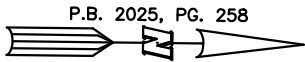


SITE PLAN FOR
NEW HOME, INC.
1931 BALLARD ROAD
LOT 194, PENNY ROAD DEVELOPERS, LLC
HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA



KIPLING VILLAGE
PHASE 1A
P.B. 2024, PG. 248-253

WETLAND AREA
PENNY ROAD
DEVELOPERS LLC
D.B. 4261, PG. 1691
P.B. 2023, PG. 507

LEGEND

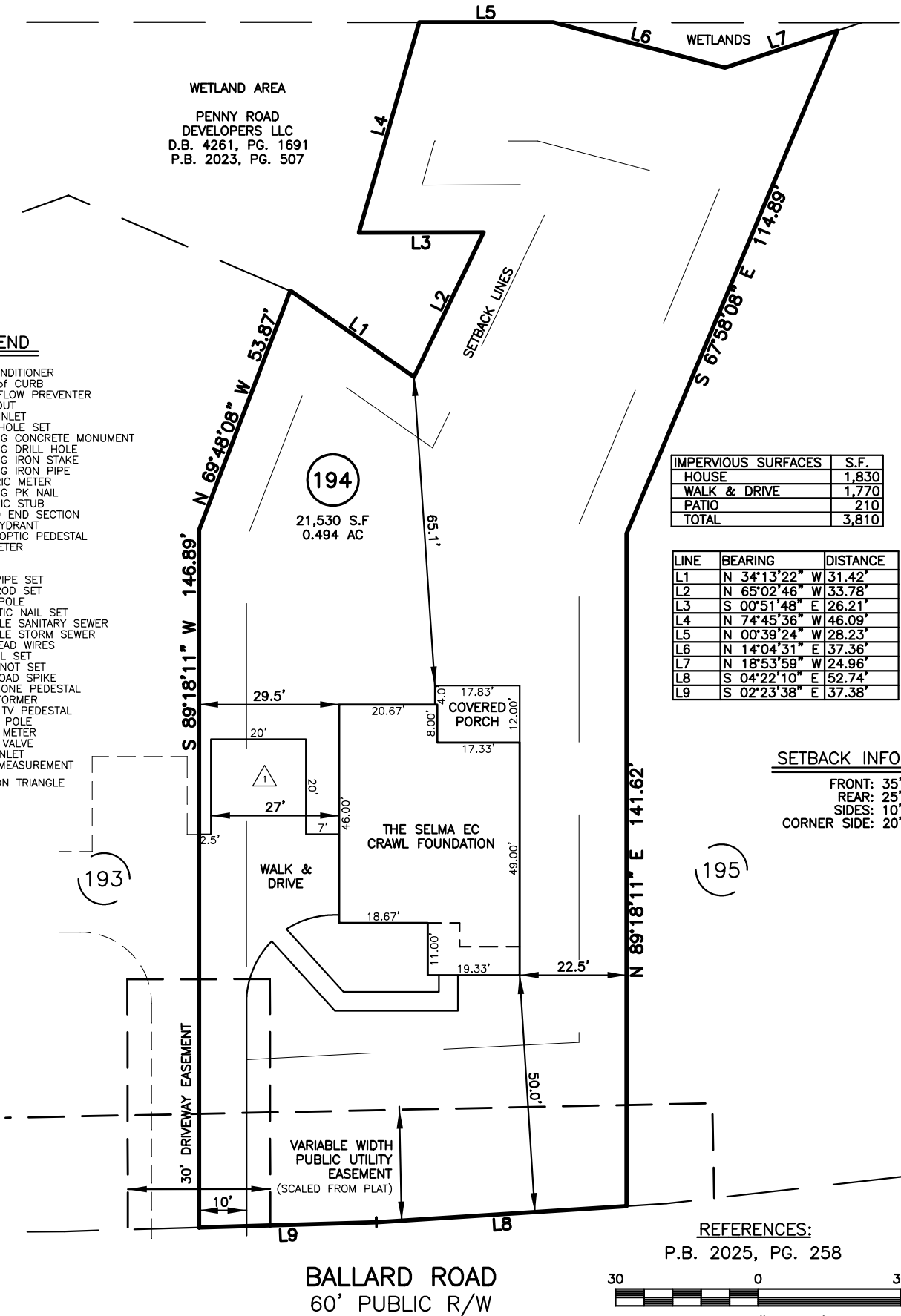
- AIR CONDITIONER
- BC BACK OF CURB
- BFP BACK FLOW PREVENTER
- CLEANOUT
- CURB INLET
- DHS DRILL HOLE SET
- ECM EXISTING CONCRETE MONUMENT
- EDH EXISTING DRILL HOLE
- EIS EXISTING IRON STAKE
- EIP EXISTING IRON PIPE
- EM ELECTRIC METER
- EPK EXISTING PK NAIL
- ES ELECTRIC STUB
- FLARED END SECTION
- FIRE HYDRANT
- FIBER OPTIC PEDESTAL
- GAS METER
- GUY
- INV. INVERT
- IPS IRON PIPE SET
- IRS IRON ROD SET
- LP LIGHT POLE
- MNS MAGNETIC NAIL SET
- MANHOLE SANITARY SEWER
- MANHOLE STORM SEWER
- OHV OVERHEAD WIRES
- PKS PK NAIL SET
- PNS POINT NOT SET
- RRS RAIL ROAD SPIKE
- TELEPHONE PEDESTAL
- TRANSFORMER
- CABLE TV PEDESTAL
- UTILITY POLE
- WATER METER
- WATER VALVE
- YARD INLET
- FIELD MEASUREMENT
- REVISION TRIANGLE

IMPERVIOUS SURFACES	S.F.
HOUSE	1,830
WALK & DRIVE	1,770
PATIO	210
TOTAL	3,810

LINE	BEARING	DISTANCE
L1	N 34°13'22" W	31.42'
L2	N 65°02'46" W	33.78'
L3	S 00°51'48" E	26.21'
L4	N 74°45'36" W	46.09'
L5	N 00°39'24" W	28.23'
L6	N 14°04'31" E	37.36'
L7	N 18°53'59" W	24.96'
L8	S 04°22'10" E	52.74'
L9	S 02°23'38" E	37.38'

SETBACK INFO

FRONT: 35'
REAR: 25'
SIDES: 10'
CORNER SIDE: 20'



REFERENCES:

P.B. 2025, PG. 258



SCALE: 1" = 30'

THIS IS A SITE PLAN AS DEFINED BY G.S. 160D-102 AND
IS NOT INTENDED TO BE ATTACHED TO ANY INSTRUMENT
RECORDED IN THE REGISTER OF DEEDS OFFICE

1. ADDED DIMENSIONS TO DRIVE.

SITE PLAN
NOT FOR RECORDATION,
CONVEYANCE OR SALES

REV CODE: 1.FLIP, 2.PLAN, 3.ROTATE, 4.MOVE, 5.SS
6.SEVERAL OF ABOVE, 7.LAND FEATURE, 8. OTHER

REV1: MAY 14, 2025(8)
DATE: MAY 07, 2025

F.B. _____

RWK, PA
ENGINEERING ~ SURVEYING
CORPORATE LICENSE: C-1771
101 W. MAIN ST., SUITE 202
GARNER, NC 27529
PHONE (919) 779-4854
FAX (919) 779-4056

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