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KIPLING VILLAGE - LOT 109
11 ARTESA COURT
0652-37-9320.000
RYAN HOMES

GRAND CAYMAN

DIV-COMM-LOT-UNIT		
RLH-VK-0109		
COMM-LOT		
KIPLING VILLAGE - 0109		
STREET ADDRESS		APT. NO.
11 ARTESA COURT		----
CITY	STATE	ZIP
FUQUAY VARINA	NC	27526

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

James Bales
04/29/2025

NVR

NVR, Inc.
5285 Westview Drive,
Suite 100
Frederick, MD 21703

[illegible]

KIPLING VILLAGE - LOT 109
 11 ARTESA COURT
 0652-37-9320.000
 RYAN HOMES

STRUCTURAL DESIGN CRITERIA

- ALL LOCAL AND STATE CODES
- ROOF LIVE LOAD 20 psf
- ULTIMATE WIND SPEED 130 mph
- WIND EXPOSURE CATEGORY B
- SEISMIC DESIGN CATEGORY A / B

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR CRAWL / SLAB FOUNDATION (BASE SF)	1533 SF
	1533 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE CRAWL / SLAB FOUNDATION	443 SF
	443 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
REAR COVERED PORCH (ADD. SF)	140 SF
FRONT COVERED PORCH (ADD. SF)	25 SF
	165 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR CRAWL / SLAB FOUNDATION (BASE SF)	1533 SF
	1533 SF

SET NO. - VERSION

SHEET NO.

PAGE NO.

GCM00 - 01

CS-1

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RELEASE NO. ----

1. These plans and specifications are designed for the exclusive use by NVR, Inc. for the purpose of residential construction. As such, these products are offered for sale in NVR, Inc. communities only. NVR, Inc. is a production homebuilder and does not provide the opportunity to customize these plans. The respective drawings contained herein in shall only be used as construction assembly drawings by NVR, Inc., and their sub-contractors. Any unauthorized use of these plans without the written permission of NVR, Inc. is prohibited. The standard notes, dimensions, elevation markers and title markers that reference "As" shall be considered "As" for sheet reference.
2. These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements.
3. These plans are not to be scaled for construction purposes. Dimension lines and notes supersede all scale references.
4. Single Family Attached/Detached - Automatic residential fire sprinkler systems shall be installed in accordance with NCBCE F2404 or NFPA 13D where required.
5. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes or engineering design in accordance with Section 301.3.

1. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes including, but not limited to:

NCRG 2018, NCMC 2018, NCPG 2018, NCFGC 2018, NEC 2020 w/ NC Amendments
NCEG 2018, NCFPG 2018

2. Constr. Type: V-B

3. Max Stories: 3

I. Insulation requirements per 2018 NCRC Chapter II, Energy Efficiency, or Chapter 4 of the 2018 North Carolina Energy Conservation Code (NCECC), or Chapter 4 of the 2015 International Energy Conservation Code (IECC), Residential Energy Efficiency by the prescriptive method. See NVR "Standard Energy Package" for field procedures and details.

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	FRAME WALL R-VALUE 2x4 / 2x6	FLOOR R-VALUE	BASEMENT WALL R-VALUE UNFIN. / FIN.	SLAB R-VALUE & DEPTH	GRAVL SPACE WALL R-VALUE
3	0.35	0.30	38	15 / 19	19	5 / 15	NA	5 / 15
4	0.35	0.30	38	15 / 19	19	10 / 15	10	10 / 15

5. See NVR "Standard Energy Package" for field procedures and details.

Floor Living Areas - 40# P.S.F. (Live)
- 10# P.S.F. (Dead) unless noted otherwise by calculations

Floor Sleeping Areas - 30# P.S.F. (Live) unless noted otherwise by calculations
- 10# P.S.F. (Dead) unless noted otherwise by calculations

Garage Floors - 50# P.S.F. (Live)
- 50# P.S.F. (Dead)

Roof Areas - Top Chord - 20# P.S.F. (Live)
- 10# P.S.F. (Dead)
- Bottom Chord - 10# P.S.F. (Live) (Attics without storage)
- 20# P.S.F. (Live) (Attics with limited storage)
- 10# P.S.F. (Dead)
- 30# P.S.F. (Live)

Habitable Attics
Trusses - Areas up to 130 mph ultimate wind speed per Table R301.2(4)
- Exposure category 'B'
- Areas up to 130 mph ultimate wind speed per Table R301.2(4)

Walls

Vult	115 mph	130 mph
Vasd	84 mph	101 mph

Note: Linear interpolation between contour lines permitted.

Stairs - 40# P.S.F. (Live)
- 10# P.S.F. (Dead)

Allowable deflection of structural members per IRC Table R301.7

Design Codes:

1. National Design specification for Wood Construction by National Forest Products Association.
2. Specification for the Design Fabrication and Erection of Structural Steel for Buildings by American Institute of Steel Construction.

* Where required, Laminated Veneer Lumber may be used per Engineering
 ** Structural Steel - A.S.T.M. A36

1. All plain and reinforced concrete shall comply with requirements in **ACI 318**.
2. Concrete footings shall be poured a maximum 5' slump, 5 bag mix, and 2500 psi minimum strength per **Table R402.2**. Concrete walls shall be poured a maximum 5' slump, 5 1/2-bag mix, and 3000 psi minimum strength per **Foundation Wall Design** table below. Special soil and/or wall height conditions may require a higher psi mix.
3. Walls and footings designed as unreinforced unless otherwise specified on foundation plans or details. Special soil and/or site conditions may require the addition of reinforcing.
4. Footing frost depth to be no less than 12" per **R403.1.4** and **Table R301.2(1)**.
5. Minimum Soil Bearing Capacity shall be 2,000 PSF per **Table R401.41**.
6. Slab requirements:
 - Interior slabs on grade (excluding garage slabs) to be minimum 3-1/2" concrete (may be represented on plans as nominal 4") over 4" sub-base, with vapor barrier (6-mil polyethylene) as required per **Section S06** and a minimum 2500 PSI per **Table R402.2**.
 - Non-structural garage slabs shall be nominal 3-1/2" thick and shall be installed on compacted / undisturbed soil per **Table R402.2**. Slabs shall be 3500 PSI air-entrained concrete.
 - Structural garage slabs utilizing grade beams shall be nominal 4" thick. Slabs shall be 3500 PSI air-entrained concrete.
 - Porch slab and exterior concrete work shall be nominal 4" minimum 3500 PSI air-entrained concrete with 6x6 in./4x4 ft. mesh or equivalent fiber mesh reinforcement.
7. Unconditioned crawl space shall have a minimum net area of ventilation not less than 1 square foot for each 150 square feet of area, unless the ground surface is covered by a Class 1 vapor retarder, in which case the minimum net area of ventilation shall not be less than 1 square foot for each 1500 square feet of area. One such ventilating opening shall be within 5 feet (1/4 m) of each corner of the building, per **R408.1.2**.
8. Foundation drains shall be located per local codes and according to local site conditions. Drain discharge by gravity or mechanical means to conform with approved site plan and installed per **Section R405.1**.
9. The top course of block of foundation walls shall be semi-solid block or open cores of hollow block shall be filled with mortar.
10. Block piers to be solid block or mortar-filled hollow block.
11. A poured concrete foundation wall designed to withstand an equivalent fluid weight of 30# per cubic ft. may be substituted where masonry units (block) are shown on plans.
12. Concrete and masonry foundation walls shall be dampproofed with min. 3/8" Portland cement parging from footing to top of finished grade. The parging shall be covered with a coat of approved bituminous material applied at the recommended rate per **R406.1**.
13. Where required, concrete and masonry foundation walls shall be waterproofed with an approved membrane extending from footing to top of finished grade. The joints in the membrane shall be lapped and sealed with an adhesive compatible with the waterproofing membrane. Waterproofing to be in accordance with **R406.2**.
14. Reserved for future use.
15. Foundation framing anchors shall be 1/2"x16" anchor bolts with 7" minimum embedment or Simpson Strong-Tie MASA / USP FAS (16 gauge steel, galvanized) or equivalent set in concrete or grouted cell, 1'-0" maximum from corners and spaced at a maximum of 6'-0" and in the middle third of the width of the plate. For walls connecting offset braced wall panels, those 24" in length or shorter shall have min. (1) anchor strap and those 12" or shorter can be replaced with 2" x 3" x 3" plate washer per **R403.1.61** and maximum anchor bolt spacing for buildings over two stories shall be 4'.
16. Steel columns and bases shall be given a shop coating of rust-inhibitive paint or equivalent to provide corrosion resistance per **R407.2**.
17. For steel veneers:

18. Reserved for future use.
19. Foundation wall strip footing thickness to be 8" (or 6" with a single strip) unless otherwise noted as specified by engineering. Strip footing projections beyond the face of the foundation wall shall not exceed the footing thickness. Bump out footings, pier pads, and any other footing identified as being greater than 8" in thickness shall not be reduced.
20. Block foundation walls may be substituted for poured foundation walls shown on foundation plans provided all requirements of **Section R404** are met.
21. Termite treatment provided below slabs or to framing members per **R310.1**

WALL HEIGHT	WALL THICKNESS	LATERAL SOIL LOAD (a)	UNBALANCED FILL	VERTICAL REINFORCING (b)	HORIZONTAL REINFORCING (b)
8'-0"	8"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED (d)	3- #4 BARS (de)
		60	6'-0"	NOT REQUIRED (d)	3- #4 BARS (de)
			7'-0"	#4 @ 22" O.C. (d)	3- #4 BARS (de)
	10"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
		60	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
9'-0"	8"	45	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
			8'-0"	#4 @ 14" O.C. (d)	4- #4 BARS (de)
		60	7'-0"	#4 @ 14" O.C. (d)	4- #4 BARS (de)
			8'-0"	#4 @ 15" O.C. (d)	4- #4 BARS (de)
	10"	45	7'-0"	NOT REQUIRED	3- #4 BARS (g)
			8'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
		60	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
			8'-0"	#4 @ 14" O.C. (d)	4- #4 BARS (de)

- a. SOIL CLASSES GM, GC, SM, SM-SC AND ML - 45 PSF
SOIL CLASSES SC, MH, ML-CL AND CL - 60 PSF
- b. SPACING SHOWN IS BASED UPON $F_y = 60,000$ PSI
STEEL FOR $F_y = 40,000$ PSI STEEL, REDUCE SPACING BY 0.67
- c. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI
- d. ENGINEERING DESIGN PER ACI 332-14, REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION
- e. FOR ALL WALL HEIGHTS, ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24", ONE IN THE BOTTOM 24" WITH THE REMAINING BARS EQUALLY SPACED, MAINTAIN 2" OF CONCRETE COVER BETWEEN INSIDE FACE OF WALL AND FACE OF HORIZONTAL BARS.
- f. ONE BAR WITHIN 12" OF TOP AND AT MID-HEIGHT OF WALL PER TABLE R404.1(2)(i).
- g. ONE BAR WITHIN 12" OF TOP AND ONE EACH AT THIRD POINT OF WALL HEIGHT PER TABLE R404.1(2)(i).


- Habitable attic and sleeping rooms shall have a window or door as a second means of egress that shall be minimum 5.7 sq. ft. openable area (5.0 sq. ft. if at grade level) with maximum sill height 44" above finish floor (min. egress height: 20") per **R310.1**.
2. All emergency escape and rescue openings shall have a minimum net clear openable area of 4 sq. ft. The minimum net clear opening height shall be 20" and a minimum net clear opening width of 20". Emergency escape and rescue openings must have a minimum total glazing area of not less than 5 sq. ft. in the case of a ground window and not less than 5.7 sq. ft. in the case of an upper story window per **R310.2.1**. Window wells where required, shall be installed per **R310.2.3** with a minimum of 9 sq. ft. and a minimum horizontal projection and width of 36". Wells with a greater depth of 44" shall have permanently affixed ladder or steps per **R310.2.3.1**.
3. Clear opening heights for exterior doors to be 6'-6" minimum per **R311.2**. All interior doors providing egress from habitable rooms shall have nominal clear dimensions of 2'-6" by 6'-8" per **R311.6.1**. Habitable rooms with double doors less than 5'-0" in total width (less than 2'-6" per door/slab) shall have a total opening width of at least 2'-6" with no slide bolts or locking devices installed on either door.
4. Sliding glass drs/patio drs/skds must be safely glazed per **R310.4**.
5. Interior stairways shall have minimum head room of 6'-8" per **R311.2** and minimum tread depth of 9" and maximum riser height of 8 1/4". Handrails are required for stairs with four or more risers and shall have minimum height of 34" and maximum height of 38" above treads and landings. Handrail to have maximum 4 1/2" projection into width of stair per **Section R311.7**. Enclosed accessible space under stairs shall have walls under stair surface and any soffits protected on the enclosed side with 1/2" gypsum board per **R302.1**.
6. Guard rails to have minimum height of 36" and shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter per **R312**. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter per **R312.1.3**.
7. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a stairway in accordance with **Section R311.7** (see item #5 above) or a ramp in accordance with **Section R311.8**.
8. Handrails shall be installed on exterior stairs having (4) or more risers per **R311.7.B**. Guards shall be installed at exterior porches / decks that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
10. All flashing used (including at windows, doors, and with stone or masonry veneer) shall be corrosion-resistant per **R703.4**. See I-NVR Flashing Details.
11. Wood framed bearing walls shall 2 x 6 at 24" o.c. maximum or 2 x 4 at 16" o.c. maximum per **Table R602.3(3)** and **Table R602.3(5)** unless otherwise noted on plans.
12. All exterior sheathing to be structural sheathing designed in accordance with **R602.10**.
13. An approved water-resistant barrier shall be applied over sheathing of exterior walls per **Section R703.2**.
14. Interior sheathing shall be 1/2" gypsum wall board unless otherwise noted. Exceptions may include, but are not limited to, special requirements for wall bracing and fire separation.
15. Scaffolding is typical for gypsum installation and nailing will only be permitted at the perimeter of the board.
 - All screws shall be corrosion-resistant Type W-1-1/4" drywall screws.

- For 1/2" wallboard, nails shall be 1-1/4" long, 1/4" head and .098 diameter shanks with annular ring or acceptable equivalent and comply with ASTM C514.
- For 5/8" wallboard, nails shall be 1-3/8" long, 1/4" head and .098 diameter shanks.

- Garages shall be completely separated from the residence and attic area by not less than 1/2" gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" type X/2" type X/2" gypsum board. Where a structure is supporting a floor joist assembly, the space above the garage, the structure shall also be protected by not less than 1/2" gypsum board per **Section R302.6**. Openings and penetrations through the separation shall be protected by sealing the area around the penetration per **Section R302.5**. The garage door shall be a 20-minute fire-rated door and be equipped with a self-closing device installed per **Section R302.5.1**.
18. Asphalt shingles shall be installed per **Section R405.2**. For roof slopes of 2:12 through 4:12, in lieu of two layers of underlayment, a self-adhering polymer-modified bitumen underlayment shall be used per **Section R405.1J Exception #1**.
19. Attic spaces shall be ventilated w/ ridge and soffit vents unless otherwise noted. Venting provided per **R206.2**.
20. Fireblocking shall be installed between ceiling and floor openings per **R302.11**. Draftstopping to be installed in accordance with **R302.12**.
21. Water closet, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall, partition or vanity or closer than 30 inches center-to-center between adjacent fixtures. There shall be a clearance of not less than 21 inches in front of the water closet, lavatory or bidet to any wall, fixture or door per **F205.1**.
22. Heating and cooling equipment installation shall be in accordance with **IRC Chapter 14** and the **International Mechanical Code**.
23. Mechanical fireplaces shall be installed per **Section R100.4** and **I00.5**.
24. Single family attached structures to have 2-hour dwelling unit separation wall continuous to roof deck. Roofing material to be minimum class "C" over approved fire retardant wood decking extending 4' each side of dwelling unit separation wall per **R302.2** and **R302.5**.
25. Untreated wood shall be minimum 8" above finished grade per **R311.1 Item #2**.
26. Bottom plates on slabs and any wood in contact w/ concrete or masonry to be pressure treated material per **Section R317**.
27. Exterior gable eave siding shall open onto a landing not more than 8 1/4" below the top of the threshold and not less than 1 1/2" below the top of the threshold when the door swings out. The landing shall extend a minimum of 36" in the direction of travel and be at least the width of the doorway served per **R311.3**.
28. Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screen, louvers, or grills having a min. opening size of 1/4" and maximum of 1/2" in any dimension per **R309.6**.
29. Fasteners and connectors for pressure preservative-treated wood shall be hot-dipped galvanized steel.
30. Windows that have an operable opening more than 12" above finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through which a 4" dia. sphere cannot pass per **Section R312.2**.
31. The final grade shall fall a minimum of 6 inches within the first 10 feet of the foundation per **R401.3**.
32. **One- and two-family dwelling construction (R302.11):**
Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment and shall be per **Section R206**. Where the property line is 10 feet or more from the building face, the provisions of this code section shall not apply.
- Townhouse construction (R302.25):**
Projections extending into the fire-separation distance shall have not less than 1-hour fire-resistive construction on the underside. Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment. Vents shall be not less than 2-inch continuous or equivalent intermittent and shall not exceed the minimum net free air requirements of **Section R206.2** by more than 50%. Vents in soffits are not allowed within 4 feet of fire walls or property lines per **R302.2.5** and **R302.2.6**.
33. 1-hour fire-rated construction required on projections within 2' to 3' of lot line per **Section R302.11**. No projections allowed within 2' of property line.
34. 1-hour fire-rated construction required on townhouse eaves within 3' of the property line.
35. **Noted:** Fast-Fix Detached product will NOT be built within 3' of the property line.
36. Wall bracing is designed in compliance with **Section R602.10**. When wall bracing is beyond the criteria for a prescriptive approach, the structure is analyzed utilizing engineering in compliance with the North Carolina Building Code (NCBC). Refer to house-specific wall bracing detail sheets and wall bracing standard details. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Category C.
37. Minimum floor sheathing shall be 5/8" tongue & groove decking underlayment grade plugged and sanded, exterior glue, glued and nailed on joists to meet "American Plywood Association" approved glued floor system, unless otherwise specified.

1. Ground-fault and arc-fault circuit interrupter protection is provided per **408.20** (National Electric Code).
2. Electric panel box installation to be in accordance with **NFPA 70, Article 408 Section III**. Location may vary by design.
3. Approved smoke detectors shall be installed in each sleeping room; outside each separate sleeping area in the immediate vicinity of the bedrooms; and on each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. Where more than one smoke detector is installed, it shall be in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. All smoke detectors shall receive their primary power from the building wiring and be equipped with a battery backup.
4. Unless listed for installation in such locations, smoke detectors shall be installed at least 10 feet from a cooking appliance, at least 3 feet from the door to a bathroom containing a tub or shower, at least 3 feet from forced air supply registers, and at least 3 feet from the tip of a ceiling fan blade. In sleeping rooms, smoke detectors should be located in the vicinity of the room entrance. They shall be installed at the highest portion of the ceiling (including tray or coffered ceilings) or within 12 inches vertically from the highest point in rooms with sloped ceilings.
5. Interior stairs shall be provided with an artificial light source in the vicinity of each landing or directly over each stair section and over each stair landing and landings to a level not less than 1 foot measured at the center of the tread or landing per **R303.7**.
6. Outlets within 6' of a sink must be GFI protected.
7. An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. **R315.3**.
8. Outlets installed in laundry areas must be GFI protected.

REV.	NO.	DATE	REMARKS
1		1/8/14	MBT - CODE UPDATES FOR 2018 NCRBC
2		3/1/14	MBT - UPDATED ENGRY NOTES
3		12/16/22	CAP - REVISE NOTE FOR 2X4 OR 2X6 EXTERIOR WALLS



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

MODEL	DRAWING TITLE	OPTION DESCRIPTION
NCRC 2018 SPEC SHEET	SINGLE FAMILY ATTACHED	NC State Building Code - Residential Code 2018
	SINGLE FAMILY DETACHED	

SHEET NO. **SS-1**



Version 4.0
(Last Revised 04/26/19)

ROOF VENTILATION CALCULATIONS

HOUSE NAME	GRAND CAYMAN
HOUSE VERSION	1
PRODUCT LINE	RYANHOMES
VENTILATION VALUES	
SOFFIT:	9.9 sq in of vent per lf
RIDGE:	18 sq in of vent per lf
BOX / GABLE VENT:	45 sq in of vent per unit

USER GUIDE	YES	(any)		(any)	VENT OK	No action req'd.
	NO	YES		OK	VENT OK	No action req'd.
	NO	YES		LOW	FAIL	Increase ridge
	NO	YES		HIGH	FAIL	Decrease ridge
	NO	NO		(any)	FAIL	Increase total vent

ELEVATION "J"															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
Without Rear Porch	287999	1919.99	960.00	90.125	892.24	22	396.00			1288.24	NO	YES	41.25%	OK	
With Rear Porch	308159	2054.39	1027.20	92.375	914.51	23	414.00			1328.51	NO	YES	40.30%	OK	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

ELEVATION "K" or "L"															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
Without Rear Porch	287999	1919.99	960.00	90.125	892.24	22	396.00			1288.24	NO	YES	41.25%	OK	
With Rear Porch	308159	2054.39	1027.20	92.375	914.51	23	414.00			1328.51	NO	YES	40.30%	OK	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

Rear Porch															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
	20160	134.40	67.20	18	178.20		0.00			178.20	YES	N/A	N/A	N/A	
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			

ADDITIONAL AREAS OF ROOF VENTILATION															
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (lf)	Soffit Vent (sq in)	Ridge (lf)	Ridge Vent (sq in)	Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge	A/300 40%-50% OK?	Notes
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			
		0.00	0.00		0.00		0.00			0.00	NO	NO			



Version 3.0
(Last Revised 04/26/19)

HOUSE VOLUME CALCULATIONS

HOUSE NAME	GRAND CAYMAN
HOUSE VERSION	GCM00 / 01
PRODUCT LINE	RYANHOMES

Note: The volume of the structure has been computed in accordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5;23-2.28. Volume computation)

ELEVATION "J", "K", "L"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house	1680.00	13.30	22348
Garage bump out from main house	320.00		3647
		Total House Volume	25994

Additional areas of volume to be added to total house volume as needed			
Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Covered Porch "EPE"	140.00	9.44	1321
Full Basement "FBA"	1584.67	8.63	13668
Crawl space "FCA"	1584.67	0.80	1268

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DIV-COMM-LOT-UNIT
RLH-VK-0109

COMM-LOT
KIPLING VILLAGE - 0109
STREET ADDRESS
11 ARTESA COURT
CITY
FLUJAY VARINA
STATE
NC
ZIP
27156

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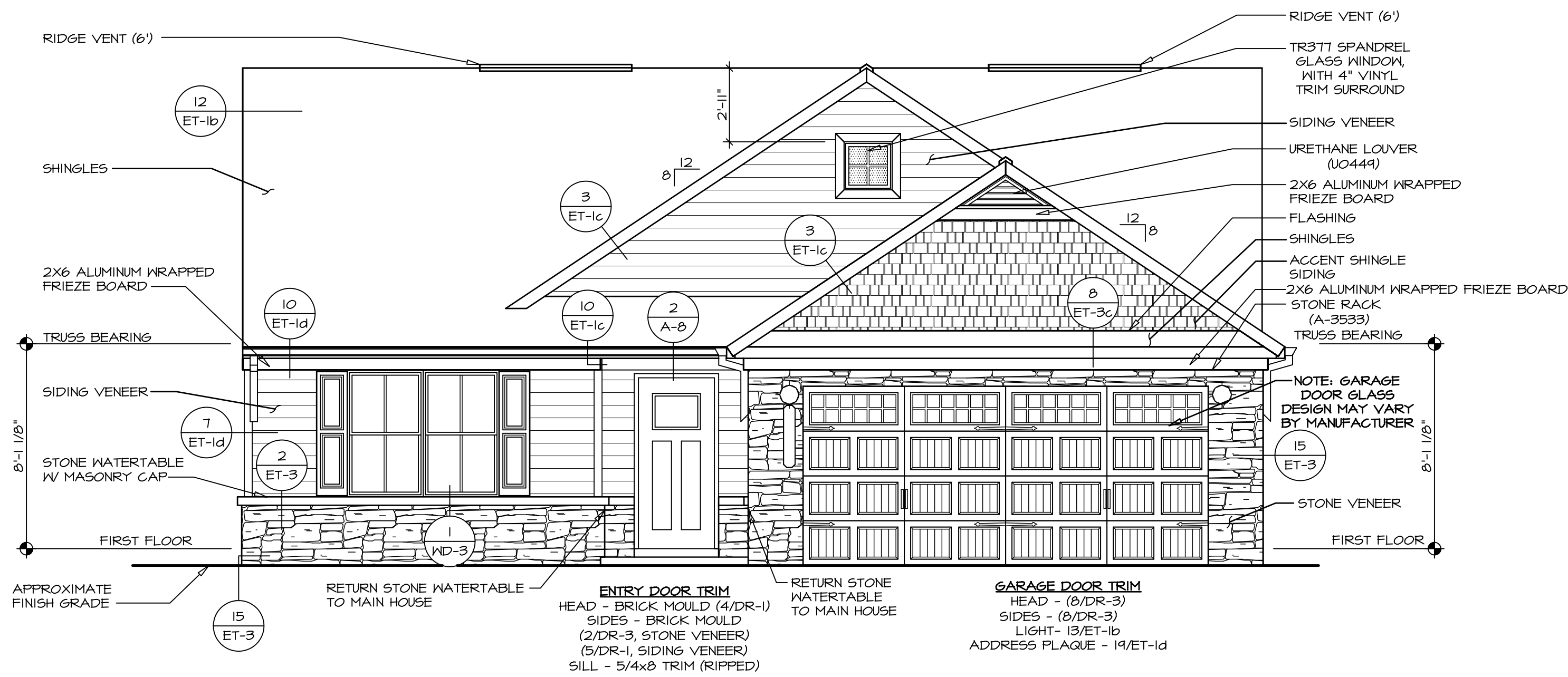


MODEL
GRAND CAYMAN
DRAWING TITLE
ROOF VENT AND VOLUME CALCULATIONS
VOLUME CALCULATIONS
OPTION DESCRIPTION

SHEET NO.
CA-1
2

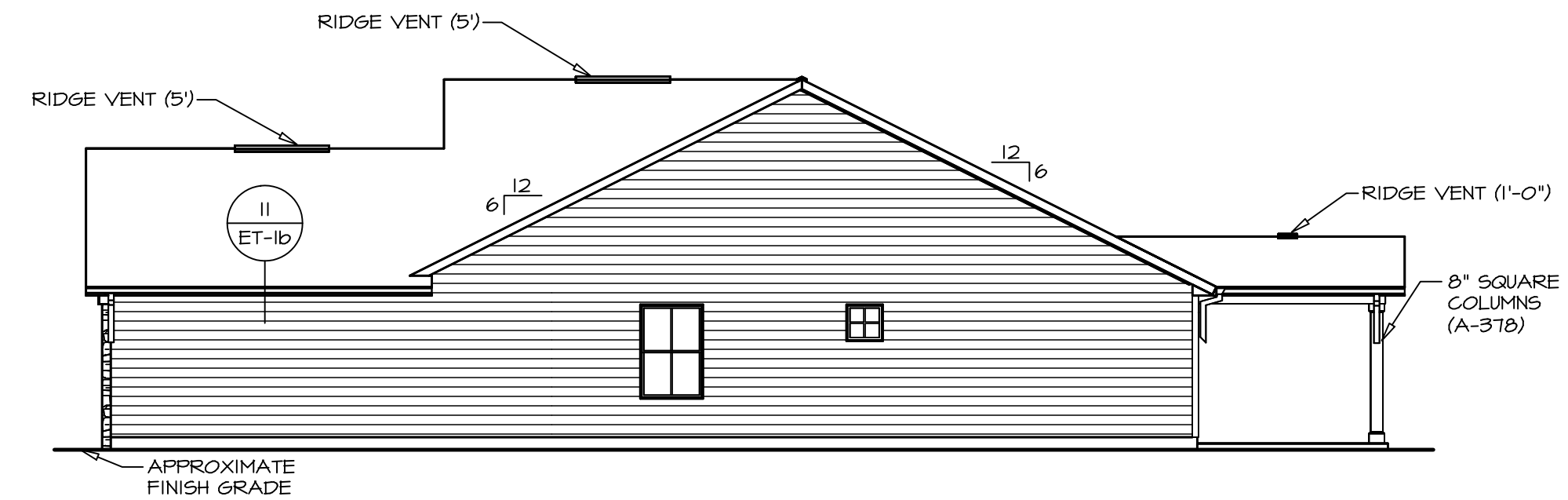
SET NO. GCM00
VERSION 01
RELEASE NO. ----
DRAWN BY
DATE
OPTION

James Bates
04/29/2025



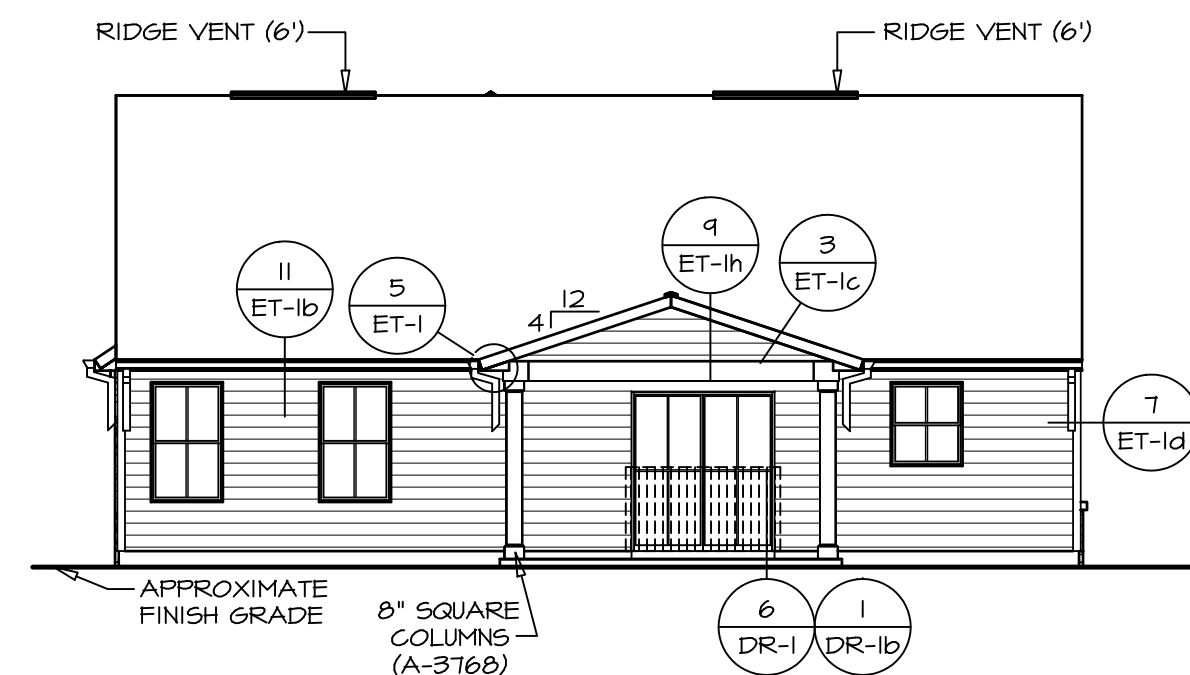
1
A-1
SCALE: 1/4" = 1'-0"

FRONT ELEVATION "L"



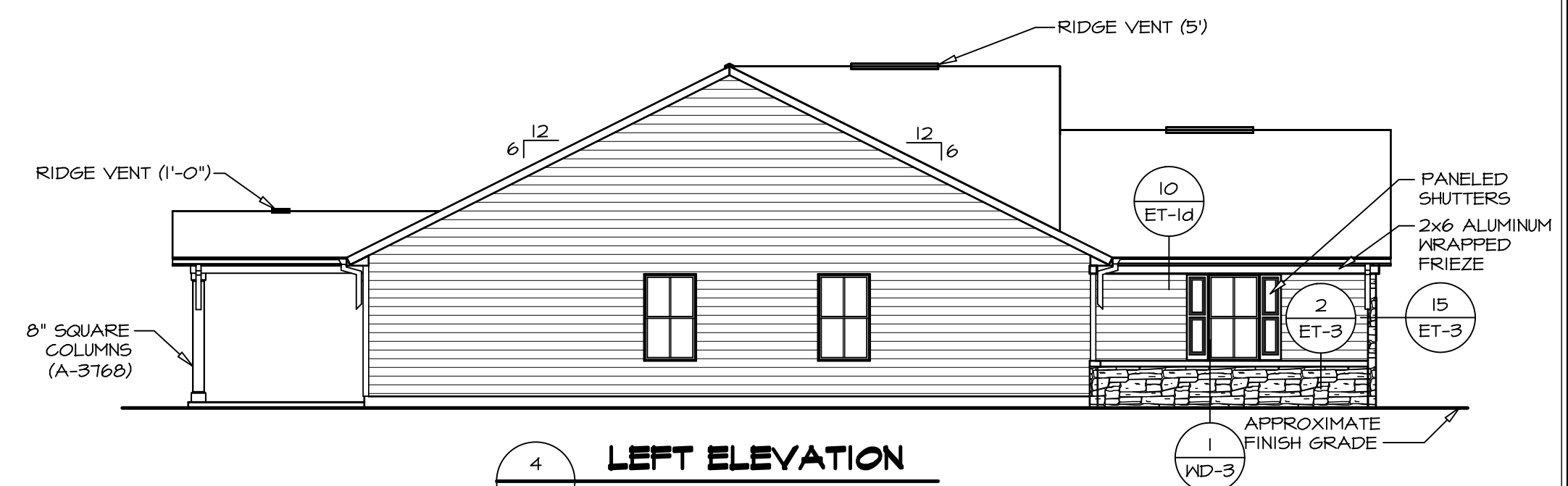
2
NC-1
SCALE: 1/8" = 1'-0"

RIGHT ELEVATION



3
NC-1
SCALE: 1/8" = 1'-0"

REAR ELEVATION



4
NC-1
SCALE: 1/8" = 1'-0"

LEFT ELEVATION

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DIV-COMM-LOT-UNIT
RLH-VK-0101

COMM-LOT KIPPLING VILLAGE - 0101	APT. NO. ----	ZIP 27526
STREET ADDRESS 11 ARTESA COURT		
CITY FLOUJAY VARINA	STATE NC	

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NVR
NVR, Inc.
5285 Westview Parkway
Frederick, NC 27526
James Bales
04/23/2025

SET NO. 60000	VERSION 01	RELEASE NO. ----	DRAWN BY BN	DATE: 02/21/20	OPTION FSA
MODEL GRAND CAYMAN	DRAWING TITLE ELEVATIONS				
SHEET NO. NC-1	OPTION DESCRIPTION SLAB FOUNDATION				
	4				

PAD FOOTING SCHEDULE					
IDENTIFIER	LENGTH	WIDTH	HEIGHT	ENG. NUM.	REMARKS
FOOT	2'-0"	2'-0"	1'-0"	S0001	
FOOB	2'-0"	2'-0"	1'-0"	S0001	

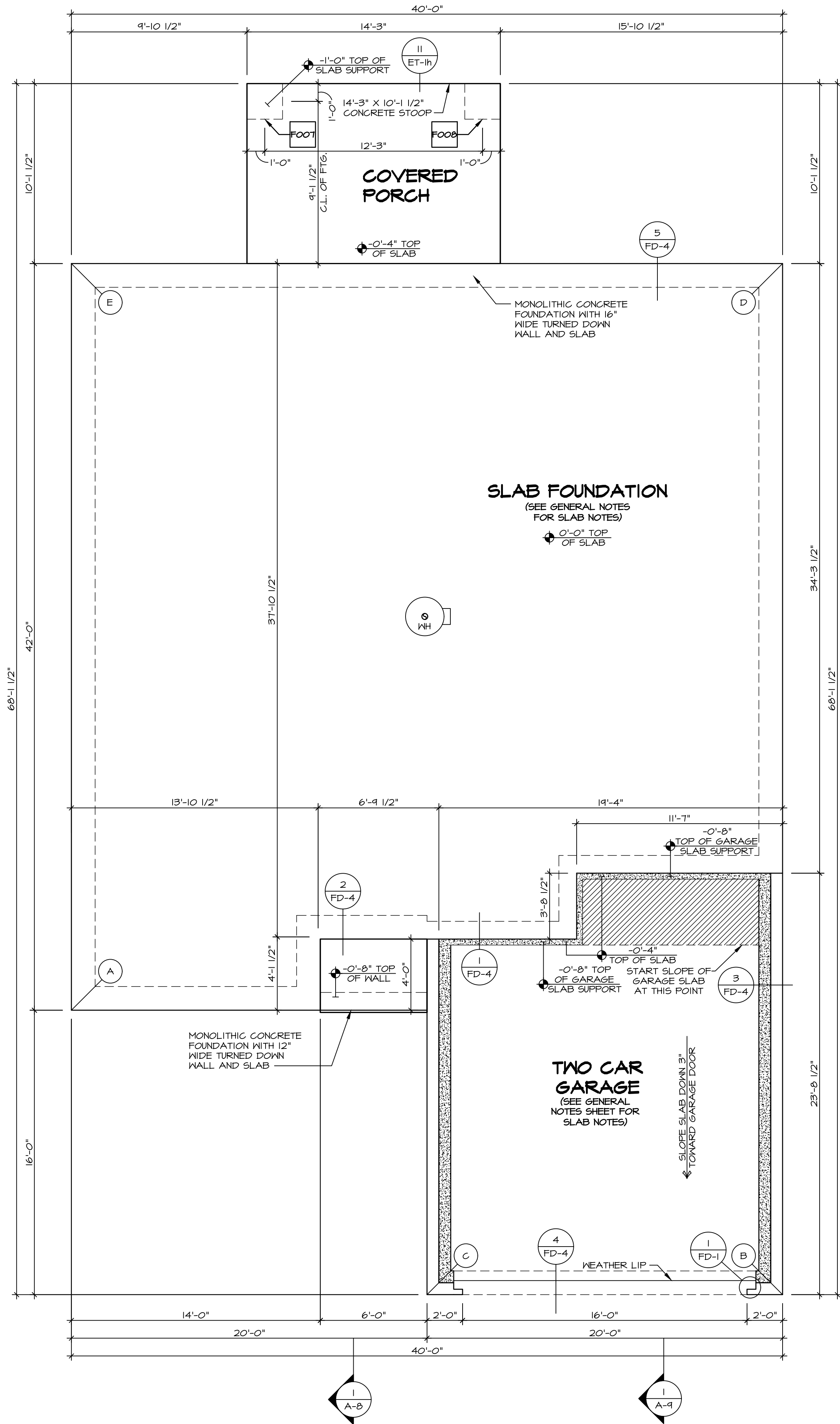
FOUNDATION DIAGONALS					
A		B			
A	0"	A	43'-1"		
B	43'-1"	B	0"		
C	25'-7 3/8"	C	20'-0"		
D	58'-0"	D	58'-0"		
E	42'-0"	E	70'-5 7/16"		

FOUNDATION NOTES - SLAB

- SEE STANDARD DETAIL CATEGORY "FD" SHEET(S).
- CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- FOUNDATION UNDER GARAGE:
 - UNEXCAVATED WITH CONCRETE SLAB OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR
 - STRUCTURAL CONCRETE SLAB OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION INFORMATION.
- SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S) ORIENTATION. SEE GB-1 FOR DETAILS.
- THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED.
- ALL FOOTINGS ARE PLAIN, NON-REINFORCED CONCRETE UNLESS NOTES OTHERWISE.
- SEE W-1 DETAILS FOR FOOTER SLEEVE INFORMATION.
- THICKEND SLAB DEPTHS MEASURE FROM TOP OF SLAB. PAD FOOTING DEPTHS MEASURE 4" BELOW TOP OF SLAB.

LEGEND

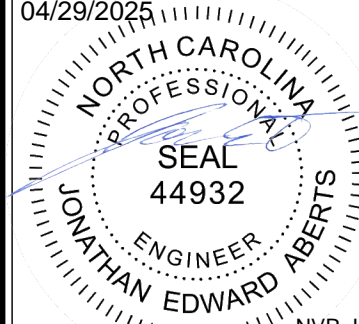
- BEARING WALL
- NON BEARING WALL
- MASONRY WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTING/THICKEND SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG
- SEE FA DETAILS FOR FIRE ASSEMBLIES
- SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE



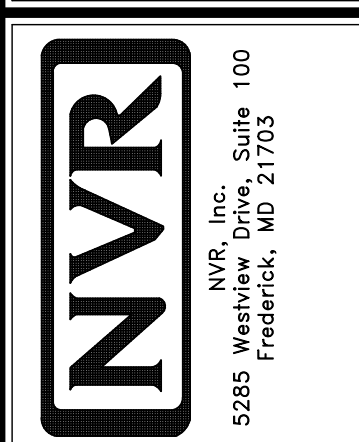
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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DIV - COMM - LOT - UNIT RLH-VK-0109	COMM - LOT KIPPLING VILLAGE - 0109	APT. NO. ----	ZIP 27526
	STREET ADDRESS 11 ARTESA COURT	STATE NC	
	CITY FLOUJAY VARINA		



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SHEET NO. NC-3	MODEL GRAND CAYMAN	SET NO. 60000	VERSION 01
	DRAWING TITLE FOUNDATION	RELEASE NO. ----	
	OPTION DESCRIPTION SLAB FOUNDATION	DRAWN BY HNP	DATE: 02/20/20
		OPTION FSA	

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DIV-COMM-LOT-UNIT

RLH-VK-0109

COMM-LOT

KIPLING VILLAGE - 0109

STREET ADDRESS

11 ARTESA COURT

CITY

FLUJAY VARINA

STATE

NC

ZIP

27526

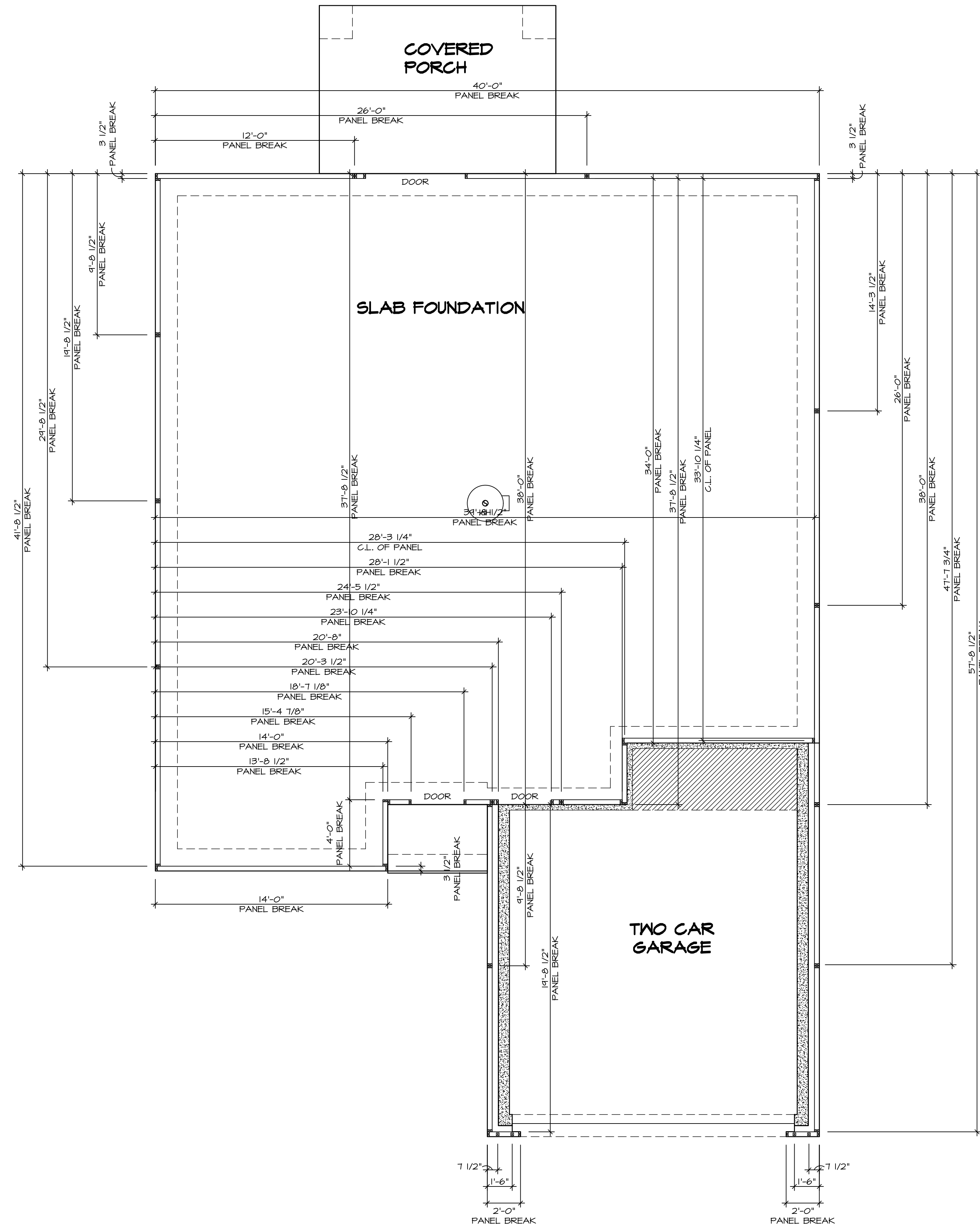
AFT. NO.

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NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 6C000	
VERSION 01	
RELEASE NO. ----	
DRAWN BY CEL	
DATE:	
OPTION	

SHEET NO.	MODEL	GRAND CAYMAN
NC-4	DRAWING TITLE	FOUNDATION HOLD DOWN
	OPTION	DESCRIPTION
8		



1
NC-4

FOUNDATION HOLD DOWN DETAIL

SCALE: 1/4" = 1'-0"

HOLD DOWN NOTES

REFER TO DETAIL (9FD-1) FOR HOLD DOWN OFFSET DIMENSIONS.
REFER TO DETAIL (2FD-1) FOR HOLD DOWNS ON CMU BLOCK.

- ALL PANELS GREATER THAN 24" SHALL HAVE AN ANCHOR WITHIN 12" OF THE PANEL BREAKS / ENDS. (SEE DETAIL SHEET PC-1 FOR MORE INFORMATION ON ANCHOR DETAILS)

STRAP

- STRAP:
 - ON FOUNDATION USE (5TD/4)
 - ON FLOOR SYSTEM USE (5TD/4R)
- ALL OTHER HOLD DOWNS SEE DETAIL **MB-1** FOR MORE INFORMATION.
- STRAP LOCATION ON PLANS SHOWN BY **DASHED DIMENSION** TO CENTER OF STUDS

OR

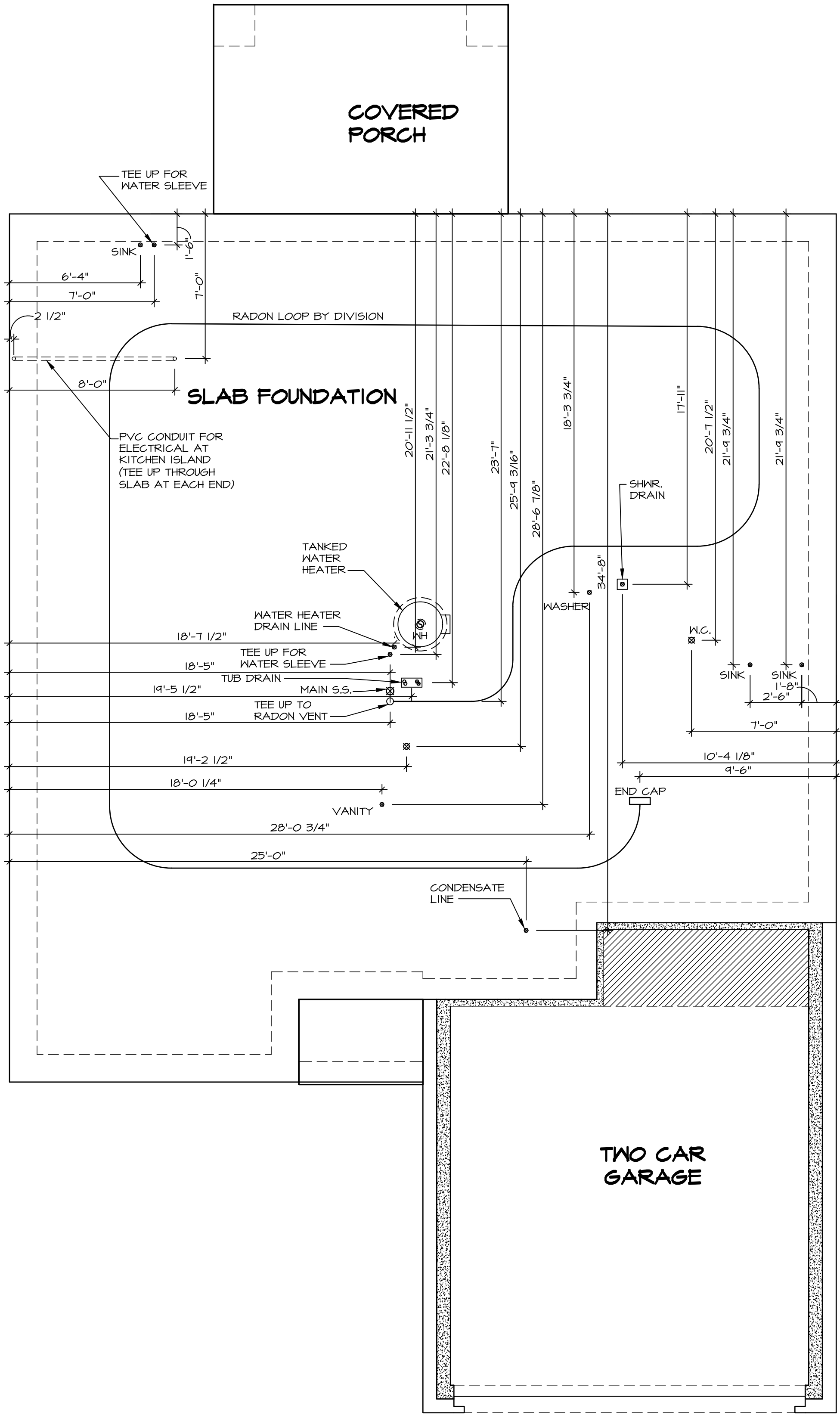
BOLT

- THREADED ROD
- ALL OTHER HOLD DOWNS SEE DETAIL **MB-1** FOR MORE INFORMATION.
- BOLT LOCATION ON PLANS SHOWN BY **SOLID DIMENSION** TO CENTER OF BOLT

INSTALLATION OF RADON STACK AND LOOP TO BE DETERMINED BY DIVISION

PLUMBING NOTES:

- RADON REMEDIATION
RADON LOOP
- (4") PERFORATED "LOOP"
 - MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
 - LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
 - TO BE CORRUGATED PIPE
 - SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
- STACK REQUIREMENTS:
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
 - NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 - PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
 - ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 - SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

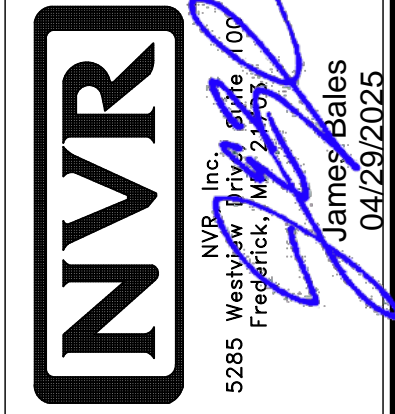


1 PLUMBING PLAN
SCALE: 1/4" = 1'-0"

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DIV-COMM-LOT-UNIT		RLH-VK-0109	
COMM-LOT		KIPPLING VILLAGE - 0109	
STREET ADDRESS		APT. NO.	----
CITY		STATE	NC
FUGUAY VARINA		ZIP	27526

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SHEET NO. NC-5	MODEL GRAND CAYMAN	SET NO. 60M00
	DRAWING TITLE PLUMBING	VERSION 01 RELEASE NO. ----
	OPTION DESCRIPTION	DRAWN BY HNP
		DATE: 02/20/20
9		OPTION

FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
J106	JACK - (2) 2X4 SFF STUD GRADE	1006	
J107	JACK - (2) 2X4 SFF STUD GRADE	1006	
J108	JACK - (3) 2X4 SFF STUD GRADE	1004	
J109	JACK - (3) 2X4 SFF STUD GRADE	1004	
J110	JACK - (3) 2X4 SFF STUD GRADE	1012	
J111	JACK - (3) 2X4 SFF STUD GRADE	1012	
J112	JACK - (2) 2X4 SFF STUD GRADE	1002	
J113	JACK - (2) 2X4 SFF STUD GRADE	1002	

FLOOR PLAN NOTES:

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL 8/IT-1B FOR 3/4" FIRE STOPPING AT BULKHEAD / CEILING PANELS.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO GRIFFLES ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION. OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.
- INTERIOR HEADER HEIGHT FOR 8' CEILING WILL BE 6'-11", 4' CEILING WILL BE 7'-11", 10' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.
- BASEMENT FINISH DIMENSIONS ASSUME A 1/2" GAP BETWEEN FRAME WALL AND CONCRETE WALL.
- ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT BLOCKING INSTALLED.
- NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

GYPSUM NOTES:

AT GARAGE:

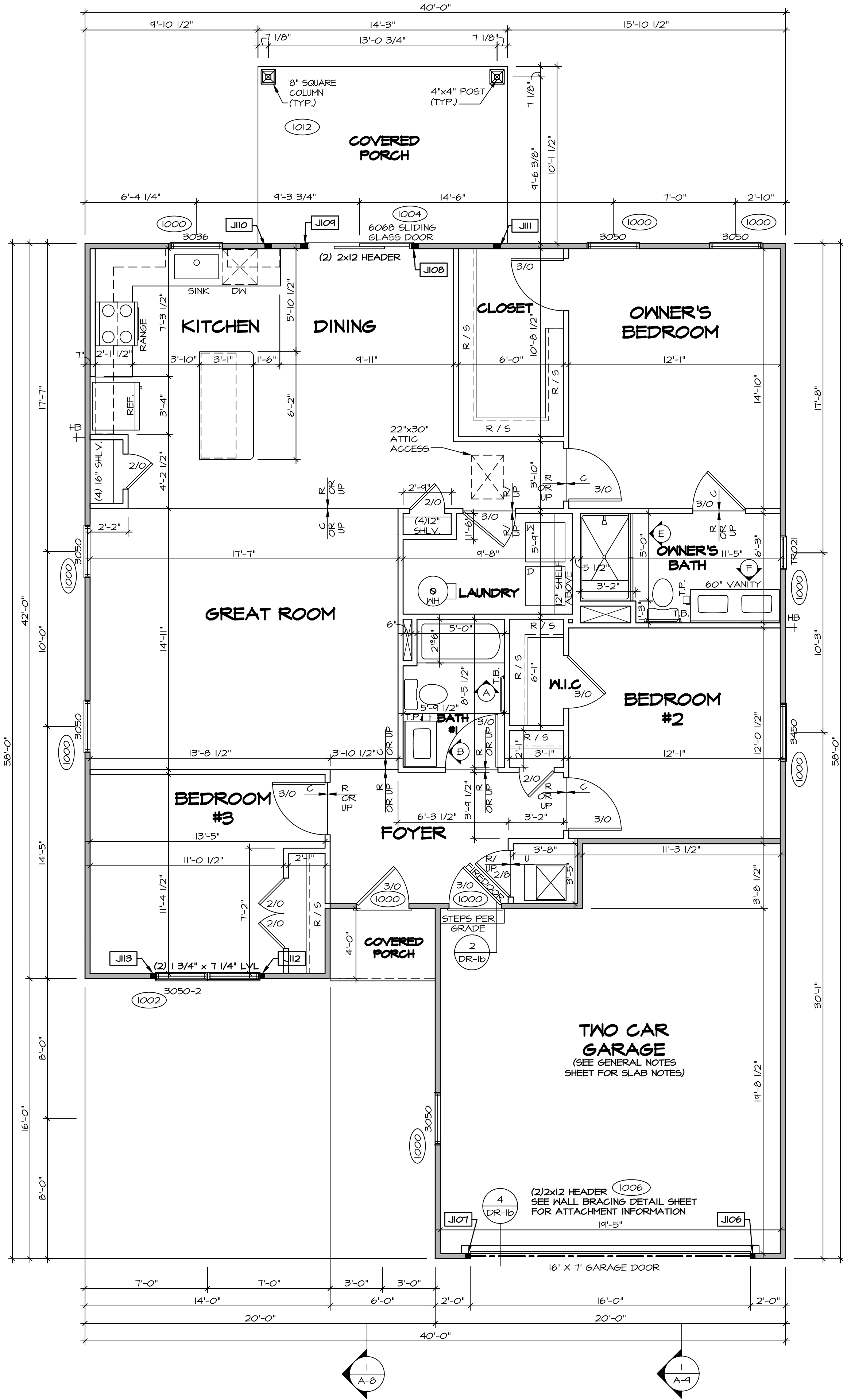
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

- BEARING WALL
- NON BEARING WALL
- MASONRY WALL
- INDICATES BEARINGS FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTINGS/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG
- SEE FA DETAILS FOR FIRE ASSEMBLIES
- SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE



FIRST FLOOR PLAN

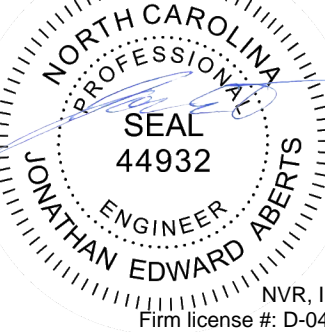
SCALE: 1/4" = 1'-0"

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RLH-VK-0109

DIV-COMM-LOT-UNIT

04/29/2025



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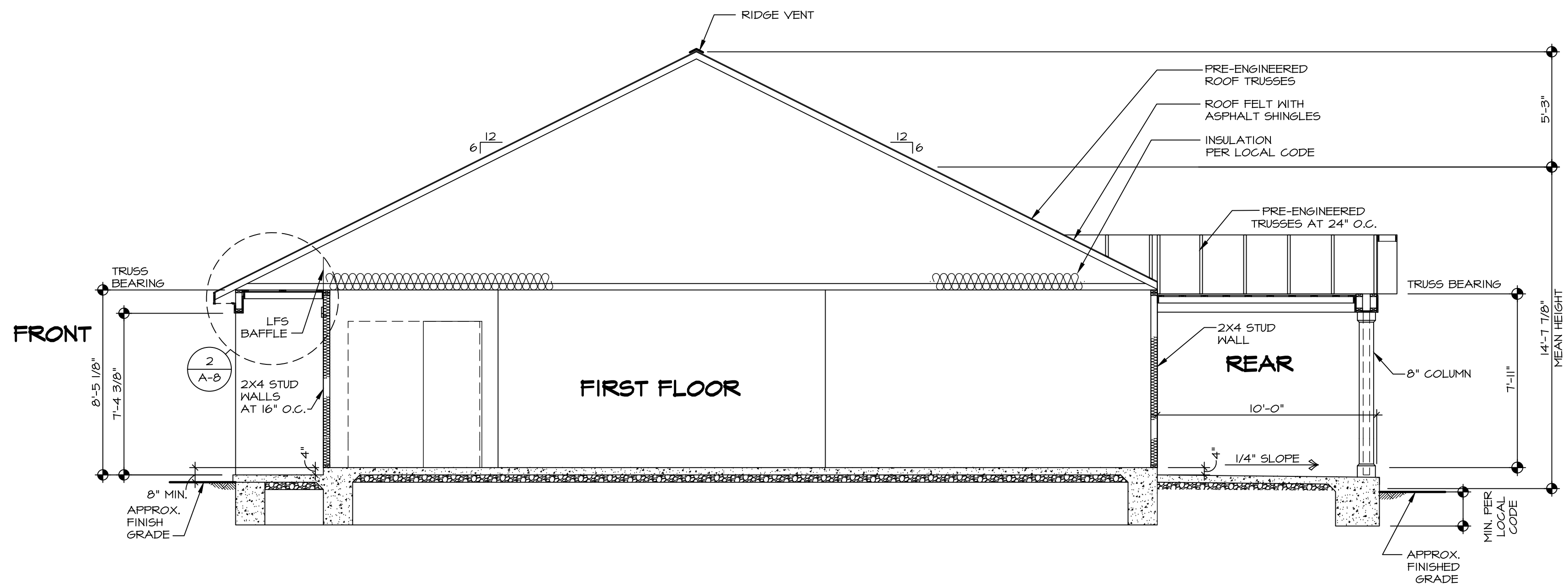
SET NO. 60M00
VERSION 01
RELEASE NO. ----
DRAWN BY HNT
DATE: 02/21/20
OPTION

MODEL
GRAND CAYMAN
DRAWING TITLE
FIRST FLOOR PLAN

SHEET NO.
NC-7

OPTION DESCRIPTION
11

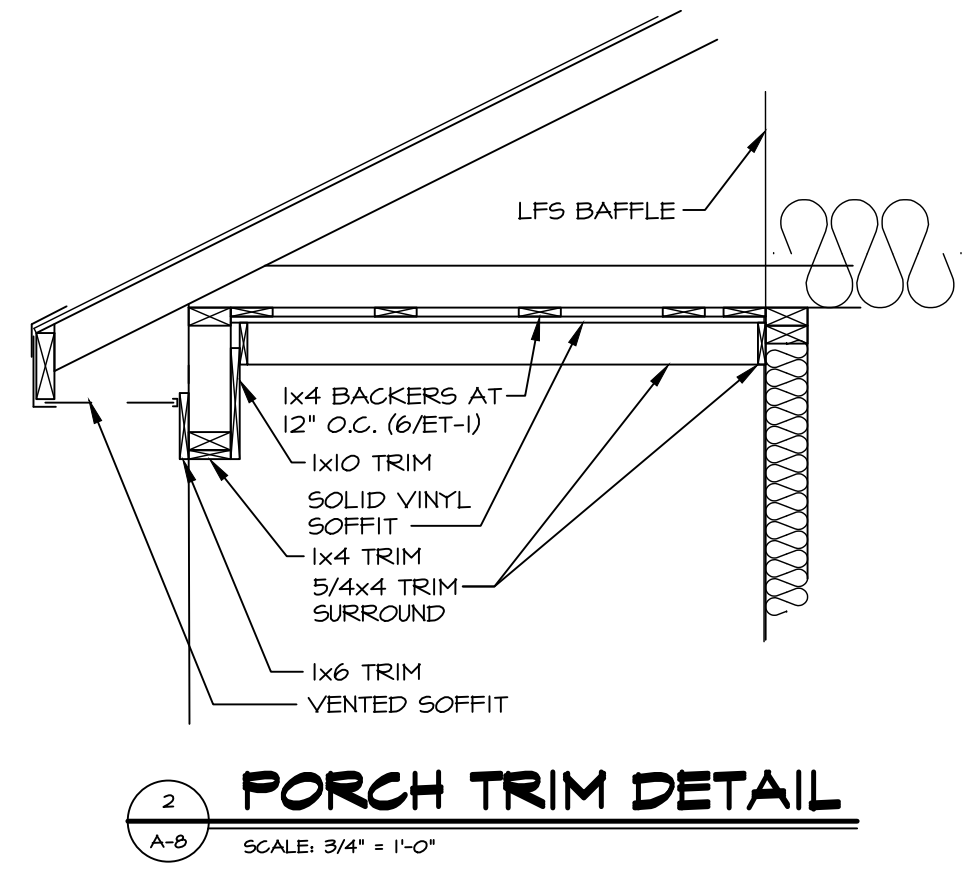
APT. NO. ----
STREET ADDRESS
11 ARTESA COURT
CITY FUQUAY VARIANA
STATE NC
ZIP 27526



1
NC-8

BUILDING SECTION - FOYER

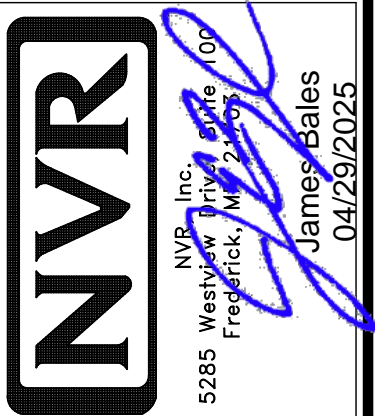
SCALE: 1/4" = 1'-0"



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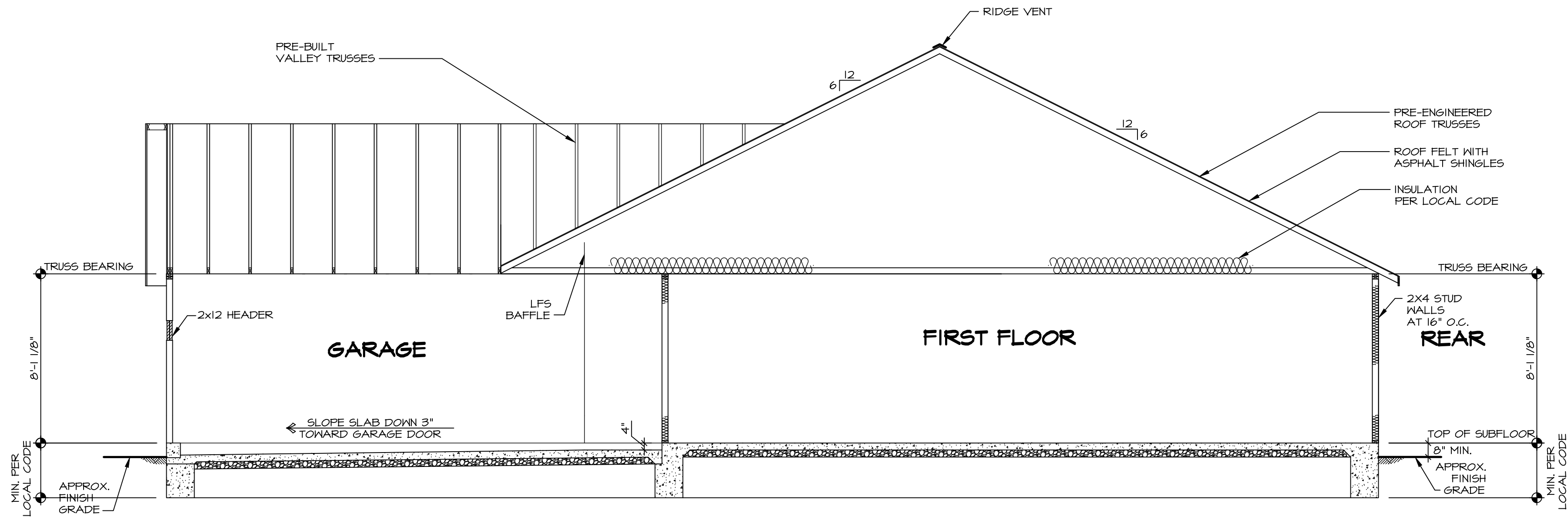
DIV-COMM-LOT-UNIT	RLH-VK-0109
COMM-LOT	KIPFLING VILLAGE - 0109
STREET ADDRESS	11 ARTESA COURT
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

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SET NO. 60000	VERSION 01
RELEASE NO. ----	DRAWN BY HNP
DATE: 02/20/20	OPTION

MODEL	GRAND CAYMAN
DRAWING TITLE	BUILDING SECTION
OPTION DESCRIPTION	

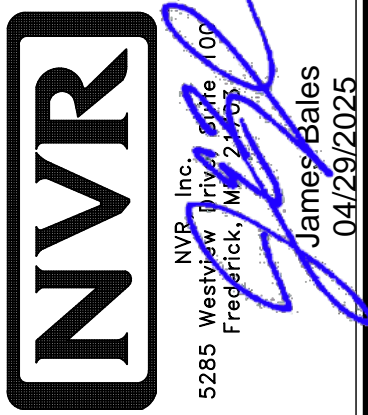


BUILDING SECTION - GARAGE
SCALE: 1/4" = 1'-0"

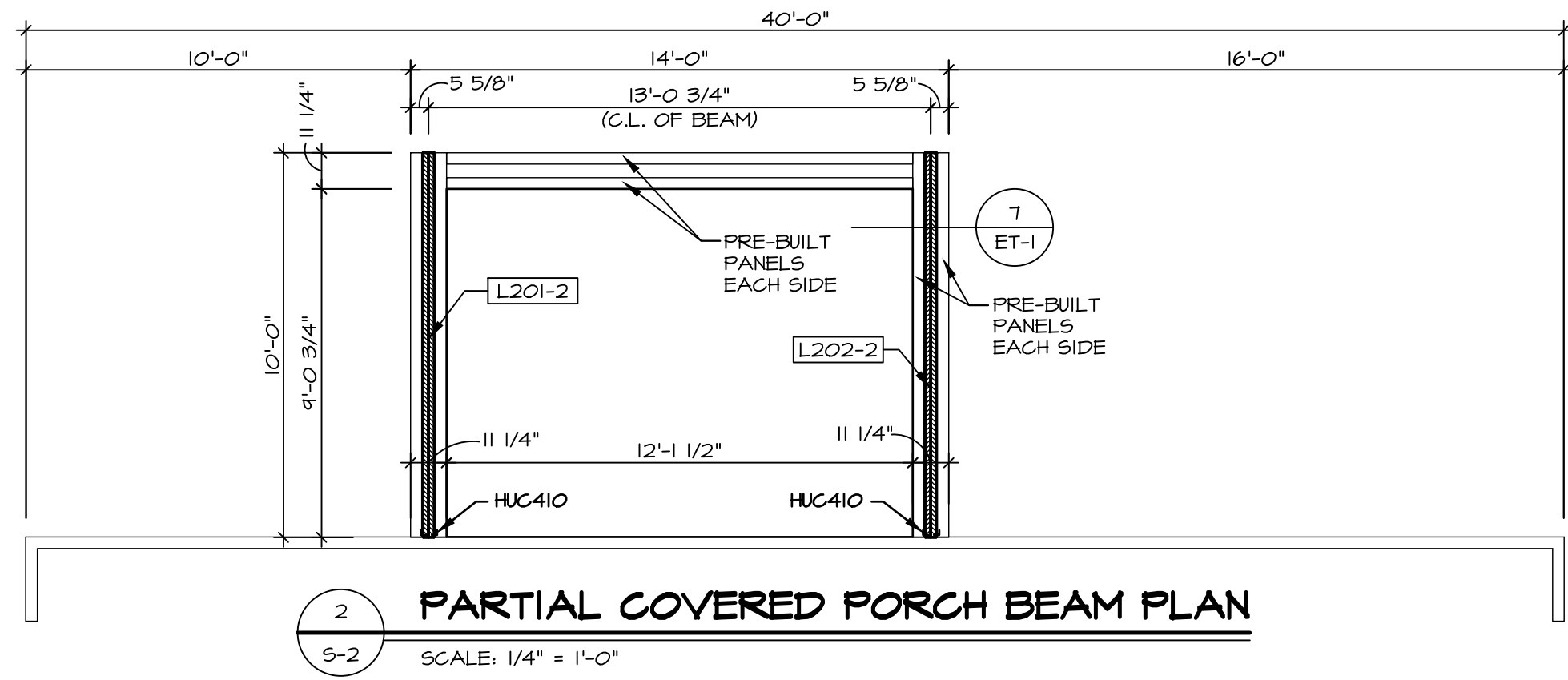
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT	
RLH-VK-0109	
COM-LOT	KLIFING VILLAGE - 0109
STREET ADDRESS	11 ARTESA COURT
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

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SHEET NO. NC-9	MODEL	SET NO. 60M00
	GRAND CAYMAN	VERSION 01
	DRAWING TITLE	RELEASE NO. ----
	BUILDING SECTION - GARAGE	DRAWN BY HNP
OPTION DESCRIPTION	DATE: 02/20/20	OPTION
13		



TRUSS SCHEDULE					
QUANTITY	SPECS	TRUSS NUMBER	LENGTH	ROOF PITCH (X12)	REMARKS
8	SE	14530	20'-0"	8/12	COMMON
1	SE	17122	42'-0"	6/12	COMMON
1	SE	17124	42'-0"	6/12	COMMON
1	SE	17126	20'-0"	8/12	COMMON
5	SE	18663	14'-0"	4/12	COMMON
1	SE	18664	14'-0"	4/12	COMMON
1	SE	18665	42'-0"	6/12	COMMON
4	SE	20632	42'-0"	6/12	COMMON
1	SE	20635	42'-0"	6/12	COMMON
3	SE	20636	42'-0"	6/12	COMMON
2	SE	20637	42'-0"	6/12	COMMON
3	SE	20638	42'-0"	6/12	COMMON
5	SE	20645	42'-0"	6/12	COMMON
1	VT	00861	3'-0"	8-6/12	COMMON
1	VT	00862	8'-0"	8-6/12	COMMON
1	VT	00863	9'-0"	8-6/12	COMMON
1	VT	00864	12'-0"	8-6/12	COMMON
1	VT	00865	15'-0"	8-6/12	COMMON
2	VT	00866	18'-0"	8-6/12	COMMON
1	VT	93026	21'-0"	8-6/12	COMMON
1	VT	95002	24'-0"	8-6/12	COMMON
1	VT	95517	6'-0"	4-6/12	COMMON
1	VT	95518	12'-0"	4-6/12	COMMON
1	VT	95520	21'-0"	8-6/12	COMMON
1	VT	95521	16'-2 1/4"	8-6/12	COMMON

FIELD INSTALLED ROOF FRAMING BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
L201-2	LVL 1.75 - 04-04	10'-0"	1012	1A
L202-2	LVL 1.75 - 04-04	10'-0"	1012	1A

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

- 1A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLIES W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12" O.C.
- 2A - (2) PLY 14" UP TO AND INCLUDING 18"; FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (4) ROWS 12D NAILS AT 12" O.C.
- 3A - (2) PLY 20" TALL AND OVER; FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12" O.C.
- 4A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLIES W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 5A - (3) PLY 14" UP TO AND INCLUDING 18"; FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 6A - (3) PLY 20" TALL AND OVER; FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 7A - (4) PLY (ALL SIZES); FASTEN PLIES WITH (5) ROWS OF SCH20/26/34 STRUCTURAL WOOD SCREENS, OR EQUIVALENT, AT 16" O.C. STAGGERED. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

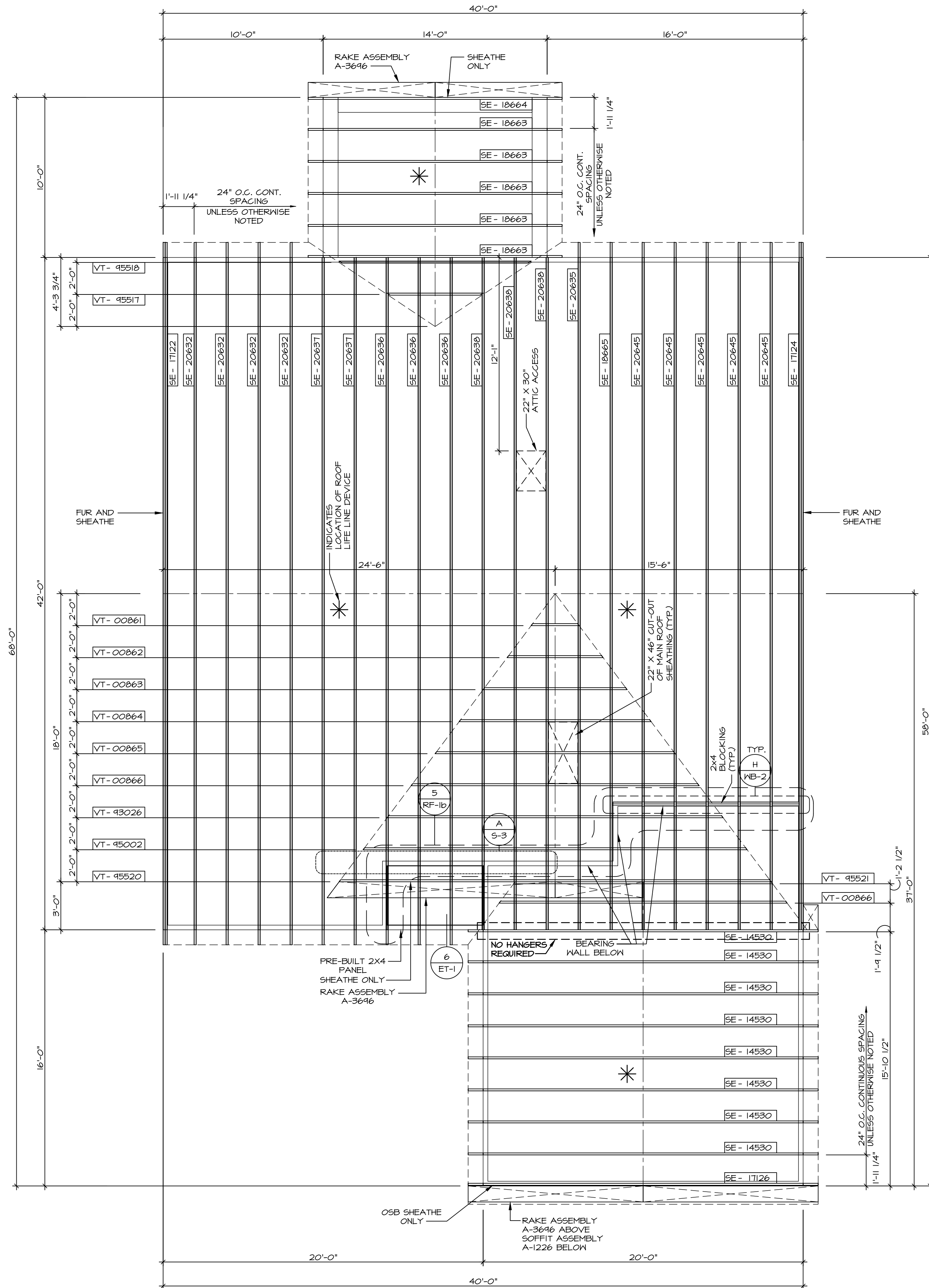
ROOF FRAMING NOTES:

1. REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
 - 1.1. TRUSS TIE-DOWNS (1/RF-1)
 - 1.2. PIGGYBACK TRUSS ATTACHMENT (2/RF-1)
 - 1.3. VALLEY GABLE TRUSS BRACING (3/RF-1)
 - 1.4. GABLE BRACING (1/RF-1)
 - 1.5. TURN GABLE BRACING (1/RF-1)
 - 1.6. TRUSS LATERAL BRACING (2/RF-1)
 - 1.7. LIFELINE ATTACHMENT (5/RF-1)
 - 1.8. FALL PROTECTION ON PLATFORM TRUSS (1/RF-1)
2. IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED.
3. ALL FINISHED ROOF OVERHANGS ARE TO BE 12" FROM FRAMED WALL UNLESS OTHERWISE NOTED.

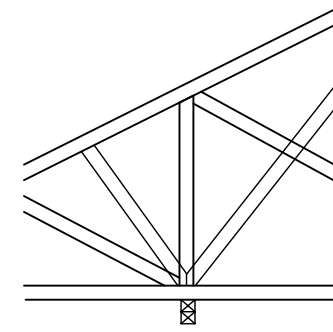
LEGEND

- BEARING WALL
- MASONRY WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTINGS/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- WINDOW/DOOR TAG
- PRECAST LINTEL TAG

-SEE FA DETAILS FOR FIRE ASSEMBLIES
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE



1 ROOF FRAMING
SCALE: 1/4" = 1'-0"



NOTES:
1. TRUSS HAS INTERIOR BEARING. USE CAUTION WHEN SETTING TRUSS.
2. ACTUAL WEB CONFIGURATION MAY VARY.

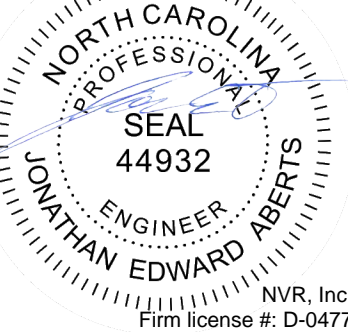
INTERIOR TRUSS BEARING DETAIL

SCALE: NTS

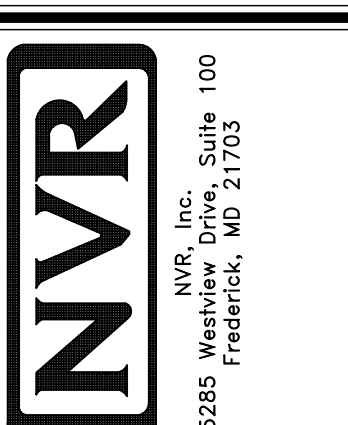
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DIV-COMM-LOT-UNIT
RLH-VK-0109

04/29/2025



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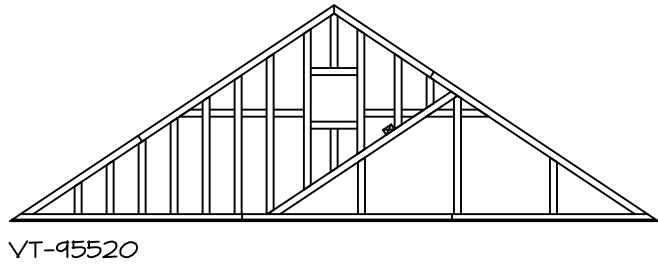
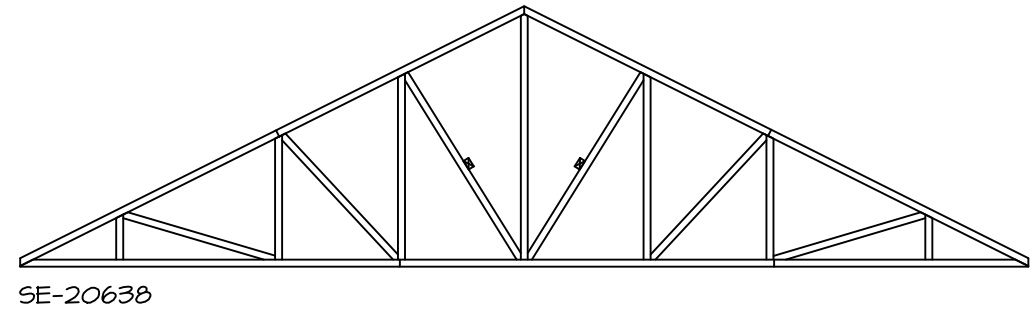
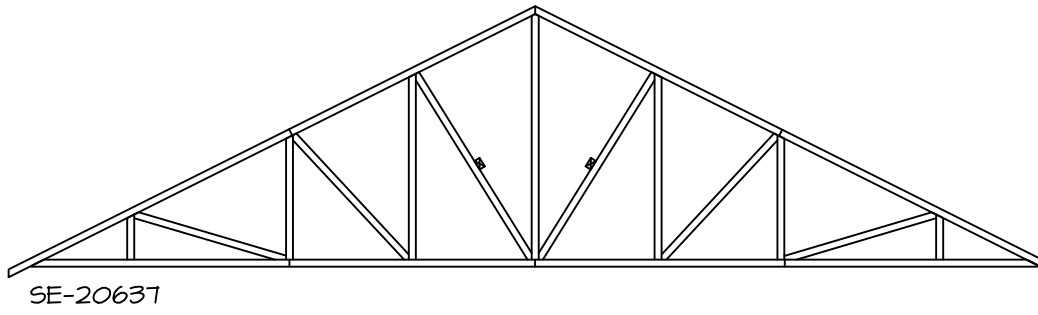
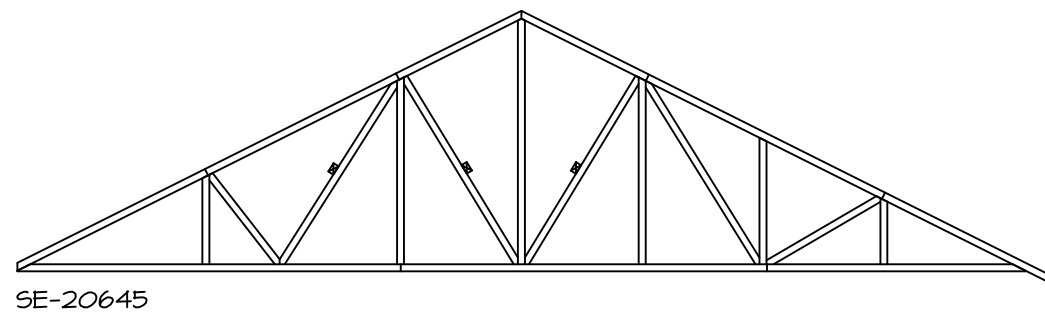
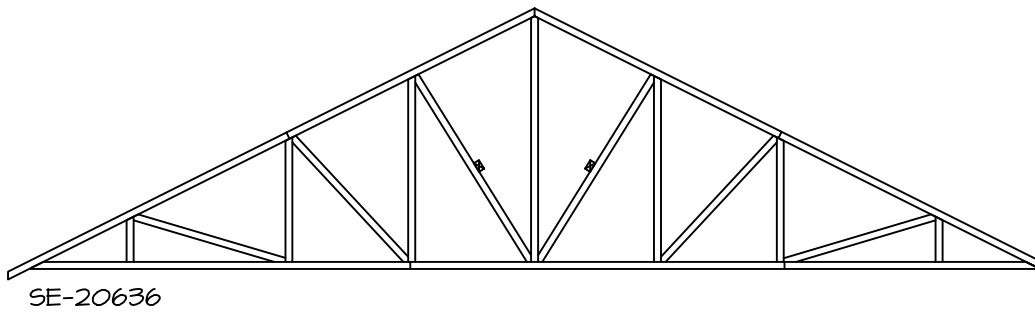
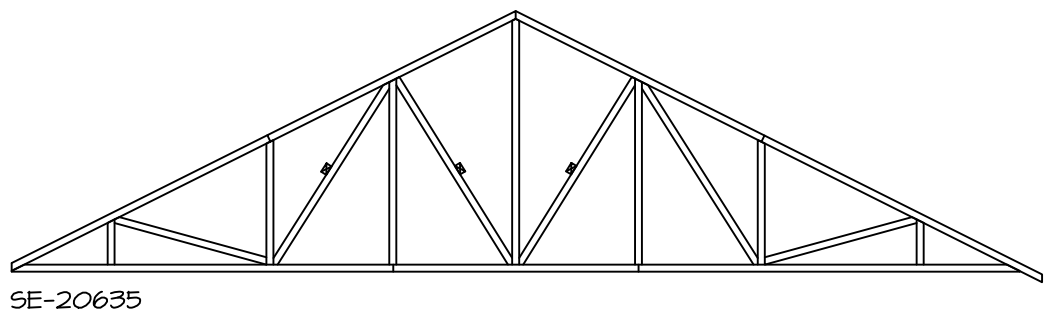
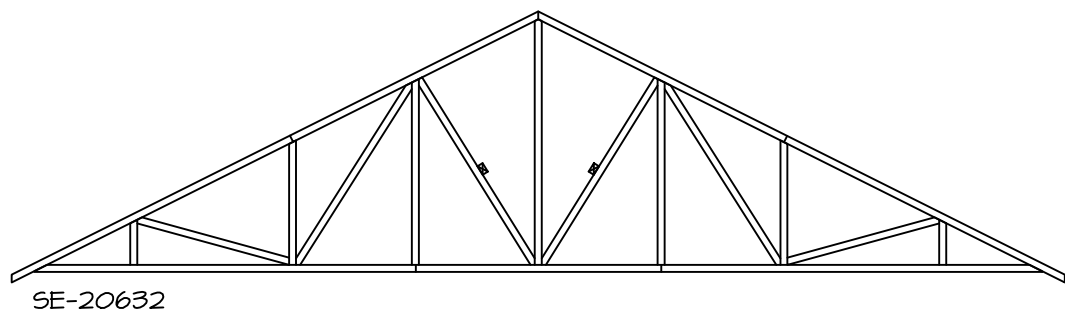
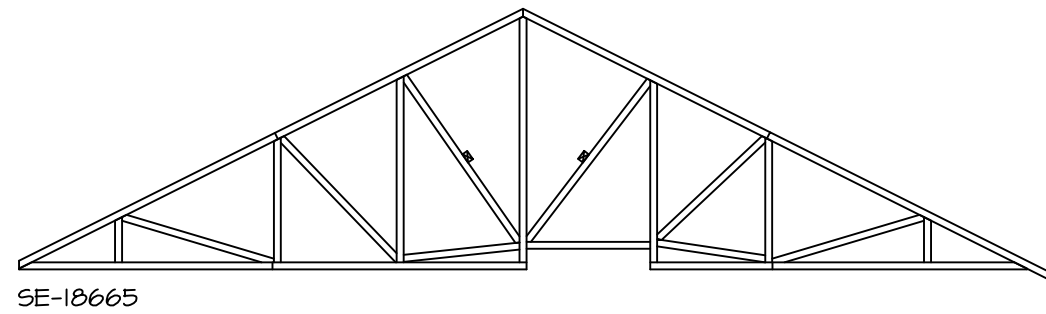
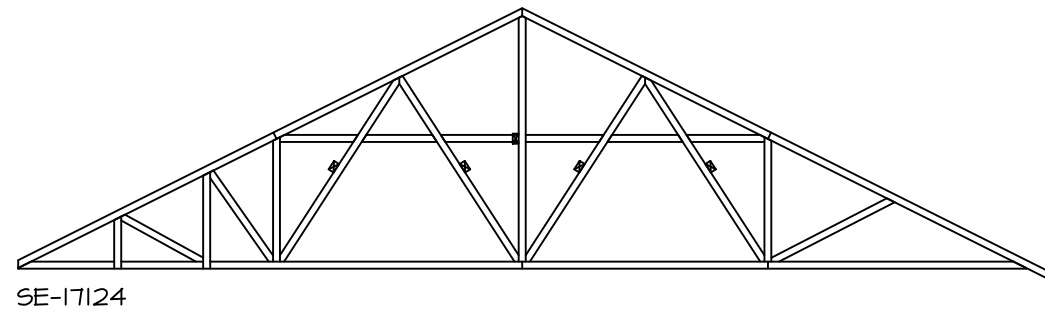
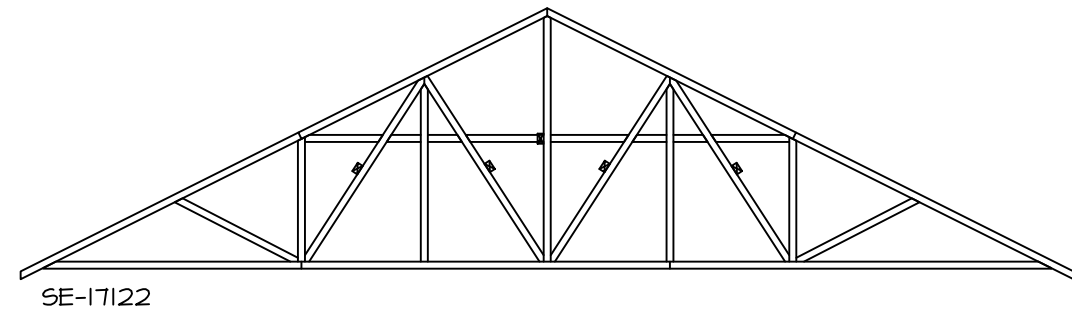


SET NO. 06000
VERSION 01
RELEASE NO. ----
DRAWN BY BN
DATE: 02/13/20
OPTION

MODEL
GRAND CAYMAN
DRAWING TITLE
ROOF FRAMING

SHEET NO.
S-3

OPTION DESCRIPTION
20



1
S-4

TRUSS BRACING DETAILS

SCALE: 1/4" = 1'-0"

TRUSS BRACING NOTES:

- IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.
- 2X4 SFF#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) 10D NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- WEB "T" BRACE, DETAIL **3/RF-1c**, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 2X4 LATERAL BRACING.
- DIAGONAL BRACING REQUIRED WHEN LATERAL BRACING IS REQUIRED (**4/RF-1c**).
- STUDDED GABLE BRACING DETAIL (**1/RF-1c**) TO BE UTILIZED FOR TRUSSES 6'-0" IN HEIGHT OR GREATER.
- PARTIALLY SHEATHED GABLES, SEE (**5/RF-1c**) FOR "L" BRACING WHEN REQUIRED.
- LATERAL BRACING CAN BE APPLIED TO EITHER SIDE OF THE WEB MEMBER IDENTIFIED IN THE DRAWING.
- SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT
RLH-VK-0109

COMM-LOT
KIPLING VILLAGE - 0109

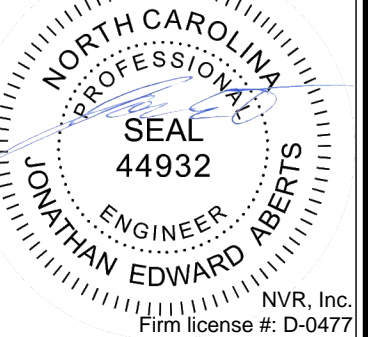
STREET ADDRESS
11 ARTESA COURT

CITY
FLOUJAY VARINA

STATE
NC

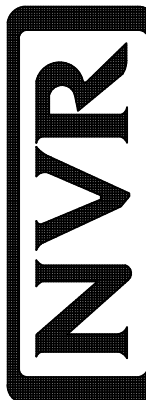
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27526

04/29/2025



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NVR, Inc., Suite 100
5285 Westview Drive
Frederick, MD 21703

SET NO. 60MOO
VERSION 01

RELEASE NO. ----

DRAWN BY BN

DATE: 2/02/20

OPTION

MODEL
GRAND CAYMAN

DRAWING TITLE
TRUSS BRACING DETAILS

OPTION DESCRIPTION

SHEET NO.
S-4

21

BRACING LEGEND

BWL XXX.XX

BRACED WALL LINE I.D.

BRACED WALL LINE

HOUSE WALL

BRACED WALL PANEL

WSP

WOOD STRUCTURAL PANEL

GB

GYP SUM BOARD (1) SIDED OR (2) SIDED

GB-BW

GYP SUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL 6/MB-2)

LIB

LET-IN BRACING (SEE STANDARD DETAIL F / MB-2)

CS-WSP

CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL

CS-PF

CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C/ MB-2)

CS-G

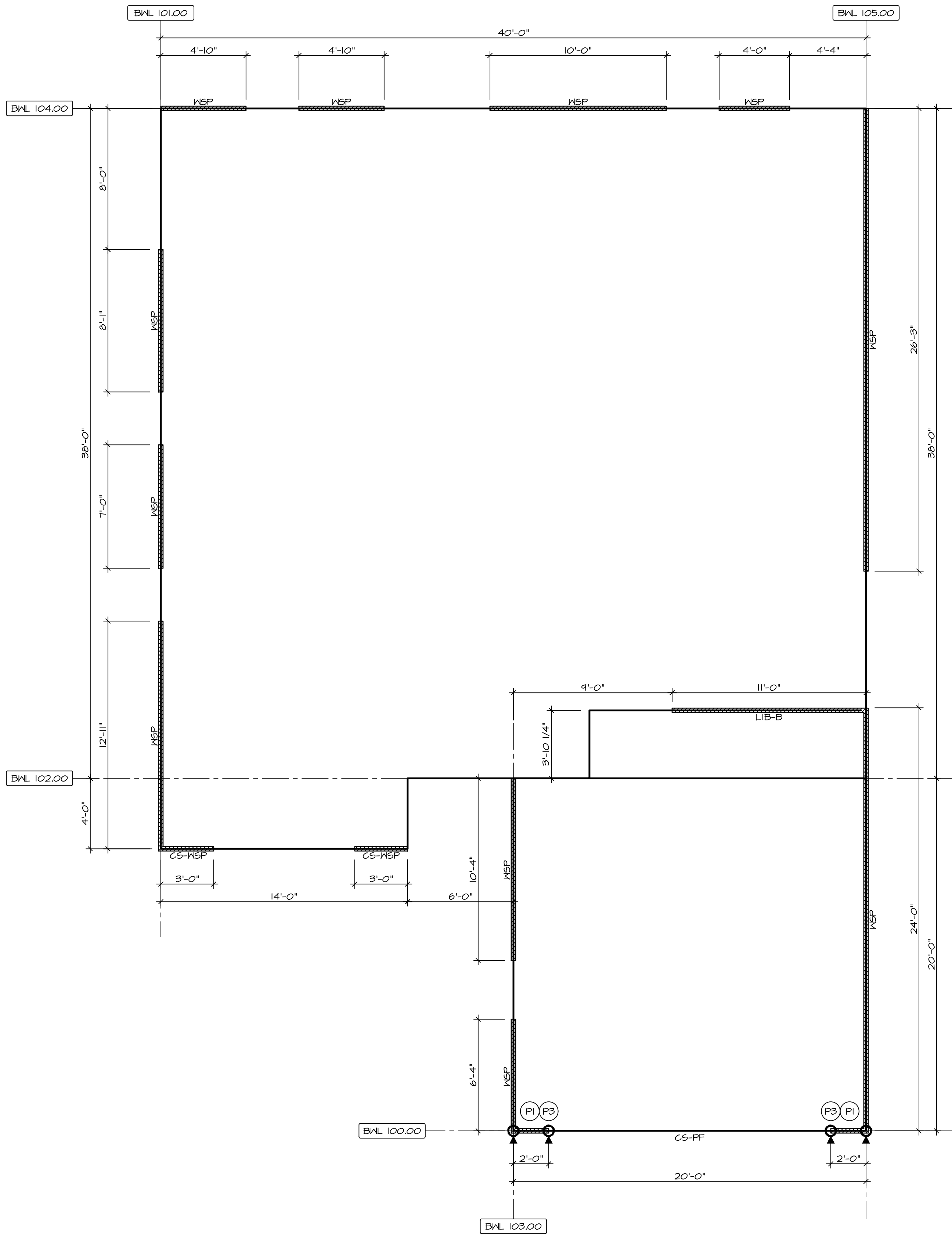
CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS

HOLD-DOWN
1. SEE SHEET MB-2 "P."
2. ARROW INDICATES LOCATION

NOTES:

HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED.

FASTENING SCHEDULE			
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W/ METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	6" O.C.	6" O.C.
1/2" GYPSUM WALLBOARD (W/ METHOD GB-I, GB-2)	1-1/4" LONG, 1/4" HEAD, .048" DIA. ANNULAR-RINGED NAILS CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
1/2" GYPSUM WALLBOARD BLOCKED AT THE EDGES (W/ METHOD GB-BW-I, GB-BW-2, ENG-BW)	BLOCKING REQUIRED AT ALL GYPSUM EDGES, USED CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.
NOTES: 1. MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL. 2. SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING. 3. USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE. 4. WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE WSP METHOD.			



1

9-5

FIRST FLOOR BRACED WALL

SCALE: 1/4" = 1'-0"

BRACED WALL LINE SCHEDULE				
WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	METHOD
130 MPH	BWL 100.00	5.25'	6.00'	CONTINUOUS (WITH GNB)
130 MPH	BWL 101.00	8.63'	27.99'	WSP (WITH GNB)
130 MPH	BWL 102.00	15.64'	17.00'	LIB
130 MPH	BWL 103.00	5.05'	16.66'	WSP (WITH GNB)
130 MPH	BWL 104.00	10.72'	23.66'	WSP (WITH GNB)
130 MPH	BWL 105.00	4.04'	50.25'	WSP (WITH GNB)

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DIV-COMM-LOT-UNIT

RLH-VK-0109

COMM-LOT

KIPLING VILLAGE - 0109

STREET ADDRESS

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CITY

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STATE

NC

ZIP

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04/29/2025

NORTH CAROLINA PROFESSIONAL SEAL

44932

ENGINEER

WYHAM EDWARD BERTS

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NVR

NVR, Inc., Suite 100
5285 Westview, Frederick, MD 21703

SET NO. 60M00

VERSION 01

RELEASE NO. ----

DRAWN BY CEL

DATE:

OPTION

MODEL

GRAND CAYMAN

DRAWING TITLE

FIRST FLOOR BRACED WALL

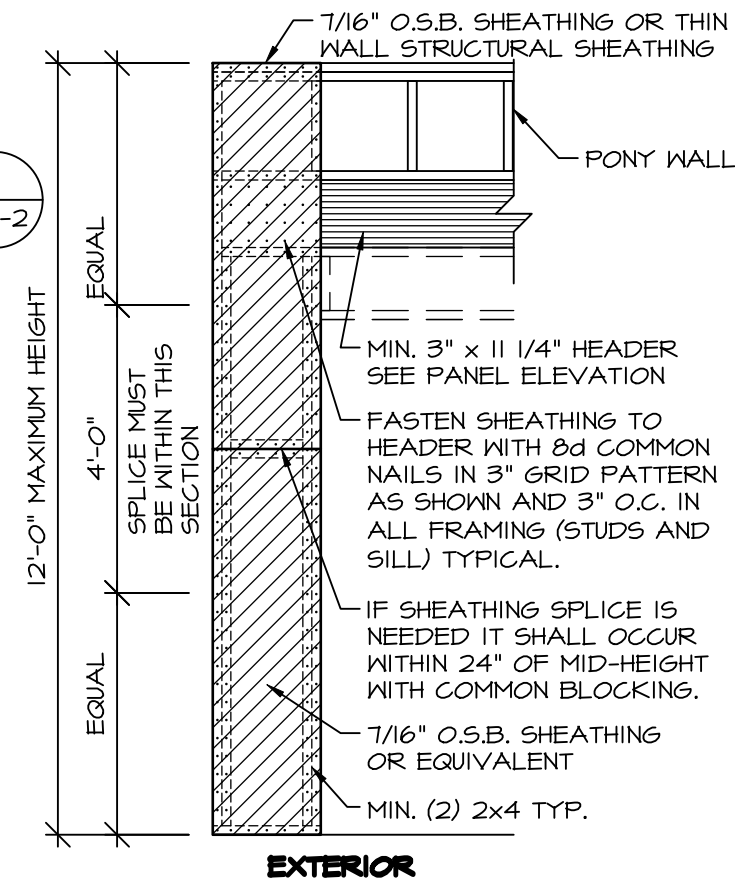
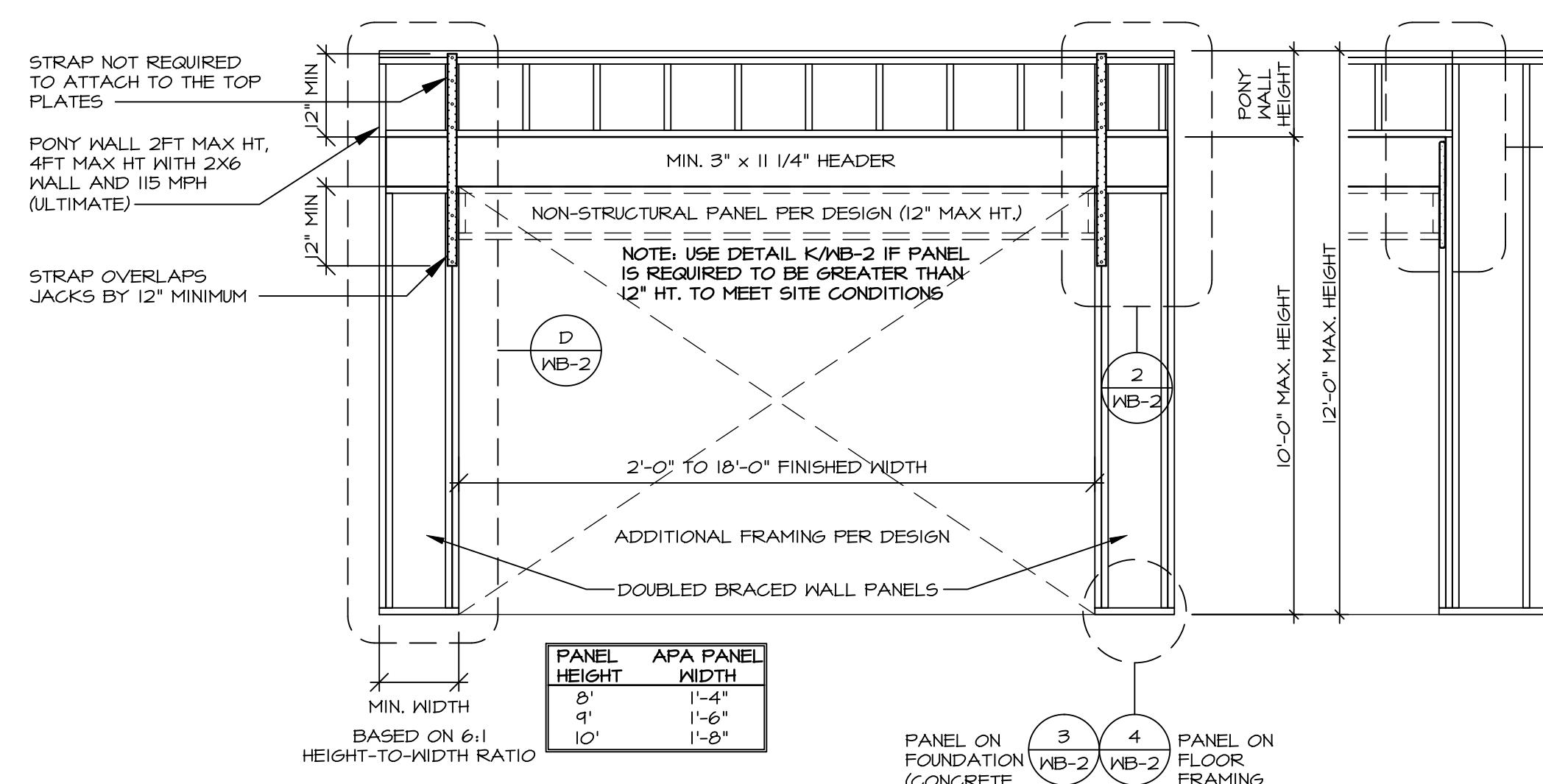
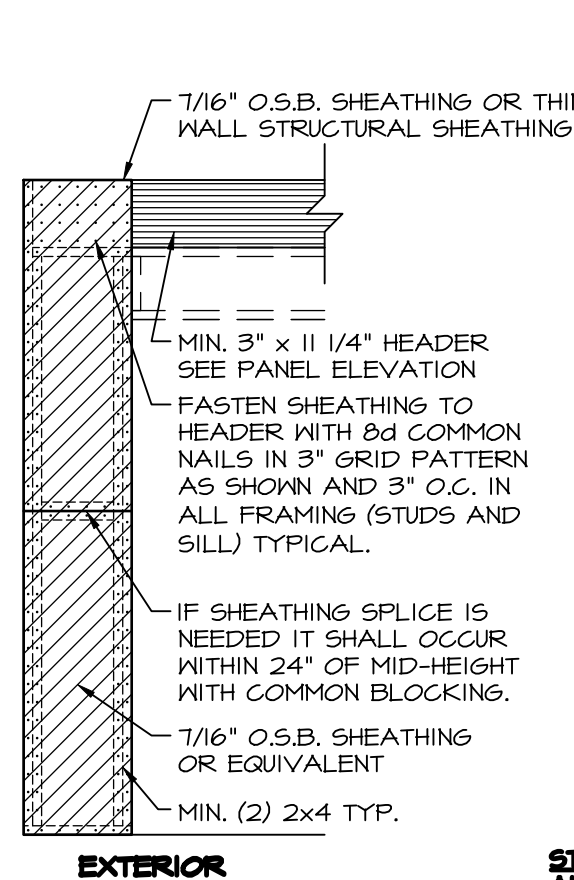
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SHEET NO.

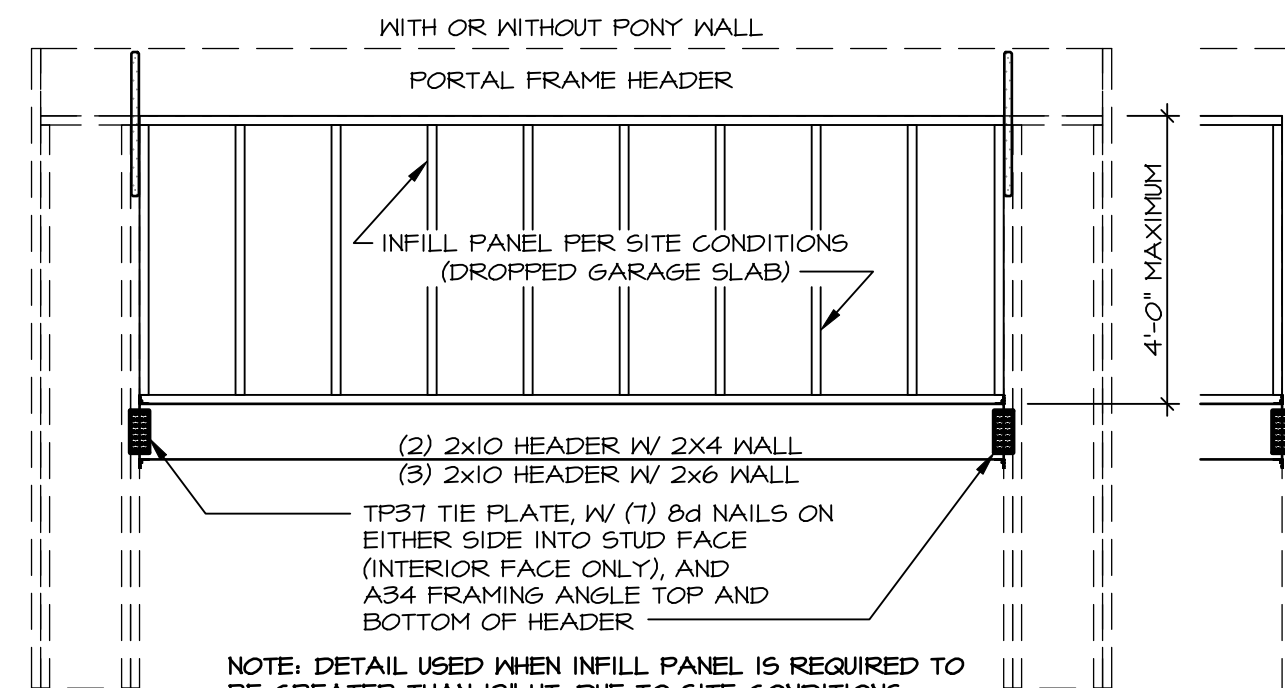
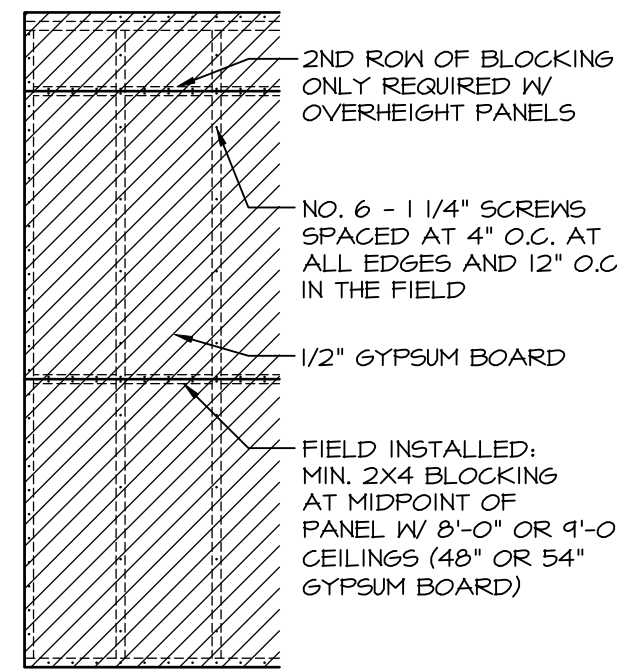
9-5

22



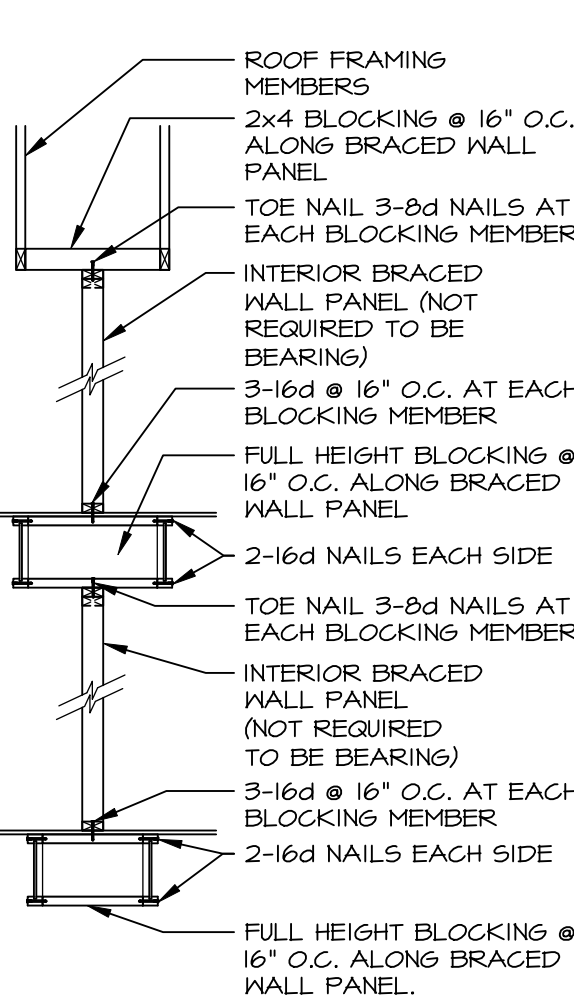


**PORTAL FRAME:
SHEATHING
APPLICATION DETAIL**

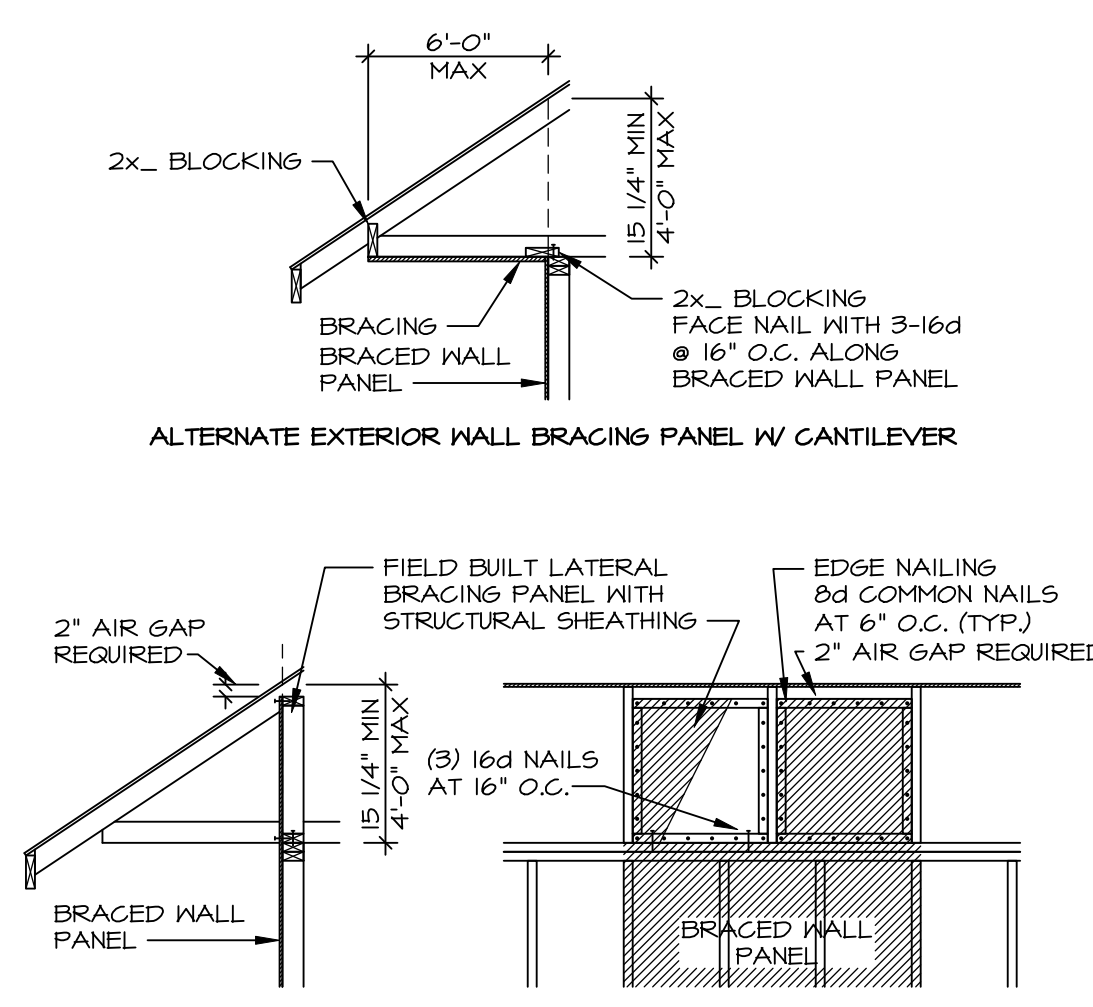


ALTERNATE PORTAL
FRAME: SHEATHING
APPLICATION DETAIL

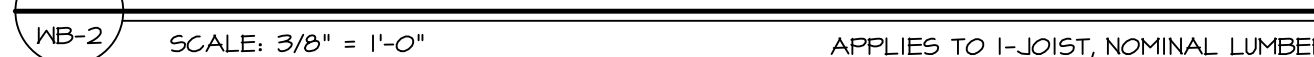




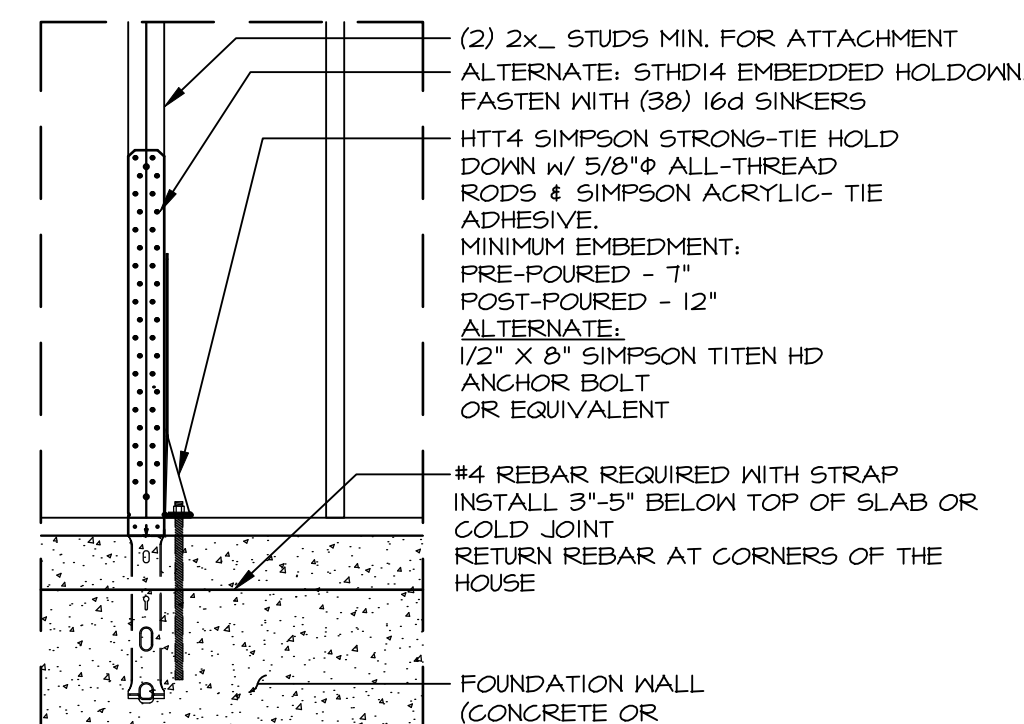
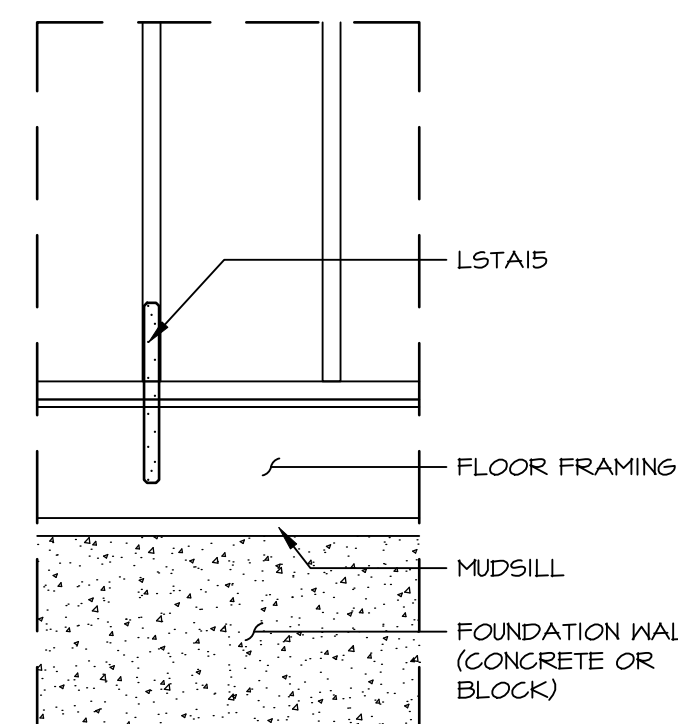
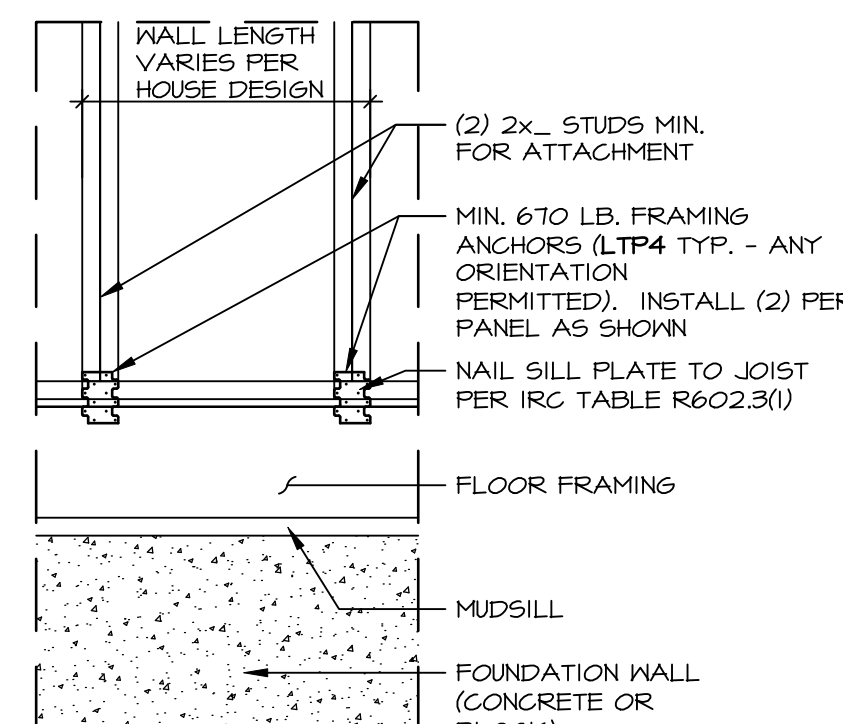
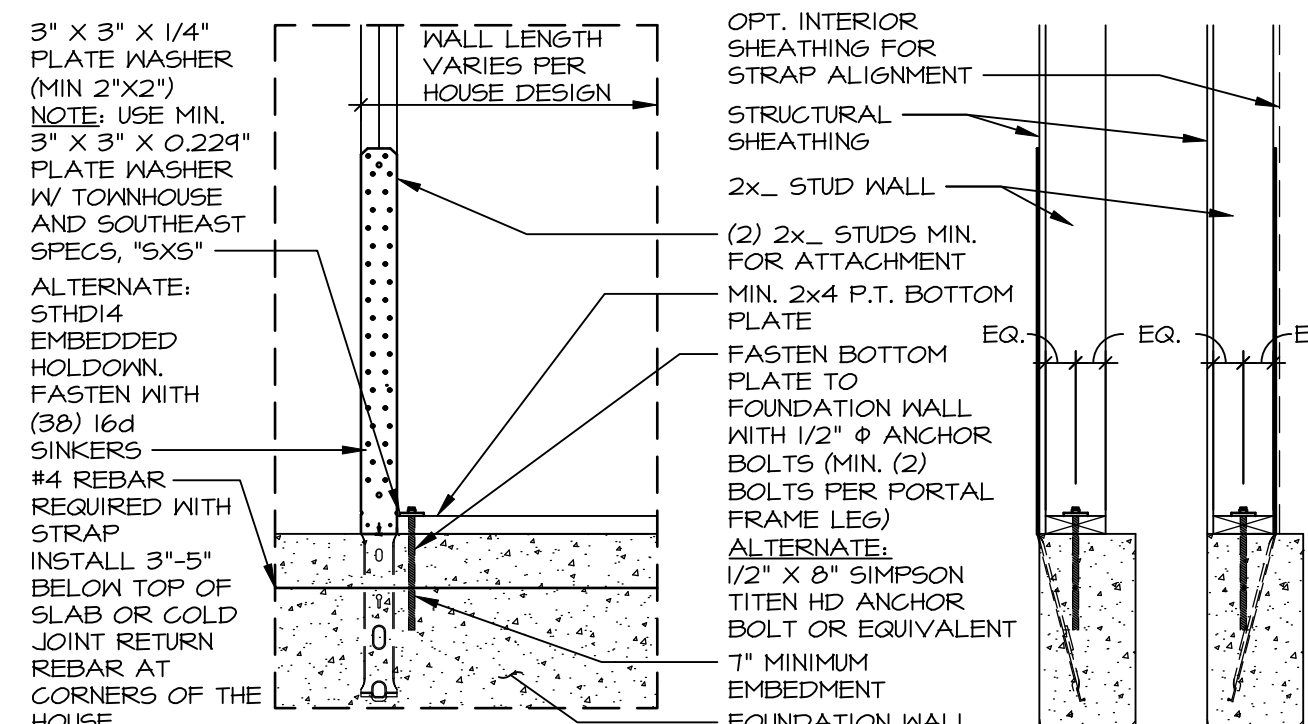
FULL HEIGHT BLOCKING
CONTINUOUS ALONG
LENGTH OF BRACED
MEMBER



RACED WALL PANEL CONNECTION WHEN PENDICULAR TO FLOOR/CEILING FRAMING



NOTE: STHD EMBEDDED HOLD DOWN FOR USE WITH POURED FOUNDATION WALLS ONLY

















ALTERNATE PORTAL FRAME:
HEADER / PANEL CONNECTION

HOLD-DOWN DETAIL: FOUNDATION

HOLD-DOWN DETAIL: FRAMED FLOOR

**HOLD-DOWN DETAIL:
FRAMED FLOOR**

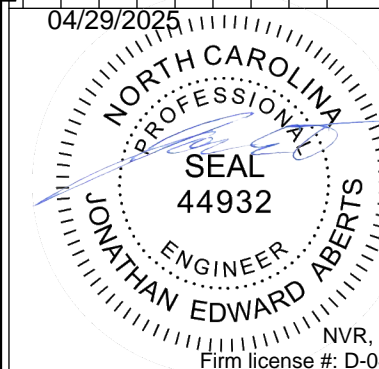
HOLD-DOWN DETAIL:
FOUNDATION

ID	BOTTOM CONNECTOR	Y:	DETAIL	TOP CONNECTOR	Y:	DETAIL
P1	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	I		NONE	N/A	N/A
P2	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	I		LSTA24	I	
P3	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	I		MST48	I	
P4	LTP4	I		NONE	N/A	N/A
P5	LTP4	I		LSTA24	I	
P6	LTP4	I		MST48	I	
P7	LSTA15	I		NONE	N/A	N/A
P8	HIT4 5/8" A24 THR. ROD	I		NONE	N/A	N/A
P9	NONE	N/A	N/A	LSTA24	I	
P10	NONE	N/A	N/A	MST48	I	

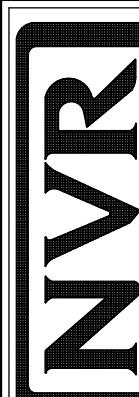
NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS

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REV. NO.	DATE	REMARKS
51	1/9/24	A95 - GC#905 DETAIL B REVISED STAIR-1 SIZE FROM 1 1/4" TO 1 3/4"
52	1/23/24	D1R - GC#4764 - REMOVED DETAIL EMB-2 CORNER DETAIL
30	4/24/20	CEL - GC#4694 - PLATE WASHERS CHANGED TO 3"x3" WITH 1/2" THREADED ROB-2
31	10/5/20	CEL - REVISED HWP-2 TO INCLUDE FLOOR TRISSESS
32	10/13/20	CEL - ADDED NOTES DETAILING WHEN TO USE KWB-2
33	4/7/21	A95 - REV. DTL C POINT WALL NOTES
34	6/3/21	CEL - GC#7528 - REVISED HWP-2 TO REMOVE USE OF FLAT BLOCKING
35	1/15/22	CEL - GC#4631 - ADDED FRFP. WALL BRACING DTL. AND ALT. FASTING TO HWP-2
36	4/15/22	D1R - GC#4628 - REVISED CORNER CHART. REVISED PART NUMBERS



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285 Westview Drive, Suite 100
Frederick, MD 21703

MODEL	SET NO.
WALL BRACING DETAILS	VERSION
DRAWING TITLE	DRAWN BY ELH
PREScriptive WALL BRACING DESIGN	DATE: 4/2/14
OPTION DESCRIPTION	OPTION

2-B-Z