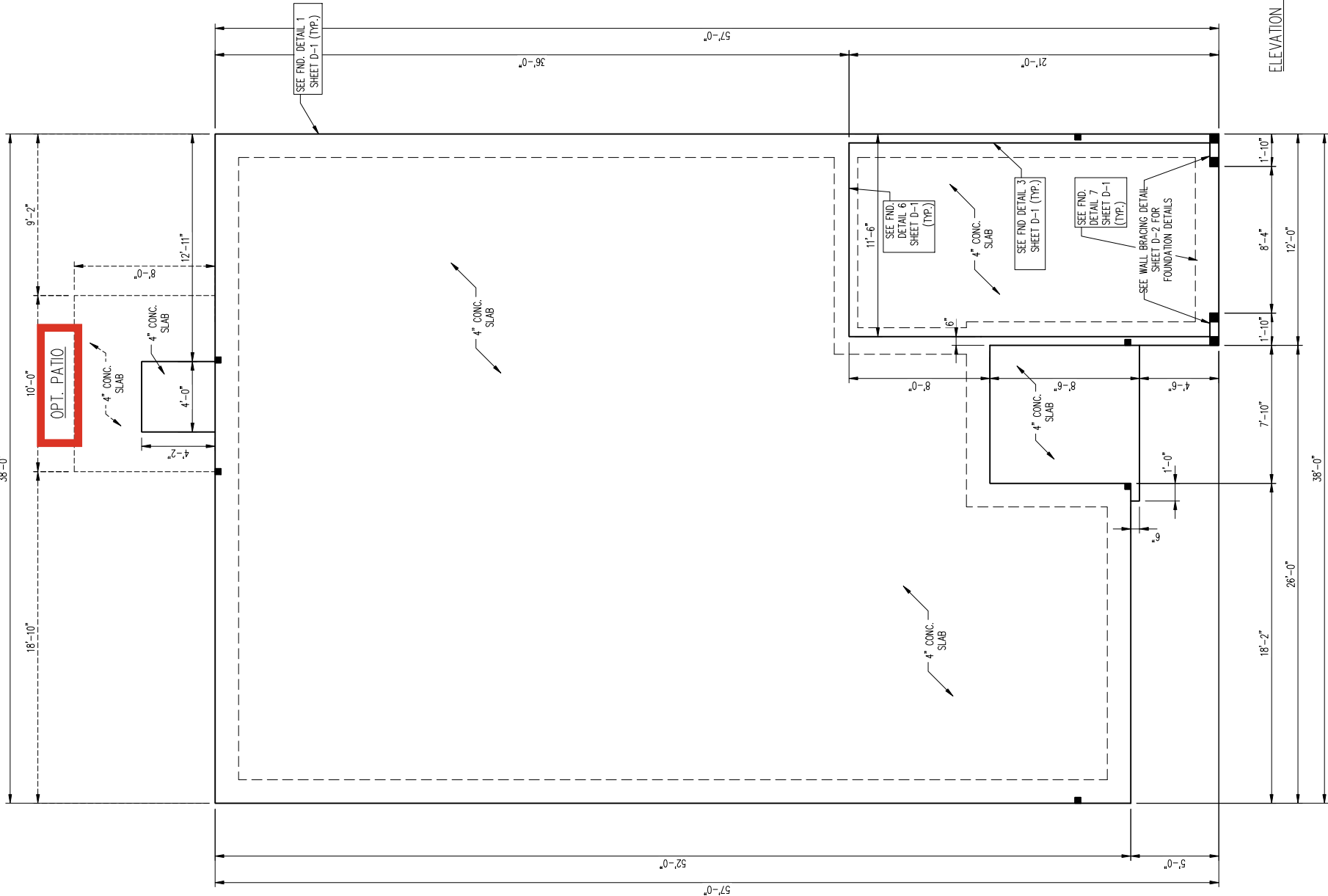
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CAD FILE NAME	EMBARK-R
ISSUED	11-08-17
REVISED	09-14-18
	02-04-20
	06-01-20
	06-08-20
	12-01-22
	08-15-24

DRAWINGS ON THIS
SHEET ARE ONE HALF
THE SCALE NOTED

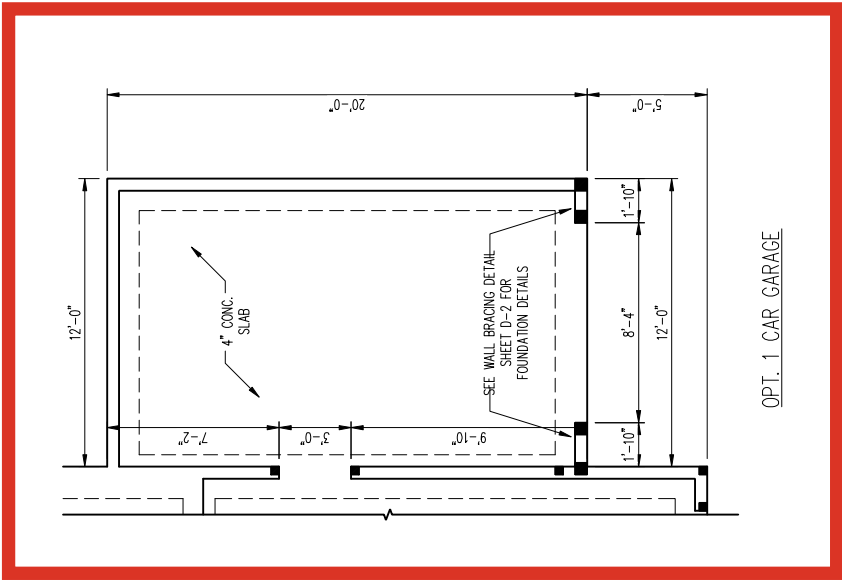
DREAM FINDERS
HOMES

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SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
1/8" x 11" PRINTS ARE ONE HALF THE NOTED SCALE



OPT. COVERED PORCH



OPT. 1 CAR GARAGE

J.S. THOMPSON
ENGINEERING, INC.
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

EMBARK
DREAM FINDERS HOMES

DATE: AUGUST 21, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: DAVIS REYNOLDS DESIGN CO.
ENGINEERED BY: WTB

S-1.2a
MONO SLAB
FOUNDATION PLAN

- 150 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEMS.
 - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 ("HIGH WIND ZONES") FOR 150 MPH WINDS.
 - BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 ("HIGH WIND ZONES") FOR 150 MPH WINDS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
 - FOUNDATION ANCHORAGE TO COMPLY WITH SECTION 4504 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
 - WALL CLADDING DESIGNED FOR +14.3 PSF AND -14.3 PSF (+/-) INDICATE POSITIVE / NEGATIVE PRESSURE (TYP).
 - WALL CLADDING DESIGNED FOR +22.2 PSF AND -22.2 PSF FOR ROOF PITCHES 7/12 TO 12/12 AND +14 PSF AND -57 PSF FOR ROOF PITCHED 2.25/12 TO 7/12.
 - 7/16" OSB SHEATHING IS REQUIRED ON ALL EXTERIOR WALLS.
 - WALLS TO BE BRACED IN ACCORDANCE WITH SECTION 4505 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND AS NOTED ON PLANS.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.

- 120 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEMS.
 - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
 - INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN 1/2" OF EXTERIOR FACE OF WALL.
 - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
 - EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
 - WALL CLADDING DESIGNED FOR +15.5 PSF AND -20 PSF (+/-) INDICATE POSITIVE / NEGATIVE PRESSURE (TYP).
 - ROOF CLADDING DESIGNED FOR +14.2 PSF AND -18 PSF FOR ROOF PITCHES 7/12 TO 12/12 AND +10 PSF AND -38 PSF FOR ROOF PITCHED 2.25/12 TO 7/12.
 - INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCRC, 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



8/29/2024



DREAM FINDERS
HOMES

JOB NUMBER	2716703
CAD FILE NAME	EMBARK-R
ISSUED	11-08-17
REVISED	11-08-17
	09-14-18
	02-04-20
	06-01-20
	06-08-20
	12-01-22
	06-15-24

EMBARK (GARAGE RIGHT)

DREAM FINDERS HOMES

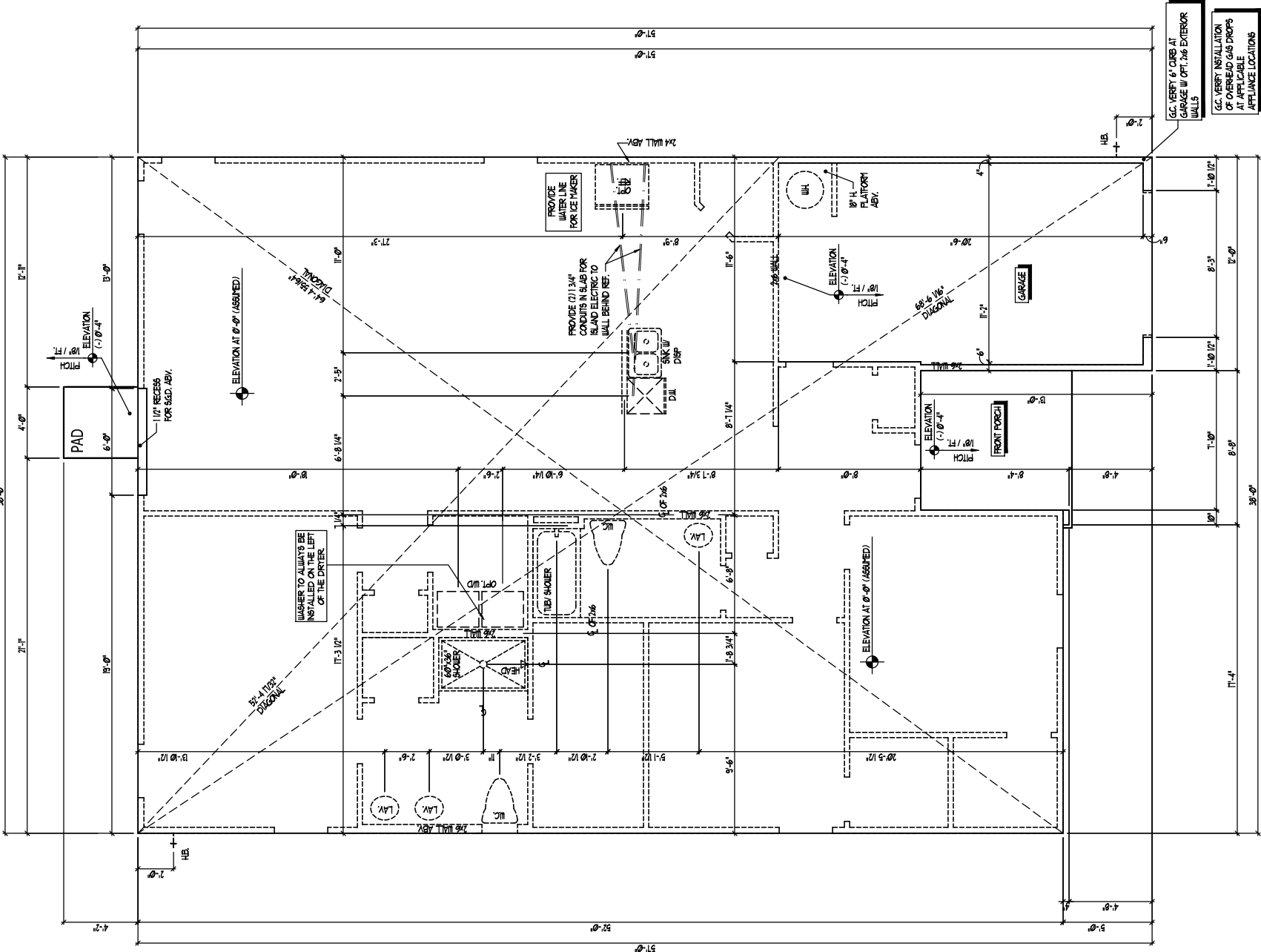
Drawings on this sheet are one half the scale noted

1724

TITLE
SLAB INTERFACE PLAN

SHEET

A1.0



FLOOR PLAN

SCALE 1/4" = 1'-0"

SLAB INTERFACE PLAN A

ELEV. A SHOWN
SHALL AT ALL ELEVATIONS (NO FLUING CHANGES)

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES. ANY DISCREPANCY OR ERROR IN NOTES, DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



JOB NUMBER	27167.03
CAD FILE NAME	EMBARK-R
ISSUED	11-08-17
REVISED	11-17-17
	09-14-18
	02-04-20
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	12-01-22
	12-07-22
	08-15-24

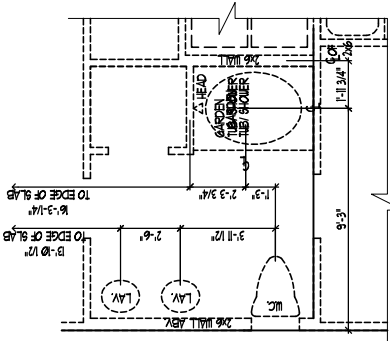
**DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED**

EMBARK (GARAGE RIGHT) DREAM FINDERS HOMES

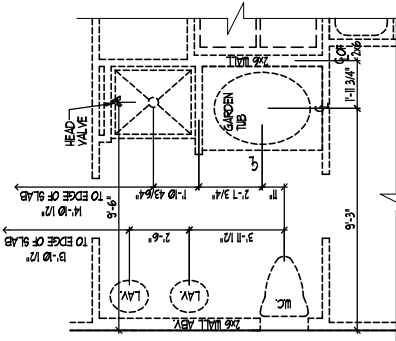
1724

• TITLE
SLAB INTERFACE PLAN

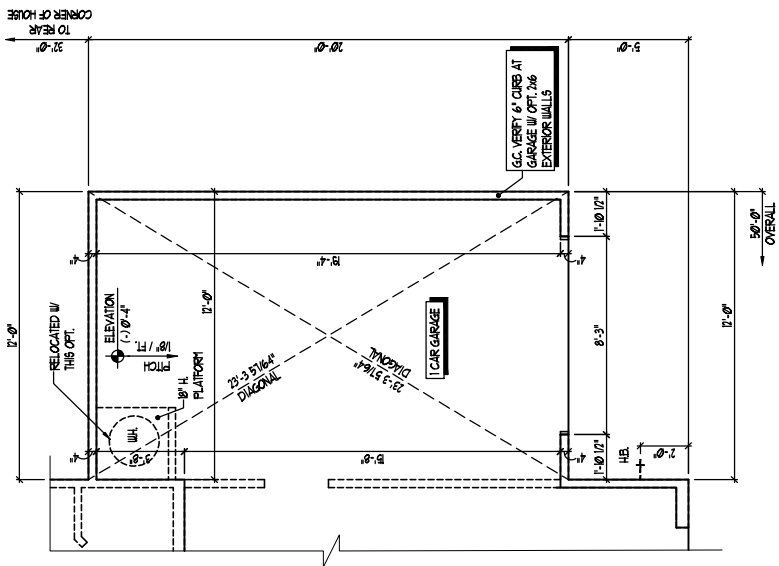
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OPT. OWNER'S BATH 3

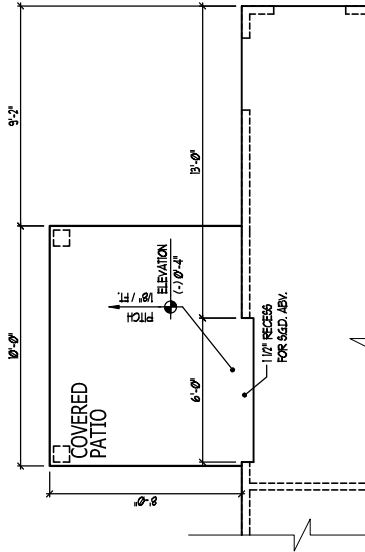


OPT. OWNER'S BATH 2

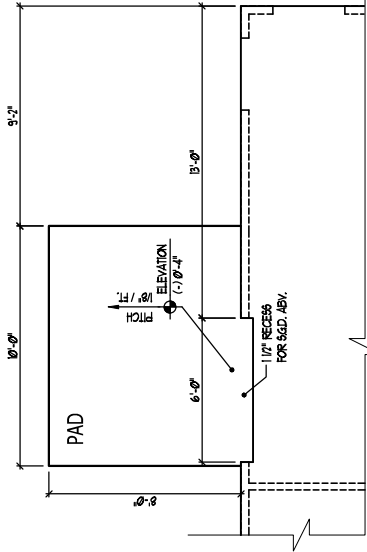


OPT.1 CAR GARAGE

OPT. SLAB INTERFACE PLANS



OPT. COVERED PATIO



OPT. PATIO

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDERS OF RESPONSIBILITY TO COMPLY WITH ALL CITY ORDINANCES AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMPLETION OF CONSTRUCTION.

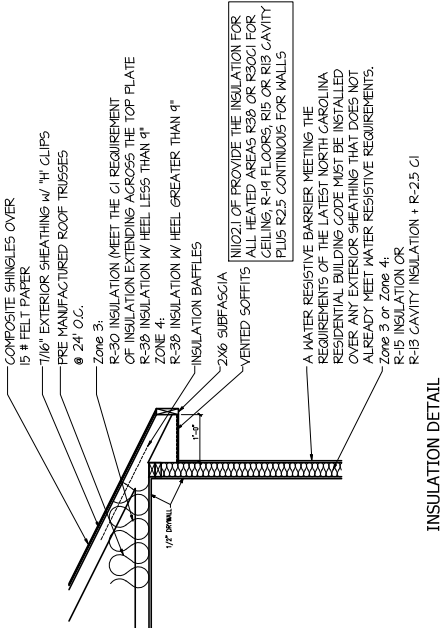
ANY DISCREPANCY OR ERROR IN INTERPRETATION OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMPLETION OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTERS SHALL NOT BE HELD RESPONSIBLE.

WINDOW SCHEDULE				
MARK	SIZE		TYPE	HEAD HEIGHT
	WIDTH	HEIGHT		
(1)	30"	50"	SINGLE HUNG	70"
(2)	20"	30"	SINGLE HUNG	70"
(3)	30"	30"	SINGLE HUNG	70"
SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.				

9' CEILING

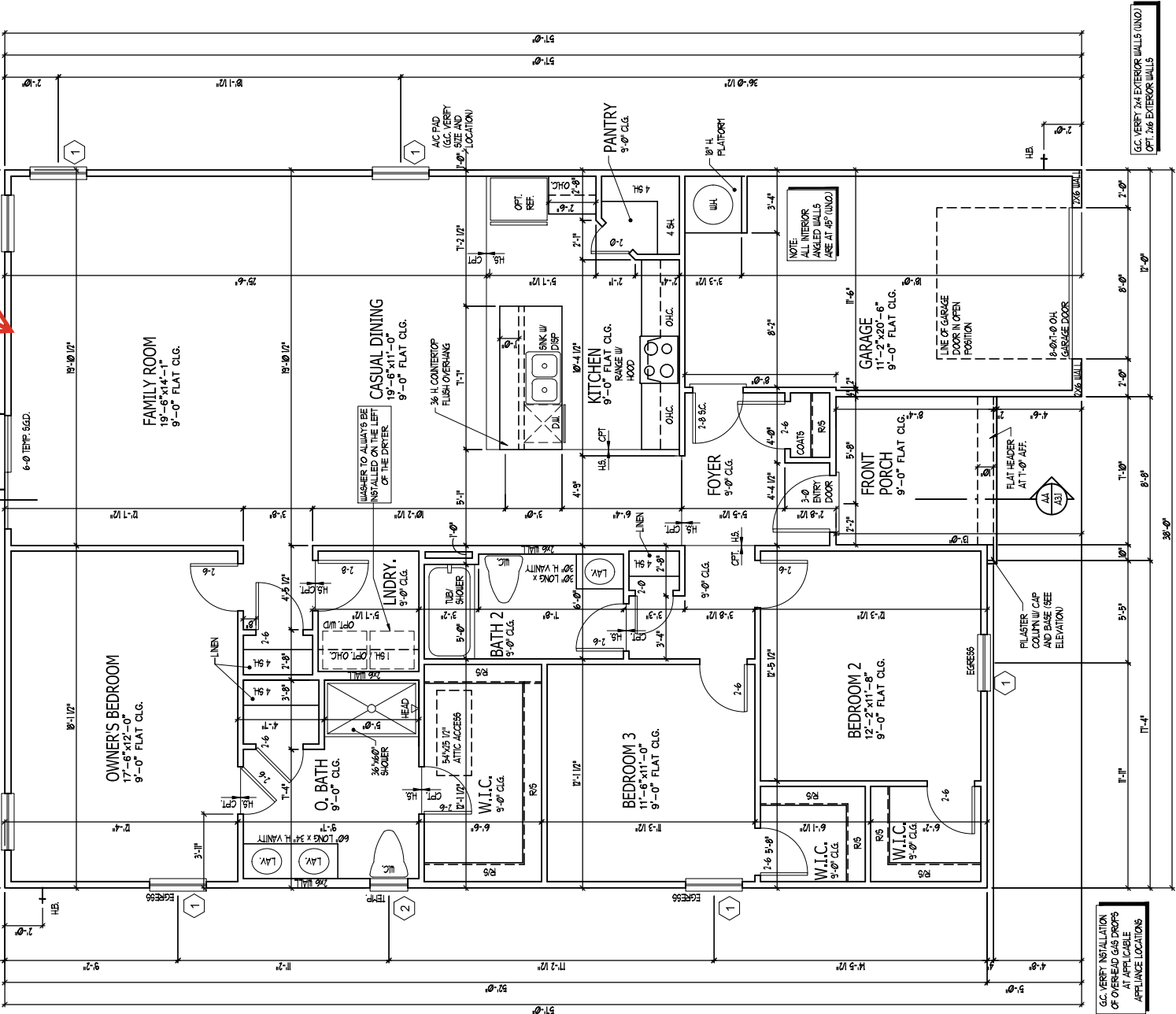


INSULATION DETAIL

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SQUARE FOOTAGE	
HEATED AREAS	ELEV 'A'
LIVING	1725 SQ. FT.
TOTAL HEATED SF	1725 SQ. FT.
UNHEATED AREAS	
GARAGE	248 SQ. FT.
COVERED AREAS	
FRONT PORCH	65 SQ. FT.
UNCOVERED AREAS	
PATIO	16 SQ. FT.
HEATED OPTIONS	
UNHEATED OPTIONS	
OPTIONAL PATIO	80 SQ. FT.
OPTIONAL COVERED PATIO	80 SQ. FT.
OPTIONAL 1-CAR GARAGE	240 SQ. FT.

CENTER FIREPLACE
BETWEEN WINDOWS
PATIO



FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN A



DREAM FINDERS
HOMES

*JOB NUMBER	2716703
CAD FILE NAME	EMBARK-F
ISSUED	11-08-17
REVISED	09-14-18
	02-04-20
	06-01-20
	06-08-20
	12-01-22
	06-15-24

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

EMBARK (GARAGE RIGHT)

DREAM FINDERS HOMES

1724

TITLE
FLOOR PLAN

SHEET
A2.0

*JOB NUMBER	2716703
CAD FILE NAME	EMBARK-R
ISSUED	11-08-17
REVISION	01-09-17
	09-14-18
	02-04-20
	06-01-20
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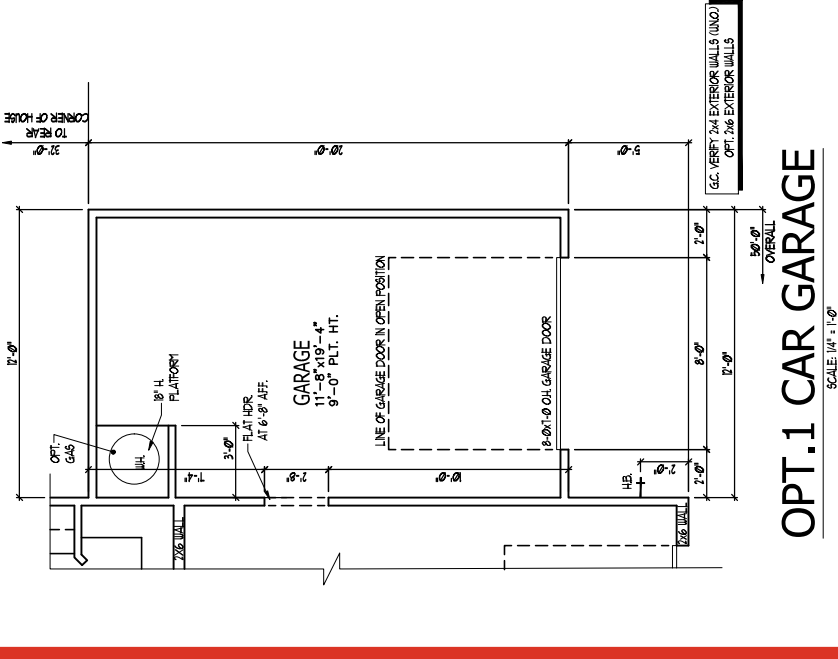
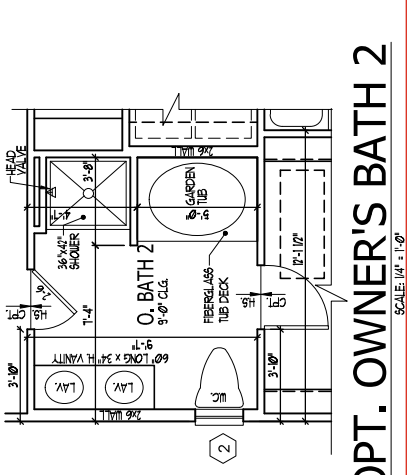
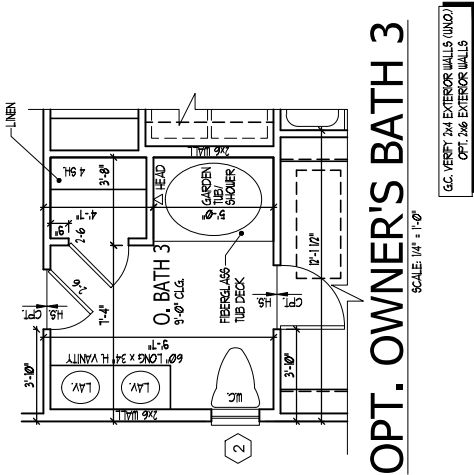
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EMBARK (GARAGE RIGHT)
DREAM FINDERS HOMES

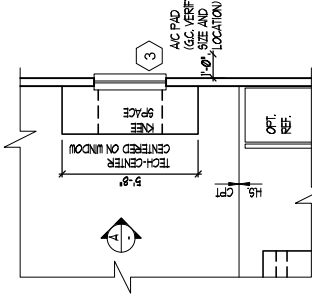
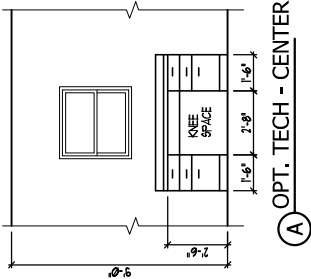
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TITLE
OR PLAN OPTIONS

SHEET
A2.2

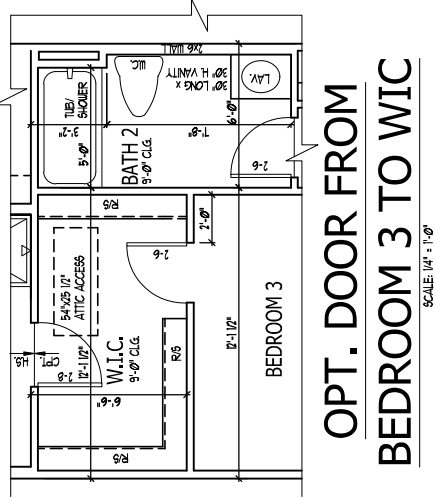


OPT. FLOOR PLANS



OPT. TECH - CENTER AT
CASUAL DINING

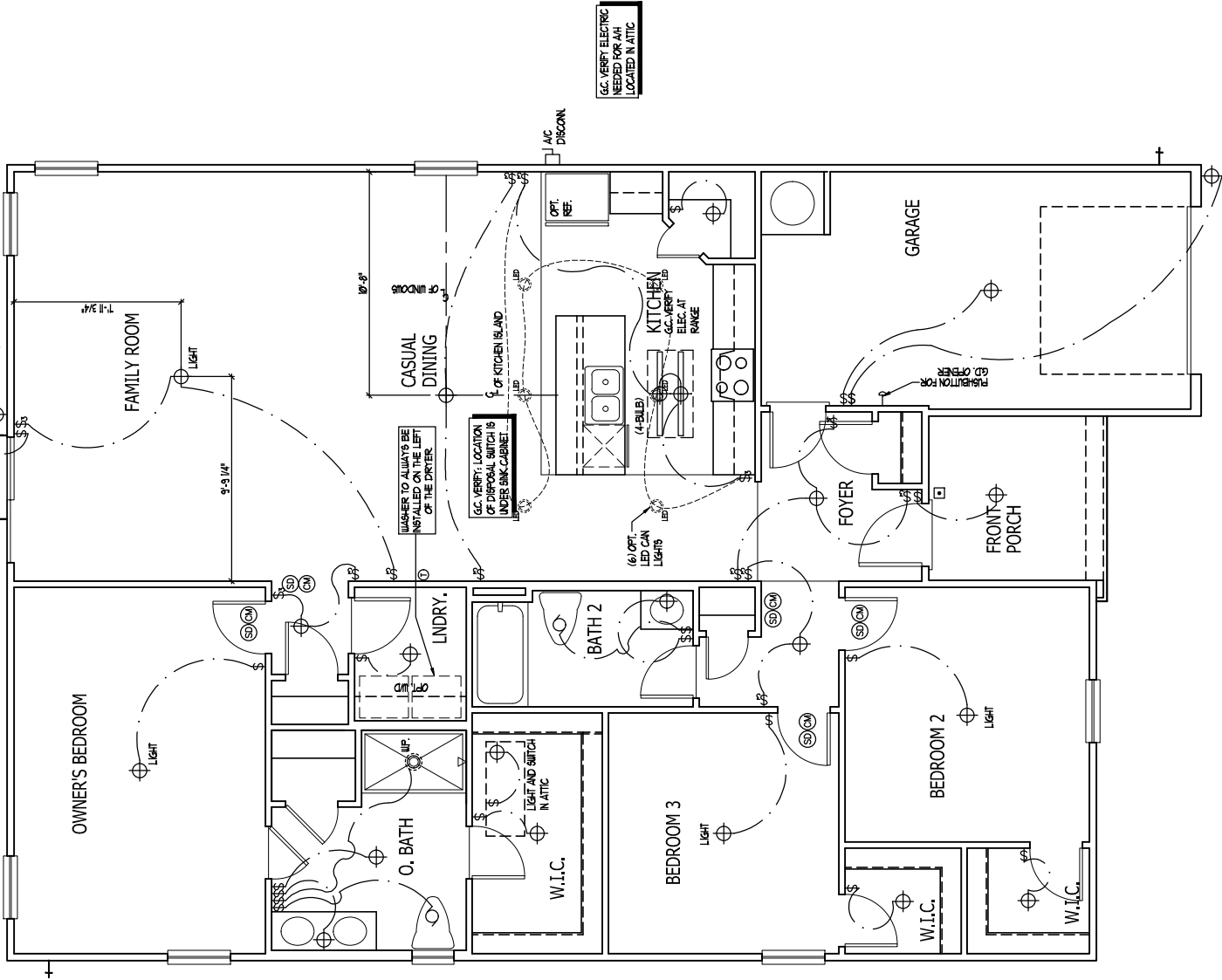
WINDOW SCHEDULE				
MARK	SIZE	HEIGHT	TYPE	HEAD HEIGHT
(1)	30"	50"	SINGLE HUNG	70"
(2)	20"	30"	SINGLE HUNG	70"
(3)	30"	30"	SINGLE HUNG	70"
SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.				



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CENTER FIREPLACE
BETWEEN
WINDOWS

PATIO



GC VERIFY ELECTRIC
NEEDED FOR A/H
LOCATED IN ATTIC

GC VERIFY LOCATION
OF KITCHEN ISLAND
UNDER SINK CABINET

OWNER TO ALWAYS BE
INSTALLED AT THE LEFT
OF THE DRYER

GC VERIFY LOCATION
OF KITCHEN ISLAND
UNDER SINK CABINET

GC VERIFY LOCATION
OF KITCHEN ISLAND
UNDER SINK CABINET

GC VERIFY LOCATION
OF KITCHEN ISLAND
UNDER SINK CABINET

ELECTRICAL KEY

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ LED CAN LIGHT
- ⊕ LIGHT FIXTURE WITH RAIL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FANLIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPTIONAL)
- ⊕ CARPET (OPTIONAL)
- ⊕ PULSATION SWITCH (OPTIONAL)
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE / CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE (OPTIONAL)
- ⊕ TELEVISION (OPTIONAL)
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER (OPTIONAL)
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

NOTES:

- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS:
OUTLETS: 18"
SWITCHES: 48"
TELEPHONE: 48" (UNLESS ADV. CONTRARI)
TELEVISION: 48"
- ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
- ALL BATH AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, TERRACES, DECKS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SPILLAR AREAS WILL REQUIRE A COPPER/ALUMINUM (AL-CU) DEVICE AND TAMPERS-PROOF RECEPTACLES PER NEC 408.40 AND 408.43
- ALL BATH AND 20A DIMY RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
- IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS COMPLETED IN ACCORDANCE WITH ALL APPLICABLE AND ALL APPLICABLE LOCAL STANDARDS, CODES AND ORDINANCES.
- EVERY BUILDING HAVING A FOSAL-REL-BURNING HEATER OR APPLIANCE, FIREPLACE OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 8 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
- ALL JARPS SHALL RECEIVE THEIR PROPERTY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS DERIVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE A BATTERY BACKUP AND BE TESTED BY THE INSTALLER. ALL ALARMS SHALL BE LIMITED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION. ANY CHANGES OR MODIFICATIONS TO ANY CABLE BUILDING CODES SHALL BE PROVIDED TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTERS SHALL NOT BE HELD RESPONSIBLE.

DREAM FINDERS
HOMES



JOB NUMBER	2716703
CAD FILE NAME	EMBARK-F
ISSUED	11-08-17
REVISED	11-08-17
	09-14-18
	02-04-20
	06-01-20
	06-08-20
	12-01-20
	05-15-21
	06-15-24

DRAWINGS ON THIS
SHEET ARE ONE HALF
THE SCALE NOTED

EMBARK (GARAGE RIGHT)
DREAM FINDERS HOMES

1724

TITLE
ELECTRICAL PLAN

SHEET

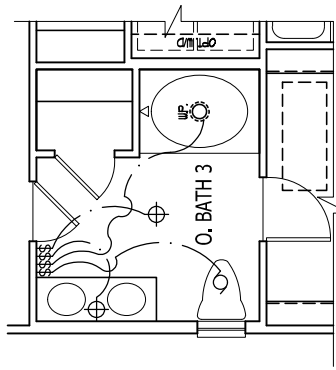
E1.0

FLOOR PLAN

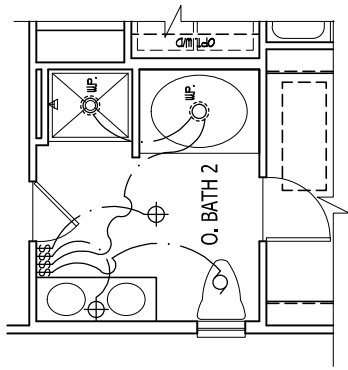
SCALE 1/4" = 1'-0"

ELECTRICAL PLAN A

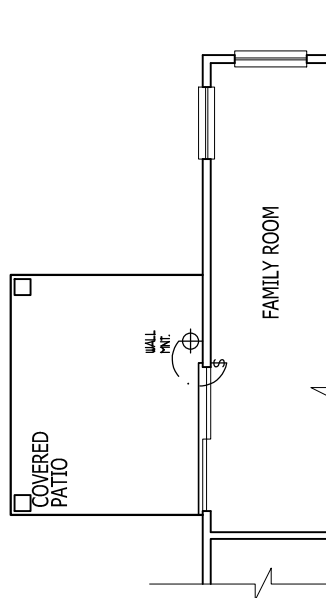
8" PICTURE AT ELEVATION 1



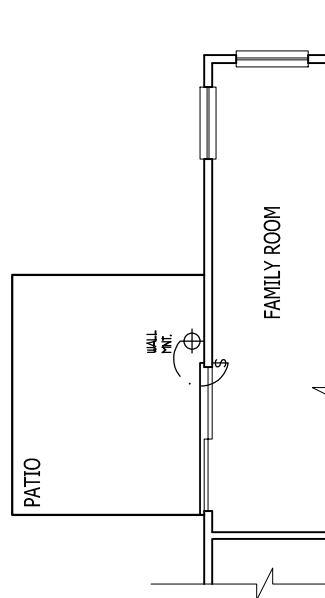
OPT. OWNER'S BATH 3



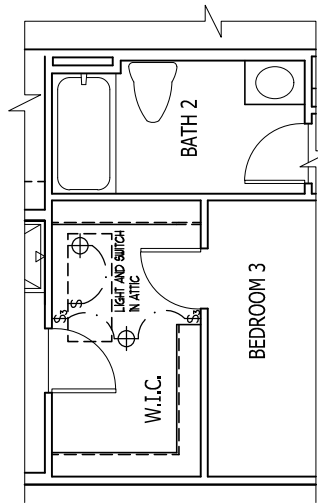
OPT. OWNER'S BATH 2



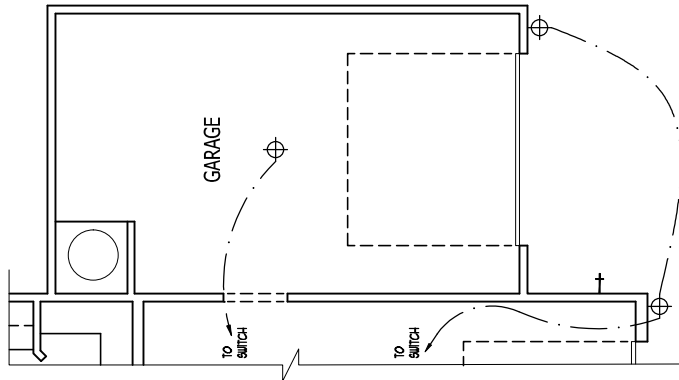
OPT. COVERED PATIO



OPT. PATIO



OPT. DOOR FROM
BEDROOM 3 TO WIC



OPT.1 CAR GARAGE

ELECTRICAL KEY

- | | |
|---|---|
|  | DUPLEX CONVENIENCE OUTLET |
|  | DUPLEX OUTLET ABOVE COUNTER |
|  | WEATHERPROOF DUPLEX OUTLET |
|  | GROUND FAULT INTERRUPTER DUPLEX OUTLET |
|  | WALL-SWITCHED DUPLEX OUTLET |
|  | SPECIAL PURPOSE OUTLET |
|  | DUPLEX OUTLET IN FLOOR |
|  | 220 VOLT OUTLET |
|  | WALL SWITCH |
|  | THREE-WAY SWITCH |
|  | FOUR-WAY SWITCH |
|  | CHIMNEY OUTLET |
|  | CEILING MOUNTED NCANDESCENT LIGHT FIXTURE |
|  | WALL MOUNTED NCANDESCENT LIGHT FIXTURE |
|  | RECESSED NCANDESCENT LIGHT FIXTURE |
|  | LED CAN LIGHT |
|  | LIGHT FIXTURE WITH PULL CHAIN |
|  | TRACK LIGHT |
|  | FLUORESCENT LIGHT FIXTURE |
|  | EXHAUST FAN |
|  | CEILING FAN LIGHT COMBINATION |
|  | ELECTRIC DOOR OPERATOR (OPTIONAL) |
|  | CABLE (OPTIONAL) |
|  | FIRE ALARM PULL STATION (OPTIONAL) |
|  | CARBON MONOXIDE DETECTOR |
|  | SMOKE DETECTOR |
|  | SMOKE / CARBON MONOXIDE DETECTOR |
|  | TELEPHONE (OPTIONAL) |
|  | THERMOSTAT |
|  | ELECTRIC METER |
|  | ELECTRIC PANEL |
|  | DISCONNECT SWITCH |
|  | SPEAKER (OPTIONAL) |
|  | ROUGH-IN FOR OPT. CEILING FAN |
|  | CEILING MOUNTED NCANDESCENT LIGHT FIXTURE |
|  | ROUGH-IN FOR OPT. CEILING FAN |

NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:

THIS ABOVE FINISHED FLOORING
SWITCHES... 42"

WILFIS.....14"
TELEPHONE..14" (UNLESS ABV COUNTERTOP)

TELEVISION . J4'

THE UNIVERSITY OF CHICAGO

REFLECTORS SHALL BE HARDWIRED INTO THE MAIN REF EQUIPPED WITH A MONITORED

LOCALLY CERTIFIED SMOKE DETECTORS.

4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC. 2011 406.12 AND 406.13

THE UNIVERSITY OF CHICAGO

BE GFCI PROTECTED (GFI).

6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC, 2011, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2
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1. EVERY BUILDING HAVING A FOSBIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.

8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP: COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELLED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ISSUANCE OF PLANS FROM THIS DRAFTERS OFFICE SHALL NOT RELIEVE THE BUILDERS OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION.

ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ADDITIONAL FEES. AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTERS SHALL NOT BE HELD RESPONSIBLE.

DREAM FINDERS
HOMES

JOB NUMBER	27167.03
CAD FILE NAME	EMBARK-R
ISSUED	11-08-17
REVISED	11-17-17
	09-14-18
	02-04-20
	06-01-20
	06-08-20
	12-01-22
	12-07-22
	08-15-24

DRAWINGS ON 11"x17"
SHEET ARE ONE HALF
THE SCALE NOTED

EMBARK (GARAGE RIGHT) DREAM FINDERS HOMES

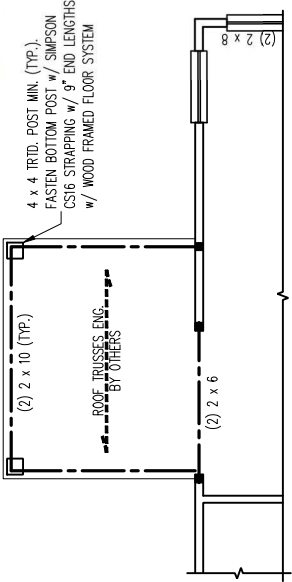
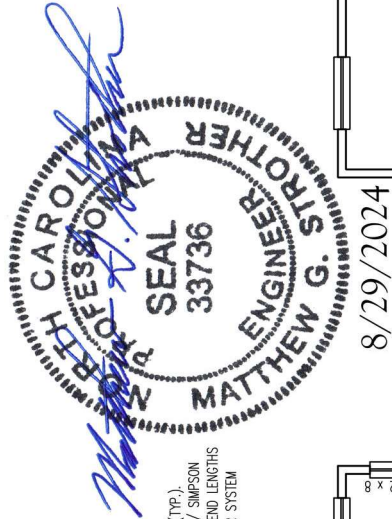
1724

•	TITLE
	ELECTRICAL PLAN OPTIONS

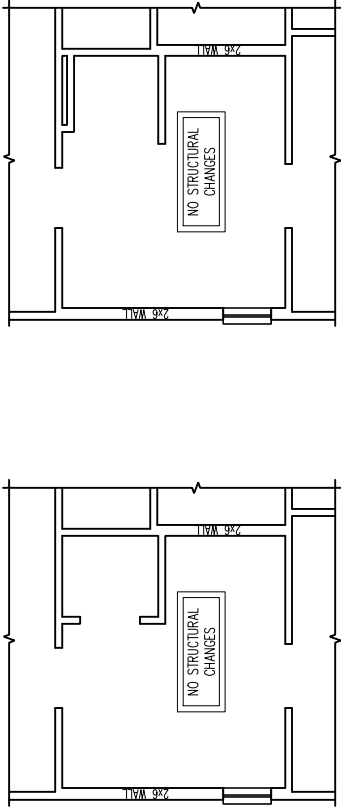
SHEET

11

OPT. ELECTRICAL PLANS

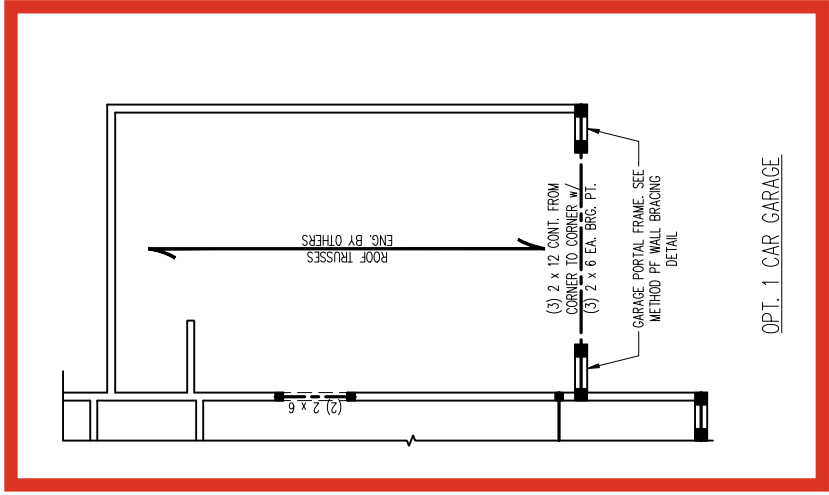


OPT. COVERED PORCH



OPT. OWNER'S BATH 3

OPT. OWNER'S BATH 2



OPT. 1 CAR GARAGE

SCALE NOTE:

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
1/8\"/>

OPT. PATIO

BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION R602.10.5 "WALL BRACING BY ENGINEERED DESIGN" OF THE NRC 2018 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.1 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
- SHEATH ALL EXTERIOR WALLS w/ 7/16\"/>
- CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16\"/>
- GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2\"/>
- NAILED SPACED 7\"/>
- WIND ZONES: BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION.
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16\"/>
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3\"/>
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO.)
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2\"/>
- ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

***NOTE:** ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 SPF #2 @ 24\"/>

LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

TABLE R602.7.5

MINIMUM NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 3'	1
> 3' TO 6'	2
> 6' TO 9'	3
> 9' TO 12'	4
> 12' TO 15'	5

ELEVATION A

S-2a
ATTIC FLOOR
FRAMING PLAN

J.S. THOMPSON ENGINEERING, INC.
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

EMBARK HOMES
DREAM FINDERS HOMES

DATE: AUGUST 21, 2024

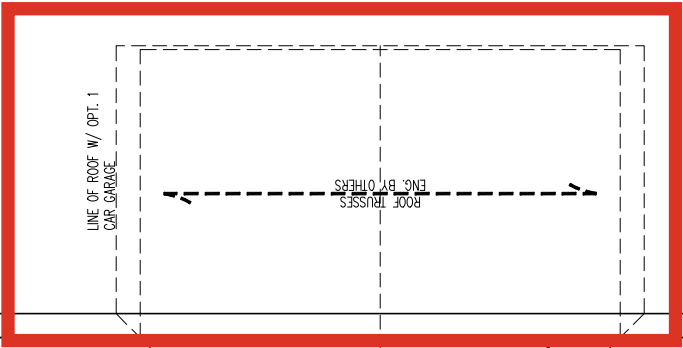
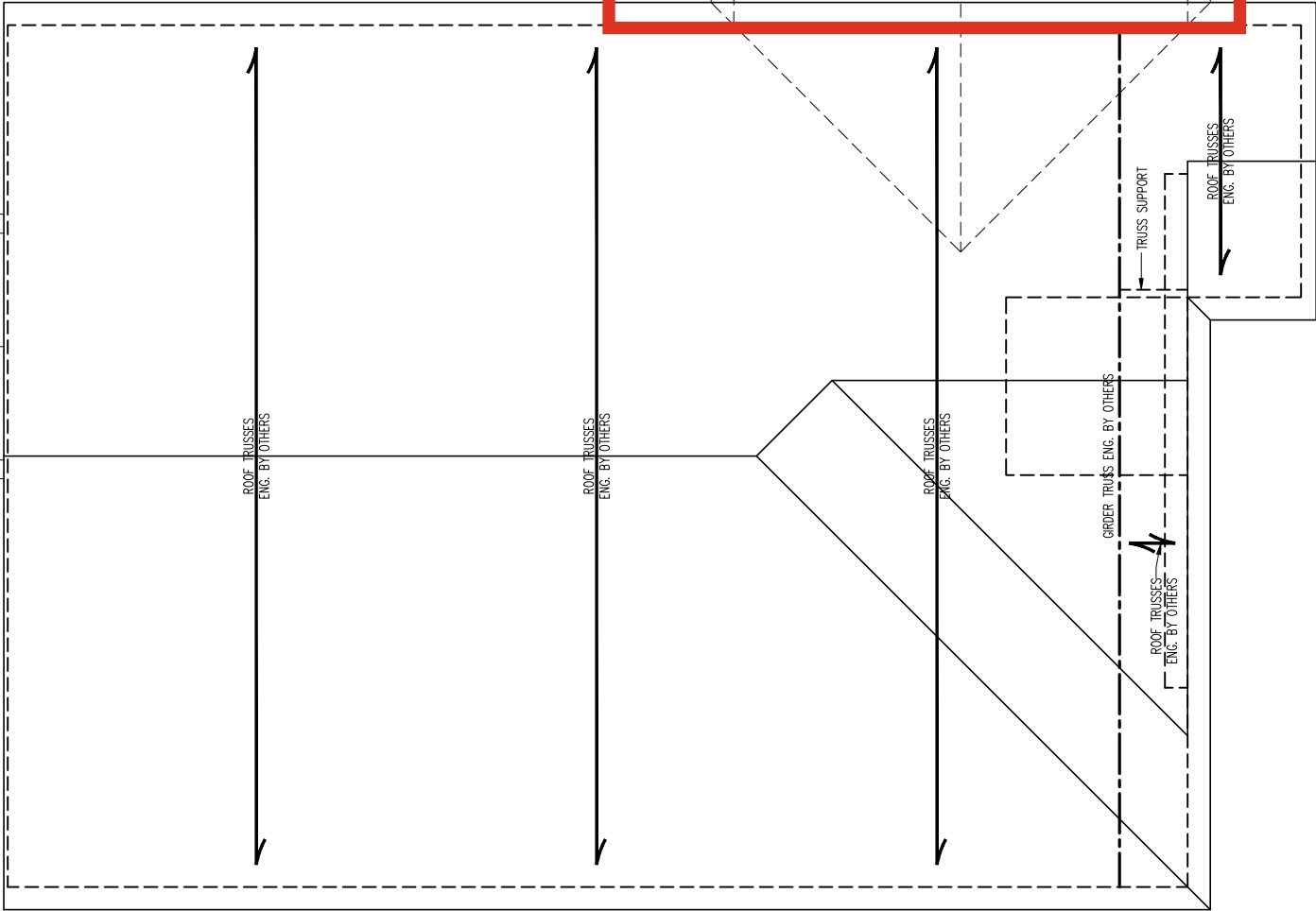
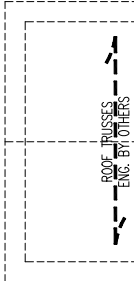
SCALE: 1/4\"/>

DRAWN BY: DAVID BEHN DESIGN CO.

ENGINEERED BY: WTB

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
1/8" x 11" PRINTS ARE ONE HALF THE NOTED SCALE

OPTIONAL COVERED PORCH



- STRUCTURAL NOTES:
- ALL FRAMING LUMBER TO BE #2 SPF (UNO).
 - CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
 - FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
 - HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
 - STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
 - REFER TO SECTION R802.11 OF THE 2018 NIRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
XT	EXTRA TRUSS
TS	TRUSS SUPPORT
XR	EXTRA RAFTER
RS	RAFTER SUPPORT
CONT	CONTINUOUS
EA	EACH
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

J.S. THOMPSON
ENGINEERING, INC
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

EMBARC
DREAM FINDERS HOMES

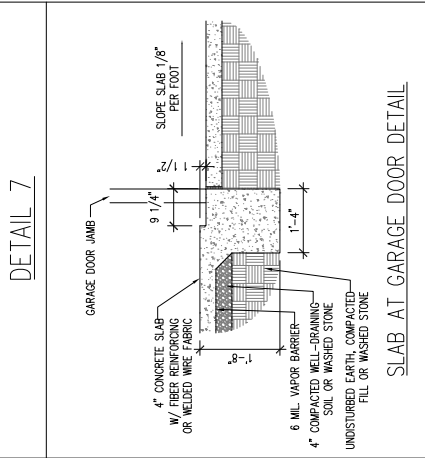
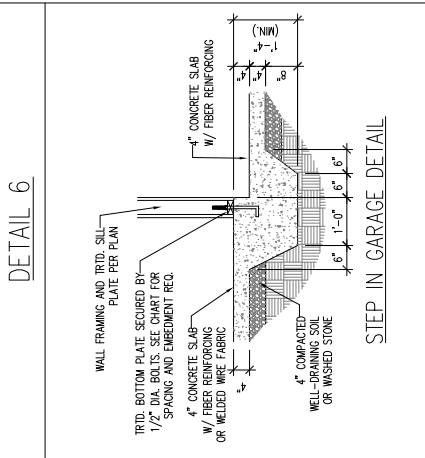
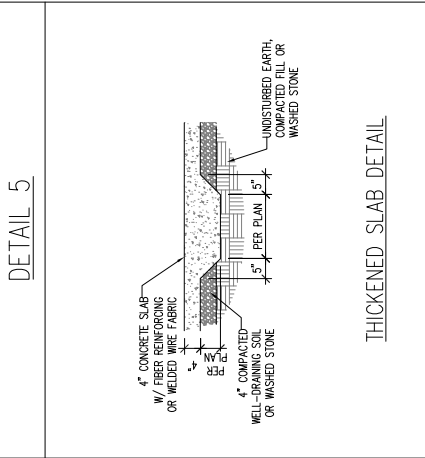
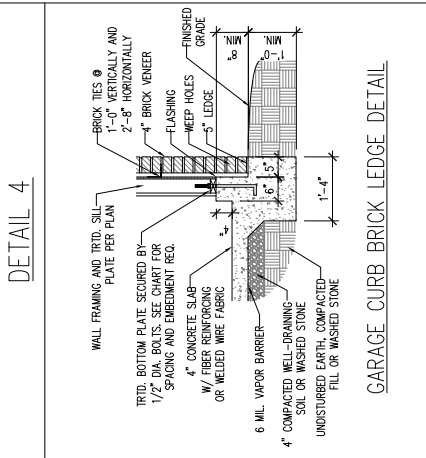
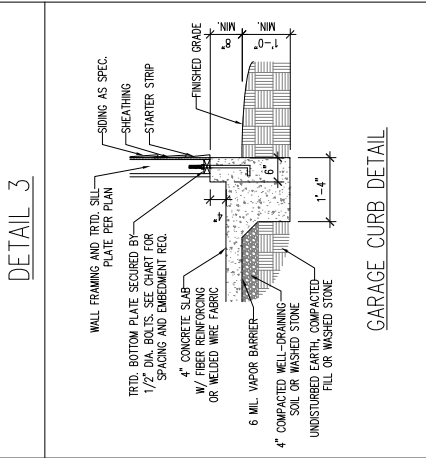
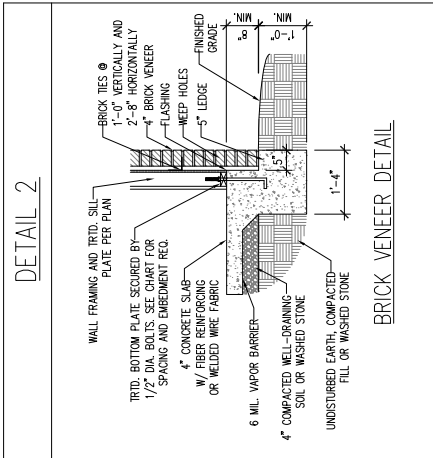
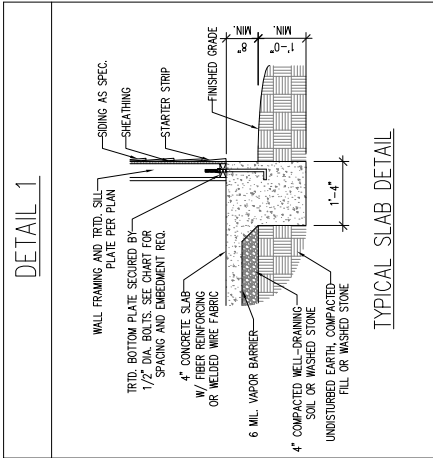
DATE: AUGUST 12, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: DAVID BEHN DESIGN CO.
ENGINEERED BY: WFB

S-3a
ROOF FRAMING
PLAN

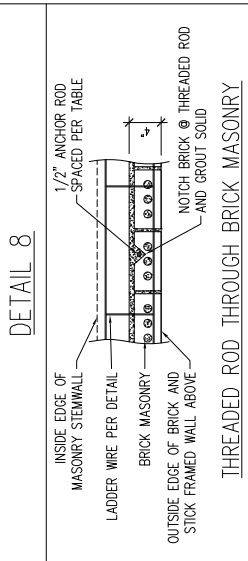
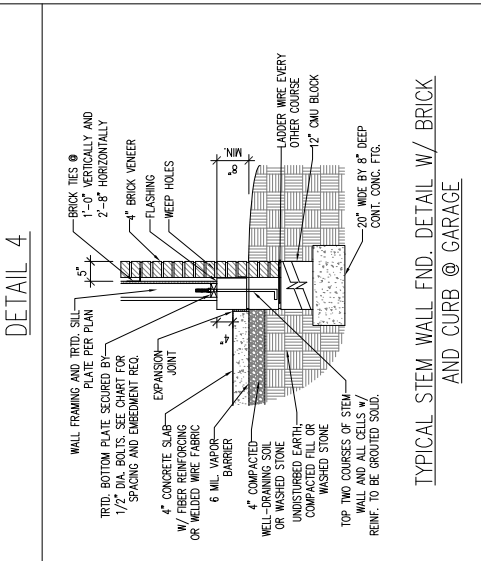
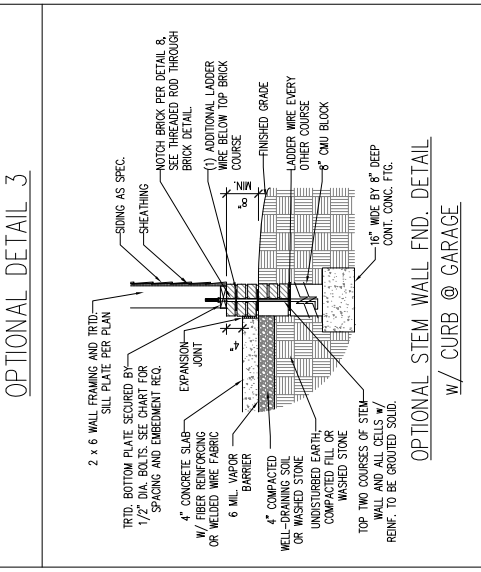
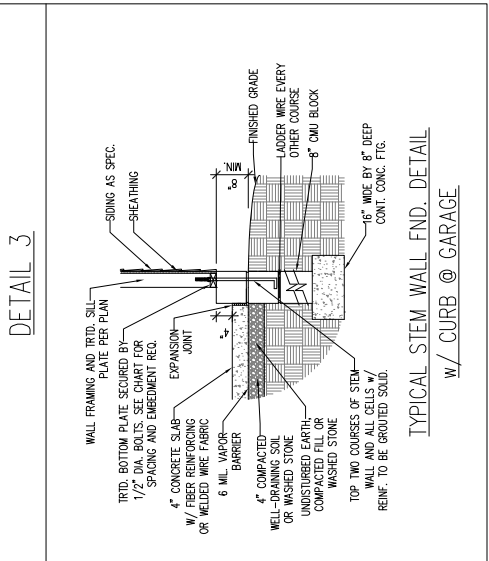
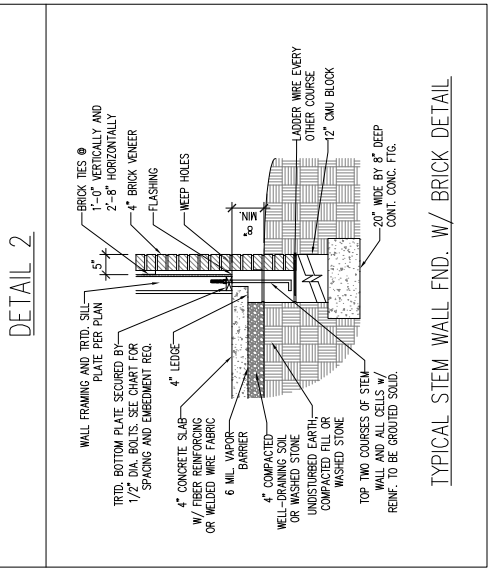
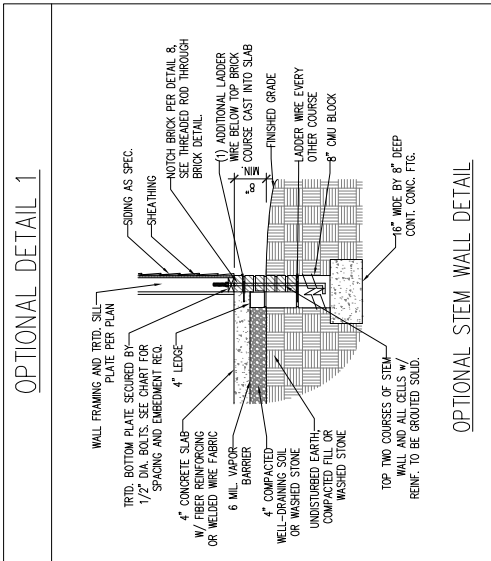
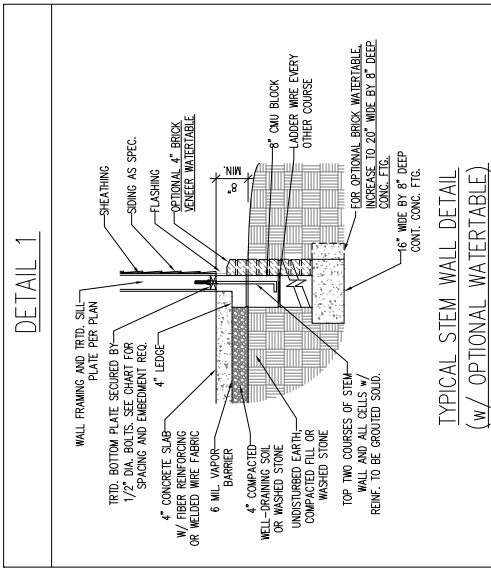


8/29/2024

MONOLITHIC SLAB DETAILS



STEMWALL DETAILS



MASONRY STEMWALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE	
	8" CMU	4" BRICK AND 4" CMU
2 AND BELOW	UNGROUTED	GROUT SOLID
3	UNGROUTED	GROUT SOLID
4	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 48" O.C.
5	GROUT SOLID w/ #4 REBAR @ 36" O.C.	GROUT SOLID w/ #4 REBAR @ 36" O.C.
6	GROUT SOLID w/ #4 REBAR @ 24" O.C.	GROUT SOLID w/ #4 REBAR @ 24" O.C.
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS	

- STRUCTURAL NOTES:
- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
 - IE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
 - CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
 - BACKFILL OF CLEAN #57 / #67 WASHED STONE IS ALLOWABLE.
 5. BACKFILL OF WELL DRAINED TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE B405.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
 6. PREP SLAB PER E506.2.1 AND E506.2.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
 7. MINIMUM 24" LAP SPICE LENGTH.
 8. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
 9. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	120 MPH	130 MPH
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE
NOTE:	THREADED ROD WITH EPOXY, SIMPSON TITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.	



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8/29/2024

D-1

FOUNDATION DETAILS

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333 EAST SIX FORKS ROAD, SUITE 180
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N.C. LICENSE NO.: C-1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
FOUNDATION DETAILS
DREAM FINDERS HOMES

DATE: NOVEMBER 24, 2022
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JST

SCALE NOTE:
LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2018 EDITION (R301.4 - R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE)		
GROUND SNOW LOAD: Pg	20 (PSF)		

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
 - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRC, 2018 EDITION.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRC, 2018 EDITION.
- PROPERLY Dewater excavation prior to pouring concrete when bottom of concrete slab is at or below water table. If applicable, 3/4" - 1" deep control joints are to be sawed within 4 to 12 hours of concrete finishing and wall locations have been marked. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #6 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NOMA 17688-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE NRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(5) OF THE NRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

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FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv =175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb =2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E =1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS
A. W AND WT SHAPES: ASTM A992
B. CHANNELS AND ANGLES: ASTM A36
C. PLATES AND BARS: ASTM A36
D. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S

- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):

- | | |
|----------------------------|--|
| A. WOOD FRAMING | (2) 1/2" DIA. x 4" LONG LAG SCREWS |
| B. CONCRETE | (2) 1/2" DIA. x 4" WEDGE ANCHORS |
| C. MASONRY (FULLY GROUTED) | (2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS |
| D. STEEL PIPE COLUMN | (4) 3/4" DIA. A325 BOLTS OR 3/16" FILLET WELD |

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TIE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.

- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.

- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NRC, 2018 EDITION OR BE (2) x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).

- FITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).

- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.

- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.

- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 12d NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.8.2.1 OF THE NRC, 2018 EDITION.

- FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).

- FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).

- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON H6 OR L1512 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON C516 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

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N.C. LICENSE NO.: C-1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
STANDARD STRUCTURAL NOTES
DREAM FINDERS HOMES



8/29/2024

DATE: NOVEMBER 24, 2022

SCALE: NTS

DRAWN BY: JST

REGISTERED BY: JST

S-O
STRUCTURAL
STRUCTURAL
NOTES