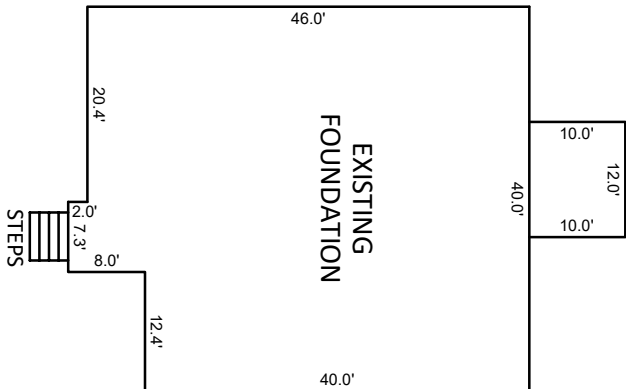




BM 2023 PG. 59 - 62

LOT INFORMATION:

PIN: 0529-98-2192.000
REFERENCE: DB 4262, PG. 2538
TOTAL LOT AREA = 0.720 AC = 31,381 SF
FOUNDATION = 1,801 SF
EXISTING IMPERVIOUS = 1,801 SF
PERCENT IMPERVIOUS = 5.74%
MAXIMUM IMPERVIOUS = 7,000 SF



BUILDING SETBACKS
FRONT - 35' FROM RW
REAR - 25'
SIDE - 10'
SIDE CORNER - 20'

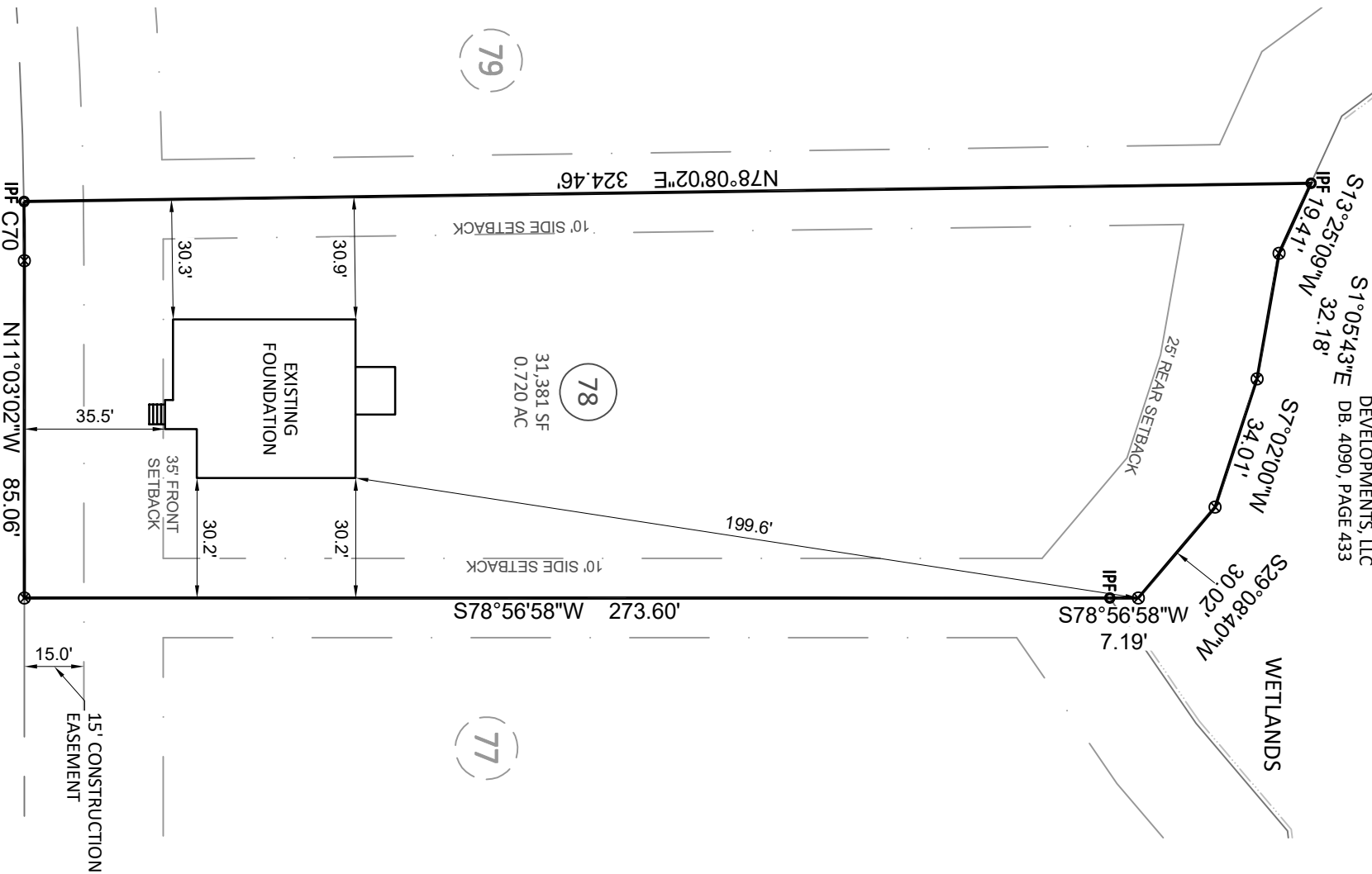
INSET SCALE: 1"=20'

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD DIRECTION
C70	1050.00'	14.95'	N11°27'30"W

NOTES:

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
- THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
- PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
- THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
- THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
- NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ZONING: RA-30
- BUILDER/DEVELOPER: DAVIDSON HOMES
1903 NORTH HARRISON AVENUE
CARY, NC 27513

NOW OR FORMERLY
WELLER
DEVELOPMENTS, LLC
DB. 4090, PAGE 433



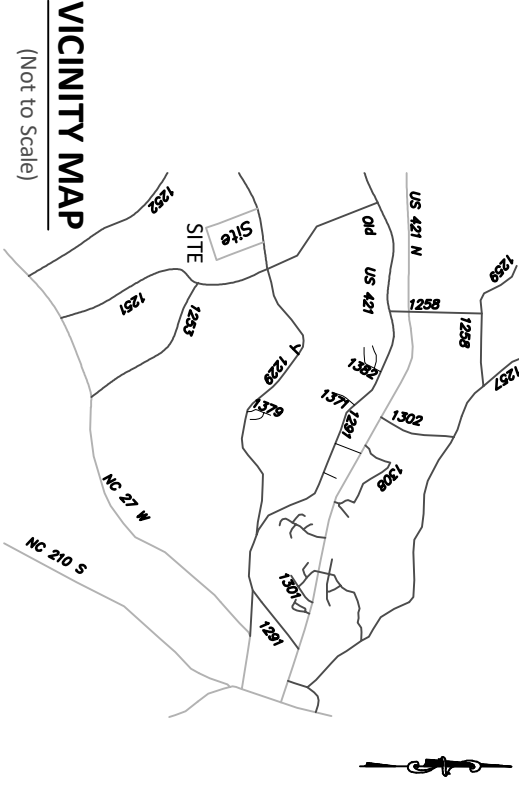
OLD FASHIONED WAY
50' PUBLIC R/W & UTILITY EASEMENT



Bateman Civil Survey Company

Engineers • Surveyors • Planners

2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081
www.batemancivilsurvey.com info@batemancivilsurvey.com
NCBELS Firm No. C-2378



VICINITY MAP

(Not to Scale)

LEGEND

- PO = PORCH
SP = SCREENED PORCH/PATIO
CP = COVERED PORCH/PATIO
WD = WOOD DECK
SW = SIDEWALK
DW = CONC DRIVEWAY
P = CONC PATIO
X = COMPUTED POINT
X = MAG NAIL FOUND
IPF = IRON PIPE FOUND (IPF)
● = IRON PIPE SET (IPS)
● = DRILL HOLE FOUND
DM = WATER METER
CO = CLEAN OUT
AC = AIR CONDITIONER PAD
● = SEWER MANHOLE
EB = ELECTRIC BOX
● = CABLE BOX
□ = TELEPHONE PEDESTAL
CB = CATCH BASIN/CURB INLET
IC = IRRIGATION CONTROLLER
⚡ = LIGHT POLE
⚡ = UTILITY POLE
⚡ = FIRE HYDRANT
DI = DRAIN INLET
WV = WATER VALVE
X = STREET SIGN
YI = YARD INLET
G = GAS METER
E = ELECTRIC METER
- This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

FOUNDATION SURVEY

FOR

DAVIDSON HOMES

WELLERS KNOLL - LOT 78

267 OLD FASHIONED WAY, LILLINGTON, NC
UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 6/24/25 DRAWN BY: SLA CHECKED BY: SPC

REFERENCE: BM 2023 PG. 59-62

BCS# 230051

SCALE: 1" = 40'