

GENERAL NOTES - RALEIGH

FOUNDATION NOTES

CRAWL SPACES:  
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR  
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI  
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED  
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.  
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.  
- WALL TIES EMBEDDED IN THE HORIZONTAL MORTAR JOINT SHALL BE 16" ON CENTER. TIES IN ALTERNATE COURSES SHALL BE STAGGERED. THE MAXIMUM VERTICAL DISTANCE BETWEEN TIES SHALL NOT EXCEED 16" AND THE MAXIMUM HORIZONTAL DISTANCE SHALL NOT EXCEED 16" ADDITIONAL TIES SHALL BE PROVIDED AT ALL OPENINGS, AND WITHIN 12" OF THE OPENING.  
- CORE FILL ENTIRE BLOCK WALL WHEN THE WALL IS 4'-0" TALL OR HIGHER. INSTALL #4 REBAR IN EACH HOLLOW AREA OF EACH BLOCK FROM FOOTING TO TOP OF WALL, ON THE ENTIRE WALL PRIOR TO CORE FILLING IT.  
- TOP COURSE OF BLOCK ON ALL WALLS WILL BE FILLED SOLID WITH MORTAR PLACING THE FOUNDATION STRAPS OR BOLTS IN THE MORTAR 6'-0" ON CENTER, AND 12" FROM EACH CORNER.  
- 12"x16" PIERS: HOLLOW MASONRY UP TO 48" HIGH, SOLID MASONRY UP TO 9'0" HIGH  
- 16"x16" PIERS: HOLLOW MASONRY UP TO 64" HIGH, SOLID MASONRY UP TO 120" HIGH  
- BLOCK PIERS SHOULD BE PLACED DIRECTLY ON CONCRETE FOOTINGS PER PLAN. THEY SHOULD BE PLUMBED AND SQUARE WITHIN 1/4".  
- SILL PLATES TO BE A MINIMUM OF 2x4 NOMINAL LUMBER.

FRAMING NOTES

DESIGN LOADS:  
FLOORS: 40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf GARAGE FLOOR: 50 psf LIVE LOAD SEISMIC: "A" & "B"  
ROOF: 18 psf LIVE LOAD + 17psf DEAD LOAD = 35 psf WIND SPEED: 120 MPH  
DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):  
RAFTERS GREATER THAN 3:12 L/180 CEILINGS L/240  
MASONRY VENEER L/600  
NOMINAL LUMBER FLOORS: L/360  
MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 35 (OR EQUIVALENT). NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.  
L/480 FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION  
L/600 FOR SPANS OVER 16'-0" IF SIMPLE SPAN AND NO GREATER THAN 1/2" DEFLECTION  
L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. AND NO GREATER THAN 1/2" DEFLECTION

-JOIST SPACING: 19.2" o.c. MAXIMUM SPACING  
DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS  
INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2" o.c. FLOOR JOIST SPACING  
GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2" o.c. FLOOR JOIST SPACING  
- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
-JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)  
- ALL WOOD BEAMS/HEADERS: 2x6's TO BE SPF STUD GRADE OR BETTER/ 2x8 OR LARGER TO BE SYP #2 [ PER NDS 2012 ] OR BETTER, U.O.N.  
- ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD AND (1) 2x KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACKS REQUIRED, U.N.O. AT FLUSH OR DROPPED BEAMS, THE NUMBER OF STUDS SPECIFIED INDICATES THE TOTAL NUMBER OF STUDS REQUIRED TO SUPPORT THE BEAM.  
- EXTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 16" o.c. UNLESS OTHERWISE NOTED (10'4-1/2" MAXIMUM WALL HEIGHT)  
- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, BATH, & GARAGE TO BE 2x4 SPF STUD GRADE @ 16" o.c.; ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE @ 24" o.c. U.O.N.  
- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.  
- PROVIDE SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS & GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.  
- SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE. SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY.  
- CHECK SELECTION SHEETS FOR FLOOR COVERING AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISERS AS REQ'D.  
- PROVIDE BLOCKING AT ALL HANDRAIL TERMINATION AND BRACKET LOCATIONS.  
- 20-MINUTE FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.  
- EXTERIOR WALL TO BE 2x4 SPF STUD G AT 16" o.c. UNLESS OTHERWISE NOTED (10'-0" MAXIMUM UNBRACED WALL HEIGHT).  
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STANDARD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.  
- IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" S'AG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.  
- ALL EMERGENCY ESCAPE & RESCUE OPENINGS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR AND HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, & HAVE A MINIMUM OPENING AREA OF 5.7 S.F.  
ALL DOORS TO BE 6'-8" TALL UNLESS OTHERWISE NOTED.  
- ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS)  
- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.  
- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.  
- AT STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.  
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2-1/4" IN CROSS SECTIONAL DIMENSION.  
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHTS SHALL BE A MINIMUM OF 34" AND A MAXIMUM OF 38".  
- ALL STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH THE RISER.  
- GUARDRAILS MUST BE A MINIMUM OF 36" HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS MUST BE A MINIMUM OF 34" HIGH MEASURED VERTICALLY FROM THE NOSING AT THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.  
- GUARDRAIL DESIGN TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE

BASEMENTS:  
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR  
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI  
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED- ALL FOUNDATION WALLS TO BE CAST IN PLACE CONCRETE 3000 PSI MIN. UNLESS OTHERWISE NOTED.  
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.  
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.  
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.  
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.  
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:  
1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).  
2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.  
3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.  
4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.  
5) DOORS DO NOT GET CONTROL JOINTS.  
6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.  
7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.  
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.  
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

SLAB ON GRADE:  
- ALL CONCRETE SLABS ON GRADE SHALL BE THE THICKNESS AS INDICATED ON THE DETAILS OVER MINIMUM 6 MIL. POLYETHYLENE (VISQUEEN) VAPOR BARRIER. SLABS SHALL BE REINFORCED WITH 6x6 W1.4 WWF LAPPED 8" AT EDGES AND ENDS IN CONFORMANCE WITH ASTM-A 185, OR FIBERMESS REINFORCEMENT SHALL BE USED WITH A MINIMUM FIBER LENGTH OF 1/2" TO 2 1/2" COMPLYING WITH ASTM C 1116. THE DOSAGE AMOUNT SHALL BE 0.75 TO 3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
- SLABS ON GRADE SHALL BEAR ON STRUCTURAL FILL WHICH SHALL BE CLEAN SAND FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). TERMITE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS. IF SOIL TREATMENT IS USED, THE TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETED.  
- FOOTINGS MAY BEAR UPON UNDISTURBED SOIL OR UPON STRUCTURAL FILL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST TWO FEET (2'-0") BELOW THE BOTTOM OF THE FOOTING.  
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:  
3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH  
2" CONCRETE EXPOSED TO EARTH AND WEATHER  
1 1/2" CONCRETE NOT EXPOSED TO EARTH OR WEATHER  
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR  
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI  
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.  
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.  
- ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

MECHANICAL/ELECTRICAL NOTES

- ANY GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
- HOLD THE CENTERLINE OF ALL EXTERIOR LIGHT FIXTURES AT 5'-8" OFF BOTTOM OF DOOR OPENING.  
- ALL KITCHEN CABINET DIMENSIONS ARE CABINET TO CABINET.  
- CABINET STYLES MAY VARY FROM INTERIOR ELEVATIONS DEPENDING ON STYLE, MANUFACTURER, ETC. FOR CABINET DETAILS SEE SHOP DRAWINGS.  
- CABINET SIZES MAY VARY WITH FULL-OVERLAY CABINETS.  
- GROUND FAULT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8  
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED UNLESS OTHERWISE NOTED ON THE PLANS.  
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS

INSULATION DETAILS  
EXTERIOR STUD WALL CAVITY: (2x4) R-15  
(2x6) R-19  
FLOOR JOIST CAVITY AT STANDARD PERIMETER: R-19  
FLOOR JOIST CAVITY AT CANTILEVER: R-19  
OVER GARAGE: (OVER HORIZONTAL SPACE) R-38 BLOWN  
(SLOPED AND VERTICAL SPACE) R-38 BATT

ELEVATION NOTES

- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.  
- USE SECONDARY HEAT BARRIER ON ALL DIRECT VENT FIREPLACES 7' OR LESS ABOVE A WALKWAY.  
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.  
- PROVIDE TYVEK OR EQUIVALENT HOUSE WRAP BEHIND BRICK AND STONE VENEER OVER WOOD SHEATHING.  
- PROVIDE BRICK WEEP HOLES AT 24" O.C. WITH BRICK VENEER AND MORTAR NET BEHIND AND THROUGH WEEP HOLES.  
- PROVIDE FLASHING AND WEEP HOLES ABOVE ALL BRICK ANGLE IRONS, BELOW ALL BRICK SILLS AND ABOVE SILL PLATE SEALERS.  
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

ROOF PLAN NOTES

- ALL OVERHANGS TO HAVE (2) SOFFIT VENTS PER EACH 8' SOFFIT SECTION.  
- PROVIDE BAFFLES AT EXTERIOR TRUSS BEARING FOR VENTILATION.  
- PROVIDE 15# FELT PAPER UNDER SHINGLES.



The Drees Company  
04/07/2025 6:00:19 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm	



Drees Homes

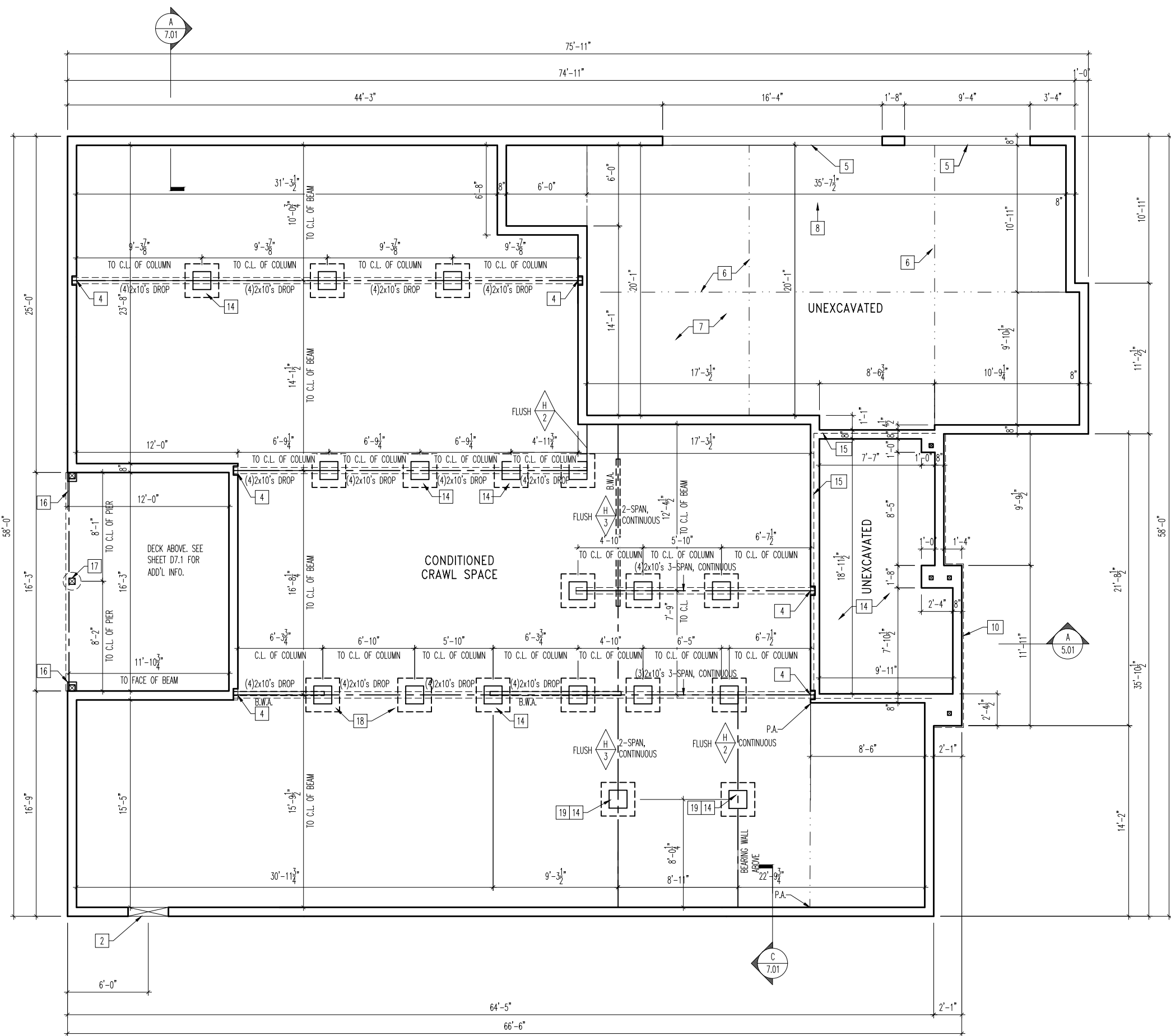
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SCALE: N/A	Sheet Description: GENERAL NOTES ELEVATION " J "
Std. Drawn By: WJS	Std. Chk. By: ARC
Std. Date: 8/31/12	REL_DT
House: SEBASTIAN	Plan No.:
Series:	

Sheet No.

ON.1



SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL  
CONTROL JOINT LOCATION GUIDELINES.

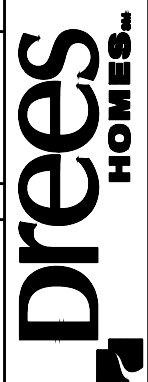
- General Notes**
- REFER TO SHEET ON.1 FOR GENERAL NOTES
  - ALL FOUNDATION WALLS WITH SIDING ABOVE TO BE 8" BLOCK W/ 8" SOLID CAP
  - ALL WALLS TO HAVE 18"Wx8"D CONTINUOUS FOOTING UNLESS OTHERWISE NOTED
  - 12"x16" PIERS: HOLLOW MASONRY UP TO 48" HIGH, SOLID MASONRY UP TO 9'0" HIGH
  - 16"x16" PIERS: HOLLOW MASONRY UP TO 64" HIGH, SOLID MASONRY UP TO 12'0" HIGH

- Key Notes**
- 36"x30" CRAWL SPACE ACCESS PER GRADE w/ 1-3/4"x11-7/8" LVL FLUSH OVER (LOCATE PER GRADE)
  - 8"Wx10"Hx4"D BEAM POCKET
  - CONTINUOUS FOOTING AND FOUNDATION-DROP TO BE FIELD DETERMINED.
  - SLAB CONTROL JOINT
  - 4" CONCRETE SLAB (3000 PSI) OVER 4" CRUSHED STONE, OVER COMPACTED OR UNDISTURBED EARTH
  - GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 4" TOWARDS GARAGE DOOR.
  - HOLD TOP OF FOUNDATION EVEN WITH MAIN WALL FOR CONCRETE PORCH SLAB SUPPORT
  - OUTLINE OF CONCRETE PORCH SLAB ABOVE (1-1/2" OVERHANG TYP.)
  - LINE OF STUD WALL/PORCH SLAB ABOVE
  - DETERMINE STEPS RISE/RUN ON SITE.
  - 30"x30"x12" PLAIN CONCRETE FOOTING WITH 16"x16" CMU PIER GROUTED SOLID ABOVE
  - 2x10 PRESSURE TREATED LEDGER FASTENED TO FOUNDATION WALL PER DETAIL F/7.01
  - 8"x8" CONCRETE BLOCK WITH 6x6 PRESSURE TREATED POST ON TOP TO SUPPORT DROP BEAM HOLD TOP OF CONCRETE BLOCK 8" MINIMUM ABOVE GRADE, FIELD DETERMINE
  - 16" DIA. CONCRETE PIER TO FROST WITH 6x6 PRESSURE TREATED POST WITH SIMPSON ABW66Z POST BASE AND SIMPSON BCS2-3/6 POST CAP (OR EQUIVALENT) ON TOP FOR DROP BEAM BEARING
  - CONSTRUCT PIER TO TOP OF FDN. WALL ELEVATION OR PROVIDE 16" LONG (4)2x10 UNDER FLUSH BEAM
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04/07/2025 6:00:20 PM

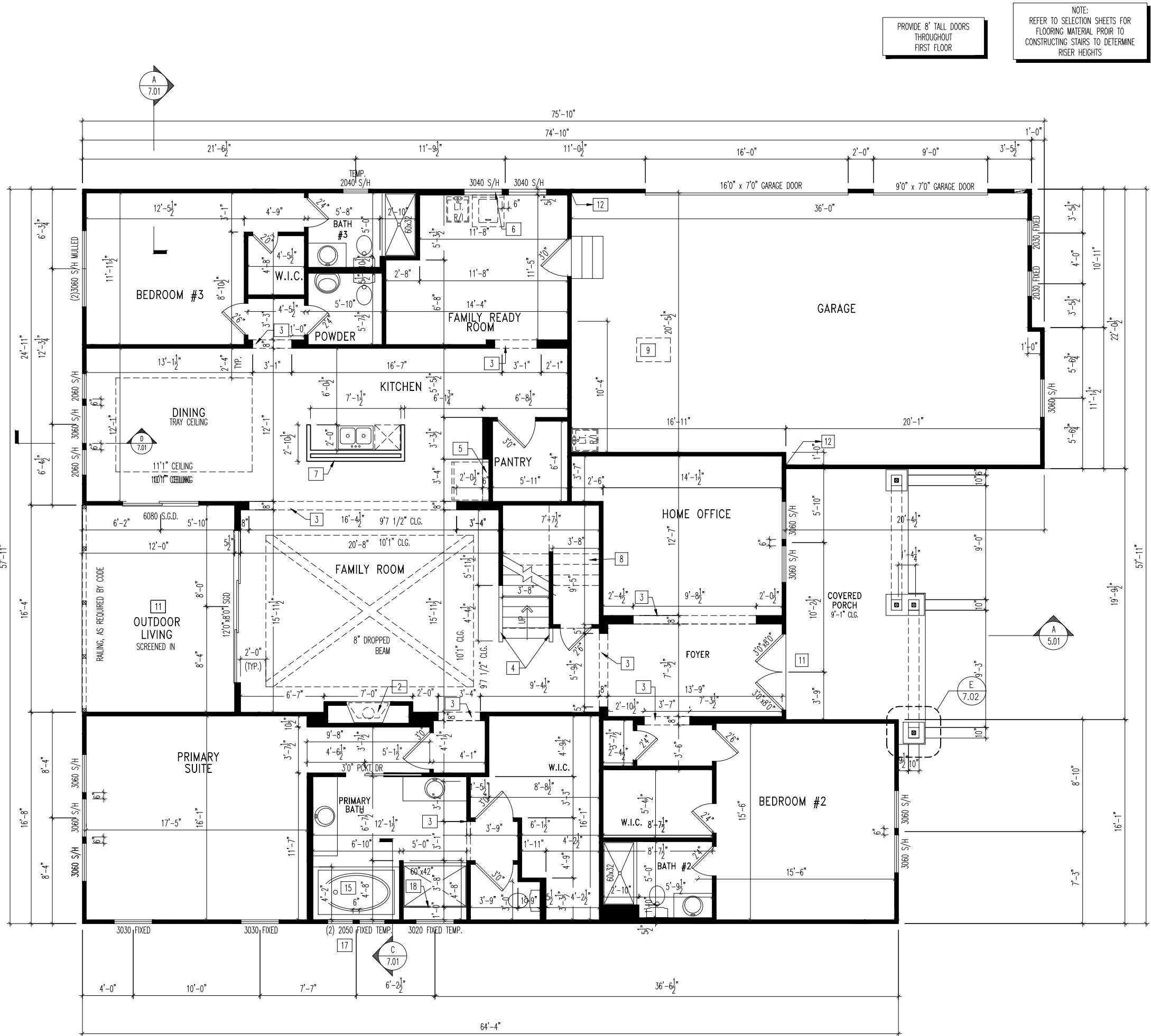
Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	



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Scale: 1/8" = 1'-0"	Sheet Description: FOUNDATION PLAN
Std. Drawn By: M/S	Std. Chk. By: ARC
Std. Date: 8/31/12	Date of: 10/27/16
Std. Rev: M/S	Std. Rev: M/S
House: SEBASTIAN	Plan No.: ELEVATION "J"

Sheet No.  
1.01



PROVIDE 8' TALL DOORS  
THROUGHOUT  
FIRST FLOOR

NOTE:  
REFER TO SELECTION SHEETS FOR  
FLOORING MATERIAL PRIOR TO  
CONSTRUCTING STAIRS TO DETERMINE  
RISER HEIGHTS

### General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FIRST FLOOR CEILINGS TO BE 10'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
- FRAME TOP OF ALL WINDOWS @ 1'-10" BELOW TOP PLATE UNLESS OTHERWISE NOTED.
- ALL FALSE HEADERS TO BE DROPPED 1'-3" FROM CEILING UNLESS OTHERWISE NOTED.

### Key Notes

- 1
- 2 PRE-FABRICATED FIREPLACE INSERT
- 3 FALSE HEADER
- 4 SLOPE WALL WITH STAIR STRINGER
- 5 TOP OF OPENING @ 6'-6" A.F.F.
- 6 TAP AND DRAIN FOR WASHER
- 7 34-1/2" HIGH WALL
- 8 RE: DETAIL A/7.03 FOR STAIR FRAMING DETAILS
- 9 22-1/2"x32" ATTIC ACCESS TO BE LOCATED A MIN. OF 9'6" FROM GARAGE DOOR
- 10
- 11 CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
- 12 FRAME GARAGE WALLS AT 11'-3 1/8" FROM FOUNDATION
- 13 --
- 14 42" HIGH WALL
- 15 RE: DETAIL C/7.01 FOR TUB FRAMING DETAILS
- 16 32" DIAGONAL SHOWER SEAT INSTALLED AT 18" HIGH BY TILE CONTRACTOR
- 17 BOTTOM OF WINDOWS @ 3'-0 3/4" A.F.F.
- 18 FRAME SHOWER SEAT AT 18" HIGH, WITH 2x4 STUDS AT 16" O.C. AND COVER TOP AND SIDES WITH 5/8" WOOD SHEATHING, SLOPE TOP 3/4" FROM BACK TO FRONT FOR WATER RUN OFF OVER FLEXIBLE POLYETHYLENE WATERPROOF MEMBRANE (CONTINUE OVER FRONT AND BACK OF SEAT)
- 19 10"x10" BOX COLUMN WITH TAPERED MASONRY BASE RE: DETAIL B/7.03 FOR FRAMING DETAILS
- 20
- 21 --
- 22 --
- 23 --



The Drees Company  
05/30/2025 12:28:54 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	

TBRD-0117-00.dwg May 22, 2025 - 10:59am

**Drees**  
HOMES<sup>SM</sup>

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SCALE: 1/8" = 1'-0"

Sheet Description:  
FIRST FLOOR FRAMING PLAN  
ELEVATION "J"

Std. Drawn By: MJS  
Std. Chk. By: ARC  
Std. Date: 08/26/16  
Date of 10/27/16 MJS  
Last Rev.

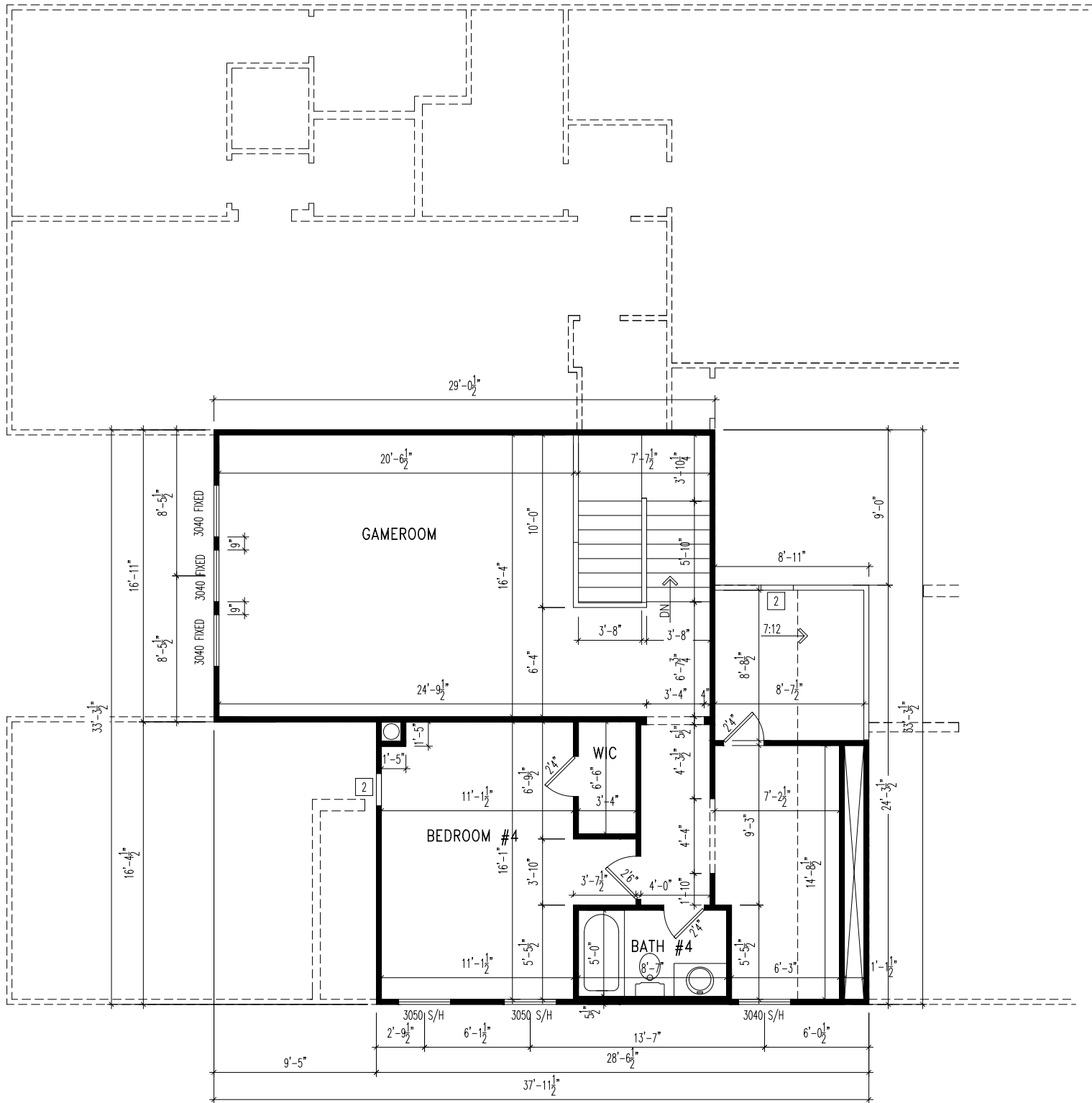
House:  
**SEBASTIAN**

Sheet No.

**2.01**  
FRAMING







- General Notes
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - ALL SECOND FLOOR CEILINGS TO BE 9'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
  - FRAME TOP OF ALL WINDOWS @ 1'0-1/4" BELOW TOP PLATE UNLESS OTHERWISE NOTED.
  - ALL FALSE HEADERS TO BE DROPPED 1'-0" FROM CEILING UNLESS OTHERWISE NOTED.
- Key Notes
- 1

DO NOT LOCATE TRUSS ABOVE PLUMBING WALL
- 2

22-1/2"x32" ATTIC ACCESS
- 3

SLOPE WALL WITH STAIR STRINGER
- 4

RE: DETAIL A/7.03 FOR SECOND FLOOR STAIR FRAMING DETAILS
- 5
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Subdivision:  
TOBACCO ROAD

Job #:  
TBRD-0117-00

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Phone #:  
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Customer Name:  
STOVER

Job Address:  
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Original Site Specific Dwg. &  
Effective Change Order Date:  
3/24/25

SEBASTIAN

House:  
TBRD-0117-00.dwg Mar 24, 2025 - 3:43pm

Sheet No.  
2.02  
FRAMING

Series:  
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North Carolina Registered Architect Seal for Amanda K. Szoke, Seal 12648.

The Drees Company  
04/07/2025 6:00:20 PM

Scale: 1/8" = 1'-0"

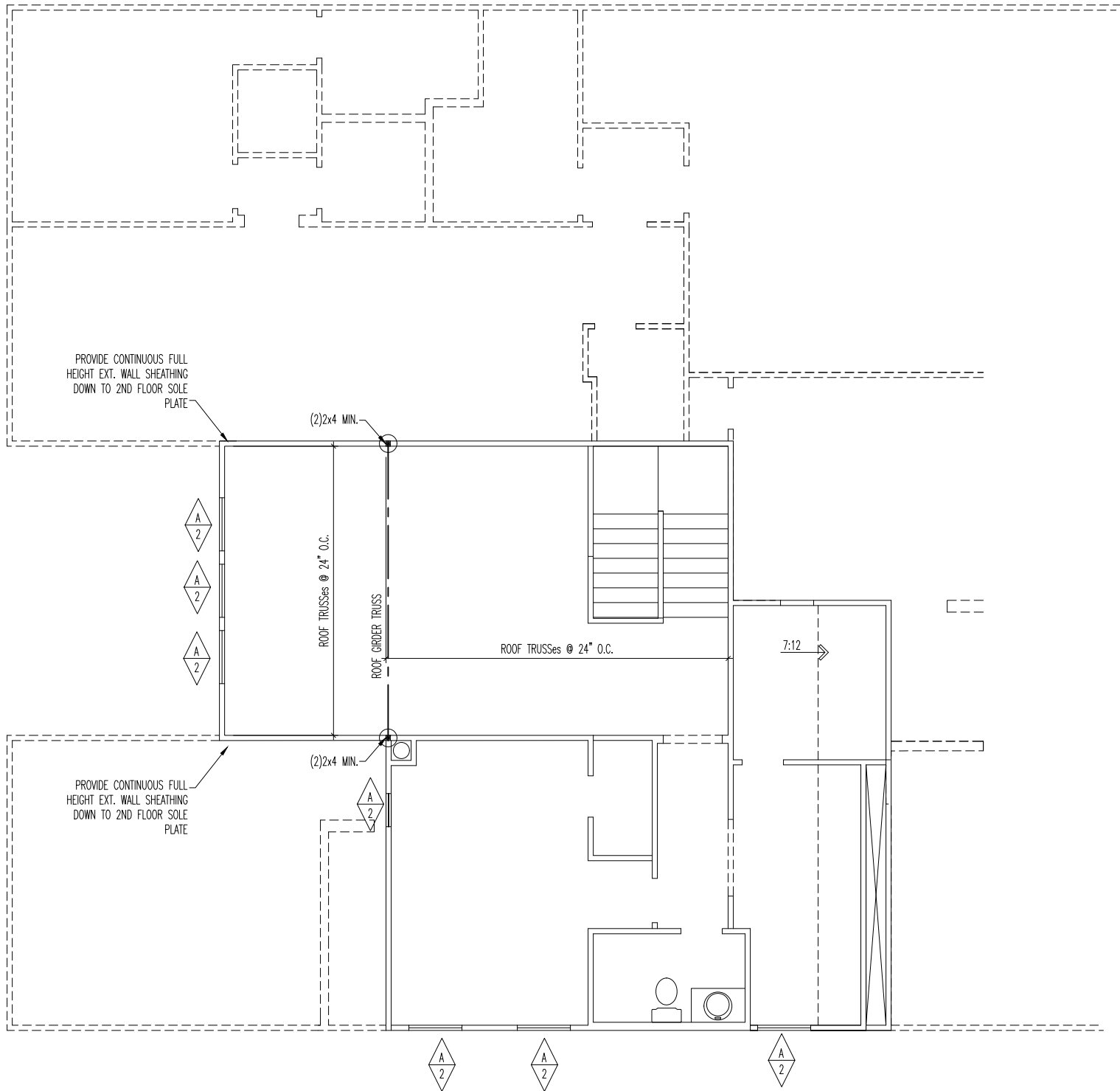
Sheet Description:  
SECOND FLOOR FRAMING PLAN  
ELEVATION " J "

Std. Drawn By: MJS

Std. Chk. By: ARC

Std. Date: 08/26/16

Date of Last Rev: REV\_DT



LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**120 MPH WIND IN 2018 NCSBC MAP**  
(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1)  
EXP. B & SEISMIC CAT. A/B.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:  
FASTEN SHEATHING w/ 2-3/8"x 0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/4" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x 0.113 NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:  
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
- ▶ INDICATES HOLDDOWN
- \* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

M&K STD. -- SEPT. 2019

General Notes

-- REFER TO SHEET ON.1 FOR GENERAL NOTES



The Drees Company  
04/07/2025 6:00:20 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	

TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm

Drees  
HOMES<sup>SM</sup>

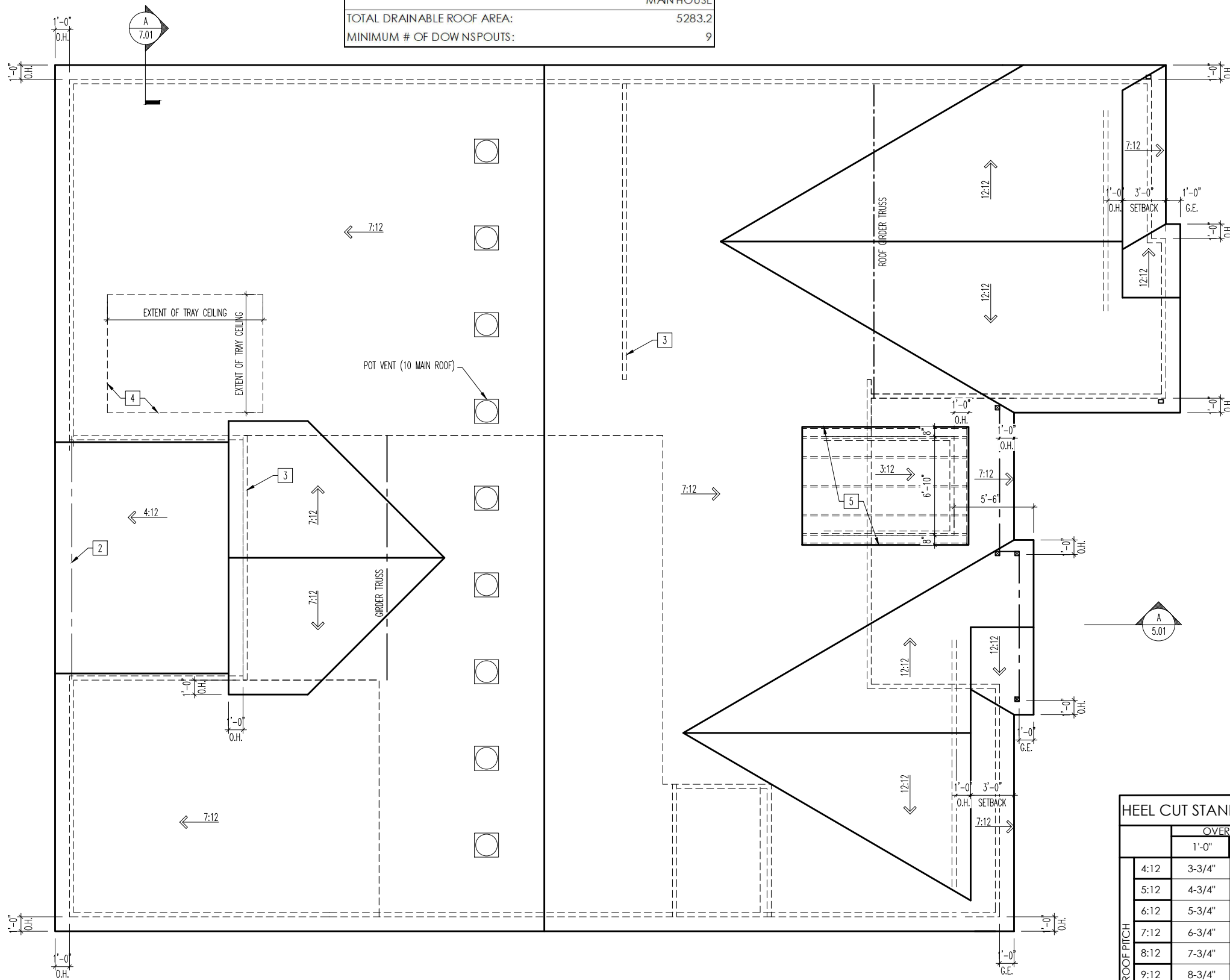
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Scale: 1/8" = 1'-0"	Sheet Description:
SECOND FLOOR STRUCTURAL PLAN	
ELEVATION " J "	
Std. Drawn By: MJS	Std. Chk. By: ARC
Std. Date: 08/26/16	Date of Last Rev: REV_DT

SEBASTIAN	Plan No.:
	Series:

Sheet No.

2.02  
STRUCTURE



ROOF VENTILATION	
CITY/SERIES:	RALEIGH
MAIN HOUSE	
TOTAL ATIC AREA:	4,064
REQUIRED NET FREE VENTILATION (ATIC AREA/300):	13.55
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	13.76
DOWNSPOUT CALCULATION	
MAIN HOUSE	
TOTAL DRAINABLE ROOF AREA:	5283.2
MINIMUM # OF DOWNSPOUTS:	9

HEEL CUT STANDARDS		
	OVERHANG	
	1'-0"	2'-0"
ROOF PITCH	4:12	3-3/4" 7-3/4"
	5:12	4-3/4" 9-3/4"
	6:12	5-3/4" 11-3/4"
	7:12	6-3/4" 13-3/4"
	8:12	7-3/4" N/A
	9:12	8-3/4" N/A
	10:12	9-3/4" N/A
	12:12	11-3/4" N/A
	14:12	13-3/4" N/A

- General Notes
- REFER TO SHEET 0N.1 FOR GENERAL NOTES.
- Key Notes
- 1

--
- 2

BEAM BELOW - RE: SHEET 2.01 STRUCTURE FOR SIZE
- 3

INTERMEDIATE TRUSS BEARING WALL
- 4

EXTENT OF TRAY CEILING
- 5

INSTALL ONE LAYER OF SELF-ADHERING BITUMINOUS ROOFING MEMBRANE WITH A MIN. 6" OVERLAP BELOW THE LAYER OF ASPHALT SHINGLES
- 6

--

CONNECTION SPECIFICATIONS (TYP. U.N.O.)	
NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.



The Drees Company  
04/07/2025 6:00:20 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: ---	
Coordinator's Phone #: ---	
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm	

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SEBASTIAN

Sheet No. 2.04

Sheet Description: ROOF PLAN, J"

Scale: 1/8" = 1'-0"

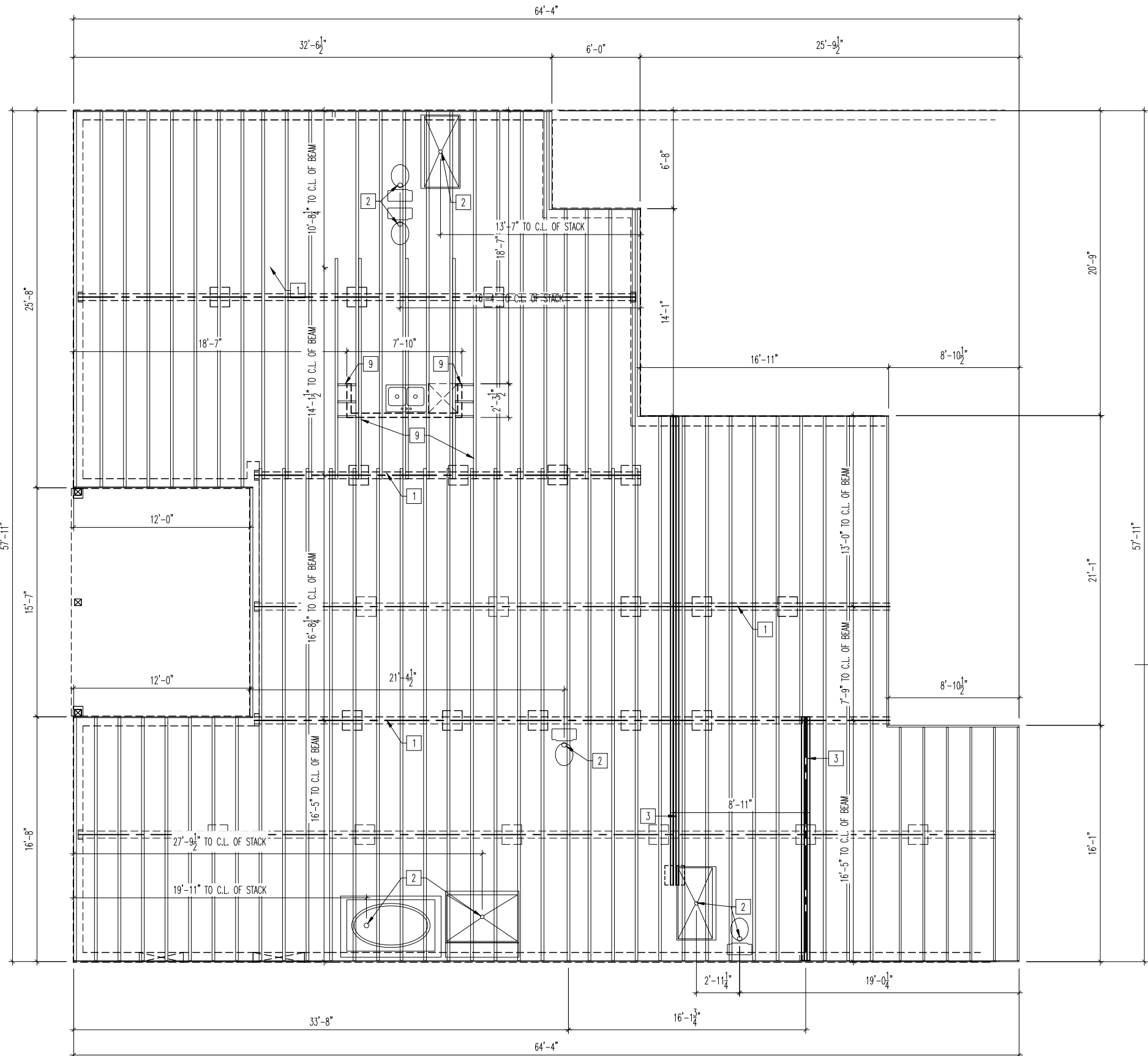
Std. Drawn By: WJS

Std. Chk. By: ARC

Std. Date: 08/26/16

Date of Last Rev.: 10/27/16 WJS





General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL JOISTS TO BE 11-7/8" TJI 210 SERIES I-JOISTS, OR EQUAL, @ 19.2" o.c., UNLESS OTHERWISE NOTED.
- ALL BANDBOARDS PER ENGINEERED FLOOR SYSTEM, UNLESS OTHERWISE NOTED.
- ADJUST FRAMING FOR PLUMBING AS NEEDED.
- FLOOR JOISTS TO HAVE MINIMUM 3" BEARING ON BEAM/WALL BELOW AND 6" MAXIMUM JOIST OVERLAP.

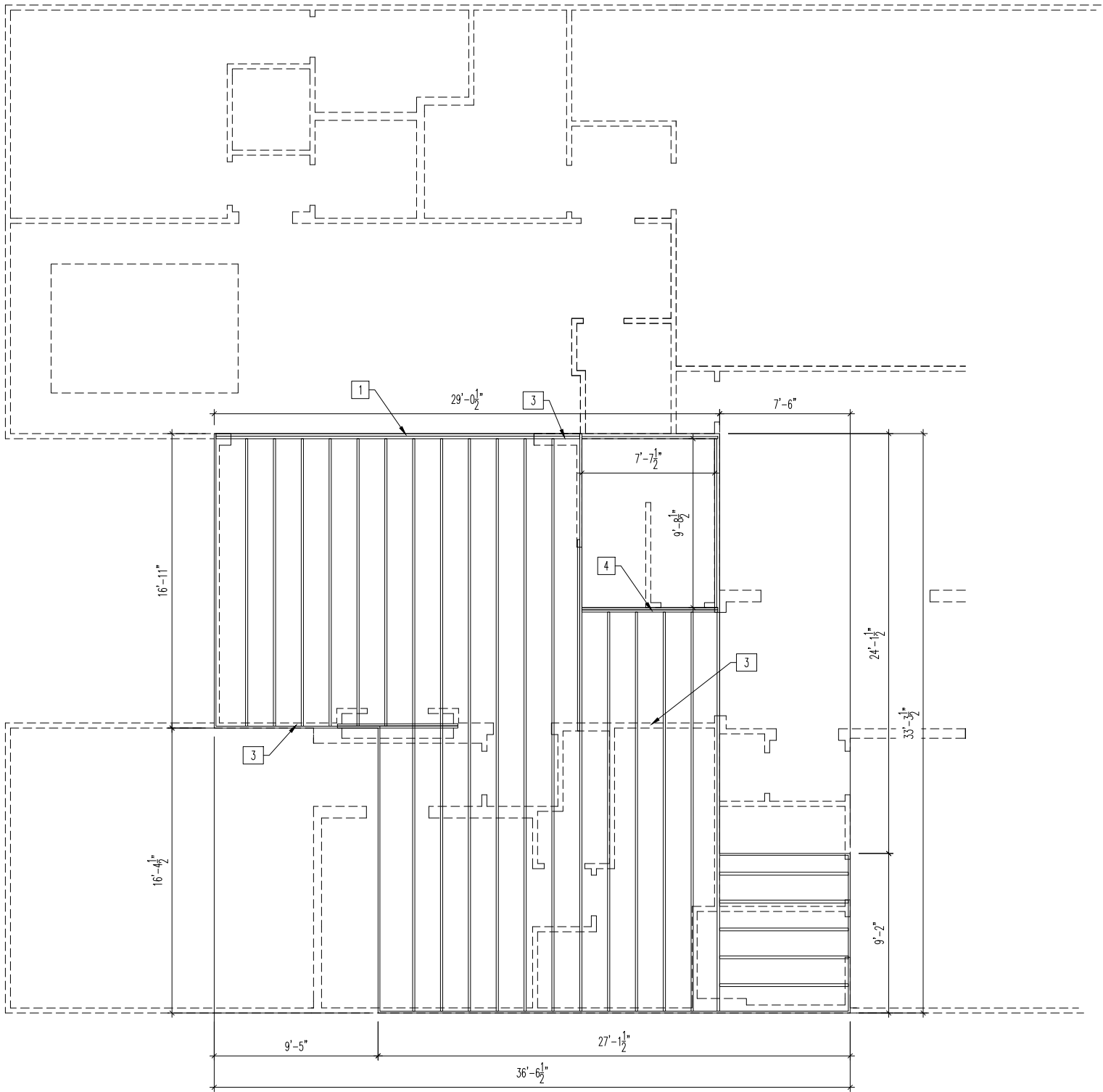
Key Notes

- 1 BEAM BELOW - RE: SHEET 1.01 FOR SIZE
- 2 PLUMBING STACK
- 3 FLUSH BEAM - RE: SHEET 1.01 FOR SIZE
- 4 DOUBLE JOIST
- 5 LEDGER BELOW PER DETAIL B/7.05
- 6 END JOIST
- 7 --
- 8 --
- 9 DOUBLE EVERY OTHER JOIST AND BLOCKING UNDER KITCHEN ISLAND
- 10 --
- 11 --
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The Drees Company  
04/07/2025 6:00:21 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm	



**General Notes**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL JOISTS TO BE 11-7/8" TJI 210 SERIES I-JOISTS, OR EQUAL, @ 19.2" o.c., UNLESS OTHERWISE NOTED.
- ALL BANDBOARDS PER ENGINEERED FLOOR SYSTEM, UNLESS OTHERWISE NOTED.
- ADJUST FRAMING FOR PLUMBING AS NEEDED.
- FLOOR JOISTS TO HAVE MINIMUM 3" BEARING ON BEAM/WALL BELOW AND 6" MAXIMUM JOIST OVERLAP.

- Key Notes**
- 1 BEAM BELOW - RE: SHEET 2.01 STRUCTURE FOR SIZE
  - 2 PLUMBING STACK
  - 3 BEARING WALL BELOW
  - 4 FLUSH BEAM - RE: SHEET 2.01 STRUCTURE FOR SIZE
  - 5 --
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Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	

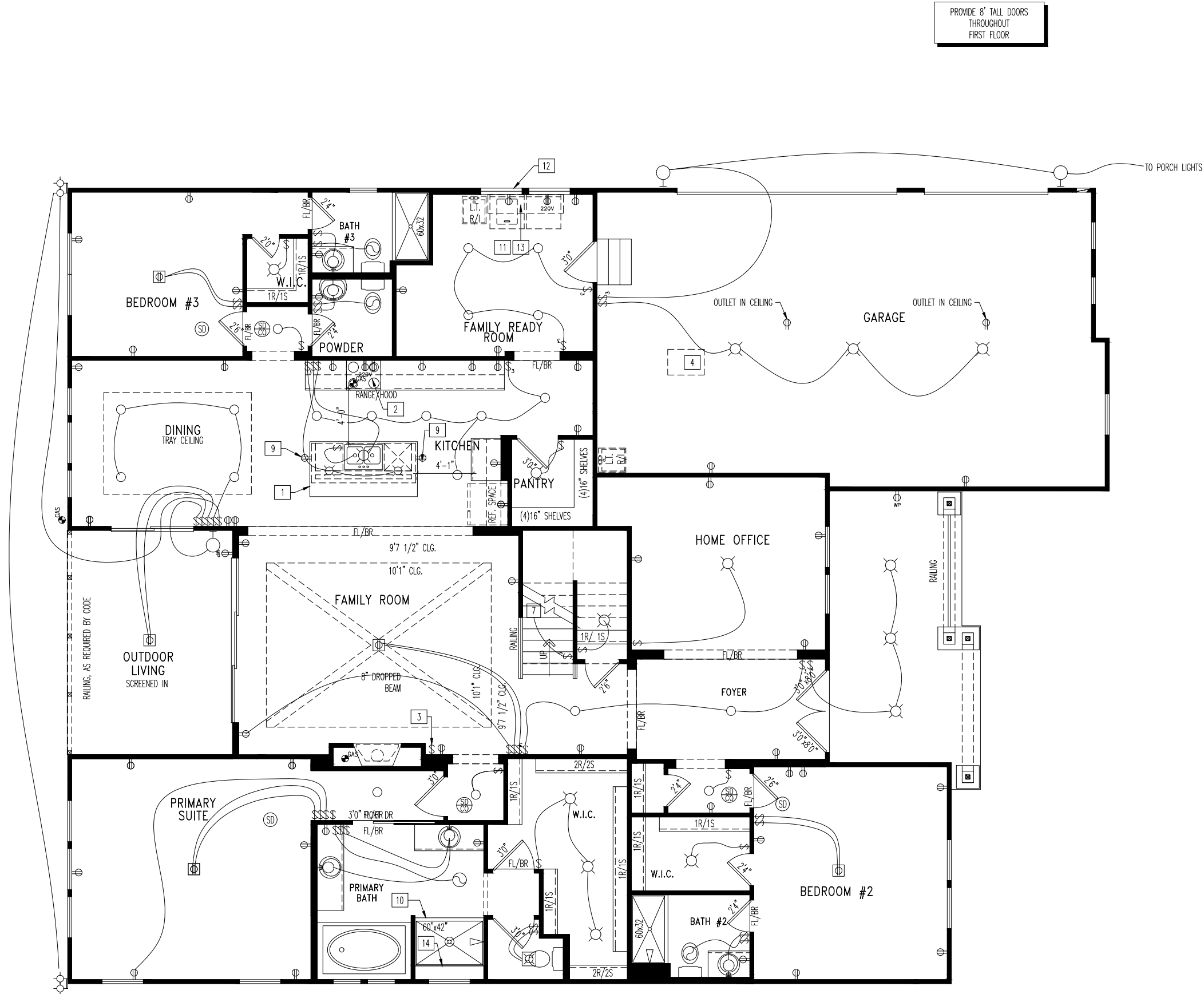
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Std. Drawn By: MJS	Sheet Description: SECOND FLOOR SUBFLOOR PLAN	SCALE: 1/8" = 1'-0"
Std. Chk. By: ARC	ELEVATION " J "	
Std. Date: 08/26/16		
Date of Last Rev: REV_DT		
House: SEBASTIAN	Plan No.:	
Series:		

Sheet No.  
**3.02**



PROVIDE 8' TALL DOORS  
THROUGHOUT  
FIRST FLOOR

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- |   |  |
|---|--|
| 1 KITCHEN ISLAND RE: DETAIL B/7.02 FOR COUNTERTOP DETAILS | 11 HOLD WASHER TO LEFT OF DRYER                                      |
| 2 OUTLET FOR RANGE HOOD HELD HIGH                         | 12 TAP AND DRAIN   |
| 3 SWITCH FOR DIRECT VENT FIREPLACE                        | 13 16" DEEP SHELF @ 5'7" A.F.F.                                      |
| 4 22-1/2"x32" ATTIC ACCESS                                | 14 SHOWER SEAT INSTALLED AT 18" HIGH (SEE FRAMING NOTES FOR DETAILS) |
| 5 OUTLET FOR DISHWASHER LOCATED IN SINK CABINET           | 15 --  |
| 6 TO SWITCH OR LIGHT BELOW                                | 16 --  |
| 7 TO LIGHT OR SWITCH ABOVE                                | 17 --  |
| 8 PRE-FABRICATED FIREPLACE INSERT                         | 18 --  |
| 9 HOLD OUTLET HIGH ON ISLAND                              | 19 --  |
| 10 GLASS SHOWER ENCLOSURE                                 | 20 --  |

Mechanical Legend

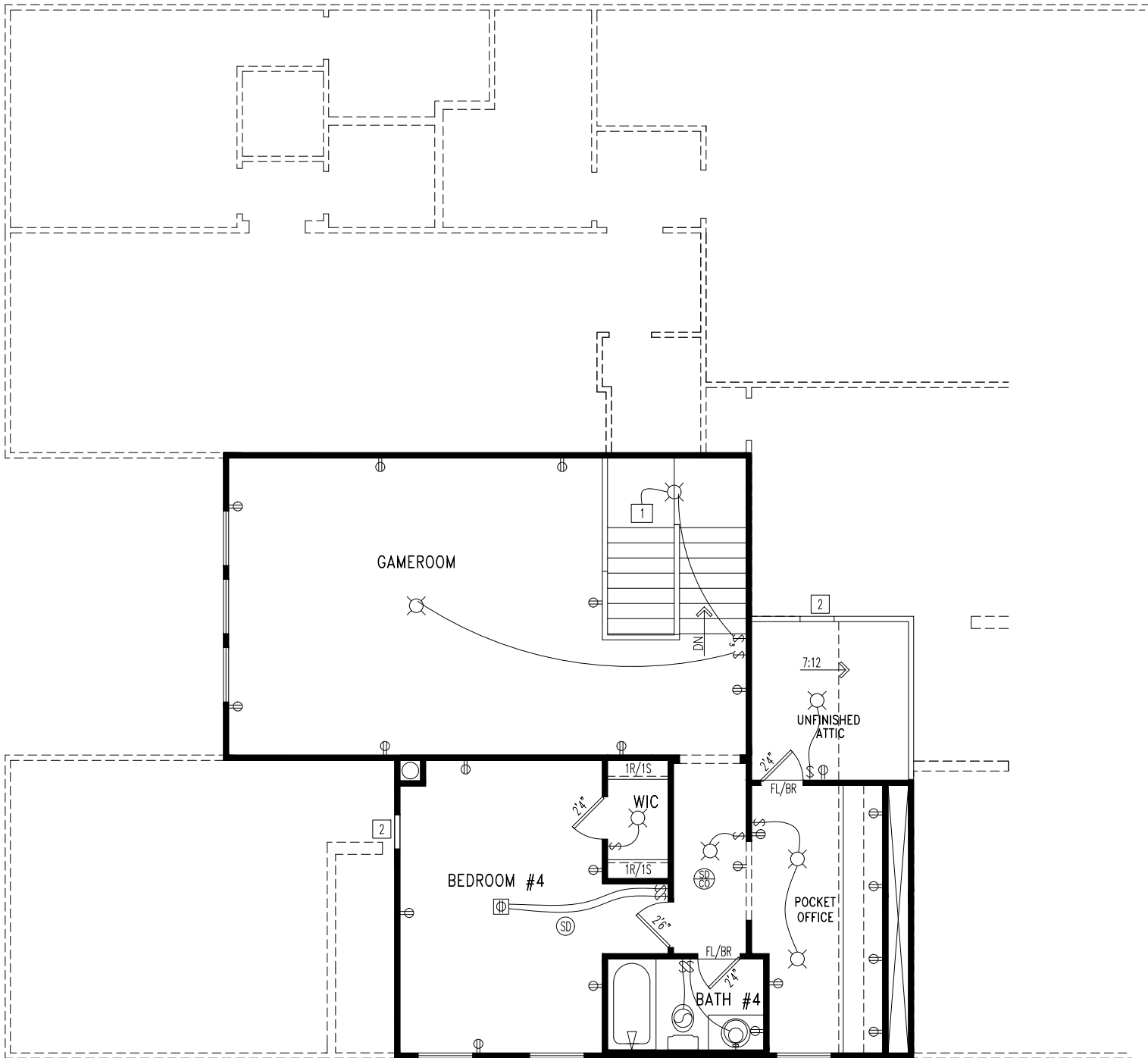
- |  |  |
|--|--|
| DATA JACK  | FLUORESCENT LIGHT  |
| WALL OUTLET  | UNDER CABINET LIGHTING   |
| WEATHERPROOF OUTLET  | CLG. MOUNTED LIGHT FIXT.                                       |
| 220 OUTLET   | WALL MOUNTED LIGHT FIXT.                                       |
| GROUND FAULT CIRCUIT INTERRUPT OUTLET  | SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS. |
| FLOOR OUTLET   | DOUBLE SPOTLIGHT FIXT.   |
| COUNTER POP-UP OUTLET  | DIRECTIONAL CAN LIGHT  |
| CABLE TELEVISION JACK  | PIN LIGHT  |
| SINGLE POLE SWITCH   | WALL SCONCE @ 5'-6" A.F.F.                                     |
| 3-WAY SWITCH   | STAIR LIGHT  |
| 4-WAY SWITCH   | CLG. MTD. EXHAUST FAN  |
| SMOKE DETECTOR   | WALL MTD. EXHAUST FAN  |
| SMOKE DETECTOR/CO DETECTOR COMBINATION   | SHOWER HEAD  |
| BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED) | HOSE BIB   |
| EXHAUST FAN AND LIGHT COMBINATION  | GAS HOOK UP  |
|  | FLOOR DRAIN  |



The Drees Company  
05/30/2025 12:28:36 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	

TBRD-0117-00.dwg May 22, 2025 - 10:55am



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

1	TO SWITCH OR LIGHT BELOW	11	--
2	22-1/2"x32" ATTIC ACCESS	12	--
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Mechanical Legend

DATA JACK	FLUORESCENT LIGHT
WALL OUTLET	UNDER CABINET LIGHTING
WEATHERPROOF OUTLET	CLG. MOUNTED LIGHT FIXT.
220 OUTLET	WALL MOUNTED LIGHT FIXT.
GROUND FAULT CIRCUIT INTERRUPT OUTLET	SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT,PER SPECS.
FLOOR OUTLET	DOUBLE SPOTLIGHT FIXT.
COUNTER POP-UP OUTLET	DIRECTIONAL CAN LIGHT
CABLE TELEVISION JACK	PIN LIGHT
SINGLE POLE SWITCH	WALL SCONCE @ 5'-6" A.F.F.
3-WAY SWITCH	STAIR LIGHT
4-WAY SWITCH	CLG. MTD. EXHAUST FAN
SMOKE DETECTOR	WALL MTD. EXHAUST FAN
SMOKE DETECTOR/ CO DETECTOR COMBINATION	SHOWER HEAD
BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	HOSE BIB
EXHAUST FAN AND LIGHT COMBINATION	GAS HOOK UP
	FLOOR DRAIN



The Drees Company  
04/07/2025 6:00:21 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---

Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date:
Phone #: (859)578-4355	3/24/25
Coordinator's Name: --	
Coordinator's Phone #: --	

TBRD-0117-00.dwg Mar 24, 2025 - 3:43pm



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SCALE: 1/8" = 1'-0"

SECOND FLOOR MECHANICAL PLAN

ELEVATION " J "

Std. Drawn By: MJS	Std. Chk. By: ARC
Std. Date: 08/26/16	REL_DT

SEBASTIAN

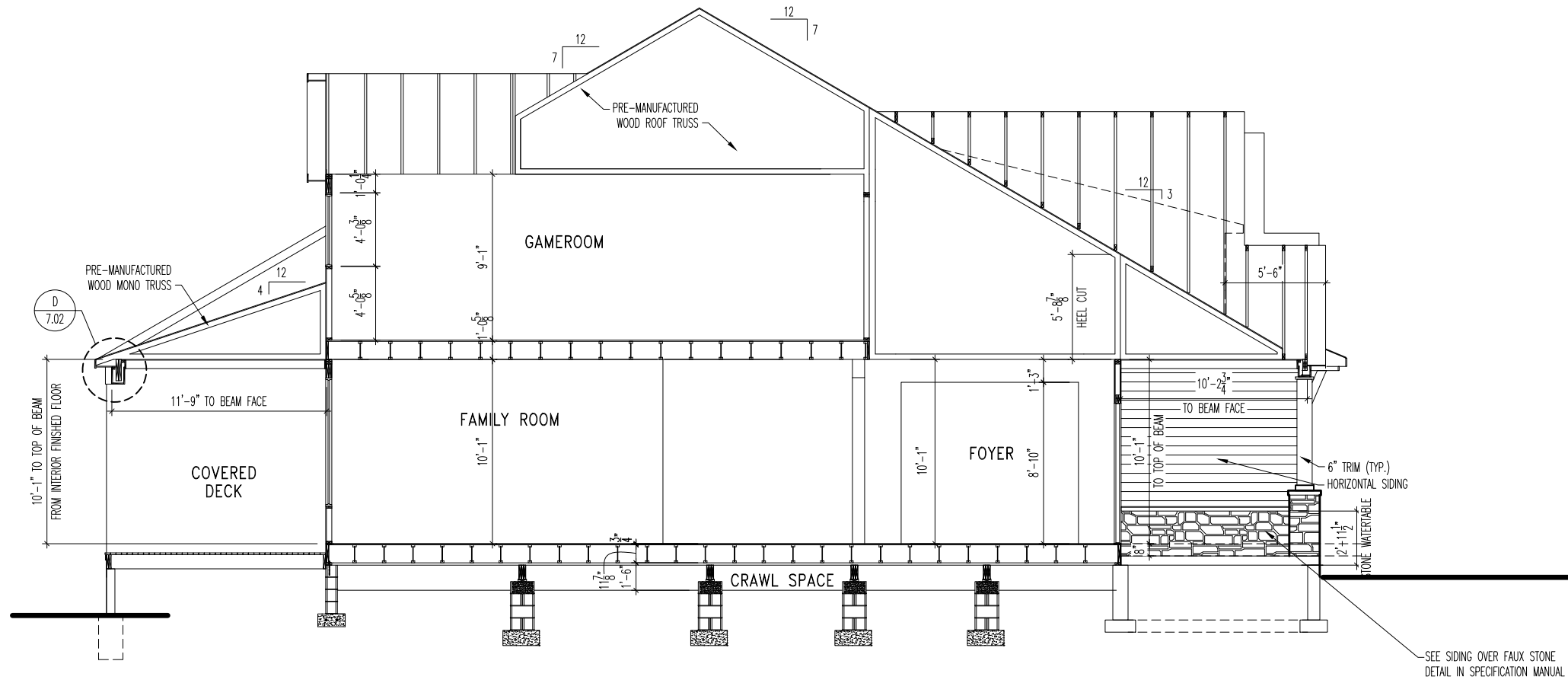
Plan No.:

Series:

Sheet No.

4.02





A  
5.01

BUILDING SECTION THRU FOYER

SCALE: 1/8" = 1'-0"

General Notes

- REFER TO SHEET 0N.1 FOR GENERAL NOTES.

Key Notes

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The Drees Company  
04/07/2025 6:00:21 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: --
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm	

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Std. Drawn By: MJS	Sheet Description: BUILDING SECTIONS	SCALE: 1/8" = 1'-0"
Std. Chk. By: ARC	ELEVATION "J"	
Std. Date: 08/26/16		
Date of: 10/27/16 MJS		
Last Rev:		

SEBASTIAN  
Plan No.:  
Series:

Sheet No.

5.01

### General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.

### Key Notes

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### BRICK VENEER LINTEL SCHEDULE

SPAN	STEEL ANGLE SIZE	HEIGHT OF VENEER ABOVE LINTEL
Up to 3'-6"	L3-1/2 x3-1/2 x1/4	20 FT. MAX
Up to 6'-0"	L5x 3-1/2x 5/16 (LLV)	20 FT. MAX
Up to 8'-0"	L6x 3-1/2x 3/8 (LLV)	20 FT. MAX
9'-0"	L7x 4x 3/8 (LLV)	12 FT. MAX
*16'-0"	L7x 4x 3/8 (LLV)	3 FT. MAX
*16'-0"	L8x 4x 1/2 (LLV)	4-1/2 FT. MAX

ALL LINTELS <=6' SHALL HAVE 4" MINIMUM BEARING AT EACH END.  
ALL LINTELS >=6' SHALL HAVE 8" MINIMUM BEARING AT EACH END.  
\* FASTENED TO HDR @ 1/3 SPAN POINTS THRU 1-1/2" LONG VERTICALLY SLOTTED HOLES IN LINTEL w/ 1/2" DIA. x 3-1/2" LONG LAG SCREWS. LOCATE LAG SCREWS @ MIDDLE OF SLOTTED HOLE & TIGHTEN SCREWS ENOUGH TO ALLOW MOVEMENT OF LINTEL.  
\*\*\*ANY LINTEL CONDITION NOT SPECIFIED ABOVE SHALL BE DESIGNED

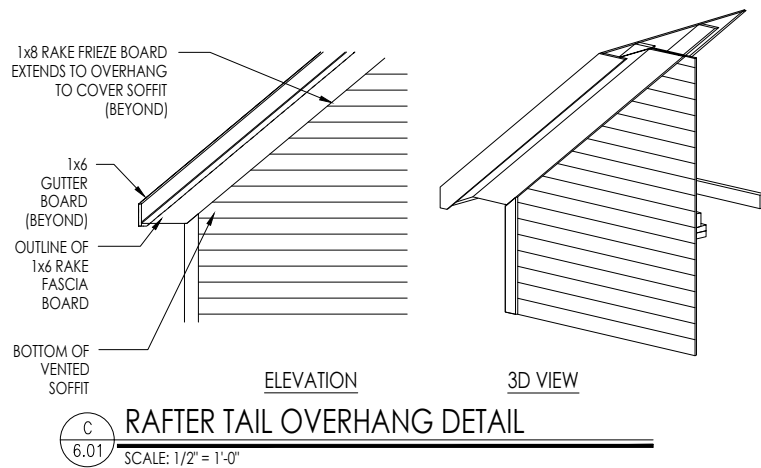
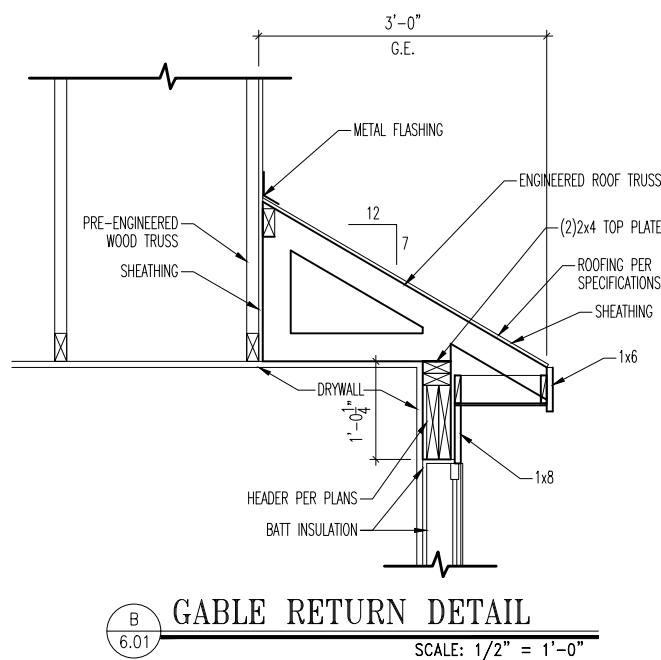
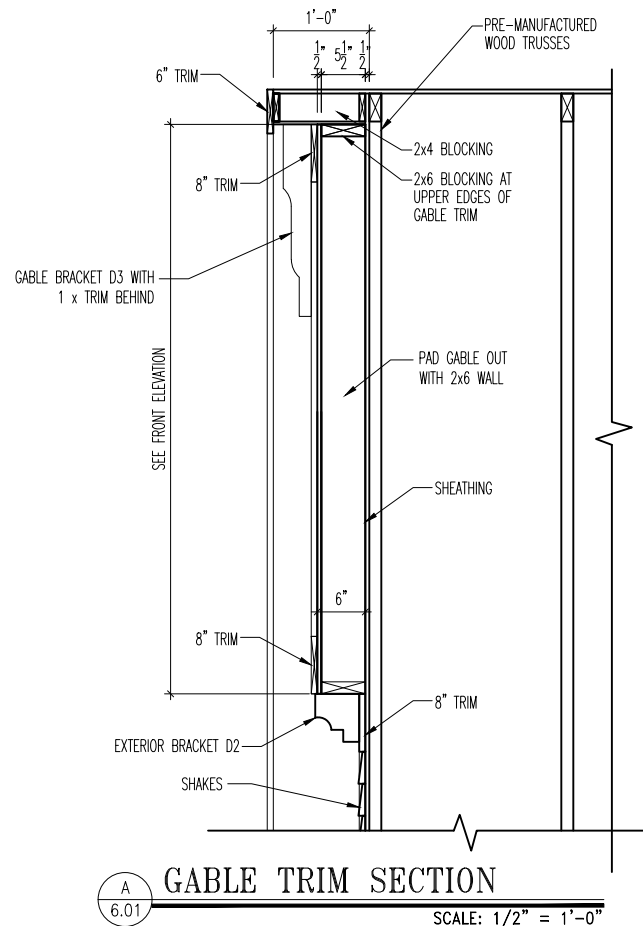
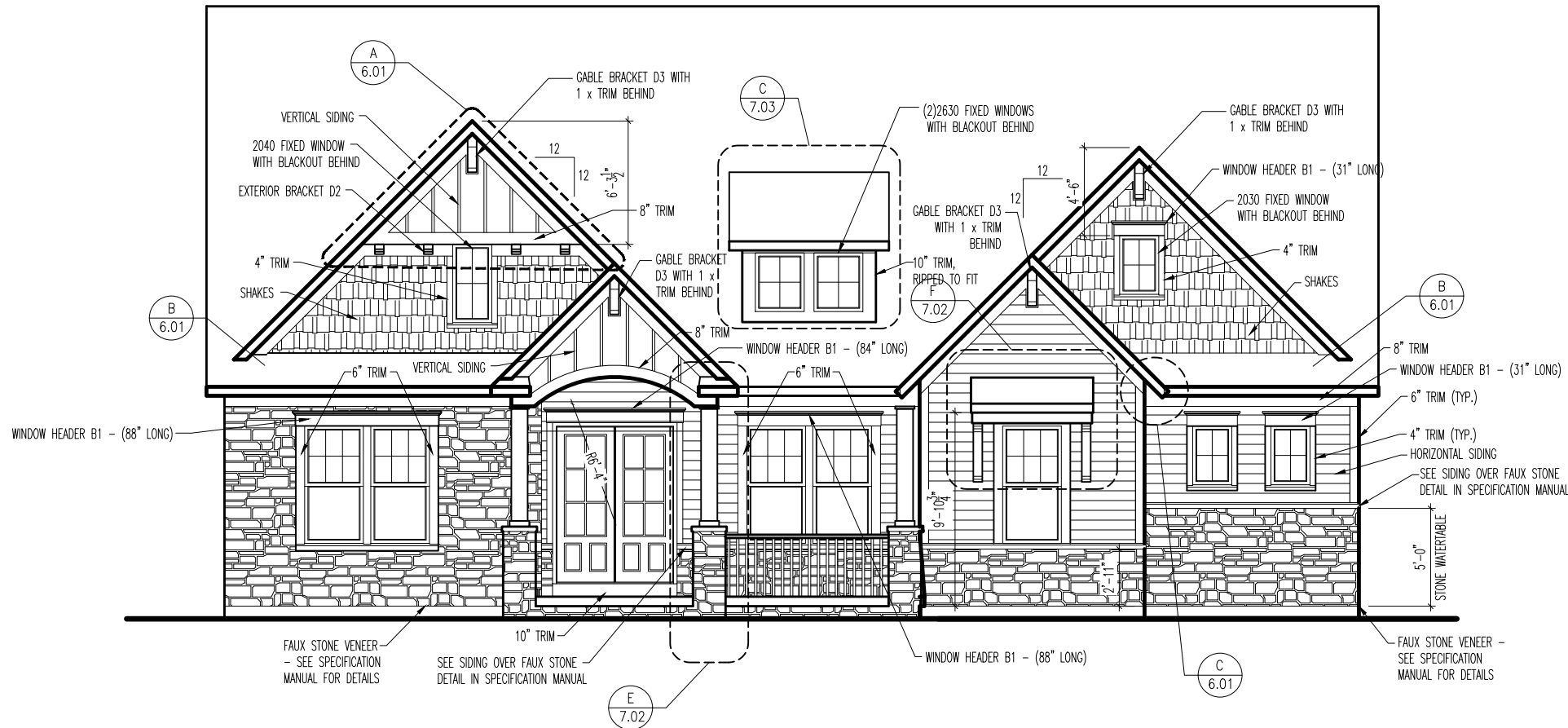


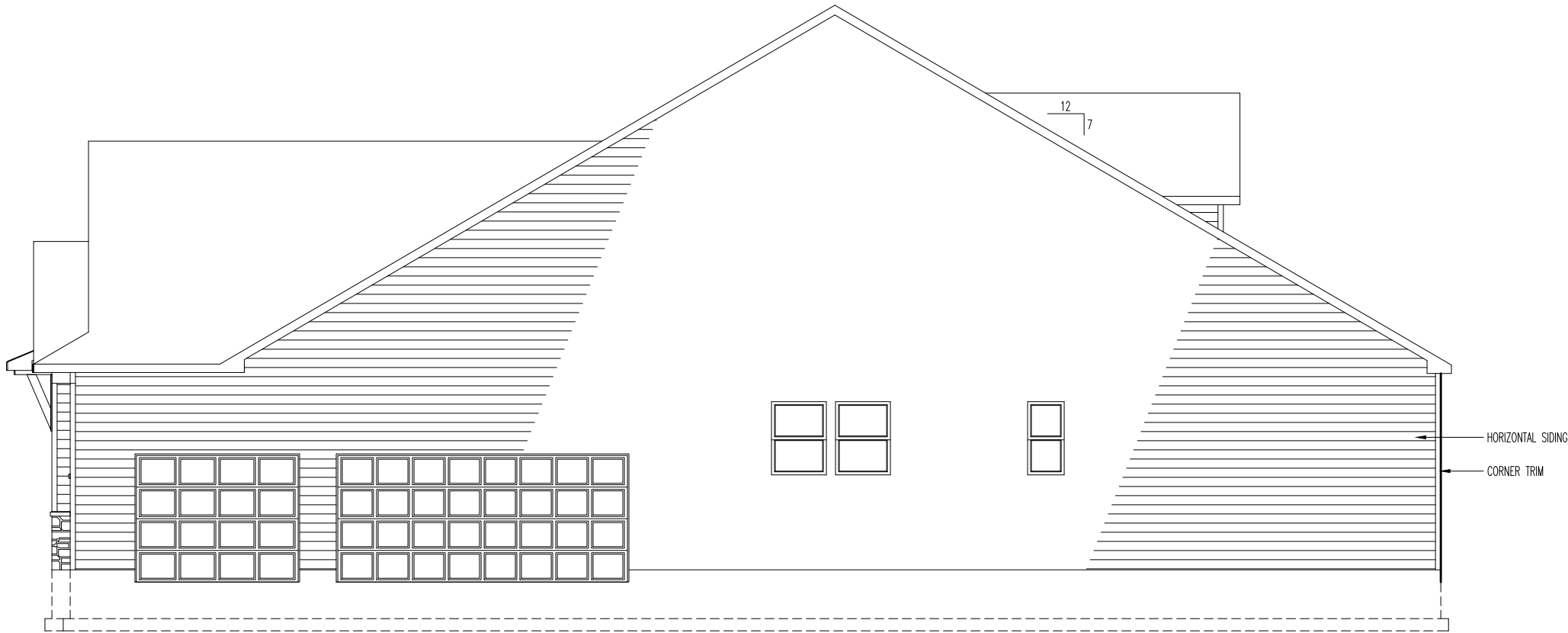
The Drees Company  
04/07/2025 6:00:21 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---

Contract Drawn By: Phone #: Coordinator's Name: Coordinator's Phone #:	GREG P. (859)578-4355 --- ---	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
---	--	---

TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm





TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes

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The Drees Company  
05/30/2025 12:28:30 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P. Phone #: (859)578-4355	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Coordinator's Name: ---	
Coordinator's Phone #: ---	
TBRD-0117-00.dwg May 22, 2025 - 10:55am	



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Std. Drawn By: MUS	Sheet Description: GARAGE SIDE ELEVATION	SCALE: 1/8" = 1'-0"
Std. Chk. By: ARC	ELEVATION "J"	
Std. Date: 08/26/16		
Date of: 10/27/16		
Last Rev:		

Sheet No.

6.02



TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes

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The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P. Phone #: (859)578-4355	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Coordinator's Name: ---	
Coordinator's Phone #: ---	

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HOMES

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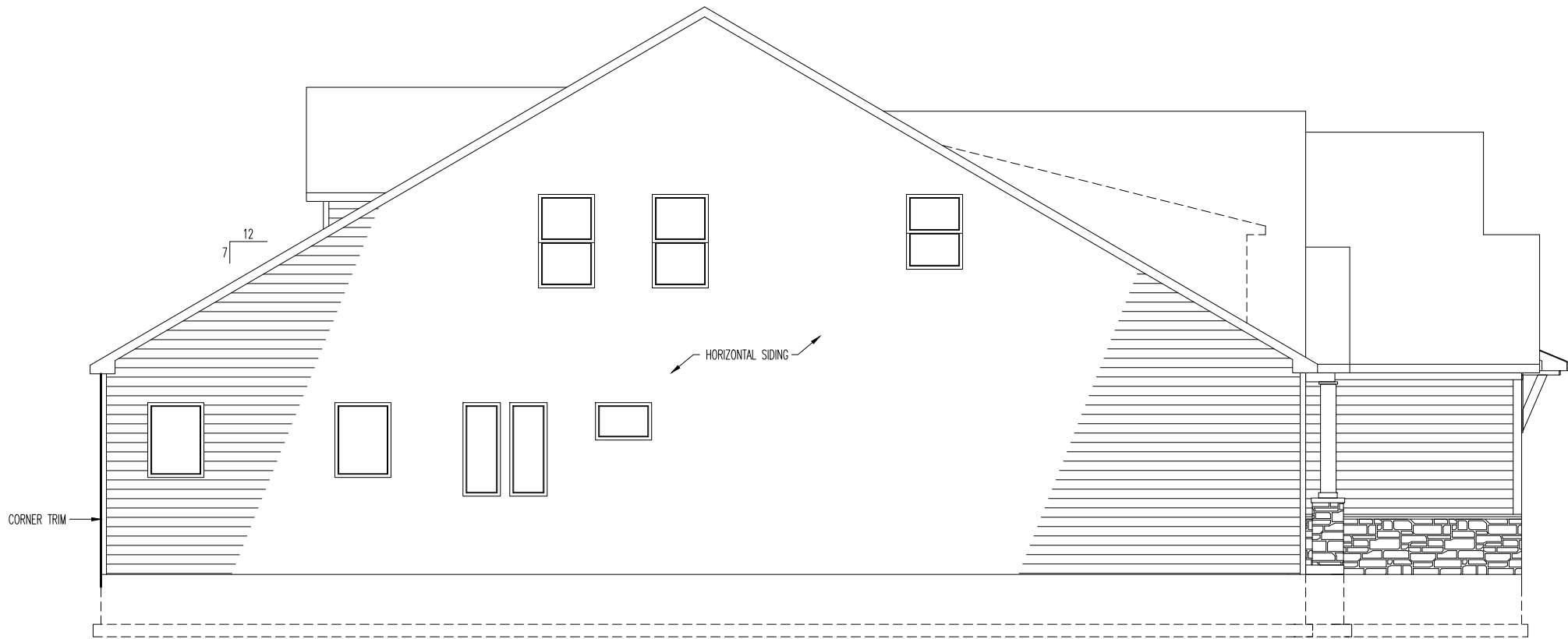
Std. Drawn By: MJS	Sheet Description: REAR ELEVATION	SCALE: 1/8" = 1'-0"
Std. Chk. By: ARC	ELEVATION "J"	
Std. Date: 08/26/16		
Date of 10/27/16 MJS		

SEBASTIAN	Plan No.:
	Series:

Sheet No.

6.03





TYPICAL TRIM:
6" FASCIA - 8" w/ HARDIE SOFITT (ALL SIDES)
8" FRIEZE (FRONT ONLY UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS.
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes

- 1 --
- 2 --
- 3 --
- 4
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --
- 11
- 12
- 13
- 14
- 15



The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P. Phone #: (859)578-4355	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Coordinator's Name: ---	
Coordinator's Phone #: ---	
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm	

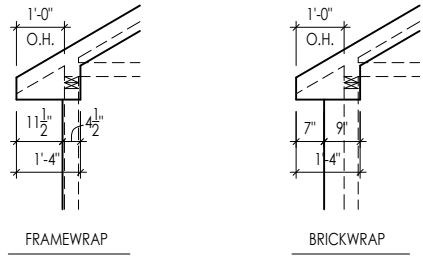
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HOMES™

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Std. Drawn By: MJS	Sheet Description: SIDE ELEVATION	SCALE: 1/8" = 1'-0"
Std. Chk. By: ARC	ELEVATION "J"	
Std. Date: 08/26/16		
Date of 10/27/16 MJS		
House: SEBASTIAN	Plan No.:	
Series:		

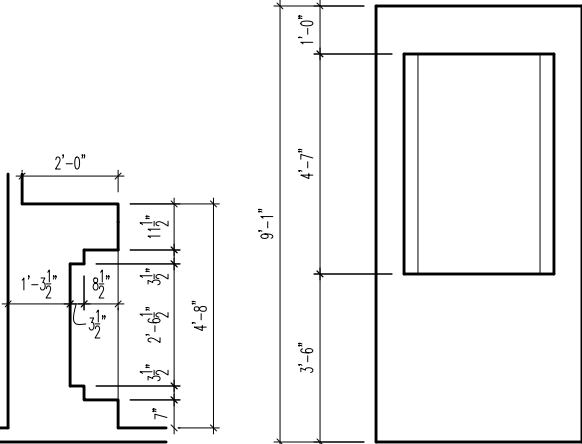
Sheet No.

6.04



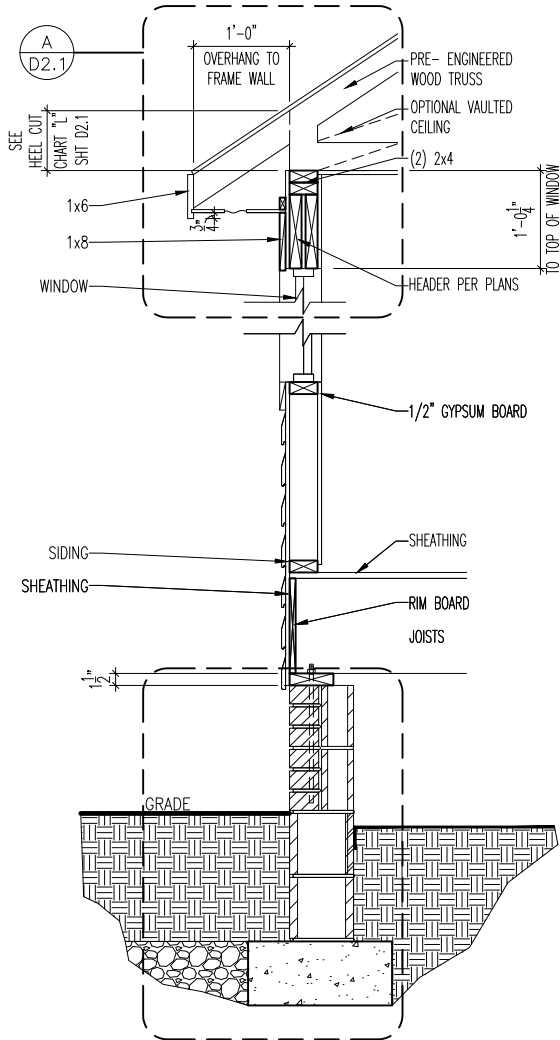
OVERHANG SOFFIT DETAILS

SCALE: 1/4" = 1'-0"



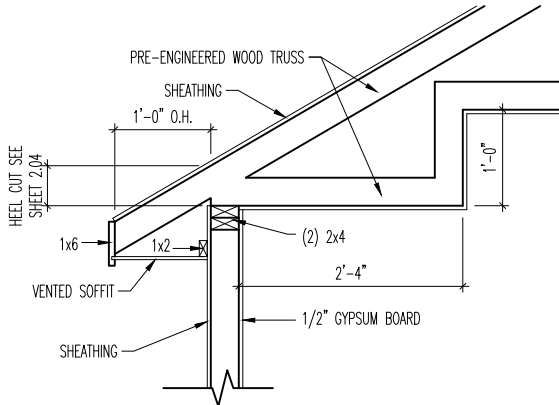
PRIMARY BATH NICHE DETAIL

SCALE: 1/4" = 1'-0"



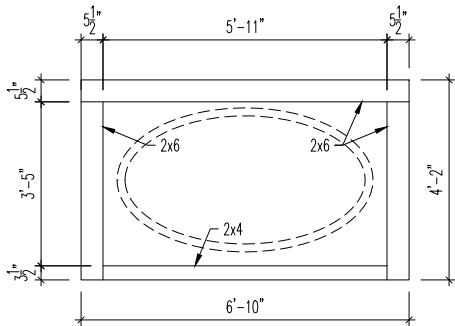
TYP. RANCH FRAME WRAP WALL SECTION

SCALE: 1/2" = 1'-0"



DINING ROOM TRAY CEILING DETAIL

SCALE: 1/2" = 1'-0"



TUB FRAMING DETAIL

SCALE: 1/4" = 1'-0"

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --



The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P. Phone #: (859)578-4355	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Coordinator's Name: --	
Coordinator's Phone #: --	
TBRD-0117-00.dwg Mar 24, 2025 - 3:43pm	



Drees Homes

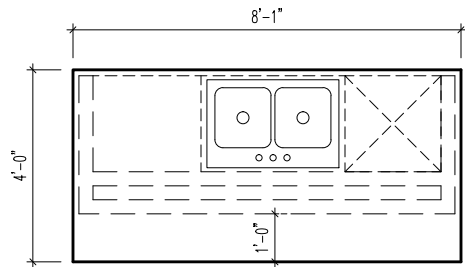
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Std. Drawn By: WJS	Sheet Description: HOUSE SPECIFIC DETAILS	SCALE: 1/8" = 1'-0"
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Std. Date: 08/26/16		
Date of Last Rev: 10/27/16		

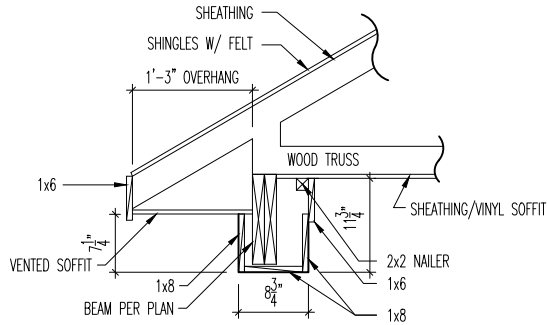
SEBASTIAN

Sheet No.

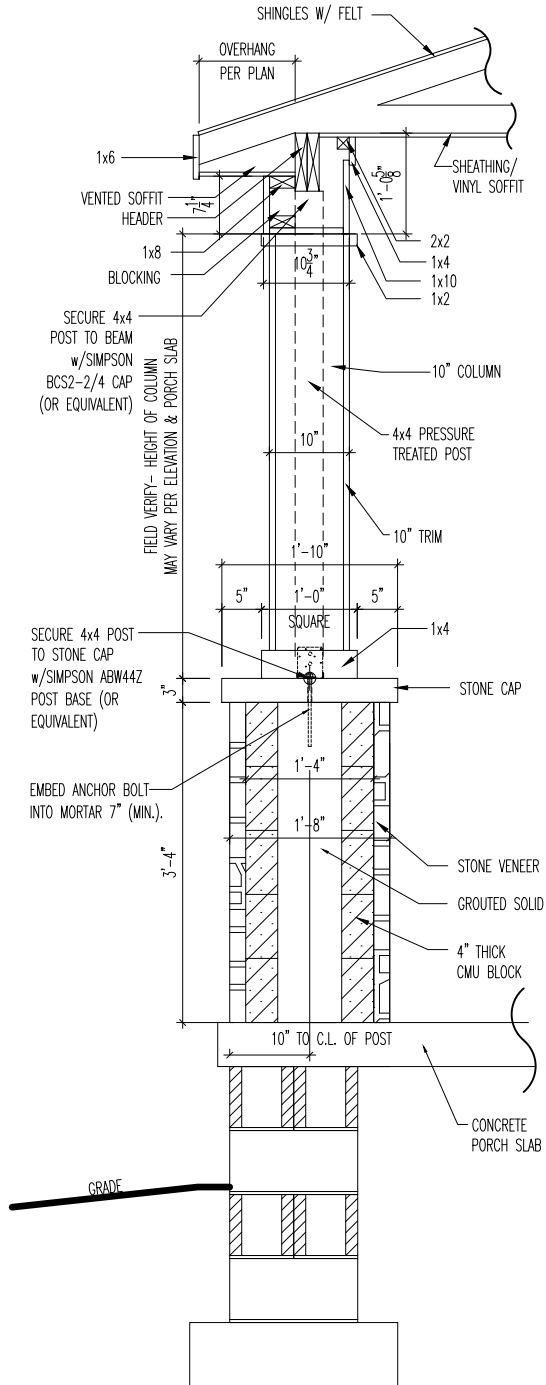
7.01



A  
7.02  
KITCHEN ISLAND FRAMING DETAILS  
SCALE: 1/4" = 1'-0"



D  
7.02  
COVERED PATIO BEAM DETAIL  
SCALE: 1/2" = 1'-0"



E  
7.02  
PORCH COLUMN DETAIL  
SCALE: 1/2" = 1'-0"

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

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The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	Coordinator's Name: --
Coordinator's Phone #: --	Coordinator's Phone #: --

**Drees**  
HOMES<sup>SM</sup>

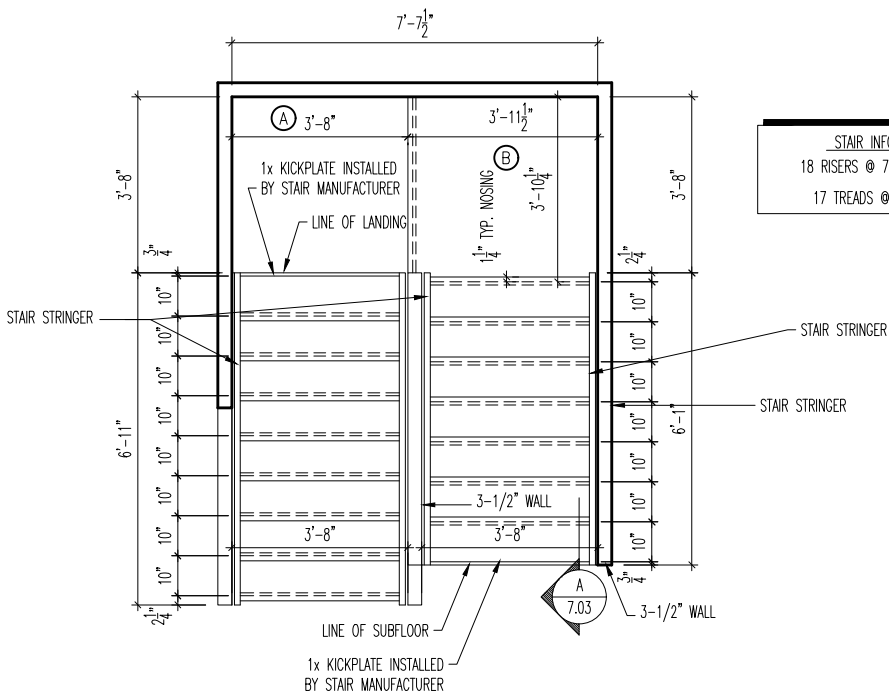
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Sheet Description: HOUSE SPECIFIC DETAILS ELEVATION " J "	SCALE: 1/8" = 1'-0"
Std. Drawn By: MJS	Std. Chk. By: ARC
Std. Date: 08/26/16	Date of 10/27/16 MJS

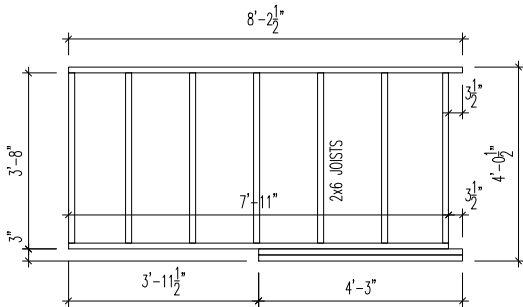
House: SEBASTIAN	Plan No.:
Series:	

Sheet No.

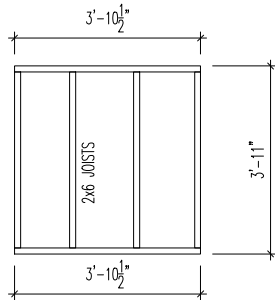
7.02



STAIR INFO.  
18 RISERS @ 7-7/16"  
17 TREADS @ 10"

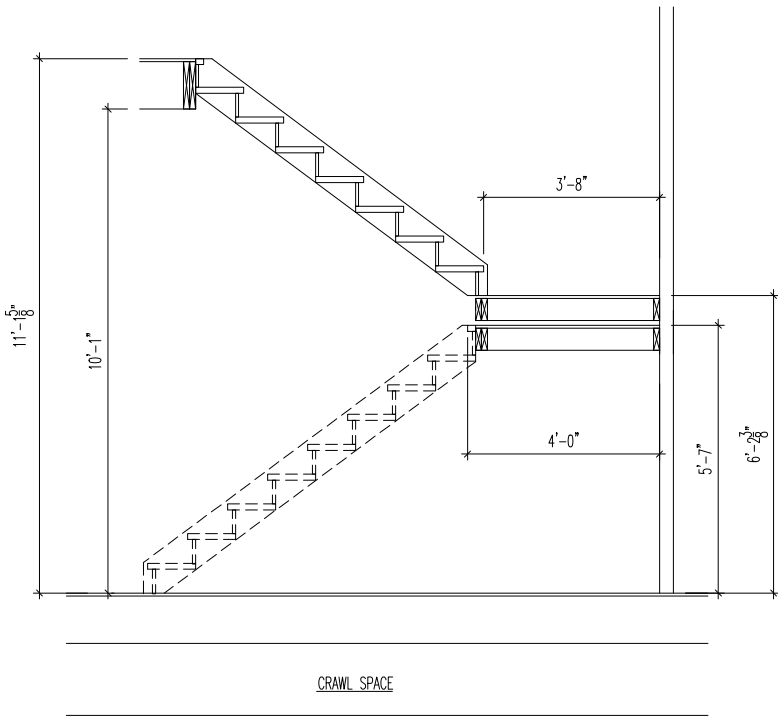


A LANDING DETAIL  
SCALE: 1/4" = 1'-0"



B LANDING DETAIL  
SCALE: 1/4" = 1'-0"

A 7.03 SECOND FLOOR STAIR FRAMING DETAILS  
SCALE: 1/4" = 1'-0"



A 7.03 STAIR SECTION  
SCALE: 1/4" = 1'-0"

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

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The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwg. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	
Coordinator's Name: --	
Coordinator's Phone #: --	

TBRD-0117-00.dwg Mar 24, 2025 - 3:53pm

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HOMES

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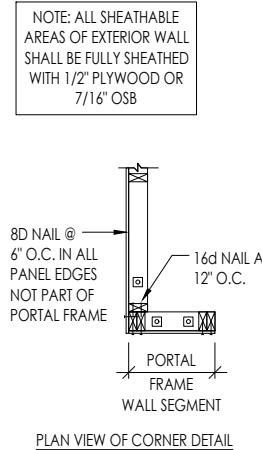
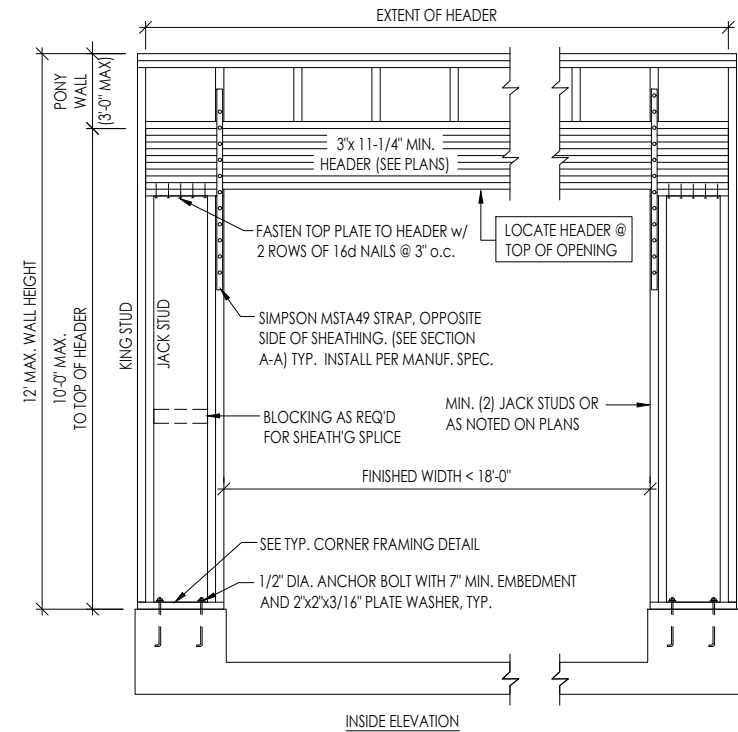
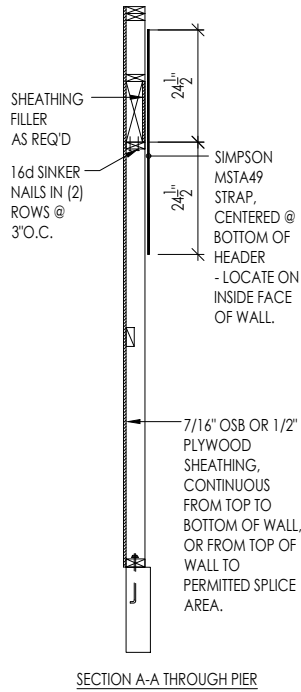
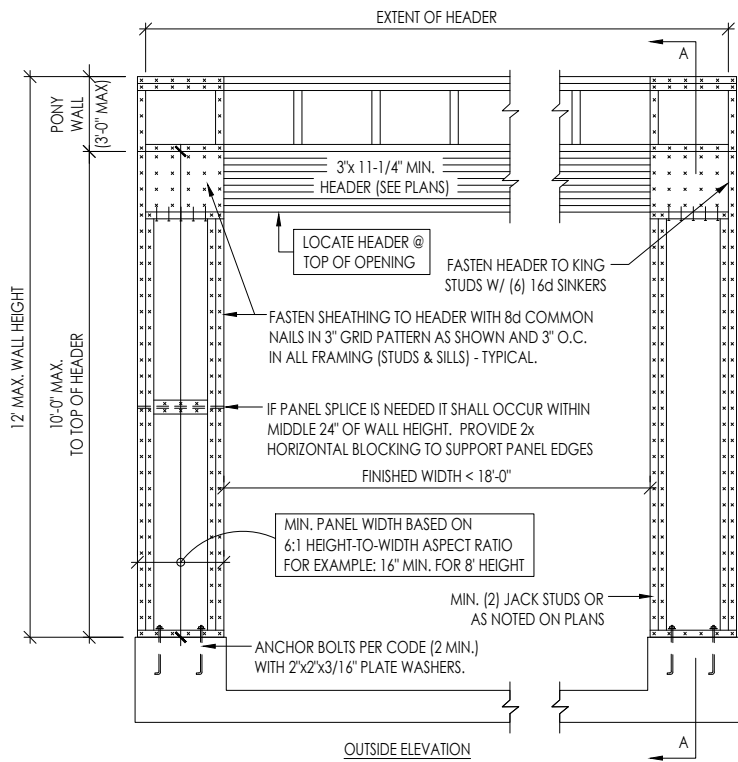
Sheet Description: HOUSE SPECIFIC DETAILS ELEVATION "J"	SCALE: 1/8" = 1'-0"
Std. Drawn By: MJS	Std. Chk. By: ARC
Std. Date: 08/26/16	Date of 10/27/16 MJS
Std. Rev:	

House: SEBASTIAN	Plan No.:
Series:	

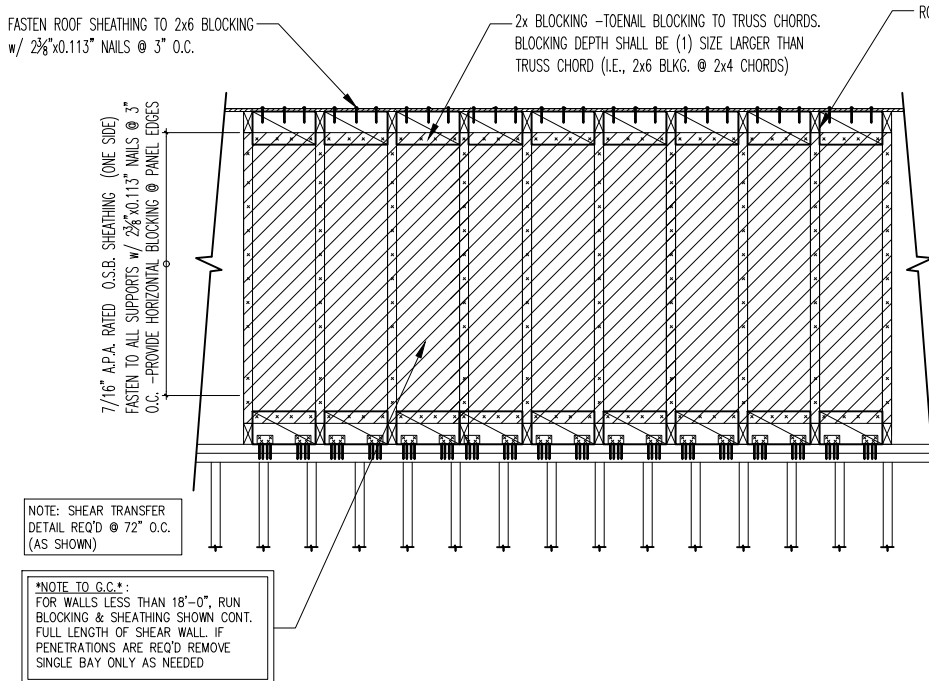
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7.03

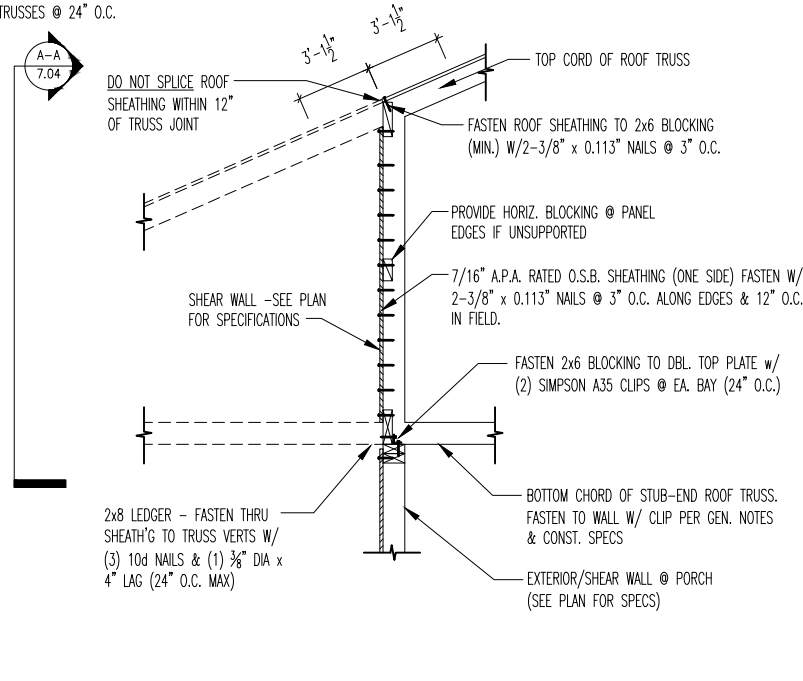




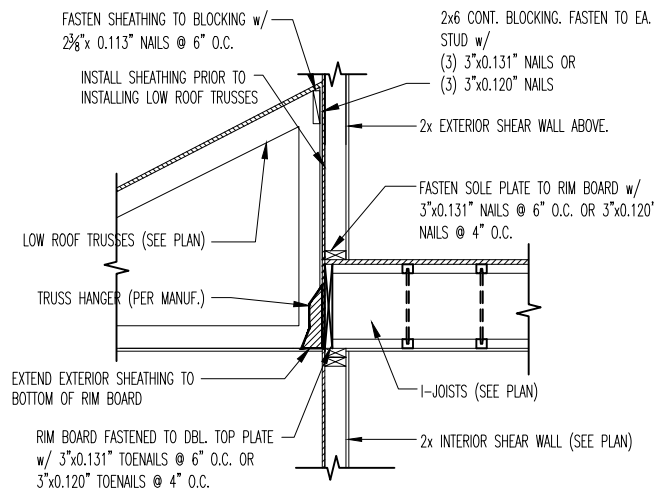
1  
7.04  
GARAGE PORTAL FRAME BRACING ELEVATION  
NOT TO SCALE BOTH SIDES OF GARAGE DOOR



A-A  
TYPICAL SHEAR TRANSFER DETAIL  
@ INTERIOR SHEARWALL  
SCALE: 3/8"=1'-0"



2  
7.04  
TYPICAL SHEAR TRANSFER DETAIL  
@ INTERIOR SHEARWALL  
SCALE: 3/8"=1'-0"



3  
7.04  
TYPICAL SHEAR TRANSFER DETAIL  
BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/8"=1'-0"

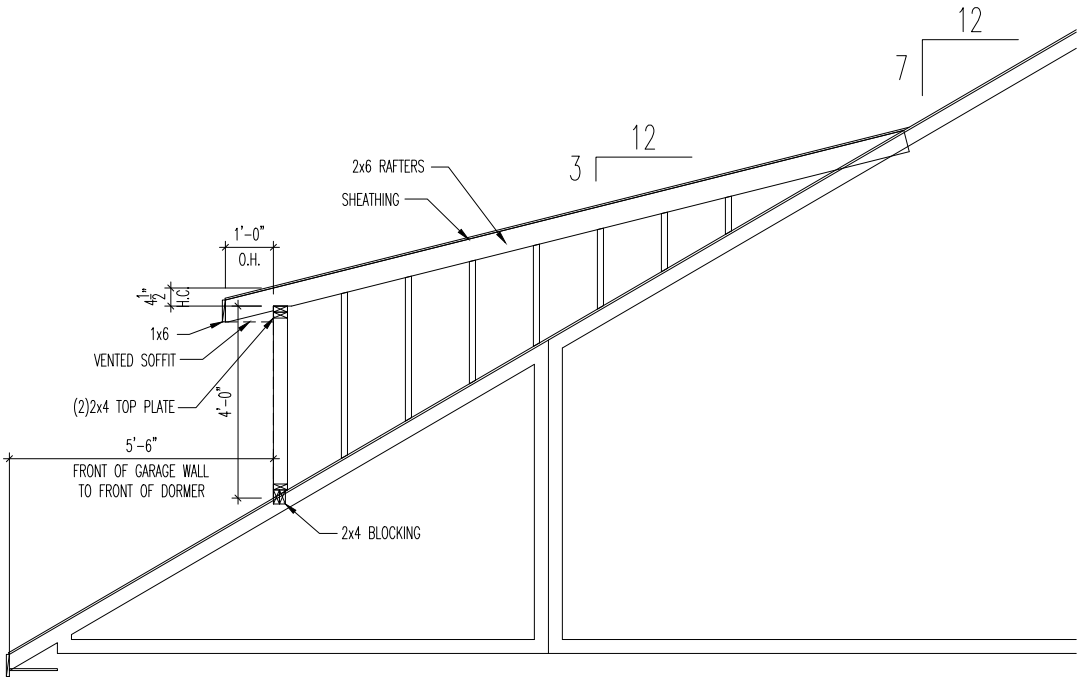
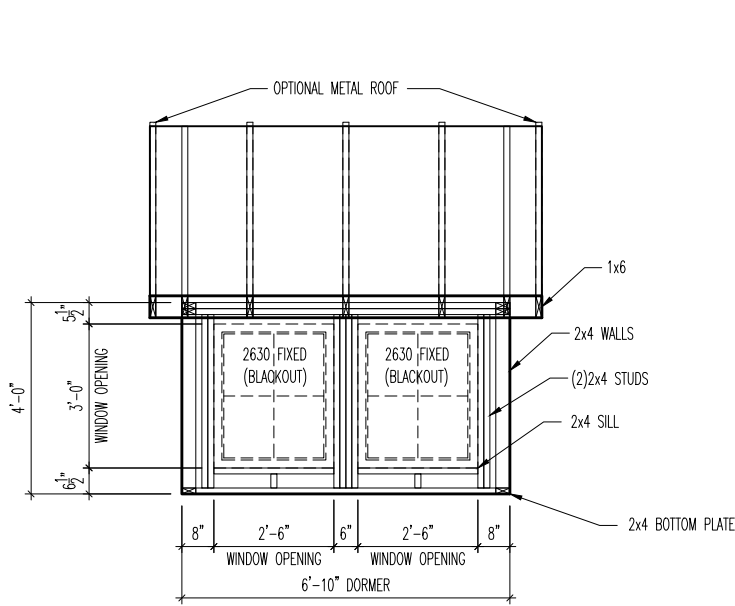
## General Notes

- REFER TO SHEET 0N.1 FOR GENERAL NOTES.



The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD	Customer Name: STOVER
Job #: TBRD-0117-00	Job Address: ---
Contract Drawn By: GREG P.	Original Site Specific Dwa. & Effective Change Order Date: 3/24/25
Phone #: (859)578-4355	Coordinator's Name: --
Coordinator's Phone #: --	Coordinator's Phone #: --
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm	



C  
7.03 DORMER DETAIL  
SCALE: 1/4" = 1'-0"

General Notes

- REFER TO SHEET 01.1 FOR GENERAL NOTES.

Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --



The Drees Company  
04/07/2025 6:00:22 PM

Subdivision: TOBACCO ROAD		Customer Name: STOVER	
Job #: TBRD-0117-00		Job Address: --	
Contract Drawn By: GREG P.		Original Site Specific Dwg. & Effective Change Order Date:  3/24/25	
Phone #: (859)578-4355			
Coordinator's Name: --			
Coordinator's Phone #: --			
TBRD-0117-00.dwg Mar 24, 2025 - 3:42pm			

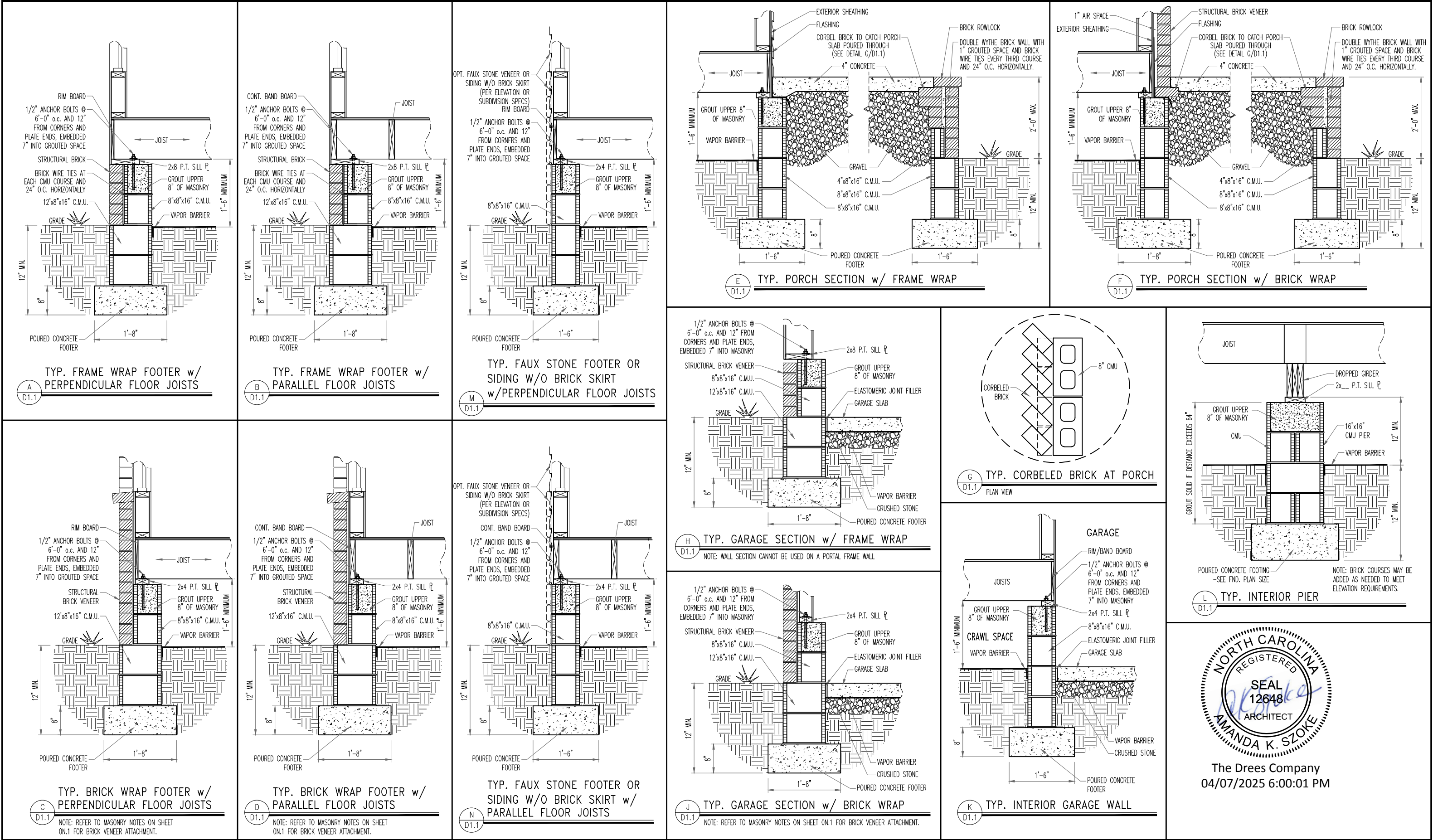


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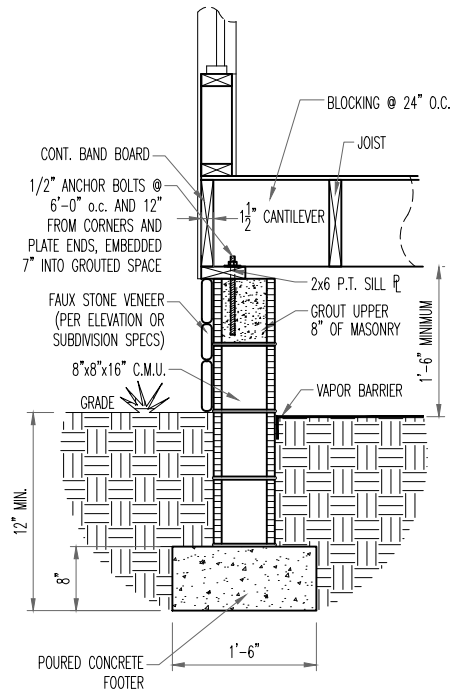
Sheet Description: HOUSE SPECIFIC DETAILS ELEVATION "J"		Scale: 1/8" = 1'-0"	
Std. Drawn By: WJS	Std. Chk. By: ARC	Date of Rev. 08/26/16 REV_DT	
House: SEBASTIAN		Plan No.:	
Series:			

Sheet No.

7.05

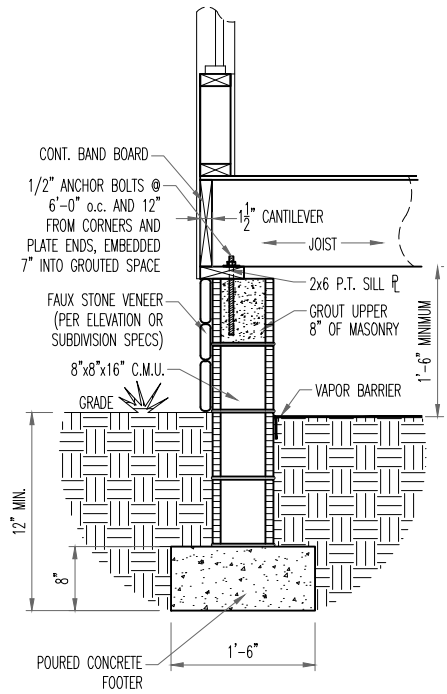






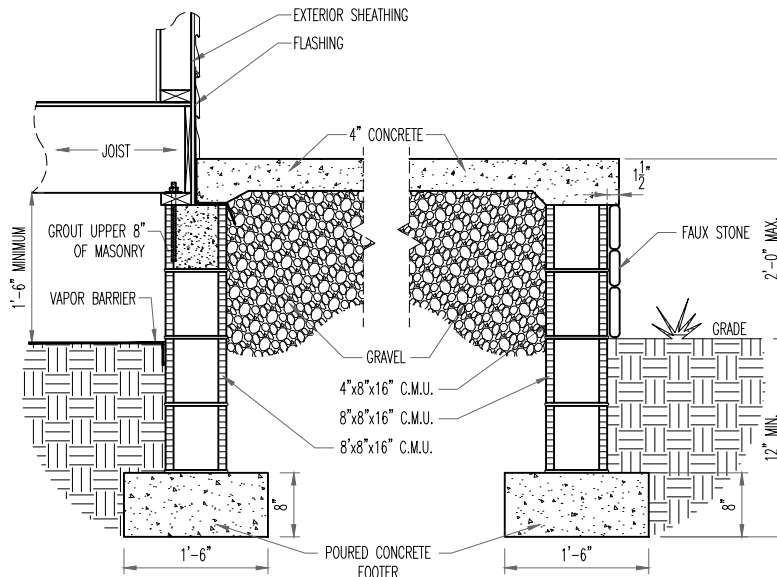
TYP. FAUX STONE SKIRT FOOTER w/  
PARALLEL FLOOR JOISTS

A  
D1.2



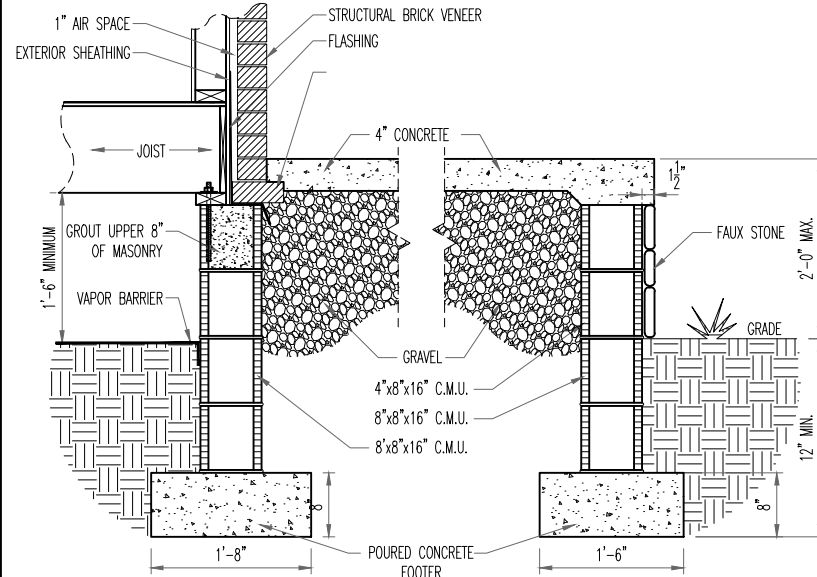
TYP. FAUX STONE SKIRT FOOTER w/  
PERPENDICULAR FLOOR JOISTS

B  
D1.2



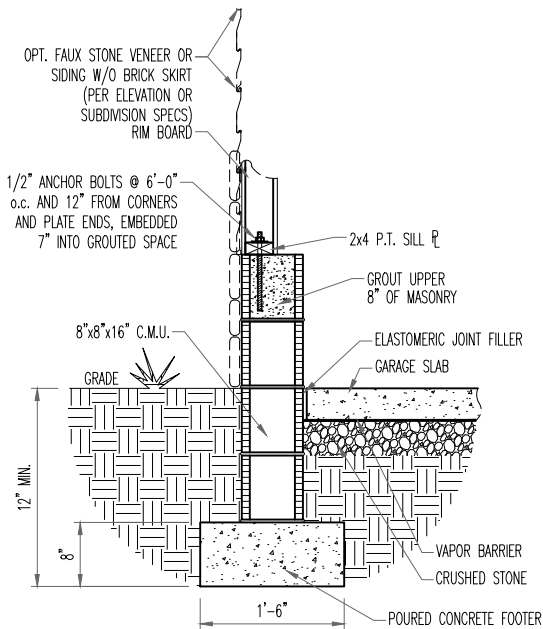
TYP. FAUX STONE SKIRT  
TYP. PORCH SECTION w/ FRAME WRAP

C  
D1.2



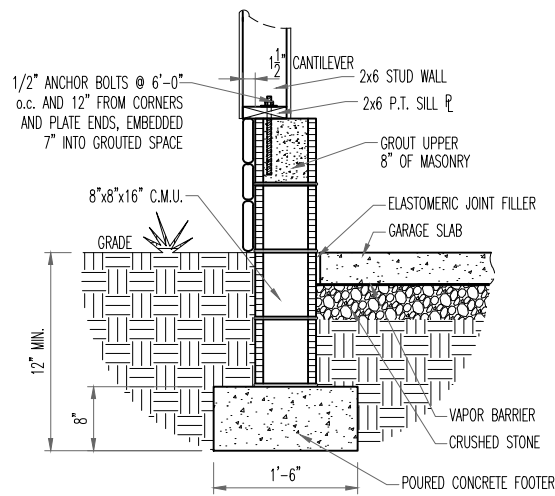
TYP. FAUX STONE SKIRT  
TYP. PORCH SECTION w/ BRICK WRAP

D  
D1.2



TYP. FAUX STONE FOOTER OR SIDING w/o  
BRICK SKIRT  
TYP. GARAGE SECTION w/ FRAME WRAP

E  
D1.2



TYP. FAUX STONE SKIRT  
TYP. GARAGE SECTION w/ FRAME WRAP

F  
D1.2

NOTE: WALL SECTION CANNOT BE USED ON A PORTAL FRAME WALL



The Drees Company  
04/07/2025 6:00:01 PM



Drees Homes

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STD. DETAIL SHEET

REGION:

RALEIGH

Std. By: ALL

Chk. By: ARC

Std. Date: 08/19/09

Date of

Sheet Description:

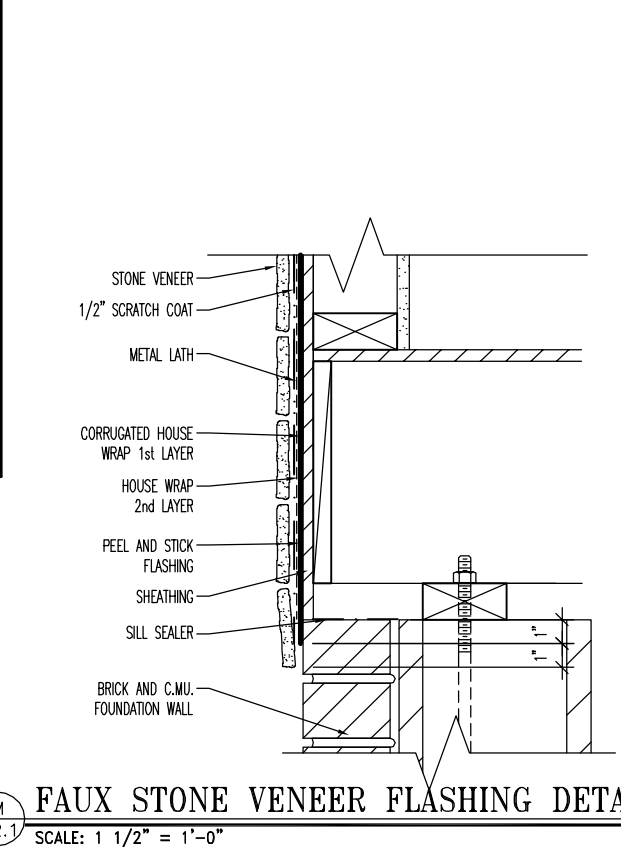
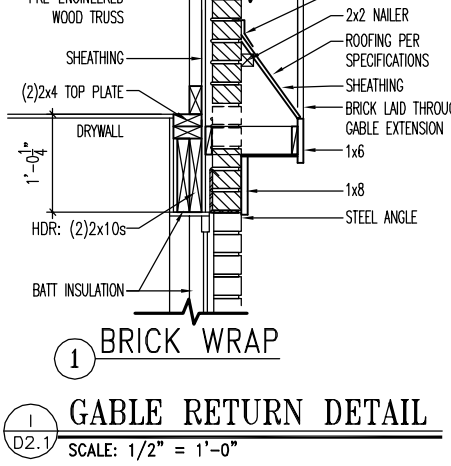
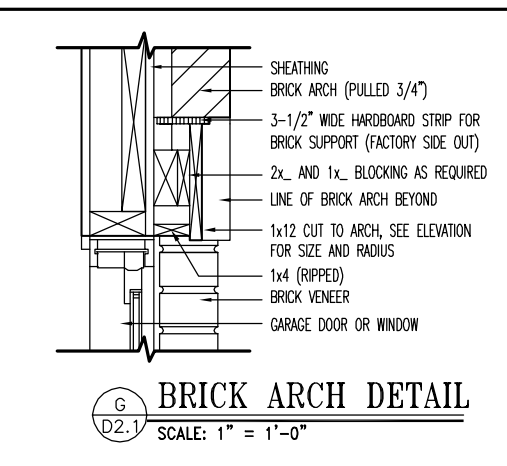
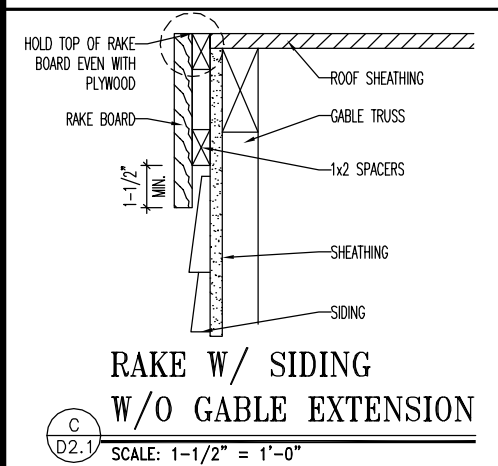
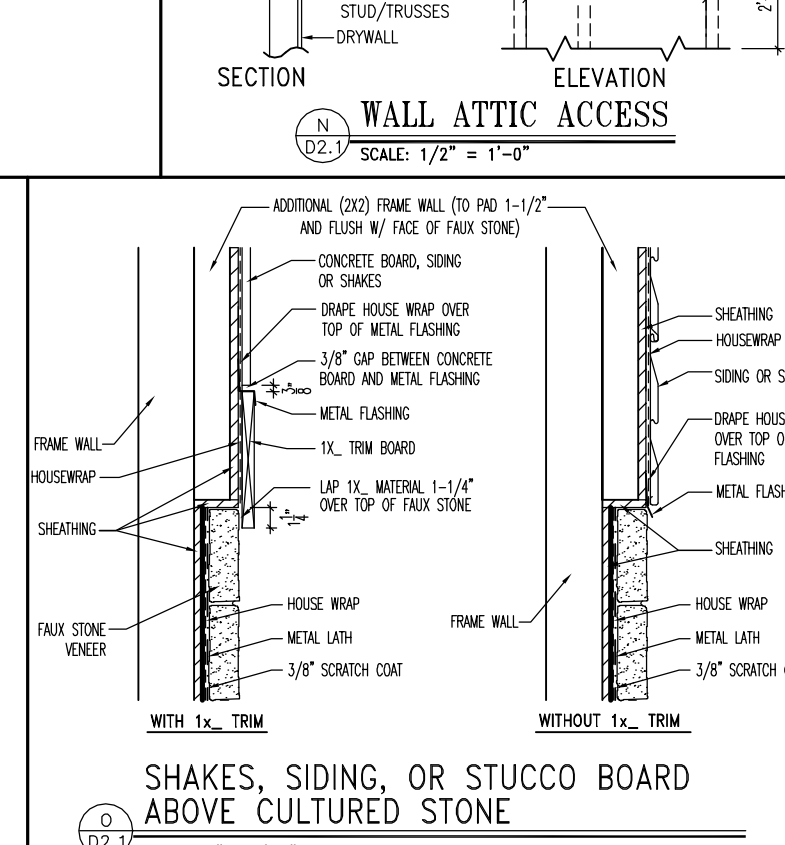
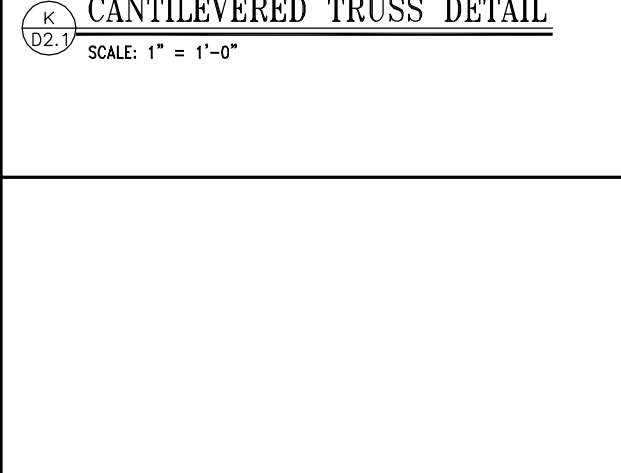
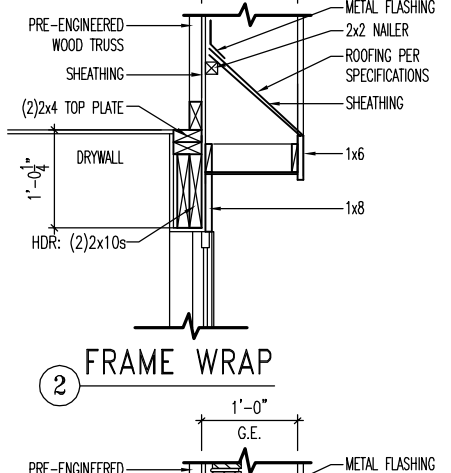
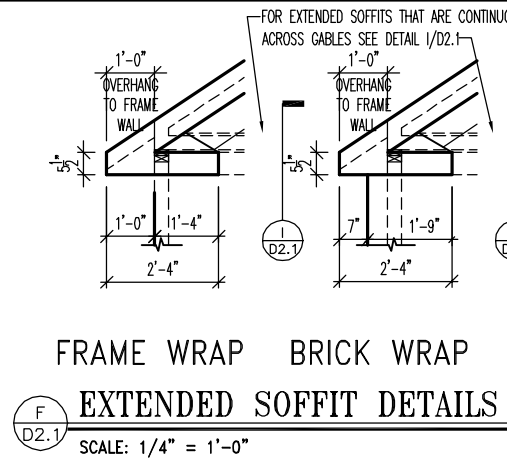
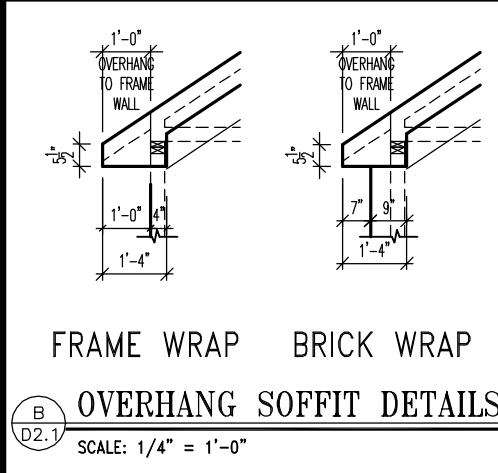
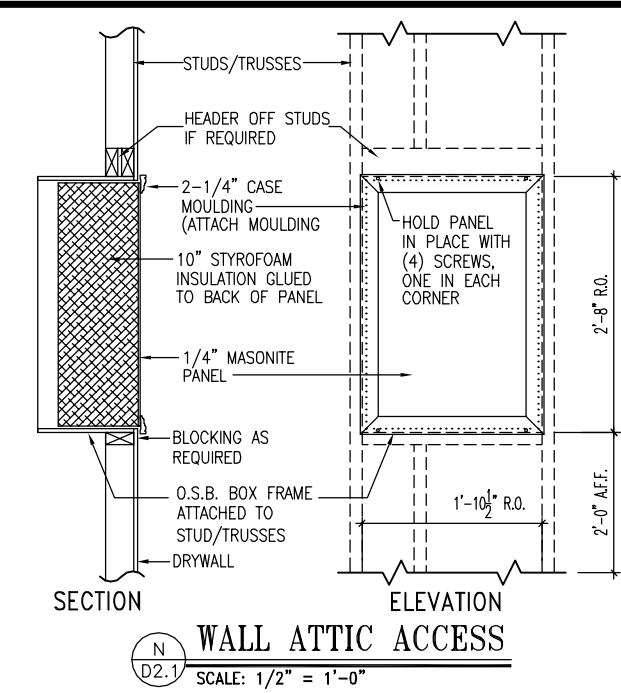
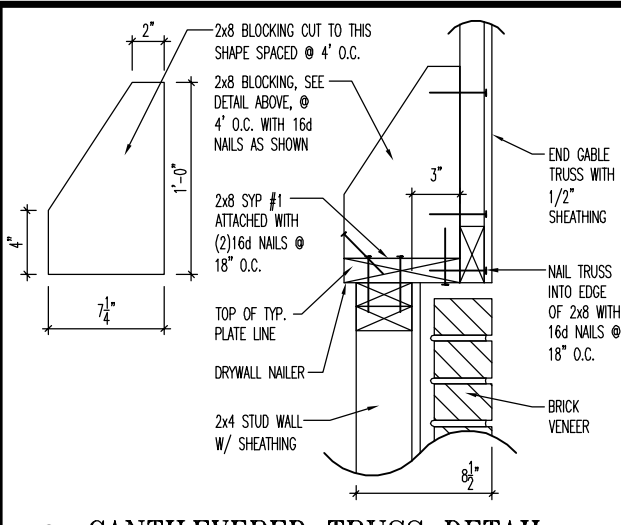
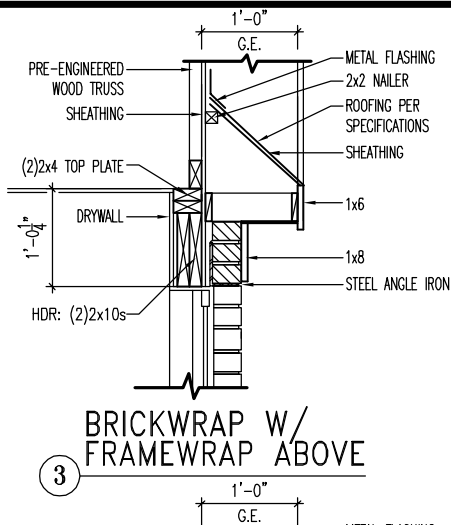
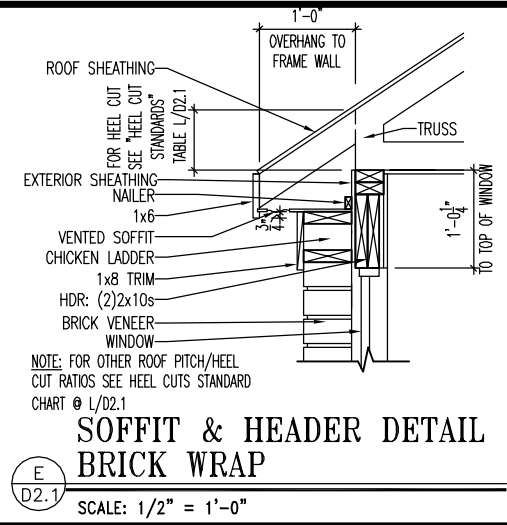
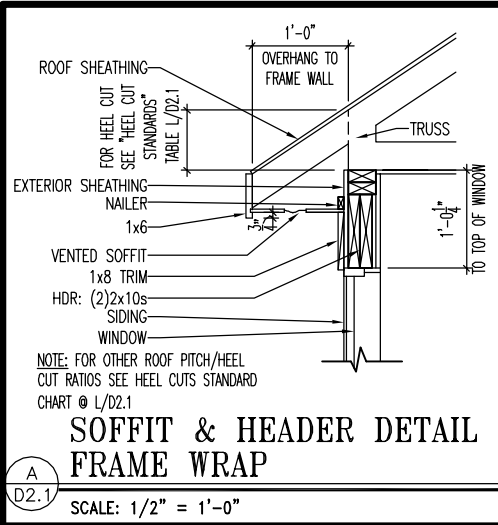
FOUNDATION DETAILS

RALEIGH - D-SHEETS.dwg Sep 24, 2015 - 12:14pm

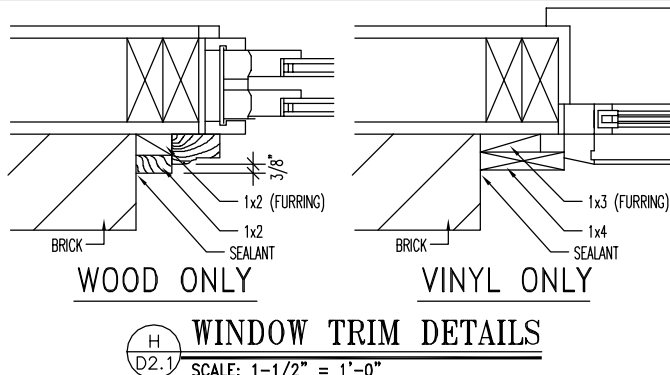
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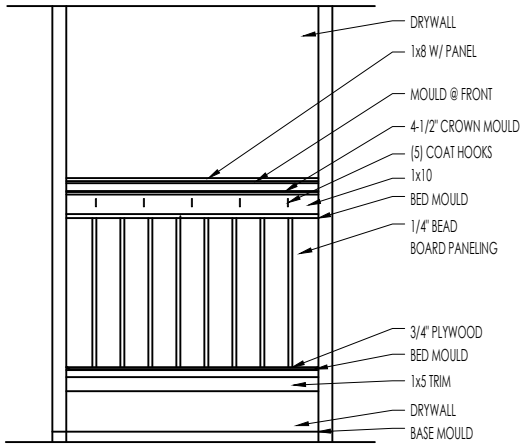
D1.2



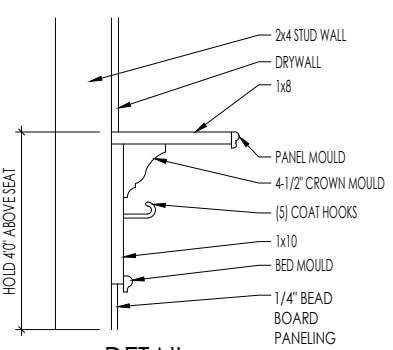


HEEL CUT STANDARDS	
ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'1-3/4"

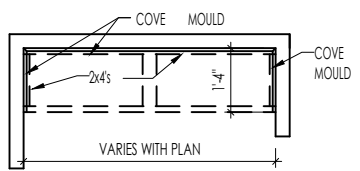




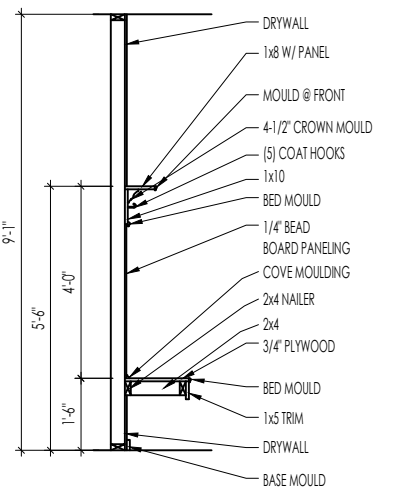
ELEVATION



DETAIL  
SCALE: 1/2" = 1'-0"



PLAN

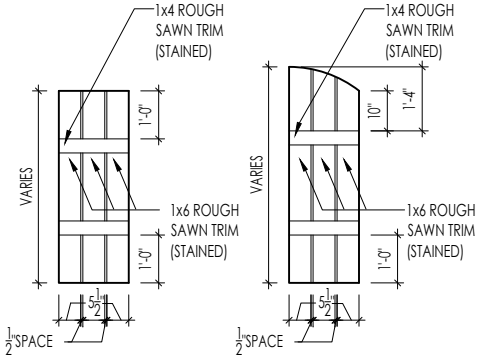


SECTION

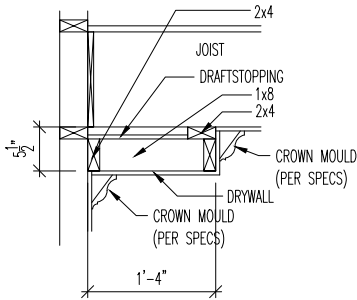
**BENCH SEAT DETAILS**  
SCALE: AS NOTED



The Drees Company  
04/07/2025 6:00:02 PM



M  
D2.4  
SLAT SHUTTER DETAIL  
SCALE: 1/4" = 1'-0"



H  
D2.4  
SINGLE TRAY CEILING DETAIL  
SCALE: 1/2" = 1'-0"



The Drees Company  
04/07/2025 6:00:02 PM

STANDARD FRAMING DETAILS  
RALEIGH DIVISION  
SCALE: AS NOTED



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DRAWN BY: ARCH

DATE OF DETAIL: 01/27/15

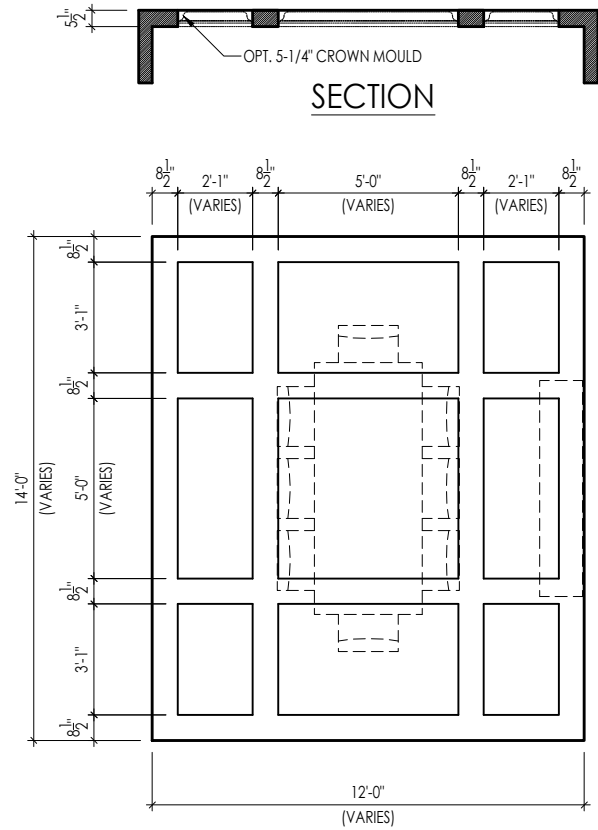
LAST REVISION:

Jan 10, 2023 - 1:46pm

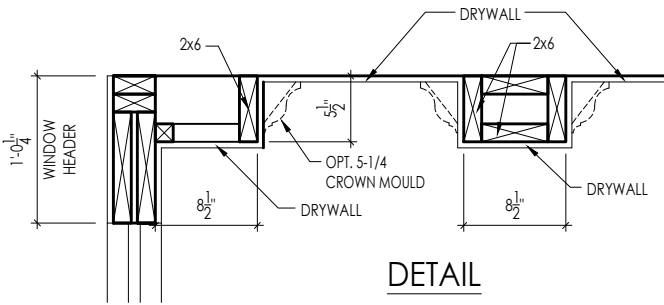
SHEET NO.

D2.4



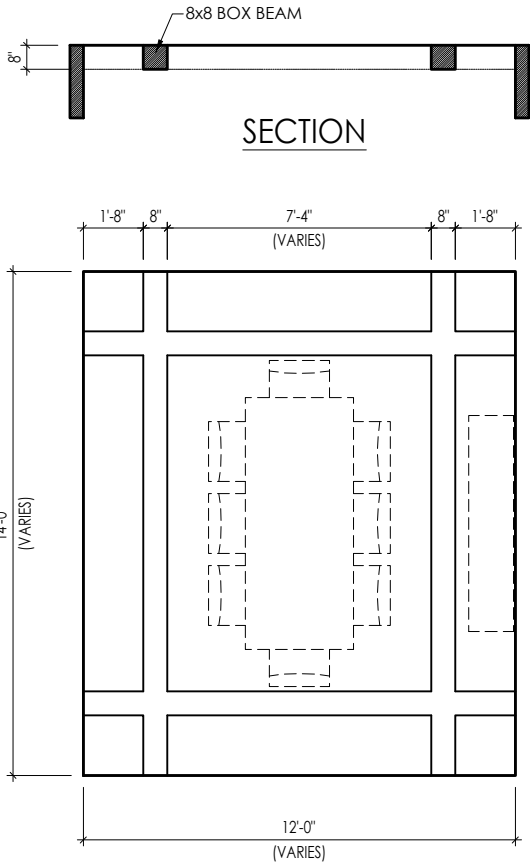


TYPICAL PLAN

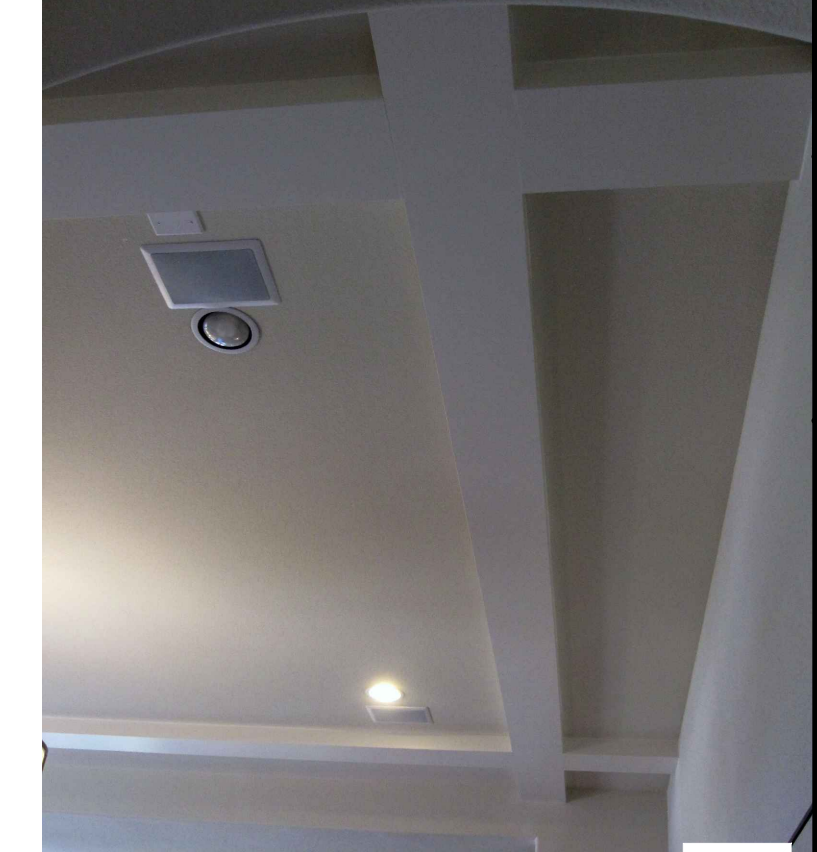


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

01

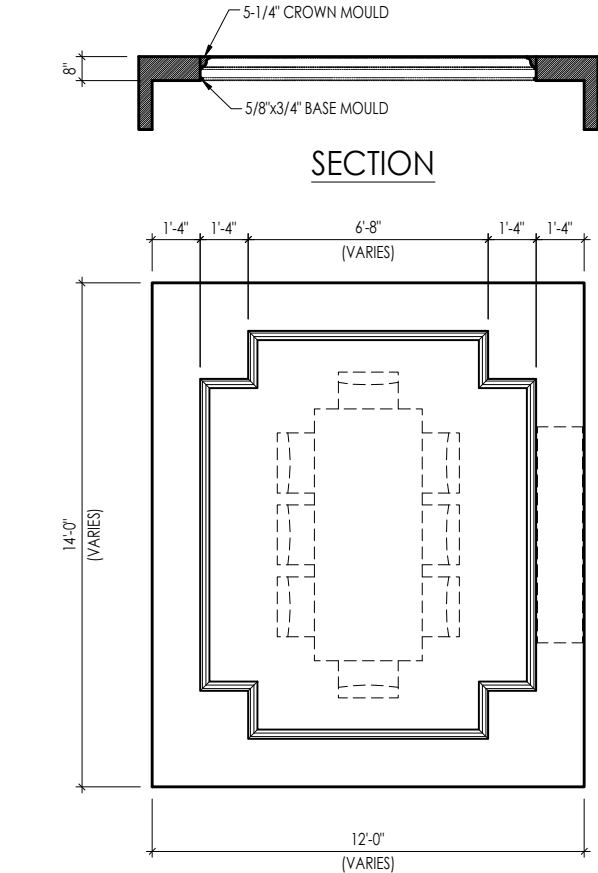


TYPICAL PLAN



Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

05

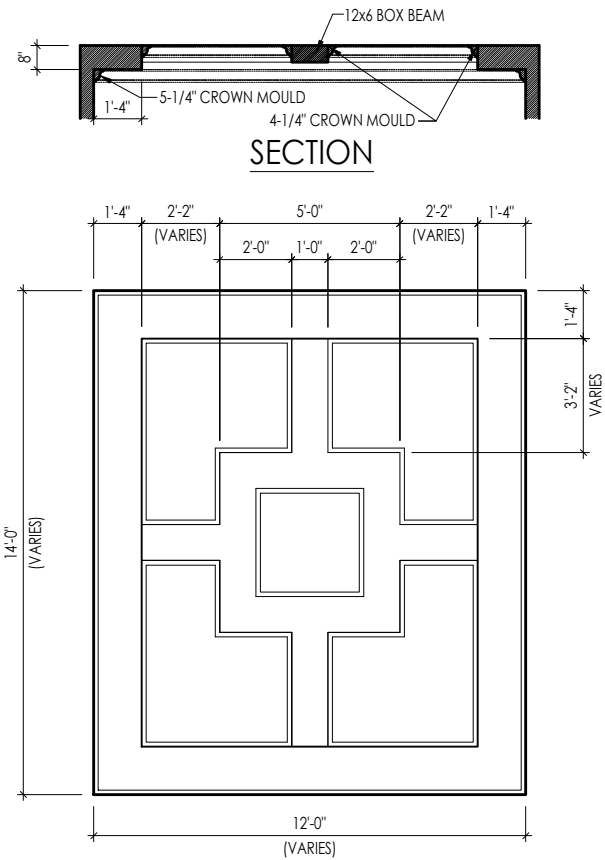


TYPICAL PLAN

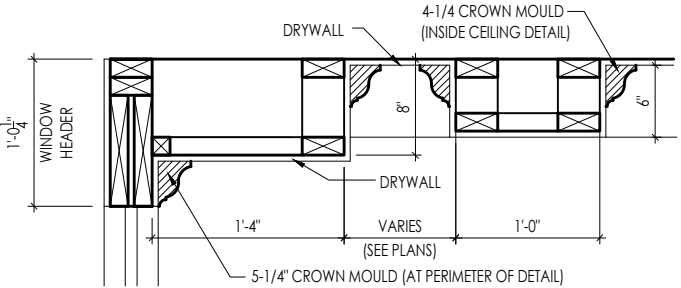


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

04



TYPICAL PLAN



DETAIL



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04/07/2025 6:00:02 PM

Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

15

CEILING TREATMENTS  
SCALE: AS NOTED



SHEET NO.	D4.1
DRAWN BY:	BLC
DATE OF DETAIL:	01/27/15
LAST REVISION:	Jan 10, 2023 - 1:42pm



- General Notes
1.

REFER TO SHEET ON.1 FOR GENERAL NOTES.
2.

SEE SHEET 4.01 FOR DECK LOCATION. FIELD DETERMINE LOCATION & NUMBER OF STAIRS.
3.

ALL DECK JOISTS AND BEAMS TO BE SYP#2 PRESSURE TREATED OR BETTER.
4.

ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
5.

GUARDRAIL & STEPS BY BUILDER.

- Key Notes
- 1

2x10 P.T. LEDGER FASTENED TO RIM w/ 1/4"x3-1/2" LONG SIMPSON SDS SCREWS @ 6" o.c., STAGGERED
- 2

BEAM: (2)2x10s
- 3

DOUBLE JOIST
- 4

2x10 RIM BOARD
- 5

6x6 PRESSURE TREATED POSTS ON 22" DIAMETER SONOTUBE FOOTING, TYP. FOOTING DEPTH TO RUN 12" MIN. BELOW FINISHED GRADE
- 6

(2)2x10 END JOIST
- 7

5/4 DECKING
- 8

FLAT 2x6 BRACE. FASTEN TO UNDERSIDE OF JOISTS W/ (2)10d NAILS IN EACH JOIST.
- 9

LUS28-2Z @ END JOIST
- 10

FASTEN LAST TWO END JOISTS ON EACH SIDE OF DECK TO LEDGER W/SIMPSON H3 TIE.
- 11

LU28-Z @ INTERIOR DECK JOISTS
- 12

(2)2x10 PERIMETER BEAM WITH 1/2" FILLER (OSB OR PLYWOOD)
- 13

4x4 PRESSURE TREATED POST W/SIMPSON BCS2-2/4 CAP & ABW44Z BASE, (TYP.)
- 14

4x4 PRESSURE TREATED POST OR (2)2x4 POST (LOCATE JOISTS UNDER POST)
- 15

2x12 RIDGE PLATE
- 16

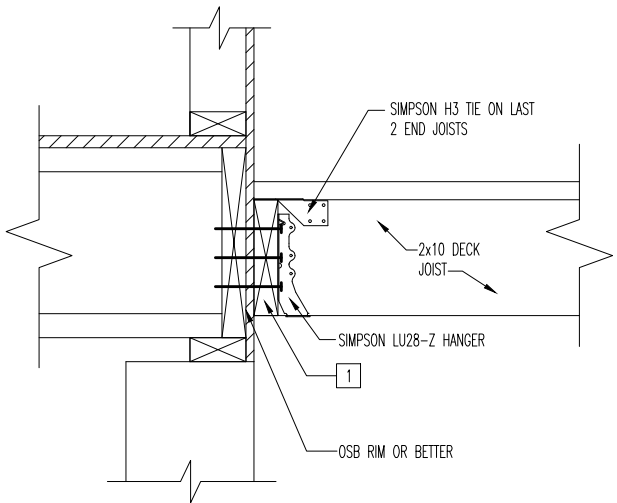
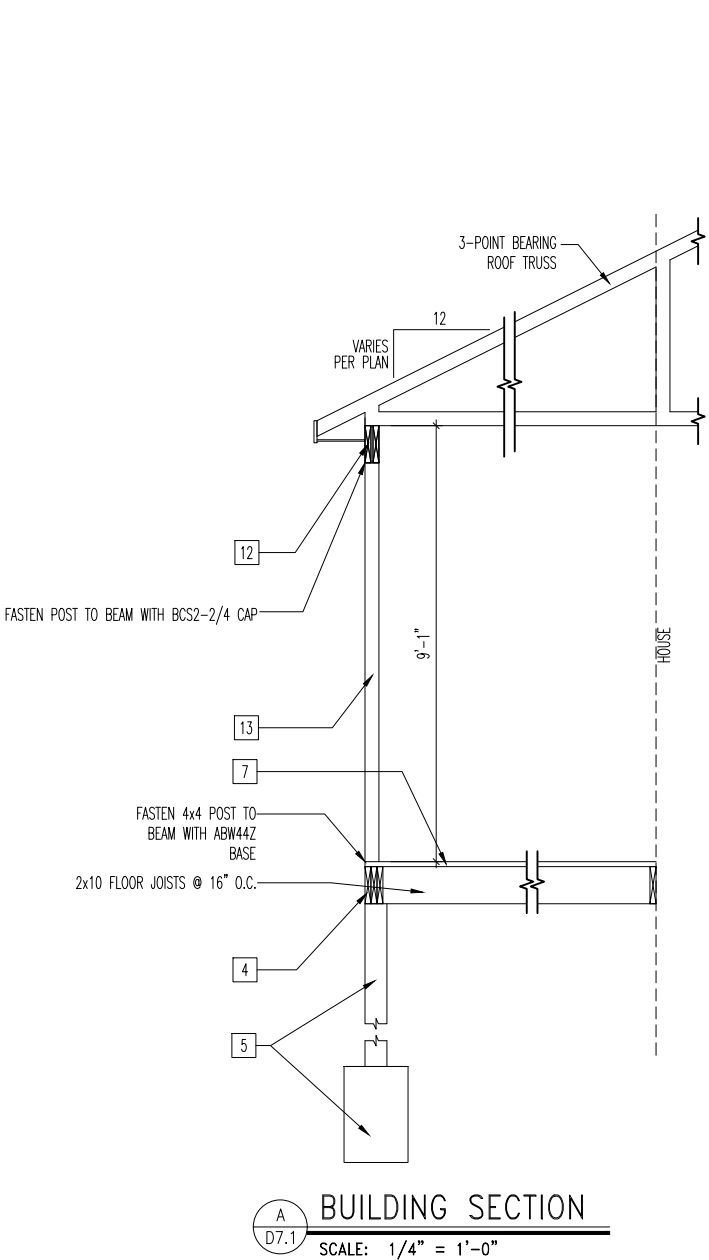
(2)2x4 BEAM POCKET
- 17
- 18
- 19
- 20



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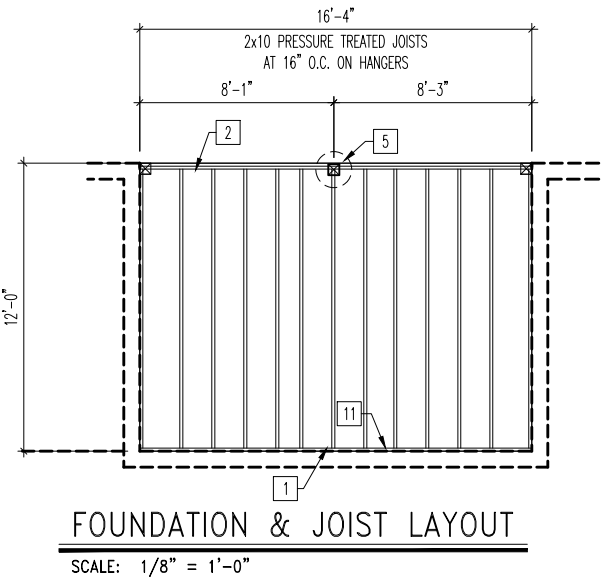
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Subdivision:	SUB_NM	Sheet No.
Job #:	JOB_NM	D7.1
Customer Name:	CUS_NM	
Job Address:	JOB_AD	



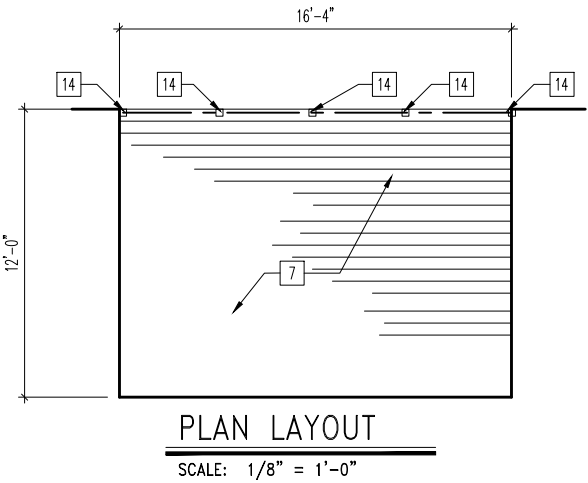
LEDGER CONNECTION TO HOUSE

SCALE: 1" = 1'-0"



FOUNDATION & JOIST LAYOUT

SCALE: 1/8" = 1'-0"



PLAN LAYOUT

SCALE: 1/8" = 1'-0"



Drees Homes

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STANDARD

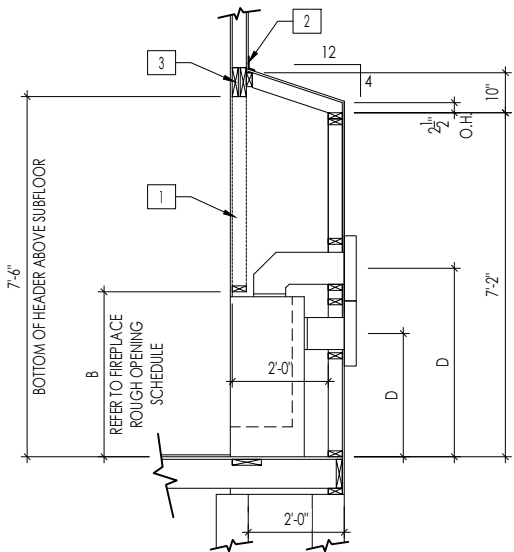
SCREENED-IN DECK

DETAILS

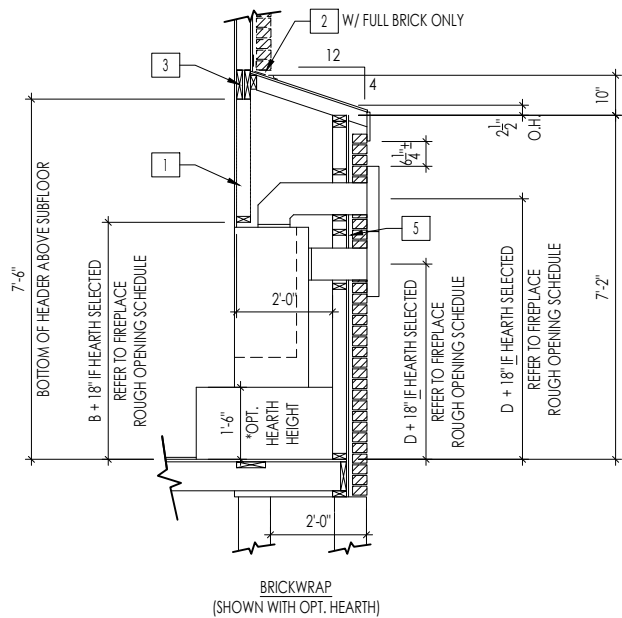
Std. Drawn By:	AKS	Sheet Description:	SCALE: VARIES
Std. Chk. By:	MATT G.	16-4'x 12-0' SCREENED-IN DECK	
Std. Date:	08/21/12		
Date of Last Rev:	REV_DATE		

Contract Drawn By:	DWG_BY	Original Site Specific Dwg. & Effective Change Order Date:
Phone #:	DWG_PH	
Coordinator's Name:	COORD_NM	CT_DT
Coordinator's Phone #:	COORD_PH	
Raleigh - Deck Details.dwg Apr 07, 2025 - 5:55pm		





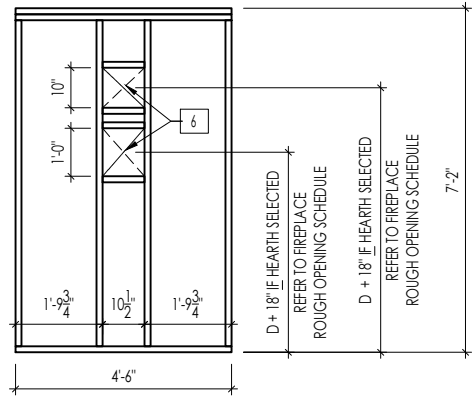
FRAMEWRAP  
(SHOWN WITHOUT OPT. HEARTH)



BRICKWRAP  
(SHOWN WITH OPT. HEARTH)

FIREPLACE DOGHOUSE SECTIONS

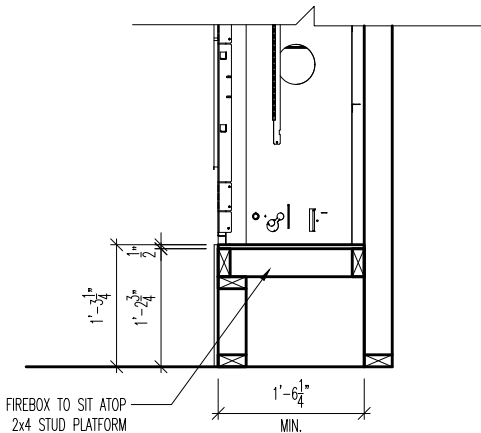
SCALE: 1/4" = 1'-0"



WITH HEARTH

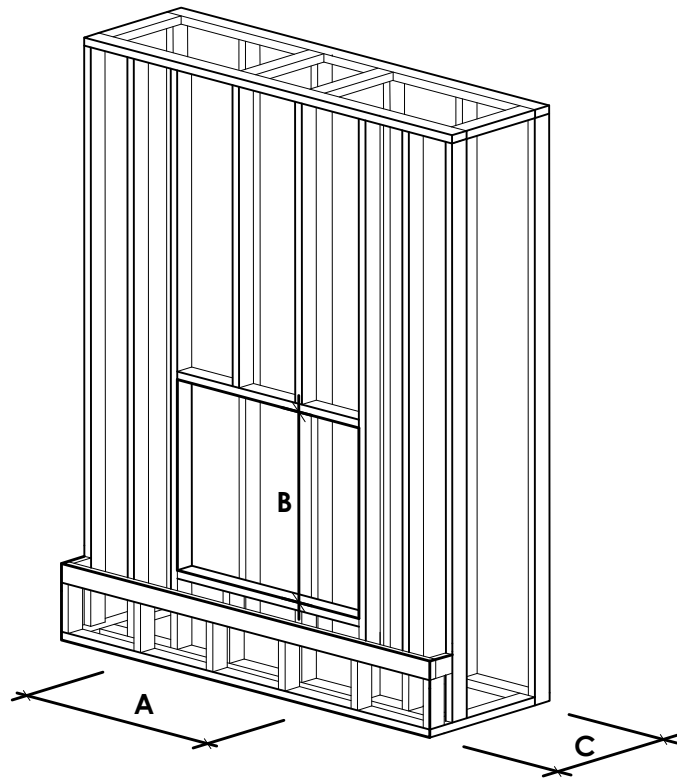
DIRECT VENT REAR WALL FRAMING

SCALE: 1/4" = 1'-0"



RAVE FIREPLACE PLATFORM DETAIL

SCALE: 1/2" = 1'-0"



NOTE:  
PROVIDE OSB SHEATHING WHEN  
STONE VENEER SELECTED

FIREPLACE ROUGH OPENING SCHEDULE

FIREPLACE MANUFACTURER	MODEL	A	B	C	D
		(FIREBOX REQUIRED WIDTH)	(FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	(FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	(VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
	NOVUS 33	39"	34-7/8"	19-5/8"	TOP 40" SIDE 23-1/2"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPECS
	COURTYARD 42	48-1/2"	34-1/4"	20-1/4"	SEE MANUFACTURER'S SPECS
	LANAI *(NOT IN CINCY/NKY)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPECS
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"
all dimensions are in inches					

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

Key Notes

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
- 
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)



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FIREPLACE DETAILS

Std. Drawn By: MRP

Sheet Description:

SCALE: VARIES

Std. Date: 02.29.20

Date of Last Rev: 7.10.2023

FIREPLACE DETAIL

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Sheet No.

F-1

# RALEIGH WINDOW SCHEDULE

**\* MEETS EMERGENCY ESCAPE & RESCUE  
OPENING REQUIREMENTS**

[illegible]

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Sheet Description:


## WINDOW SCHEDULE

•

Sheet No.

SC-01

LAST REVISED 11/22/17

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	MOULDED MILLWORK SCHEDULE	SC-02